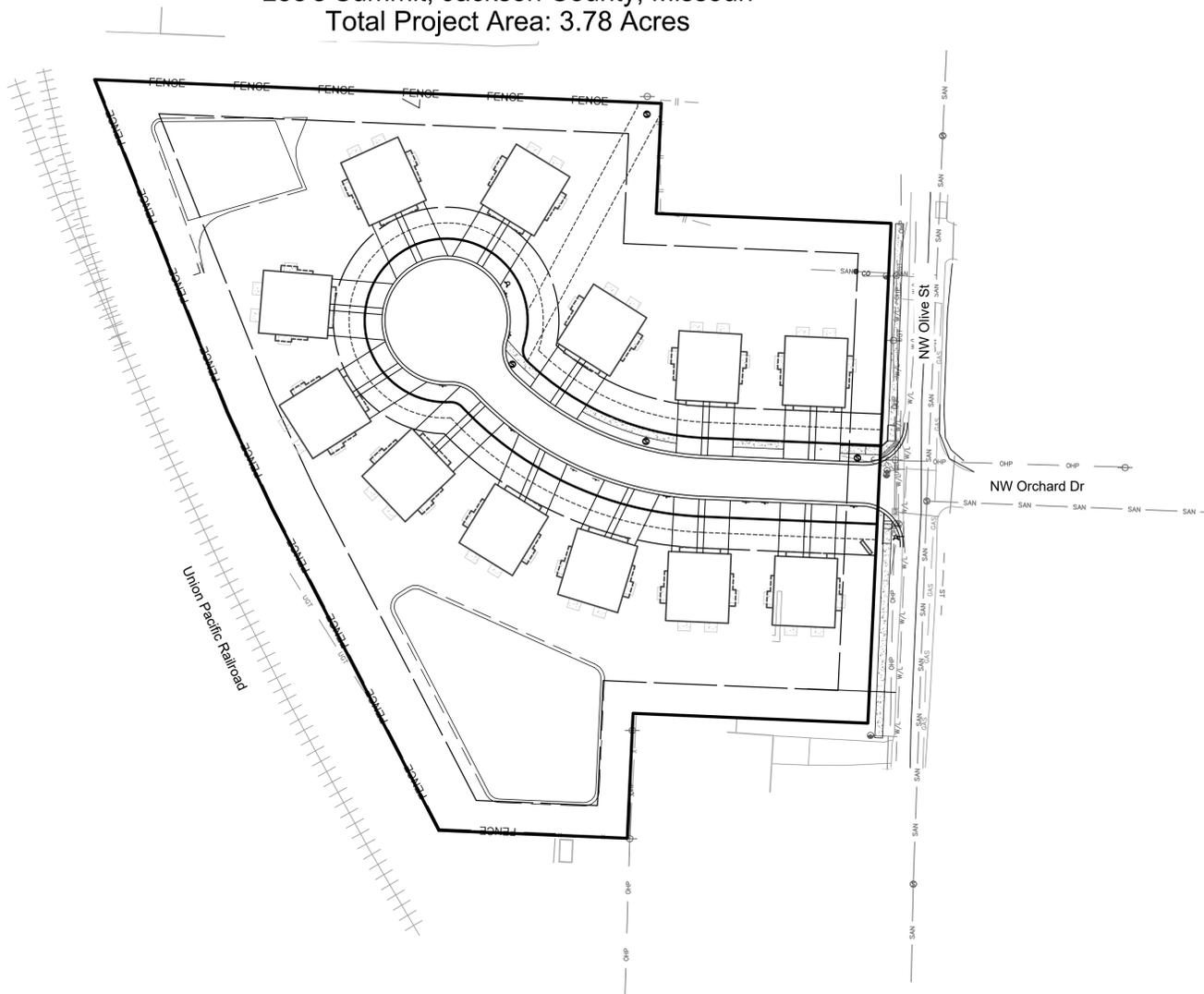
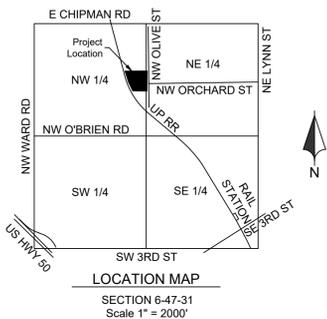


Preliminary Development Plans For
Sequoia
 Lee's Summit, Jackson County, Missouri
 Total Project Area: 3.78 Acres



Sheet List Table	
Sheet Number	Sheet Title
C01	Cover Sheet
C02	Existing Conditions
C03	General Layout
C04	Grading Plan
C05	Utility Plan
C06	Hydrant Coverage
C07	Drainage Map
C08	Erosion Control Phase I
C09	Erosion Control Phase II
C10	Erosion Control Phase III
L01	Landscape Plan
L02	Separate Schedules 1
L03	Separate Schedules 2
L04	Landscape Notes & Details



Know what's below.
 Call before you dig.

UTILITIES

WATER & SANITARY SEWER
 City of Lee's Summit Water Utilities
 220 SE Green St
 Lee's Summit, MO
 Phone: 816.969.1900
 After Hours: 816.969.7407

TELEPHONE
 AT&T
 2121 E 63rd St., C101
 Kansas City, MO 64130
 Darrin Shepard
 Mgr OSP Planning and
 Engineering Design Office
 Phone: 816.772.0336
 Email: ds616h@att.com

ELECTRIC
 Evergy
 Ron DeJarnette
 401 SE Bailey Rd.
 Lee's Summit, MO 64080
 Phone: 816-347-4316
 Email: Ron.DeJarnette@kcpl.com

CABLE TV
 Charter/Spectrum
 8221 W 119th St
 Overland Park, KS 66213
 Troy Prewitt
 Construction Coordinator II
 Cable Management Inc.
 Phone: 816-401-3573
 Email: troy.prewitt@charter.com

GAS
 Spire Energy
 3025 SE Clover Dr
 Lee's Summit, MO 64082
 Katelynn Liberty
 Construction Engineer I
 Phone: 816.260.6581
 Email: katelynn.liberty@spireengery.com

BENCHMARK:
BM-A: 1.0 mi NW along the Missouri Pacific Railroad from the station at Lee's Summit, at the crossing of Sheer Road, 86 ft southeast of the center line of Sheer Road, 36 ft northeast of the northwest rail, 28.4 ft southeast of a telephone pole, 697 ft southwest of a fence, 1.8 ft west of a witness post, set in the top of a concrete post which projects 0.3 ft above the ground. Elev: 994.87

BM-B: 1.3 mi N along the Missouri Pacific Railroad from the station at Lee's Summit, Jackson County, at semaphore 2611, on the top of the concrete base, and 10 ft east of the track. A chiseled square. Elev: 971.80

CONTROL POINTS
CP-1: Station JA-51
 The station is about 0.5 miles west of the intersection of highway 50 and I-470 in the NW part of Lee's Summit at Lowenstien Park. It is 137.5 ft SW of the center of NW Lowenstien Rd; 39 ft SE of the center of NW Blacktwig Ln. and 84.9 ft E of a nail and shiner in a power pole.
 N: 306638.907
 E: 857091.827
CP-2: Station JA-136
 The station is located near the intersection of Hwy 50 and 3rd St. It is located near the intersection of SW Oldham Pkwy and SW Ward Rd.; 61 ft S of the center of SW Oldham Rd.; 28.9 ft E of the E edge of SW Ward Rd.; 38.1 ft NE of an angle point in the curb and 43.9 ft. W of an angle point in the curb.
 N: 304466.750
 E: 859083.036

