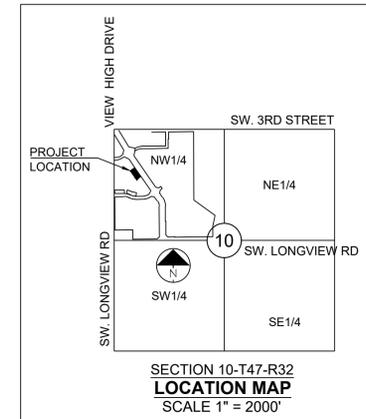


LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B
510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B



Parcel ID:
62-420-29-09-00-0-00-000

SITE DATA TABLE

LOT AREA:	29,886 SQ. FT. (0.69 AC)	
	EXISTING	PROPOSED
BUILDING AREA	5,390 S.F. (18.03%)	11,535 S.F. (38.60%)
PAVEMENT/DRIVE AREA	6,407 S.F. (21.44%)	13,437 S.F. (44.96%)
OPEN/LANDSCAPE AREA	18,089 S.F. (60.53%)	4,914 S.F. (16.44%)

Site Information:
Legal Description:
Lot 7, TOWER PARK COMMERCIAL - PHASE 2, Lots 5, 6, 7, Tracts A and B, a subdivision in Lee's Summit, Jackson County, Missouri.
Lot Area: 29,886 Square Feet (0.69 Ac.)
Property Address (North Building):
420-440 SW Longview Blvd.
Lee's Summit, Missouri 64081
Existing Floor Area Ratio (F.A.R.) = 0.18
Proposed Floor Area Ratio (F.A.R.) = 0.52
Current Zoning: PMIX - Planned Mixed Use
Proposed Zoning: PMIX - Planned Mixed Use - No Change
Current Use: Commercial (Extg. Vet-Clinic South) - Vacant (North)
Proposed Use: Commercial - (Extg. Vet-Clinic South) - Commercial/Retail (North)
Required Parking: 3.15 Stalls/1,000 Square Feet*

Total Office/Retail Area = 15,625 Square Feet
15,625/1,000 x 3.15 = 49.21
Total Parking Required: = 49 Stalls
Total Parking Required: = 49 Stalls

Proposed Parking: 49 Stalls (2 handicap-accessible stalls)
Includes 18 Stalls at Adjacent Street Frontage (East)
31 stalls at West/Southwest side of Lot 7

* - Referenced Shared Parking Analysis (submitted under separate cover by owner)
- Required Parking: Per PMIX Zoning District, parking requirements are established per approved Preliminary Plan. Shared parking and cross access agreements have been established per development area regulations/declarations to accommodate differing parking demands and offset peak hours among development tenants

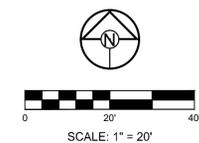
PAVEMENT LEGEND:

- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- EXISTING CONCRETE SIDEWALK
- TYPE CG-1 CURB & GUTTER
- TYPE CG-1 CURB & GUTTER - DRY
- CONC. RIBBON CURB
- EXISTING CURB & GUTTER
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONC. CURB AND GUTTER

OIL/GAS WELL NOTE:
There are no Oil or Gas Wells located on this property as reported on the Missouri Department of Natural Resources Oil and Gas Permits website. It is the responsibility of the Owner/Developer to report and verify all Oil and Gas Wells discovered on the project site.

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

PROJECT BENCHMARK:
MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER PARK DRIVE AND SW. LONGVIEW BOULEVARD.
NORTHING: 998893.4148
EASTING: 2803318.5413
ELEV. 1004.09



PREPARED BY:
SCHLAGEL & ASSOCIATES, P.A.

**TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review
9-28-2020	CONC. APRON @ TRASH ENCL.

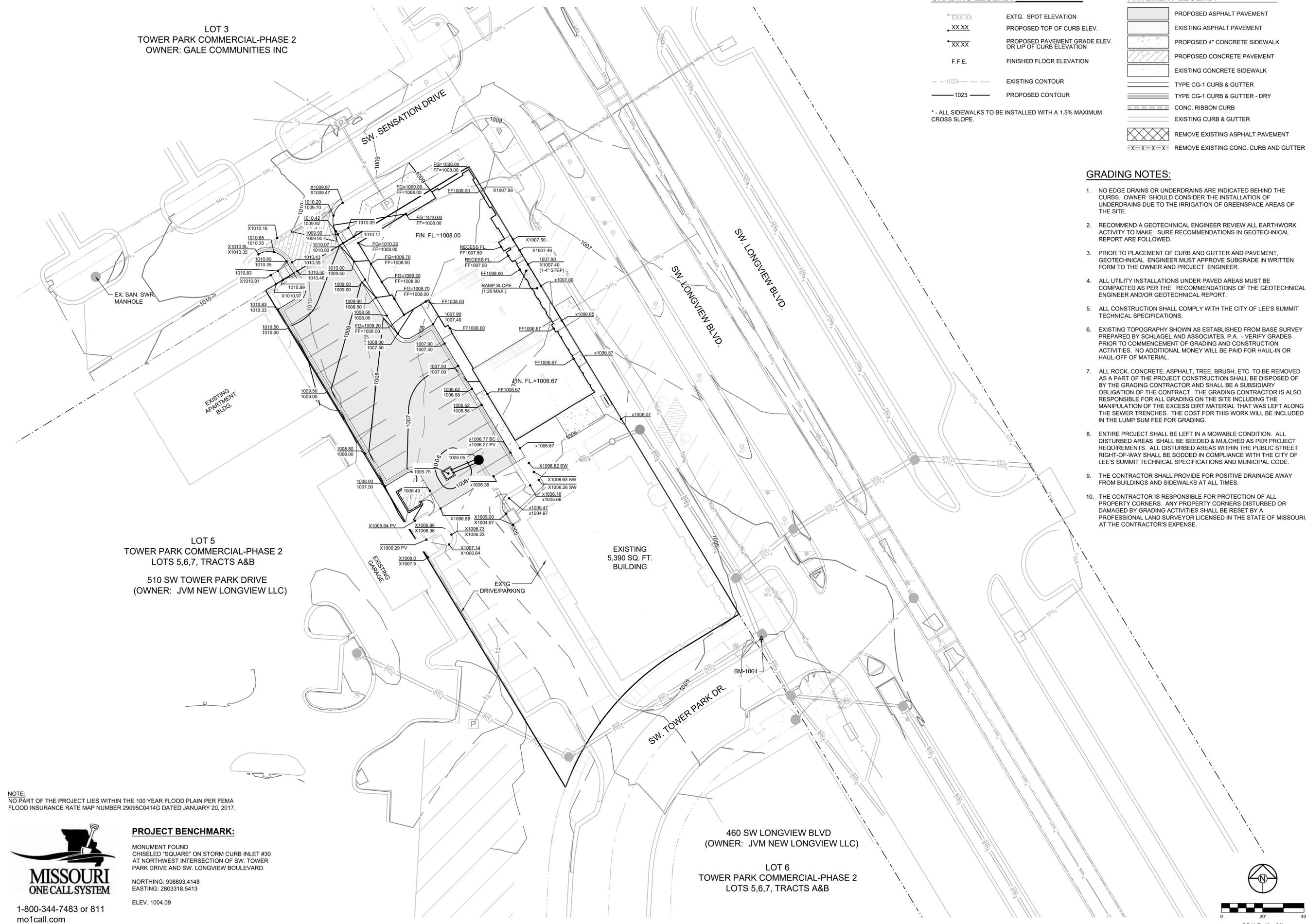
SITE PLAN
SHEET
C1.0

LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B
510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B