GENERAL NOTES

- All construction shall follow the City of Lee's Summit Design and Construction Manual as adopted by Ordinance 5813. Where discrepancies exist between the Preliminary Development Plan and the Design and Construction Manual, the Design and Construction Manual shall govern.
- The contractor will be responsible for securing all bonds, and insurance required by the contract documents, City of Lee's Summit, Mo., and all other governing agencies (including local, county, state, and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all bonds, and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his/her expense.
- The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his/her expense.
- The demolition of existing pavement, curbs, structures, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state, and federal regulations.
- By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
- Contractor shall furnish evidence that his/her insurance meets the requirements of the City of Lee's Summit, Missouri Municipal Code.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage systems to the storm sewer), contact Lee's Summit Inspections.
- Connections to the public storm sewers between structures will not be permitted.
- Contractor shall verify and accept existing topography shown herein. Contractor shall notify Engineer if any discrepancies are found prior to any earthwork activities.
- Planning and Codes Administration will require a retaining wall design by a registered engineer in the State of Missouri.
- Geo-grid, footings, or other elements of the retaining wall(s) cannot encroach into the right of way or public easements.
- A Knox Box shall be provided for Each Building.
- All building and life safety issues shall comply with the 2012 International Fire Code and local amendments as adopted by the City of Lee's Summit.



Description:

Tract I:
 Lot 22, and 23, HEARNE'S ADDITION, a subdivision in Lee's Summit, Jackson County, Missouri, EXCEPT the South 8 feet of the West 50 feet of Lot 22 and also EXCEPT, the South 8 feet of Lot 23, and ALSO EXCEPT the South 88 feet of the East 150 feet of Lot 22, together with the South 1/2 of vacated Orchard Street lying North of and Adjacent to the said premises in questions.

Tract II:
 Lots 1, 2, and 3, EXCEPT the North 140 feet of the East 150 feet of Lot 3, HEARNE'S ADDITION, (aka/ HEARNE'S FIRST ADDITION) and the North Half of vacated Orchard Street lying South and adjacent, a subdivision in Lee's Summit, Jackson County, Missouri.

Tract III:
 All that part of Lot 3, HEARNE'S ADDITION to Lee's Summit, Jackson County, Missouri, described as follows: Beginning at a point 70 feet South of the Northeast corner of said Lot 3; thence South 65 feet; thence West 150 feet; thence North 65 feet; thence East 150 feet to the point of beginning.

Containing 164,714.19 square feet or 3.781 acres, more or less.

Common Property:

All common property and common property maintenance plans shall be maintained in accordance with Article 5, Division V of the City of Lee's Summit Unified Development Ordinance. The homeowners association shall have ownership and responsibility of common property and common property maintenance plan revisions.

Oil / Gas Well Note:

There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri." (Figure B-4, pg. 91)

Flood Plain Note

We have reviewed the F.E.M.A. Flood Insurance Rate Map Number 29095C0417G, revised January 20, 2017, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

NO.	BY	DATE	REVISION
1	JGD	MES 02/07/20	PER CITY COMMENTS
2	JGD	MES 01/15/20	PER CITY COMMENTS
1	JGD	MES 12/11/19	ORIGINAL SUBMITTAL

Renaissance Infrastructure Consulting
 1815 MCCREE STREET, SUITE 200
 KANSAS CITY, MISSOURI 64108
 816.800.0950
 WWW.RIC-CONSULT.COM

NOT FOR
 CONSTRUCTION

File: 05_2020-2-09p.m
 P:\AUG Design\01818\0251_Burton_Townhomes\Lee's Summit\Design\PD\01-Cover_Sheet.dwg