GRADING LEGEND:

- XXX.XX EXTG. SPOT ELEVATION
- XX.XX PROPOSED TOP OF CURB ELEV.
- XX.XX PROPOSED PAVEMENT GRADE ELEV. OR LIP OF CURB ELEVATION
- F.F.E. FINISHED FLOOR ELEVATION
- - -1023- - - EXISTING CONTOUR
- 1023 — PROPOSED CONTOUR

* - ALL SIDEWALKS TO BE INSTALLED WITH A 1.5% MAXIMUM CROSS SLOPE.

PAVEMENT LEGEND:

- [Symbol] PROPOSED ASPHALT PAVEMENT
- [Symbol] EXISTING ASPHALT PAVEMENT
- [Symbol] PROPOSED 4" CONCRETE SIDEWALK
- [Symbol] PROPOSED CONCRETE PAVEMENT
- [Symbol] EXISTING CONCRETE SIDEWALK
- [Symbol] TYPE CG-1 CURB & GUTTER
- [Symbol] TYPE CG-1 CURB & GUTTER - DRY
- [Symbol] CONC. RIBBON CURB
- [Symbol] EXISTING CURB & GUTTER
- [Symbol] REMOVE EXISTING ASPHALT PAVEMENT
- [Symbol] REMOVE EXISTING CONC. CURB AND GUTTER

GRADING NOTES:

1. NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
2. RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
3. PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
4. ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
6. EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY SCHLAGEL AND ASSOCIATES, P.A. - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
7. ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACTOR. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
8. ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
9. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

PROJECT BENCHMARK:

MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148
EASTING: 2803318.5413

ELEV. 1004.09



1-800-344-7483 or 811
mo1call.com

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
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WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificate of Authority
#E2002003690-F #LAC2001005237 #LS2002008659-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review

DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/26/2020	PROJ. NUMBER: 20-106
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GRADING PLAN

SHEET

C2.0

LOT 3
COMMERCIAL-PHASE 2
E COMMUNITIES INC

LOT 5
COMMERCIAL-PHASE 2
TRACTS A&B
TOWER PARK DRIVE
NEW LONGVIEW LLC

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811
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PROJECT BENCHMARK:

MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
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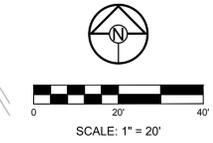
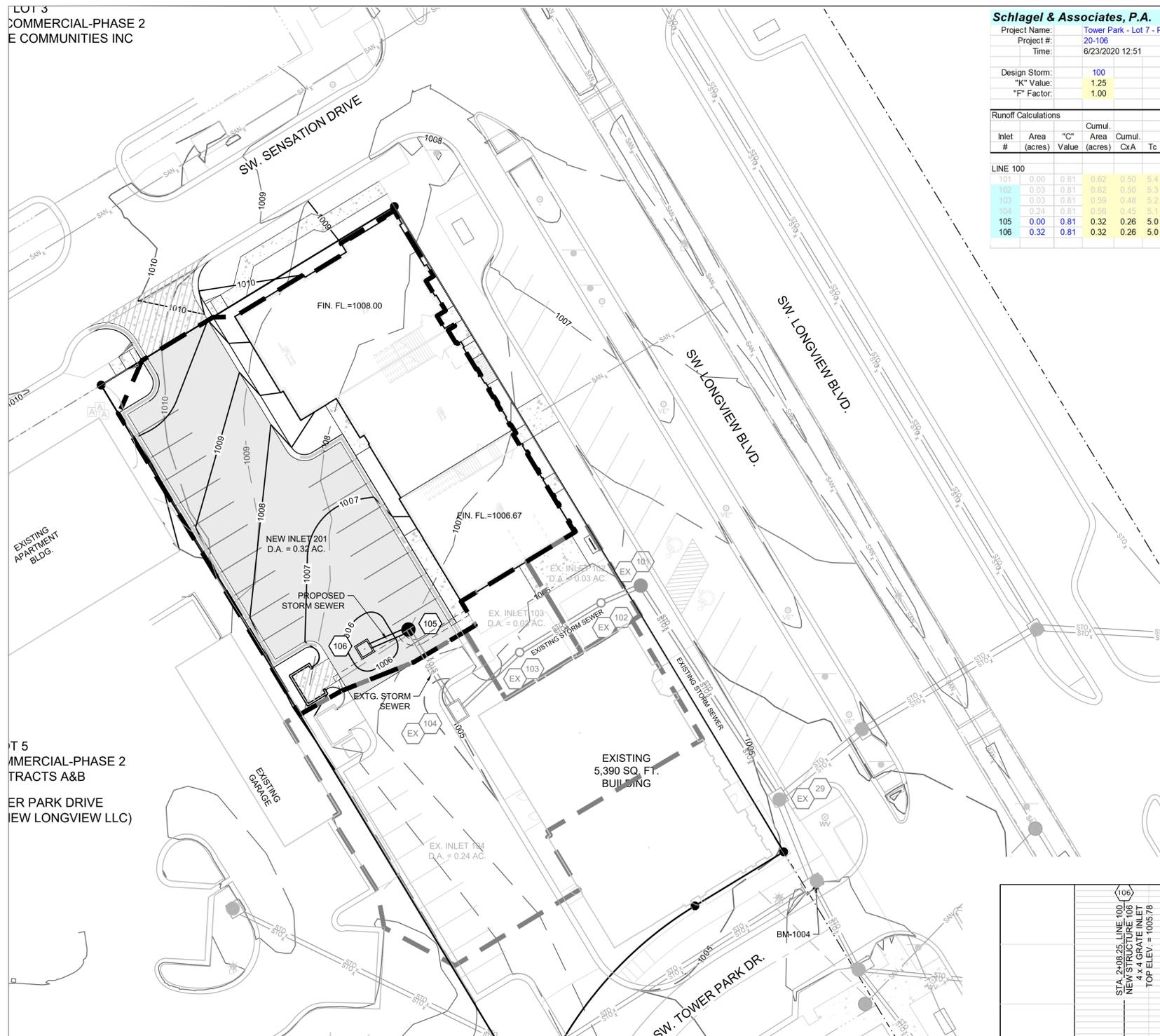
ELEV. 1004.09

Schlagel & Associates, P.A.