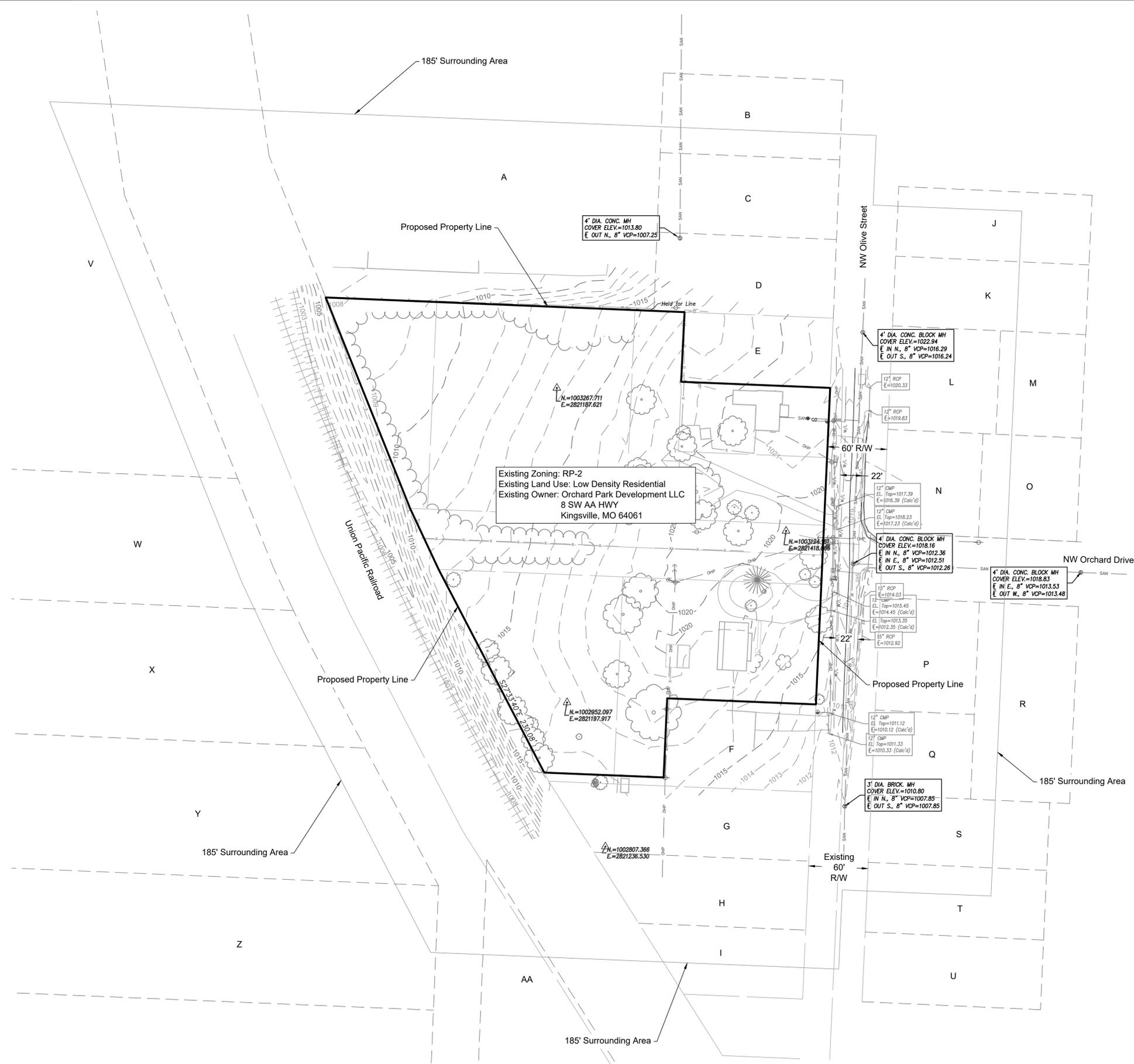
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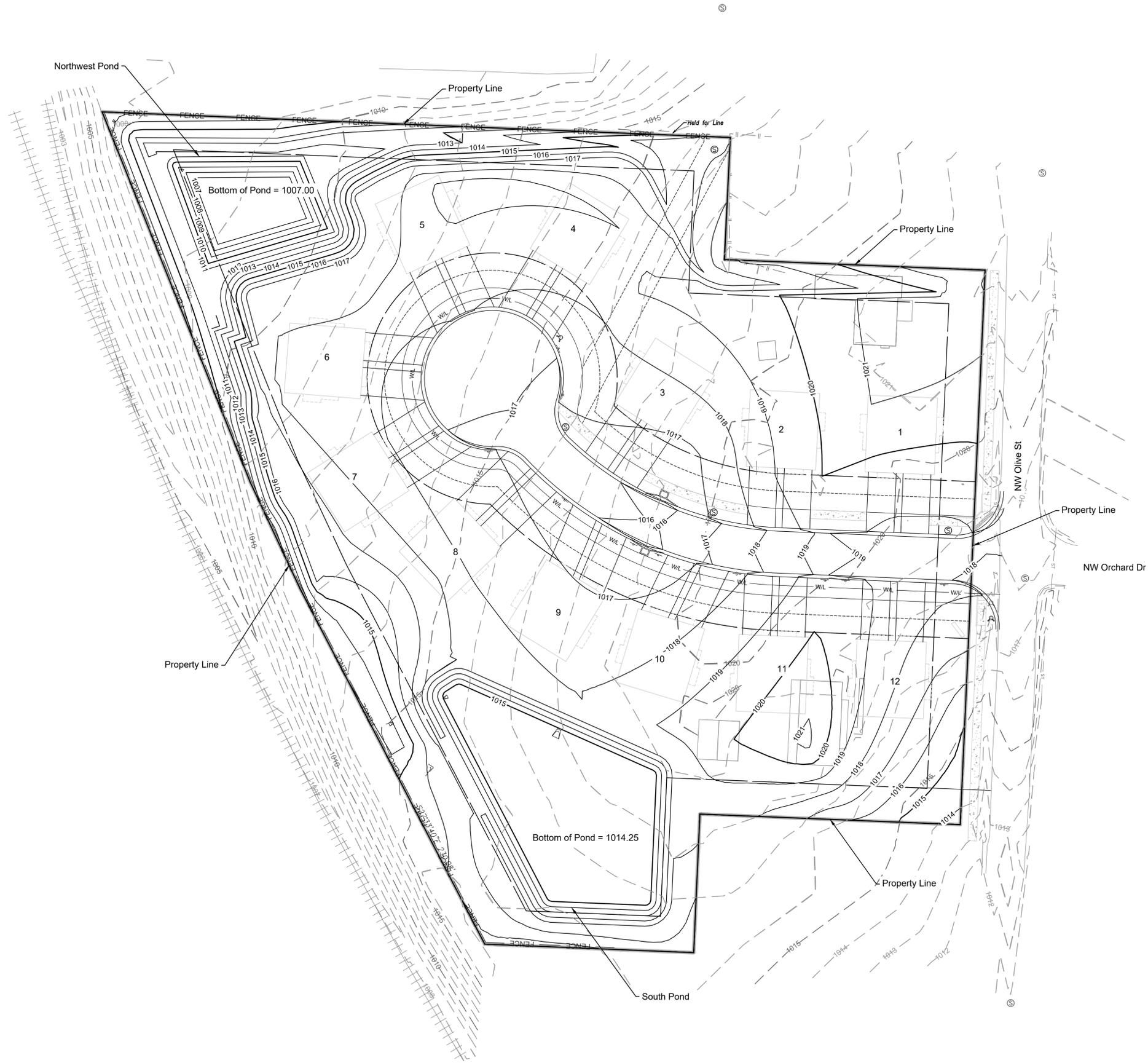
Zoning	Land Use	Ownership
A	PI 3216 - Wholesale Trade	221 NW CHIPMAN ROAD LLC 110 N GRAND AVE MARYVILLE MO 64468
B	RP-2 1120 - Duplex	BURNETT INVESTMENTS LLC 4621 NW BIRKDALE CT LEES SUMMIT MO 64064
C	RP-2 1120 - Duplex	BRAY-MAGEE CHERIE 1210 E LUCY WEBB RD RAYMORE MO 64083-9422
D	RP-2 1120 - Duplex	BURNETT INVESTMENTS LLC 4621 NW BIRKDALE CT LEES SUMMIT MO 64064
E	RP-2 1110 - Single Family Residence	STEWARDSHIP INVESTMENTS LLC 7215 TROOST AVE KANSAS CITY MO 64131
F	RP-2 1110 - Single Family Residence	SANDY WILLIAM R JR & MICHELLE C 31205 E 179TH ST PLEASANT HILL MO 64080
G	RP-2 1110 - Single Family Residence	PEOPLES DIANNA L & PAUL S 404 NW OLIVE ST LEES SUMMIT MO 64063-1949
H	RP-2 1110 - Single Family Residence	VANBEBBER RALPH & PATSY C 701 SW MURRAY LEES SUMMIT MO 64081
I	RP-2 1110 - Single Family Residence	REDMON ALBERT D 400 NW OLIVE ST LEES SUMMIT MO 64063
J	RP-2 1100 - Single Family Residence	TAYLOR MICHAEL S & KAREN L 509 NW OLIVE ST LEES SUMMIT MO 64063
K	RP-2 1110 - Single Family Residence	FORESTER HEATHER 507 NW OLIVE ST LEES SUMMIT MO 64063
L	RP-2 1120 - Duplex	LW PROPERTIES LLC 612 NE ENGLISH MANOR DR UNIT D LEES SUMMIT MO 64086
M	RP-2 1120 - Duplex	LW PROPERTIES LLC 612 NE ENGLISH MANOR DR UNIT D LEES SUMMIT MO 64086
N	RP-2 1110 - Single Family Residence	MATSON AMY 106 NW ORCHARD DR LEES SUMMIT MO 64063
O	RP-2 1120 - Duplex	SEILER TIM & MACHELL 224 SW SEAGULL CT LEES SUMMIT MO 64082
P	RP-2 1110 - Single Family Residence	NEWMAN JANICE 109 NW ORCHARD DR LEES SUMMIT MO 64063
Q	RP-2 1110 - Single Family Residence	MCCLINTOCK CATHY D 407 NW OLIVE LEES SUMMIT MO 64063
R	RP-2 1110 - Single Family Residence	NEILL TRACEY A & TANA M 107 NW ORCHARD DR LEES SUMMIT MO 64063
S	RP-2 1110 - Single Family Residence	POSEY CAROL S 405 NW OLIVE ST LEES SUMMIT MO 64063
T	RP-2 1110 - Single Family Residence	LONG ERIC & ZEHNDER LINDSAY 403 NW OLIVE ST LEES SUMMIT MO 64063
U	RP-2 1100 - Single Family Residence	FARNAM HARVIE L & SHARON L 401 NW OLIVE ST LEES SUMMIT MO 64063-1948
V	PI 2290 - Mini Warehouse	STOW IT ASSOCIATED LLC 4400 SHAWNEE MISSION PKWY STE 209 SHAWNEE MISSION, KS 66205
W	RP-1 1110 - Single Family Residence	PJCJ DONOVAN LLC 2709 SW REGAL DR LEES SUMMIT MO 64082
X	RP-1 1100 - Single Family Residence	NICHOLS TENA R & JOHNNIE J 501 NW DONOVAN RD LEES SUMMIT MO 64063
Y	RP-1 1100 - Single Family Residence	FARHNER MARK 201 TUSCARORA LN LAKE WINNEBAGO MO 64034
Z	RP-1 1100 - Single Family Residence	FARHNER MARK & FARHNER DAROLD 201 TUSCARORA LN LAKE WINNEBAGO MO 64034
A	RP-1 1100 - Single Family Residence	FARHNER MARK D & FARHNER DAROLD 201 TUSCARORA LN LAKE WINNEBAGO MO 64034



Existing Zoning: RP-2
Existing Land Use: Low Density Residential
Existing Owner: Orchard Park Development LLC
8 SW AA HWY
Kingsville, MO 64061

NOTE:
Existing Property Lines are for reference only.





Legend

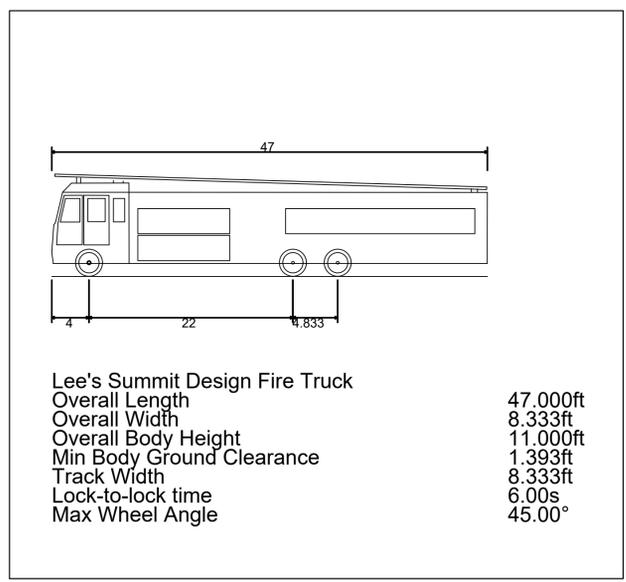
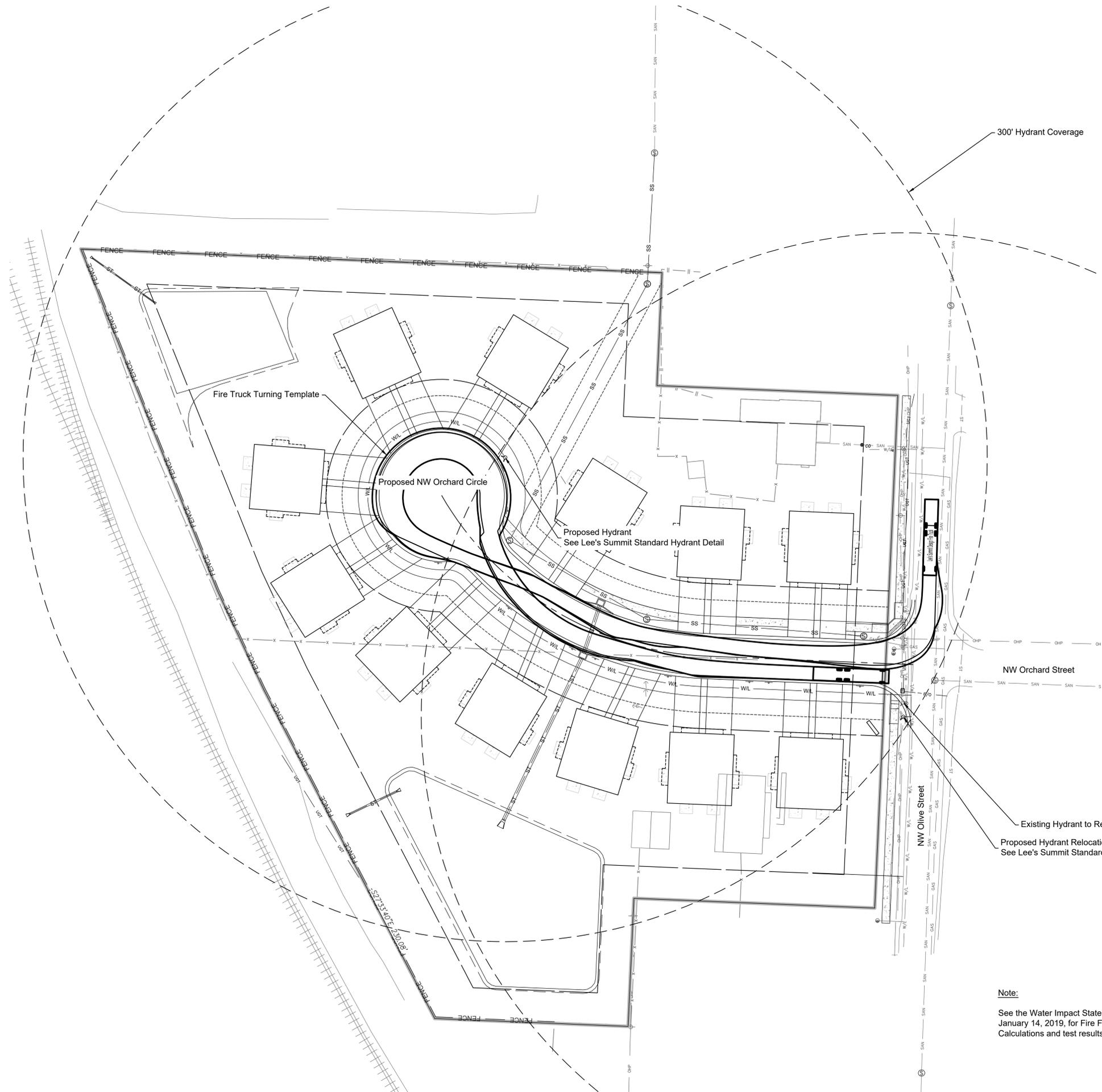
- Proposed Major Contour
- - - Proposed Minor Contour
- Existing Major Contour
- - - Existing Minor Contour



Grading Plan

NO.	BY	CD	DATE	REVISION
3	JGD	MES	02/07/20	PER CITY COMMENTS
2	JGD	MES	01/15/20	PER CITY COMMENTS
1	JGD	MES	12/11/19	ORIGINAL SUBMITTAL

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 816.800.0950
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300' Hydrant Coverage