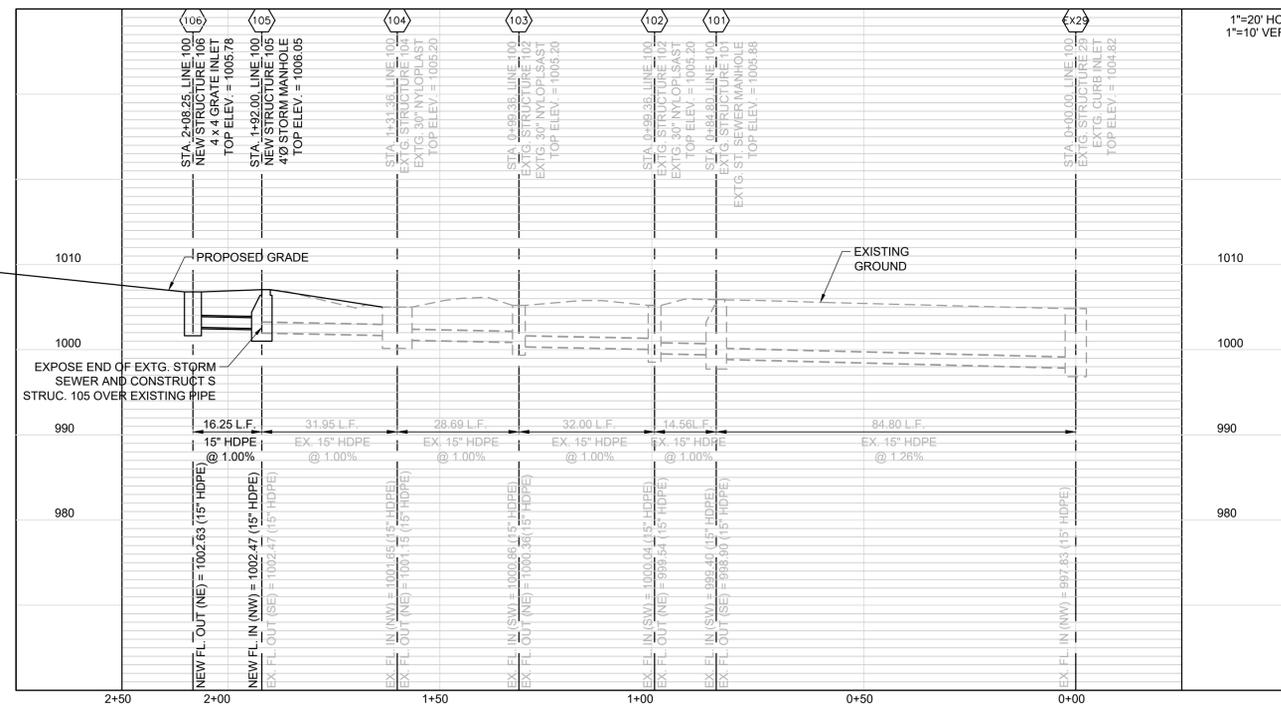
Project Name: Tower Park - Lot 7 - Phase 2
Project #: 20-106
Time: 6/23/2020 12:51
City: Lee's Summit
Curb Type: CG-1

Design Storm: 100
"K" Value: 1.25
"F" Factor: 1.00

Runoff Calculations										Pipe Properties															
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	To Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up CxA	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.
LINE 100																									
101	0.00	0.81	0.62	0.50	5.4	10.17	0.00	6.39	7.86	6.40		0.00	0.00	101	101	PEP	0.012	15	84.80	1.26	0.50	996.90	997.83	1005.58	1000.19
102	0.03	0.81	0.62	0.50	5.3	10.19	0.31	6.40	7.00	5.70		0.00	0.00	102	101	PEP	0.012	15	14.56	1.00	0.50	999.34	999.40	1005.20	1000.84
103	0.03	0.81	0.59	0.48	5.2	10.23	0.31	6.11	7.00	5.70		0.00	0.00	103	102	PEP	0.012	15	32.00	1.00	0.50	1000.36	1000.04	1005.20	1001.63
104	0.24	0.81	0.56	0.45	5.1	10.26	2.49	5.82	7.00	5.70		0.00	0.00	104	103	PEP	0.012	15	28.69	1.00	0.50	1001.15	1000.86	1005.00	1003.38
105	0.00	0.81	0.32	0.26	5.0	10.30	0.00	3.34	7.00	5.70		0.00	0.00	105	104	PEP	0.012	15	31.95	1.00	0.50	1001.97	1001.65	1006.05	1002.86
106	0.32	0.81	0.32	0.26	5.0	10.32	3.34	3.34	7.00	5.70		0.00	0.00	106	105	PEP	0.012	15	16.25	1.00	N/A	1002.63	1002.47	1005.75	1003.52



STORM LINE 100 PROFILE



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PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review

DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/26/2020	PROJ. NUMBER: 20-106
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STORM SEWER PLAN AND PROFILE

SHEET
C3.0

LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B
510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B

EROSION AND SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	2	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	3	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
B - MASS GRADING	4	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
C - UTILITY CONSTRUCTION	5	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED SILT FENCE REMOVED & REPLACE WITH #7 BELOW WITH PLACEMENT OF TOPS AND/OR STABILIZATION OF DRAINAGE AREAS.
D - AFTER PAVING OPERATIONS	7	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
	8	SILT FENCE (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	9	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT	10			ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

DISTURBED AREA = 0.40 A.C.

SITE SPECIFIC NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
- NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
- ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
- ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
- SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
- AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

LEGEND

	TEMPORARY STORAGE AREA FOR EXCESS MATERIAL		SILT FENCE (PRIOR TO LAND DISTURBANCE)
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA		SILT FENCE (DURING CONSTRUCTION)
	CONCRETE WASHOUT AREA		CONSTRUCTION FENCE
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS		LIMITS OF DISTURBANCE
	ROCK DITCH CHECK		EXISTING CONTOURS
	GRAVEL CURB INLET SEDIMENT TRAP		PROPOSED CONTOURS
	SILT SOCK / ROCK SOCK / SOCK WATTLE		STRAW BALE DITCH CHECK
	BMP PLAN REF. NO.		GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

PROJECT BENCHMARK:

MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148
EASTING: 2803318.5413

ELEV. 1004.09



1-800-344-7483 or 811
mo1call.com



SCALE: 1" = 20'



PREPARED BY:

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TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review

EROSION CONTROL PLAN

SHEET

C5.0

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
 PRELIMINARY DEVELOPMENT PLANS
 420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review

EROSION CONTROL DETAILS

SHEET

C6.0

Notes for Concrete Washout:

- Concrete washout areas shall be installed prior to any concrete placement on site.
- Concrete washout areas shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slope leading out of the subsurface pit shall be 2:1. The vehicle tracking mat shall be placed towards the concrete washout area.
- Vehicle tracking control is required at the access point to all concrete washout areas.
- Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
- A one-way stop sign may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

- Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
- Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
- Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
- Concrete washout areas shall remain in place until all concrete for the project is placed.
- When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and finished, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.

Notes for Construction Entrance:

- Avoid loading on steep slopes, at curves on public roads, or directly in disturbed areas.
- Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6" to 8" high ridge with 24" V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage efficiency along public roads.
- Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
- Divert all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

- Reshape entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
 STANDARD DRAWING NUMBER ESC-01
 ADOPTED: 10/24/2016

Notes:

- Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
- When inlet is completed and curbs poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
- Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

- Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
- Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
- Repair or replace as necessary to maintain function and integrity of installation.

EARLY STAGE CURB INLET
 (Open Box and Prior to Pouring Curb and Inlet Throat)

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 CURB INLET PROTECTION
 STANDARD DRAWING NUMBER ESC-06
 ADOPTED: 10/24/2016

Notes:

- In order to contain water, the ends of the silt fence must be turned up (Figure A).
- Long perimeter runs of silt fence must be broken up into several smaller segments to minimize water concentrations (Figure A).
- Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
- Attach fabric to upstream side of post.
- Install posts a minimum of 2' into the ground.
- Trenching will only be allowed for small or difficult installations, where slicing machine cannot be reasonably used.

Maintenance:

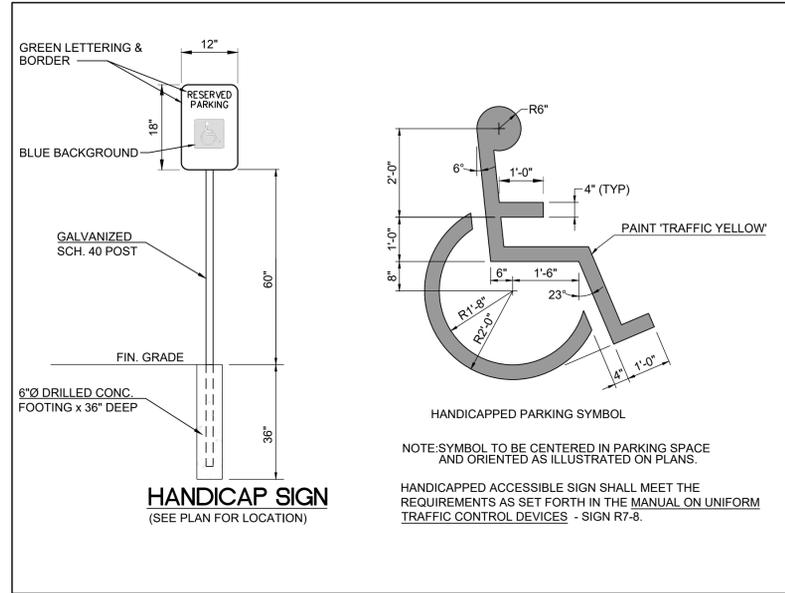
- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
- Repair as necessary to maintain function and structure.

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 SILT FENCE
 STANDARD DRAWING NUMBER ESC-03
 ADOPTED: 10/24/2016

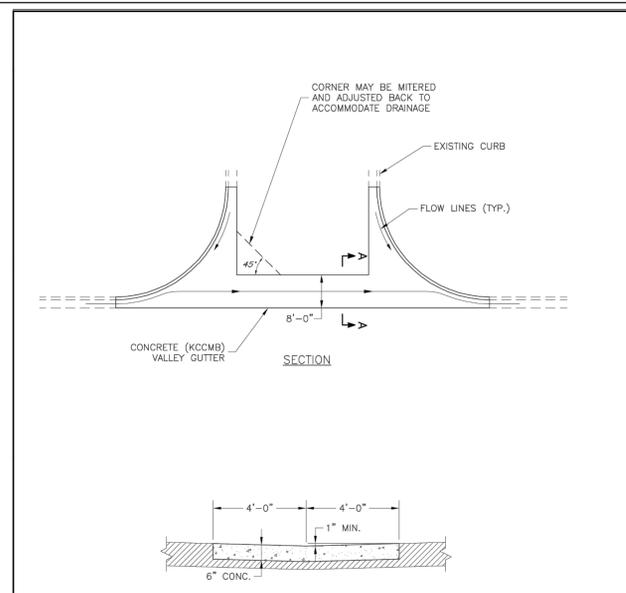
Notes:

- Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
- Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
- Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
- Wire reinforced silt fence may be used in place of silt fence attached to wood frame.

AMERICAN PUBLIC WORKS ASSOCIATION
 KANSAS CITY METRO CHAPTER
 AREA INLET AND JUNCTION BOX PROTECTION
 STANDARD DRAWING NUMBER ESC-07
 ADOPTED: 10/24/2016