Fire Truck Turning Template

Proposed NW Orchard Circle

Proposed Hydrant
 See Lee's Summit Standard Hydrant Detail

NW Orchard Street

NW Olive Street

Existing Hydrant to Remain

Proposed Hydrant Relocation
 See Lee's Summit Standard Hydrant Detail

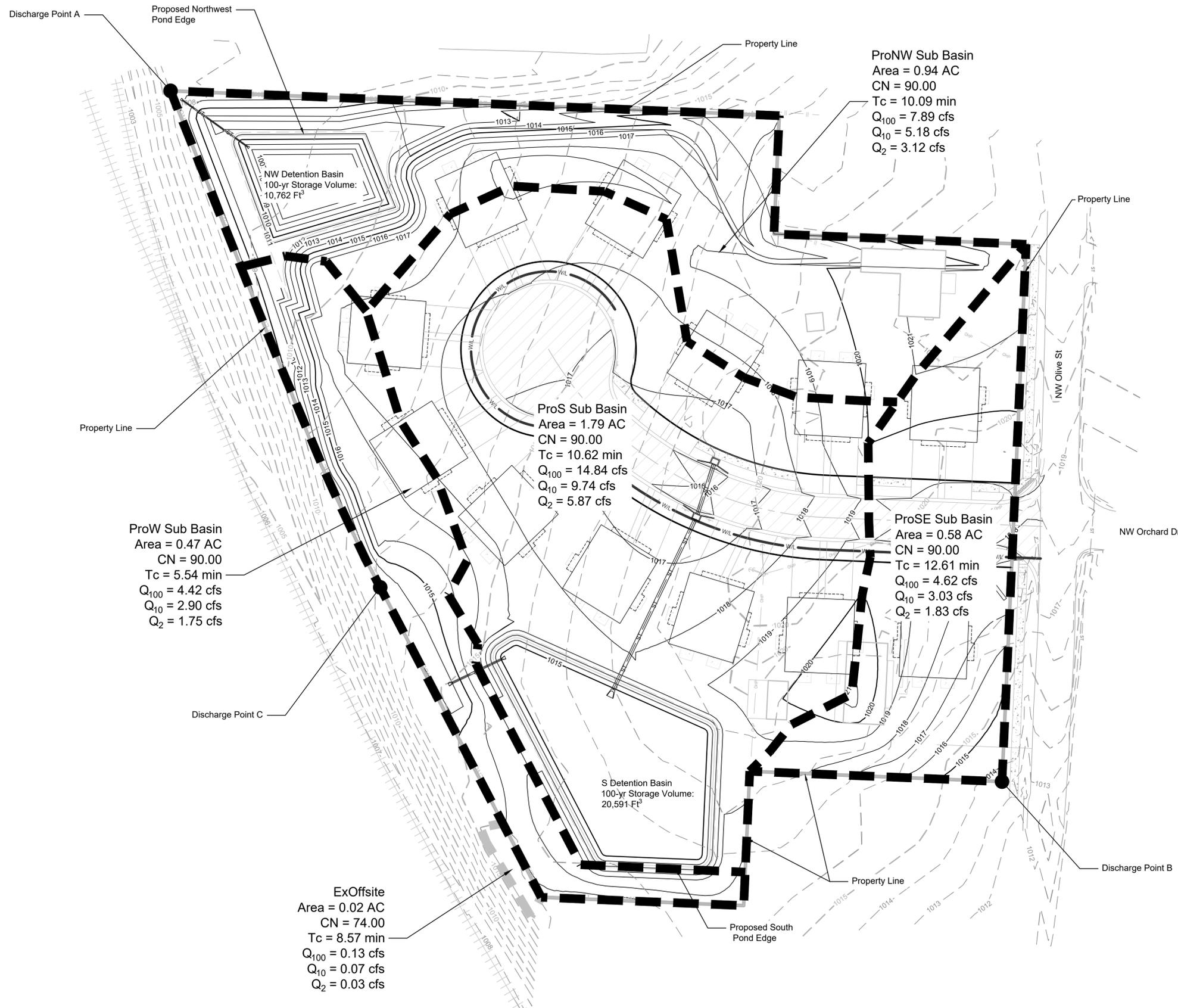
Note:
 See the Water Impact Statement, Dated
 January 14, 2019, for Fire Flow
 Calculations and test results.



Hydrant Coverage

NO.	BY	DATE	REVISION
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1	JGD	MES 12/11/19	ORIGINAL SUBMITTAL

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Feb 06 2020 2:10pm
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Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A- Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as shown on Plans.
		2	Staging Area	C	Install Staging Area
		3	Perimeter Silt Fence	C	Install Perimeter Silt Fence, as Shown on Plans.
		4	Concrete Washout	C	Install Concrete Washout as shown on plans prior to pouring any concrete
Phase II	B- Mass Grading	5	Stockpile Topsoil	D	Install Sediment Fence a Minimum of 5' Beyond Toe of Slope
	C - Site Construction	6	Sediment Fence	D	Install Sediment Fence, as Shown on Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets
Phase III	D - Final Stabilization	8	Rock Ditch Check	D	Install Rock Ditch Check, as Shown on Plans
		9	Establish Perennial Vegetation	N/A	Redistribute topsoil and seed and mulch all disturbed areas. Sod right-of-way. Stabilization complete when 100% disturbed area is established with perennial vegetation with a density of 70%.