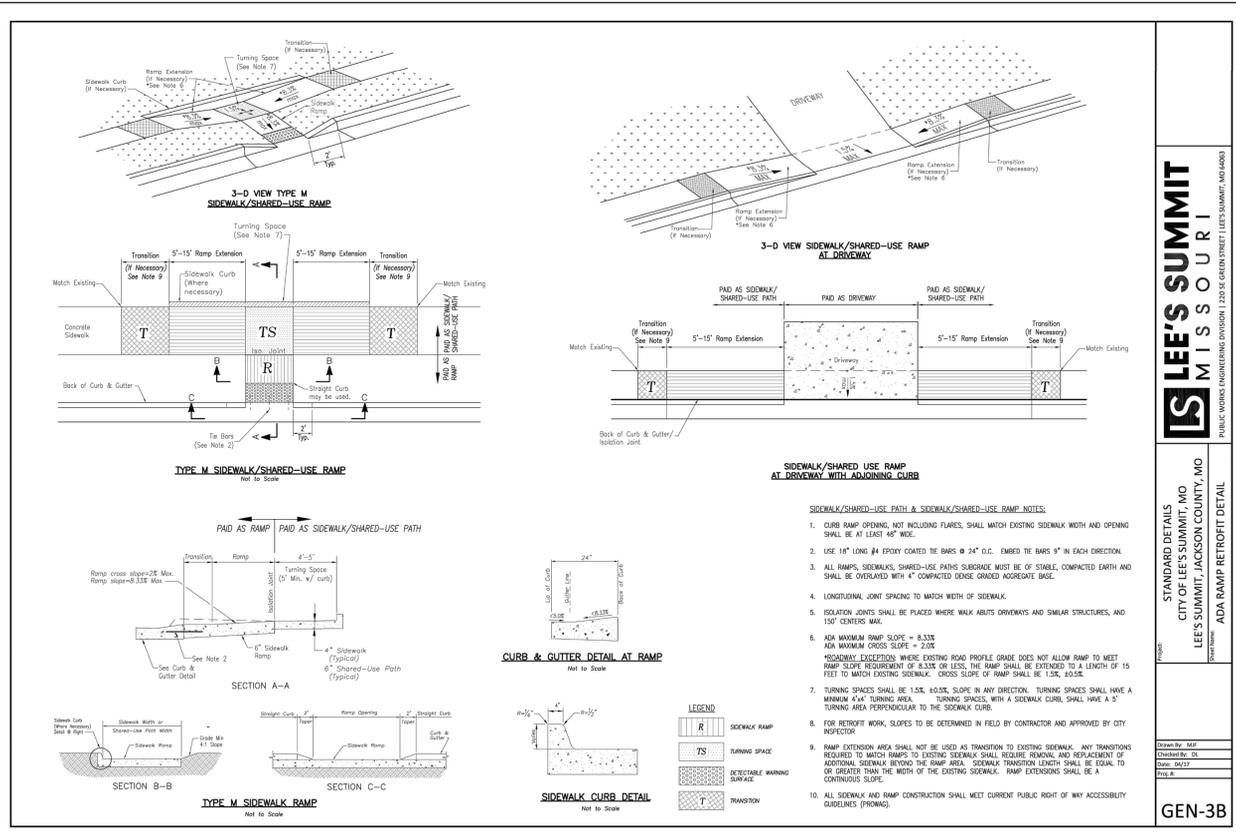
TYPICAL HANDICAPPED PARKING DETAILS



LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Drawn By: AMF
Checked By: DL
Date: 04/17

GEN-7



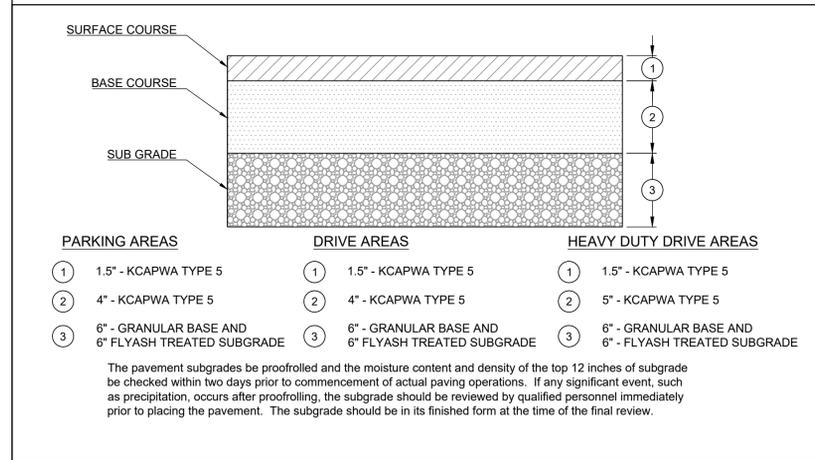
LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Standard Details
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

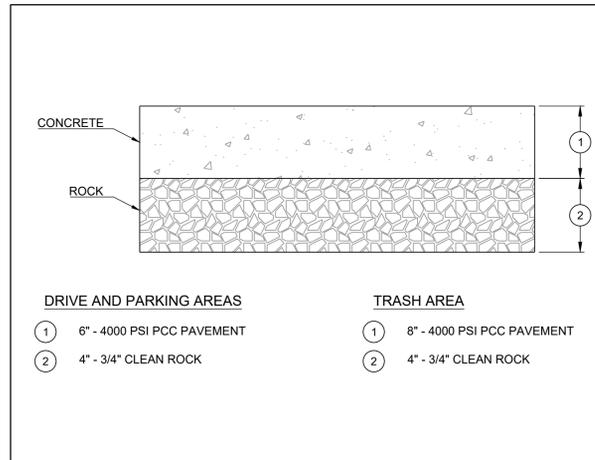
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GEN-3B

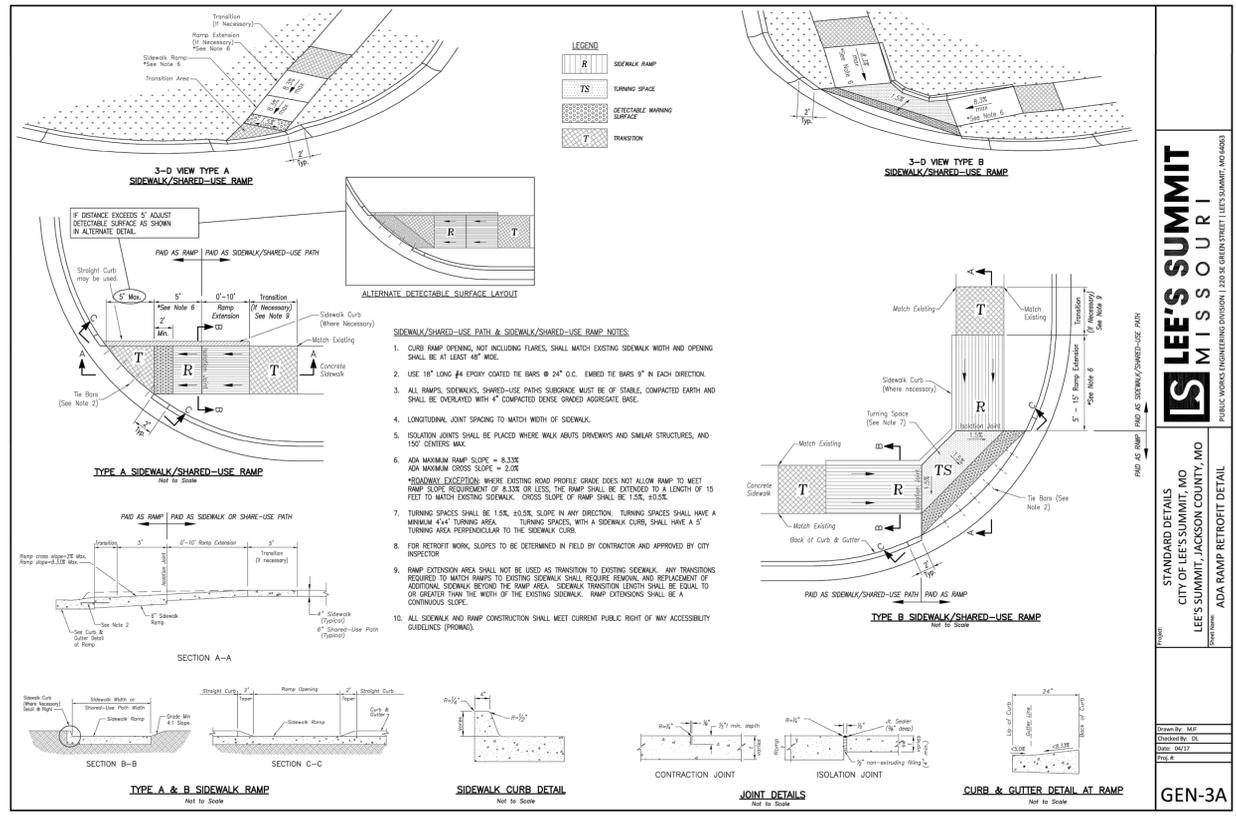
PREPARED BY:
SCHLAGEL & ASSOCIATES, P.A.