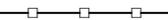
Disturbed Area: 3.78 AC

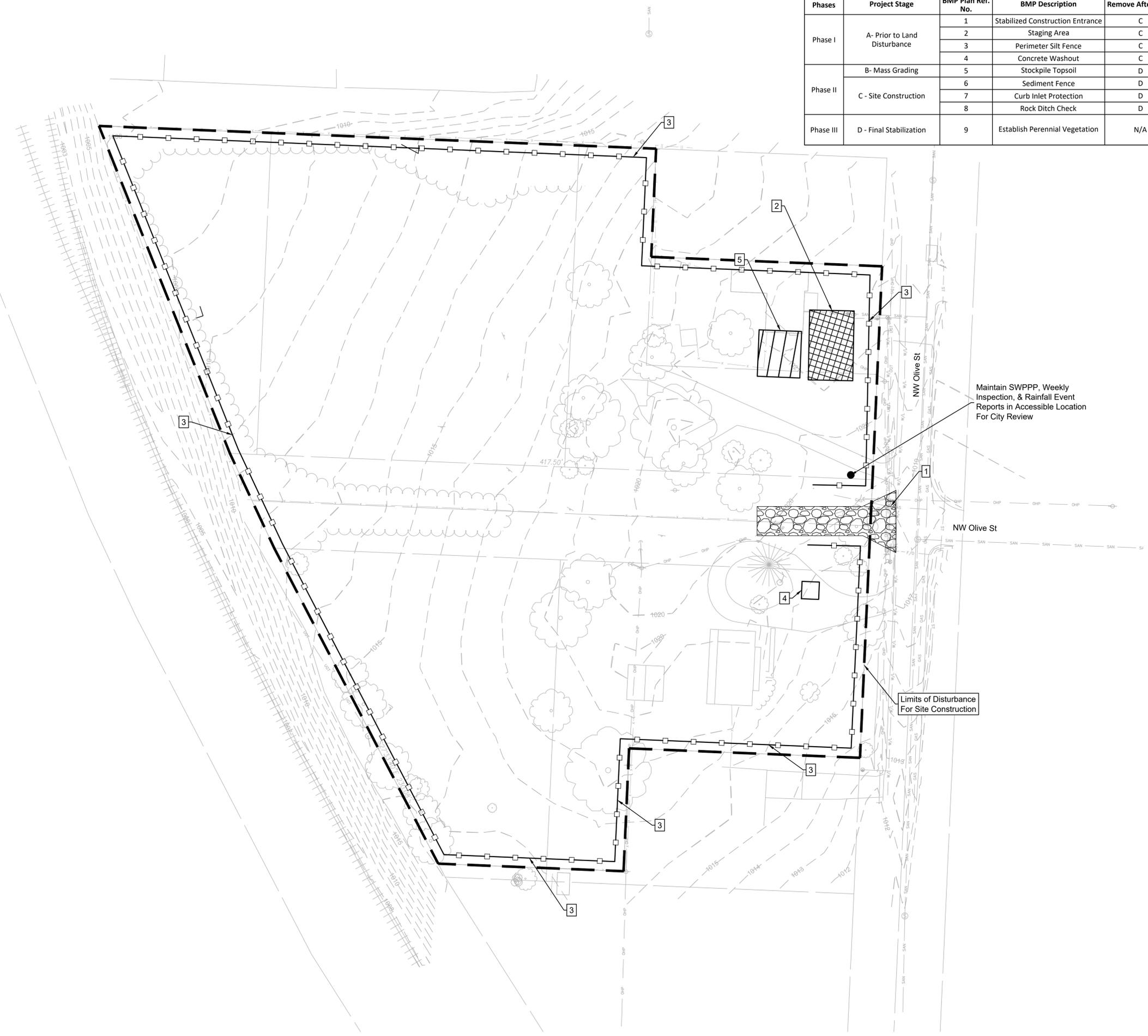
ESTIMATED EARTHWORK

Cut: 955.60 CY
 Fill: 10128.72 CY

Earthwork calculations are informational only. Contractor shall be responsible for their own earthwork calculations and perform all necessary earthwork shown herein without additional cost to the owner if quantities differ than above. Earthwork numbers are unadjusted.

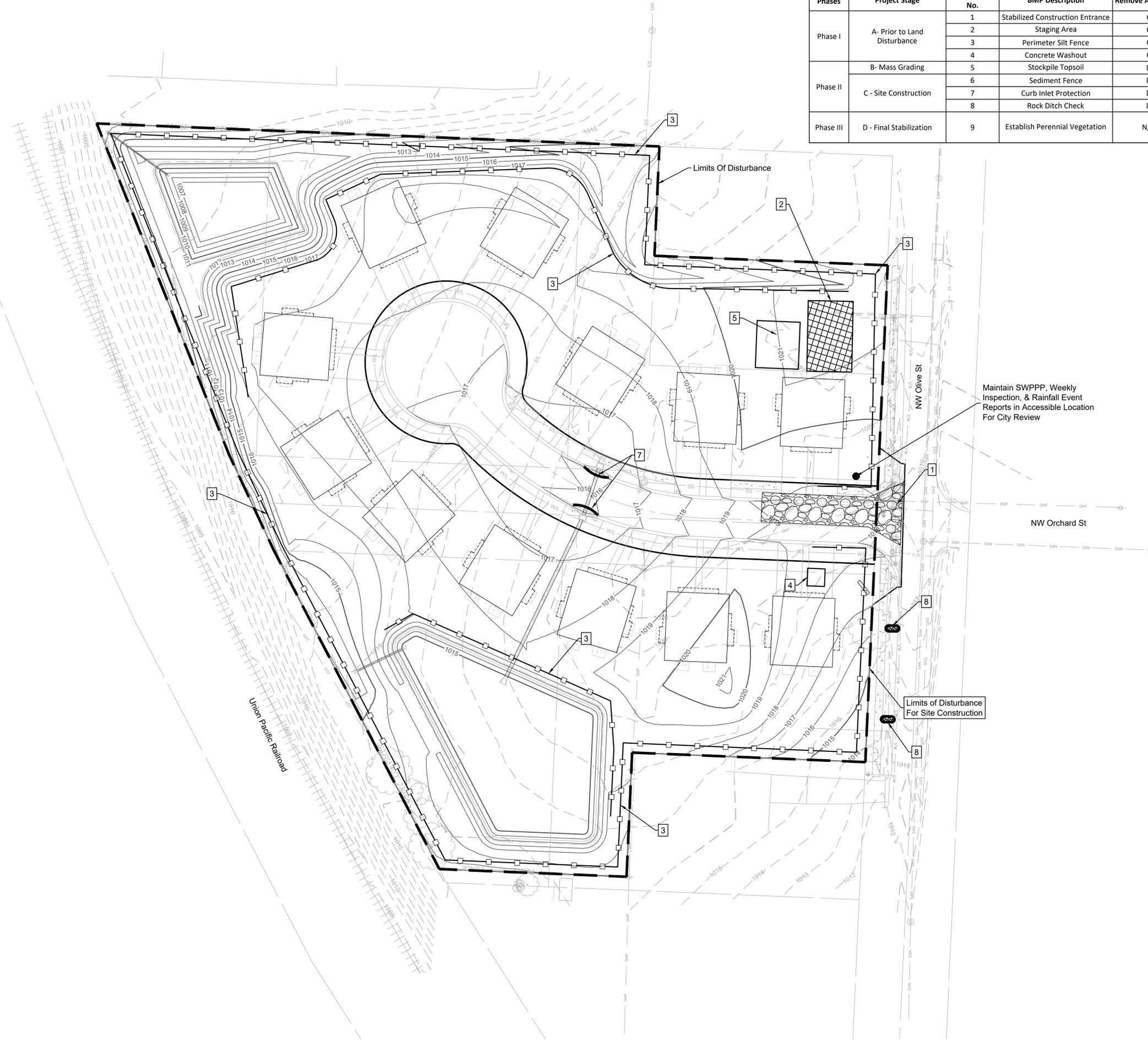
EROSION CONTROL LEGEND

-  Stabilized Construction Entrance
-  Staging Area
-  Stockpile Area
-  Concrete Washout
-  Limits of Disturbance
-  Silt Fence



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Disturbed Area: 3.78 AC

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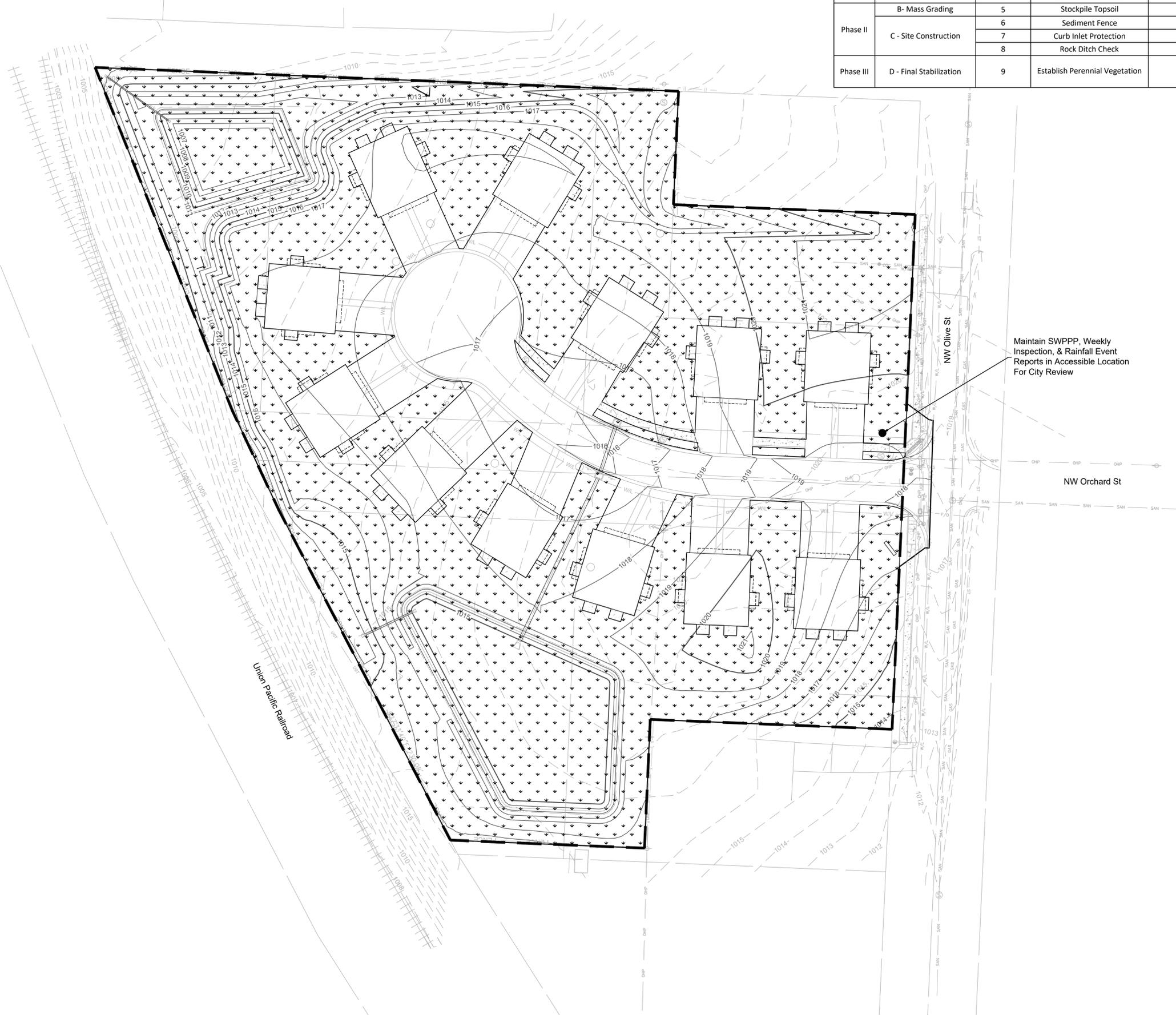
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Disturbed Area: 3.78 AC

ESTIMATED EARTHWORK

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LEGEND

See Landscape Plan

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A- Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as shown on Plans.
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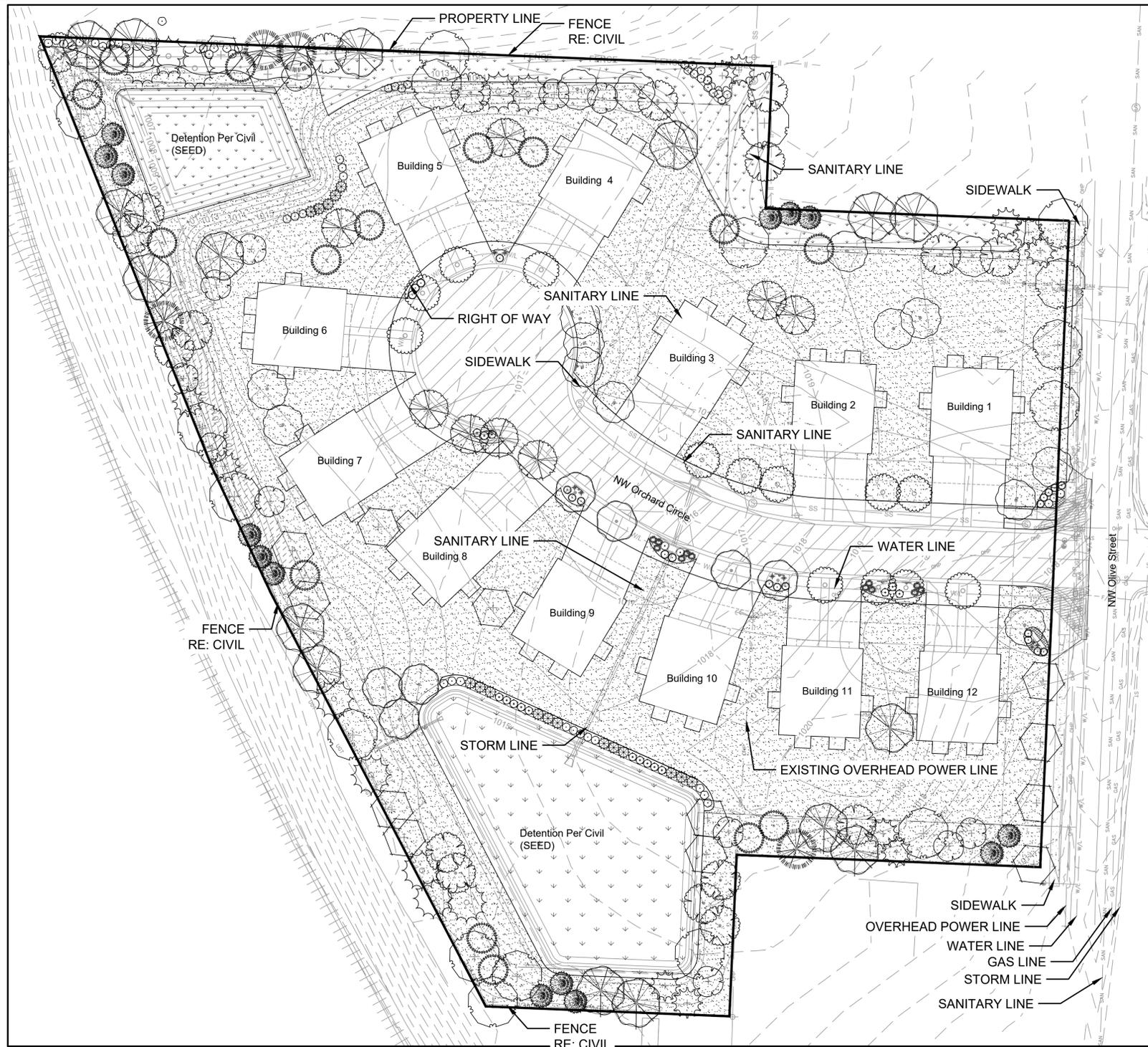
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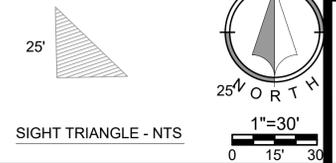
PLANT SCHEDULE OVERALL LANDSCAPE

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2"	Cal.	12
	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	B&B	2"	Cal.	18
	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	2"	Cal.	15
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2.5"	Cal.	18
	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	B&B	2.5"	Cal.	8
	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B&B	2.5"	Cal.	13
	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2.5"	Cal.	16
	Quercus robur 'Regal Prince' / Regal Prince English Oak	B&B	2.5"	Cal.	7
	Quercus shumardii / Shumard Red Oak	B&B	2.5"	Cal.	15
	Ulmus americana 'Valley Forge' / American Elm	B&B	2.5"	Cal.	14
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Juniperus virginiana 'Canaerti' / Canaerti Juniper	B&B	6"	Ht. Min.	11
	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	6"	Ht. Min.	14
	Pinus strobus / White Pine	B&B	6"	Ht. Min.	4
	Taxodium distichum / Bald Cypress	B&B	6"	Ht. Min.	10
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY		
	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	3 Gal.	34		
	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 Gal.	2		
	Ilex glabra / Inkberry Holly	6' Ht.	5		
	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire	5 Gal.	16		
	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	16		
	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	17		
	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 Gal.	12		
	Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	5 Gal.	9		
	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 Gal.	19		
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	
	ANNUAL/SEASONAL Plants Per OWNERS PLANT SCHEDULE NOTE:	TBD	12" o.c.	58	
	Detention Basin and BioSwale Seed Mix / Seed Prairie Nursery Detention Basin - Bioswale Seed Mix	SEED		24,444 sf	
	Native Seed Prairie Nursery Short Prairie for Medium Soils	SEED		2,228 sf	
	Turfgrass Sod Fescue Mix / Fescue Sod	SOD		79,755 sf	