ASPHALT PAVEMENT SECTION



CONCRETE PAVEMENT SECTION

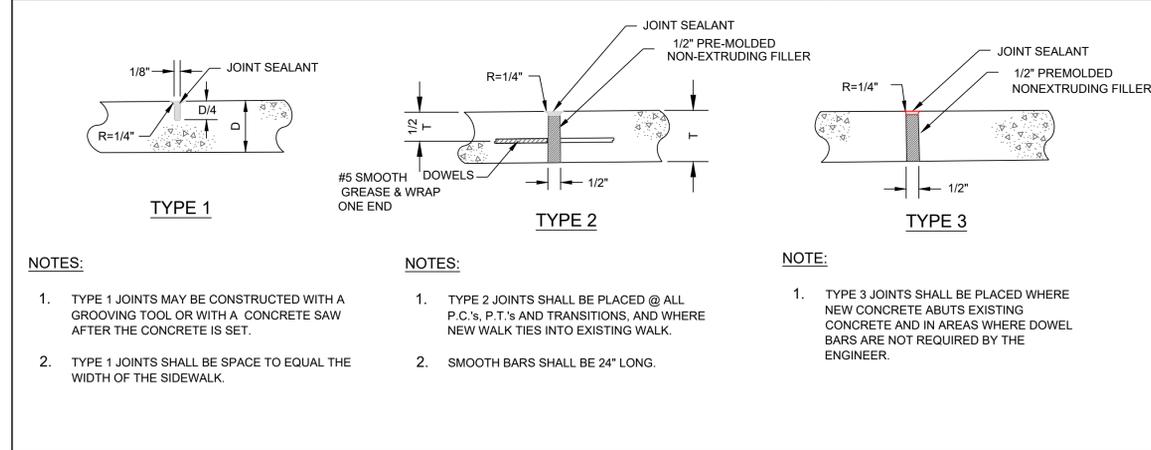


LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Standard Details
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: AMF
Checked By: DL
Date: 04/17
File #:

GEN-3A



TYPICAL CONCRETE PAVEMENT - JOINT DETAILS

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review
DRAWN BY:	###
CHECKED BY:	###
DATE PREPARED:	07/26/2020
PROJ. NUMBER:	200-106
PAVEMENT DETAILS	
SHEET	
C8.0	

LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B
510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

EXISTING
5,390 SQ. FT.
BUILDING

PROPOSED BUILDING
2-STORY
1st Floor = 5,985 S.F.
2nd Floor = 4,250 S.F.
Total = 10,235 S.F.

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW)

LOT 6
TOWER PARK COMMERCIAL-PHA
LOTS 5,6,7, TRACTS A&B

SHADE TREES	
ZSM	6 EA. Zelkova serrata 'Musashino' Musashino Columnar Zelkova 2.5" Cal. B&B
ORNAMENTAL TREES	
PSK	1 EA. Prunus serrulata 'Kwansan' Kwansan Flowering Cherry 1.5" Cal. B&B
EVERGREEN TREES	
JCSP	3 EA. Juniperus chinensis 'Spartan' Spartan Juniper 6' ht. B&B
SHRUBS	
BGV	27 EA. Buxus x 'Green Velvet' Green Velvet Boxwood 5 gal. Cont.
BSM	8 EA. Buxus sempervirens 'Monrue' Plant Patent #15,243 Green Tower Boxwood 5 gal. Cont.
CCJ	7 EA. Caryopteris x clandonensis 'Janice' PPAF Lil Miss Sunshine™ Bluebeard 5 gal. Cont.
VPS	5 EA. Viburnum plicatum tomentosum 'Summer Snowflake' Summer Snowflake Viburnum 5 gal. Cont.

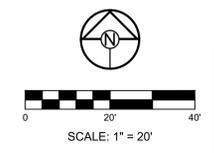
- NOTES:**
- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
 - QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
 - ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
 - ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
 - ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
 - ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
 - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
 - ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
 - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
 - THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
 - INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
 - ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
 - AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
 - ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
 - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



PROJECT BENCHMARK:
MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER
PARK DRIVE AND SW. LONGVIEW BOULEVARD.
NORTHING: 998893.4148
EASTING: 2803318.5413
ELEV. 1004.09

1-800-344-7483 or 811
mo1call.com



SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificate of Authority
#E20200203690-F #LAC201005237 #LS202008695-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
PRELIMINARY DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

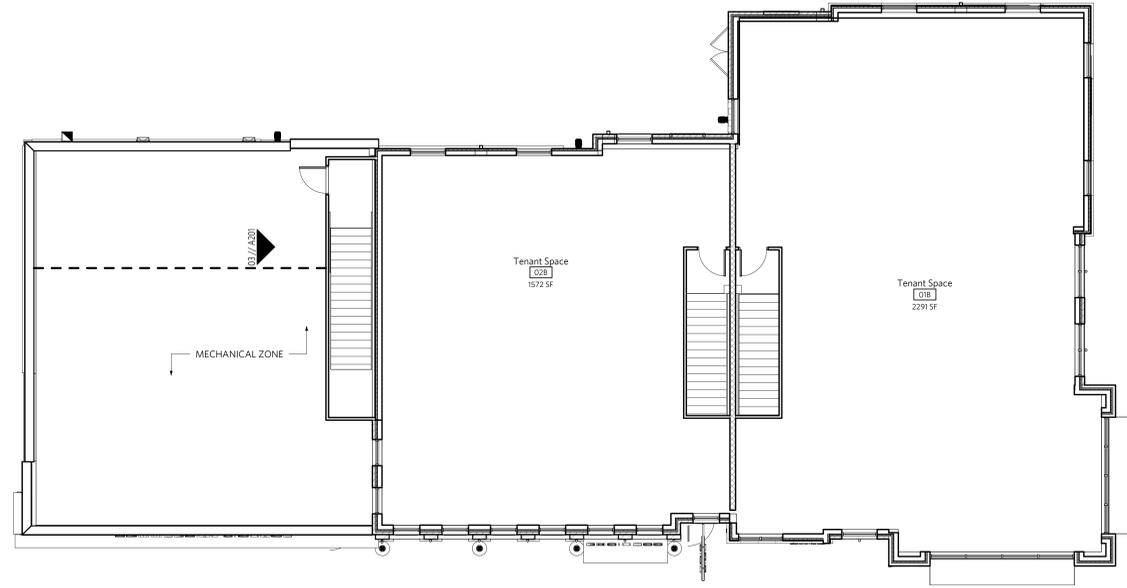
REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review

DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/26/2020	PROJ. NUMBER: 20-106
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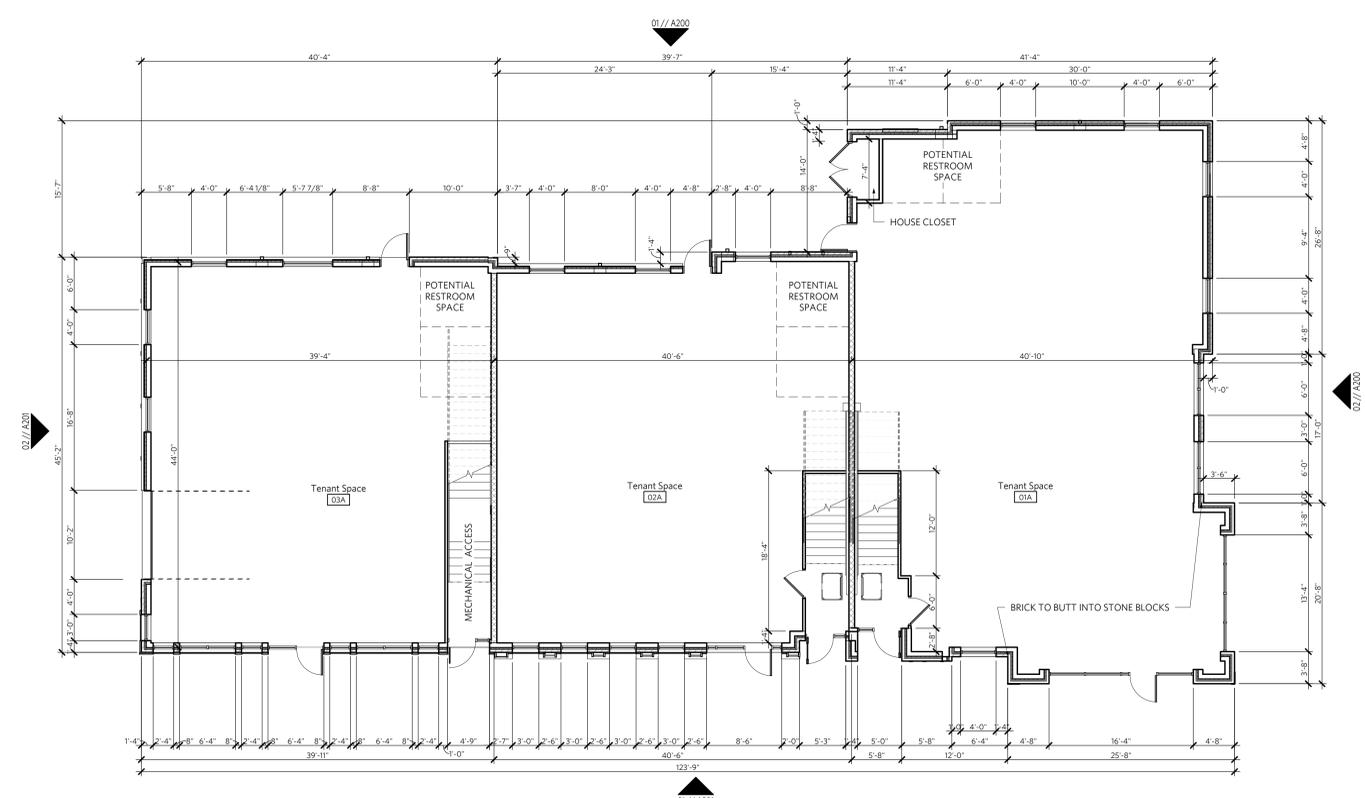
LANDSCAPE PLAN
SHEET
L1.0

GENERAL NOTES-FLOOR PLAN

1. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
3. CONFIRM DIMMERS AND SWITCHING WITH MEP.
4. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
5. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
6. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°.
7. ALL WALLS TO BE FT WALL TYPE UNLESS TAGGED OTHERWISE.
8. ALL FLOOR PLAN DIMENSIONS ARE FROM FINISH FACE.

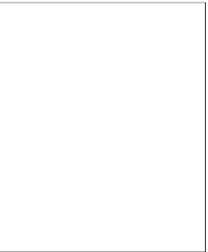


2 SECOND FLOOR PLAN
1/8" = 1'-0"



01 FIRST FLOOR PLAN
1/8" = 1'-0"

LOT 7, BUILDING 31
3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081



REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

EXTERIOR MATERIAL LEGEND

- A** PAINTED SYNTHETIC CLADDING
CONTRACTOR OPTION
USED TO RECREATE TRADITIONAL WOOD CLADDING
COLOR TBD
 - B** FACE BRICK
AS MANUFACTURED BY ENDICOTT CLAY PRODUCTS
& DISTRIBUTED BY KC BRICK.
COLOR TO BE:
B1- SARAH SANDS
B2- BURGANDY SANDS
B3- LIGHT GREY BLEND
B4- SIENNA IRONSPOT
 - C** ARCHITECTURAL MASONRY UNIT
CORDOVA STONE AS MANUFACTURED BY TRENWYTH.
C1- ALABASTER - COMBO GROUNDFACE /
CHISEL FACE.
SIZE TO BE: 4"x16"x24"
C2- BUFF - GROUND FACE
SIZE TO BE: 4"x16"x24"
C3- MIDNIGHT - GROUND FACE
SIZE TO BE: 4"x8"x24"
 - D** FIBER CEMENT PANELS
SIM TO NICHHA - ILLUMINATION
COLORS BASED ON SHERWIN WILLIAMS
TAN - SW 7038 BALANCED BEIGE
BLACK - SW 7069 IRON ORE
 - E** FIBER CEMENT SIDING
SIM TO NICHHA - SAVANAH SMOOTH
COLORS BASED ON SHERWIN WILLIAMS
BLACK - SW 7069 IRON ORE
GREY - SW 7017 DORIAN GRAY
GREEN - SW 6179 ARTICHOKE
 - F** FIBER CEMENT SIDING
SIM TO NICHHA - VINTAGE WOOD
COLOR TO BE CEDAR
 - G** CAST STONE DETAILING
COLOR SELECTED FROM SAMPLES
 - H** METAL COPING
COLOR TO BE DARK BRONZE & PARCHMENT
NOTE: COLOR BASED ON STANDARD BERRIDGE
COLORS. ACTUAL COPING COLOR NAME MAY
DIFFER
 - J** CANOPY SOFFIT
V-PANEL AS MANUFACTURED BY BERRIDGE.
COLOR TO BE CHARCOAL
(OR SIM)
 - K** METAL PANEL
B-6 AS MANUFACTURED BY BERRIDGE.
COLOR TO BE MATTE BLACK
(OR SIM)
- NOTE:
ALL PRE-FINISHED METAL FLASHING, SHEET
METAL, & OTHER FLASHING REQ'D BETWEEN
MATERIAL CHANGES OR CANOPY OR ROOF
TRANSITIONS TO BE SIMILAR IN COLOR TO
BERRIDGE'S DARK BRONZE - UNO
- SUBMIT SAMPLES ON ALL EXTERIOR
MATERIALS LISTED ABOVE FOR ARCHITECTS
APPROVAL.

GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW), RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



02 | DD - NORTH ELEVATION
1/4" = 1'-0"



01 | DD - WEST ELEVATION
1/4" = 1'-0"

LOT 7, BUILDING 31
3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081

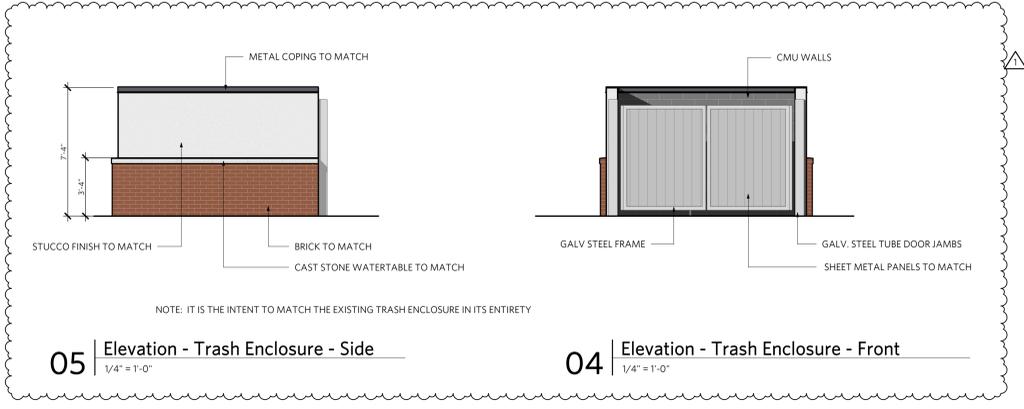
REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

EXTERIOR ELEVATIONS

A200

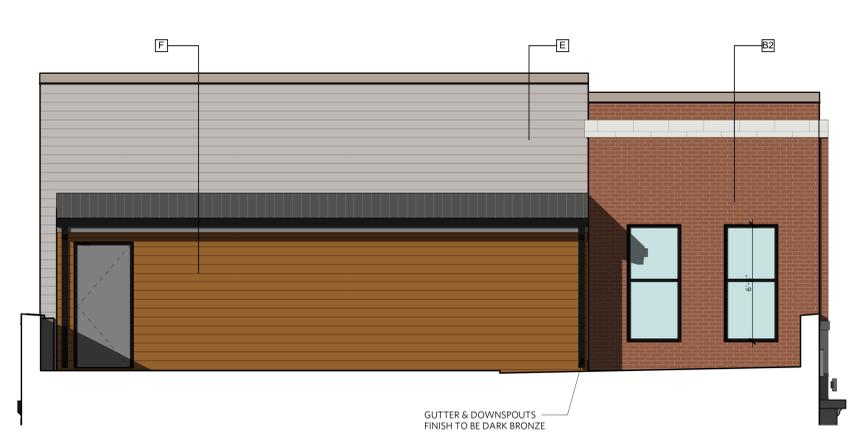
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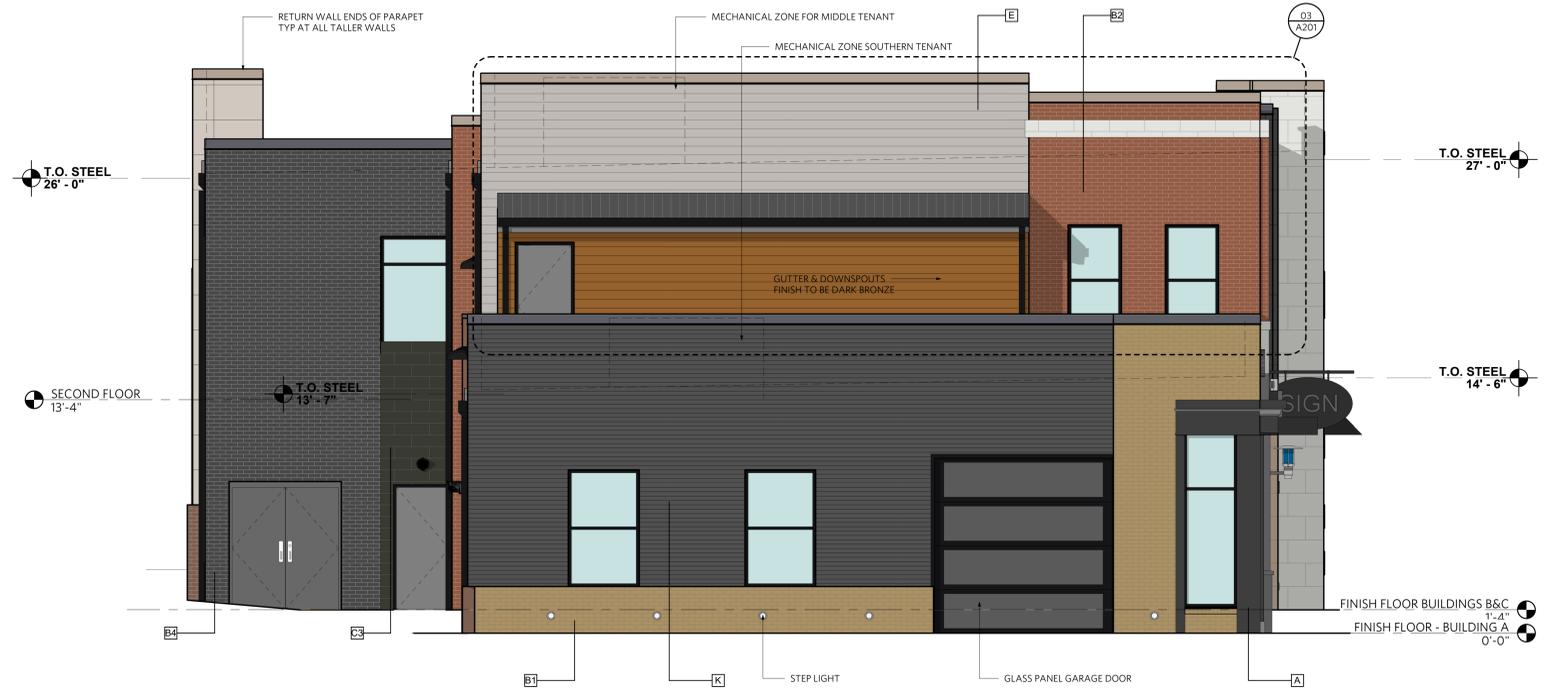


05 Elevation - Trash Enclosure - Side
1/4" = 1'-0"

04 Elevation - Trash Enclosure - Front
1/4" = 1'-0"



03 Elevation - Mechanical Access Stair
1/4" = 1'-0"

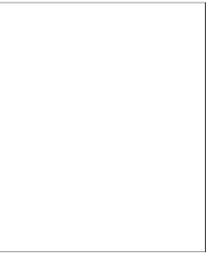


02 SOUTH ELEVATION
1/4" = 1'-0"



01 EAST ELEVATION
1/4" = 1'-0"

LOT 7, BUILDING 31
3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081



REV	ISSUE	DATE
1	PDP SUBMITTAL PDP Review	08.06.2020 08.26.2020

EXTERIOR ELEVATIONS

A201



LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEE'S SUMMIT, MO 64081

REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

EXTERIOR IMAGERY

A210