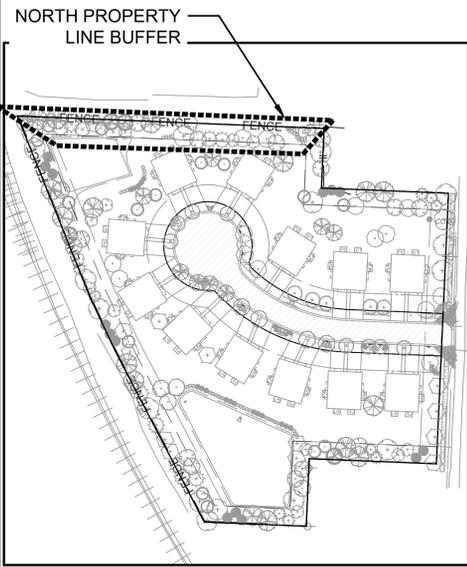
- SEE SHEET L02 FOR SEPARATE BUFFER PLANTING SCHEDULES
- NORTH PROPERTY LINE BUFFER
 - NORTHEAST PROPERTY LINE BUFFER
 - SOUTH PROPERTY LINE BUFFER
 - WEST PROPERTY LINE BUFFER
- SEE SHEET L03 FOR SEPARATE OPEN SPACE AND STREET FRONTAGE SCHEDULES
- OPEN SPACE
 - NW OLIVE STREET
 - NW ORCHARD STREET



Landscape Data		Sight Distance Triange 25'x25'	
Street Frontage			
Required Width = 20 ft			
NW OLIVE STREET	Distance in ft:	285.7	Provided Width: 20 ft
Required Trees = 1/30 ft	9.5	Provided Trees: 10	
Required Shrubs = 1/20 ft	14.3	Provided Shrubs: 15	
NW ORCHARD CIRCLE	Distance in ft:	760	Provided Width: 20 ft
Required Trees = 1/30 ft	25.3	Provided Trees: 26	
Required Shrubs = 1/20 ft	38.0	Provided Shrubs: 38	
Open Yard	Lot sf	164656.8	Total Open Space sf: 109407.94
Required Trees = 1/5000 sf	21.9	Provided Trees: 22	
Required Shrubs = 2/5000 sf	43.8	Provided Shrubs: 44	
Screening			
North Property Line	Distance in ft:	330	
Required Intensity	High		
Required Width in ft	20.0	Provided Width: 20 ft	
Required Wall/Vinyl Fence ht	6 ft	Provided Fence: 6 ft ht	
Required Shade Tree = 1/750 sf	8.8	Provided Shade Tree: 9	
Required Ornamental Tree = 1/750 sf	8.8	Provided Ornamental Tree: 9	
Required Evergreen Tree = 1/750 sf	8.8	Provided Evergreen Tree: 9	
Required Shrubs = 2/200 sf	33.0	Provided Shrubs: 33	
Northeast Property Line	Distance in ft:	220	
Required Intensity	Low		
Required Width in ft	20.0	Provided Width: 20 ft	
Required Wall/Vinyl Fence ht	6 ft	Provided Fence: 6 ft ht	
Required Shade Tree = 1/750 sf	5.9	Provided Shade Tree: 6	
Required Ornamental Tree = 1/750 sf	5.9	Provided Ornamental Tree: 6	
Required Evergreen Tree = 1/750 sf	5.9	Provided Evergreen Tree: 6	
Required Shrubs = 2/200 sf	22.0	Provided Shrubs: FENCE IN LIEU OF SHRUBS	
South Property Line	Distance in ft:	340	
Required Intensity	Low		
Required Width in ft	20.0	Provided Width: 20 ft	
Required Wall/Vinyl Fence ht	6 ft	Provided Fence: 6 ft ht	
Required Shade Tree = 1/750 sf	9.1	Provided Shade Tree: 10	
Required Ornamental Tree = 1/750 sf	9.1	Provided Ornamental Tree: 10	
Required Evergreen Tree = 1/750 sf	9.1	Provided Evergreen Tree: 10	
Required Shrubs = 2/200 sf	34.0	Provided Shrubs: FENCE IN LIEU OF SHRUBS	
West Property Line	Distance in ft:	503	
Required Intensity	Low		
Required Width in ft	20.0	Provided Width: 20 ft	
Required Wall/Vinyl Fence ht	6 ft	Provided Fence: 6 ft ht	
Required Shade Tree = 1/750 sf	13.4	Provided Shade Tree: 14	
Required Ornamental Tree = 1/750 sf	13.4	Provided Ornamental Tree: 14	
Required Evergreen Tree = 1/750 sf	13.4	Provided Evergreen Tree: 14	
Required Shrubs = 2/200 sf	50.3	Provided Shrubs: FENCE IN LIEU OF SHRUBS	

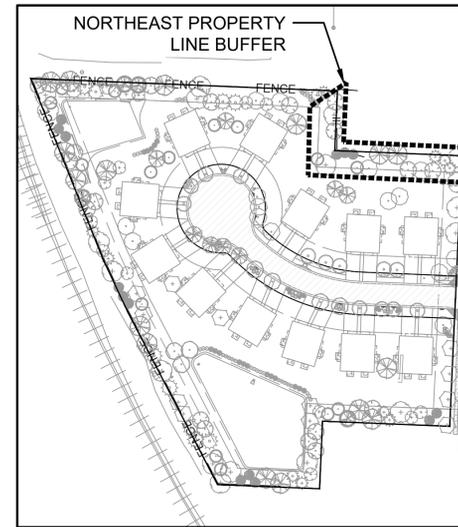


NO.	BY	DATE	REVISION
1	JMM	02/11/19	ORIGINAL SUBMITTAL
2	JMM	01/15/20	PER CITY COMMENTS
3	JMM	02/07/20	PER CITY COMMENTS



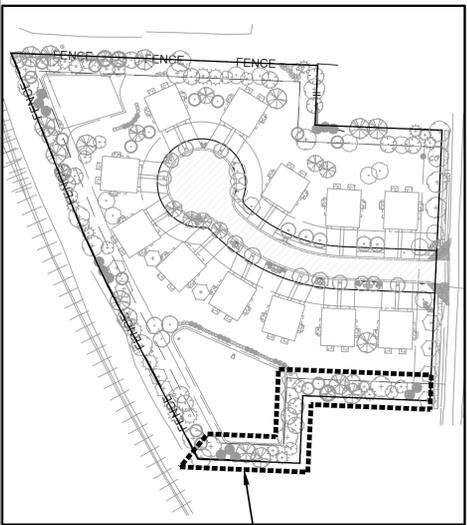
PLANT SCHEDULE NORTH PROPERTY LINE BUFFER

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Cercis canadensis</i> 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2" Cal.		3
	<i>Cornus florida</i> 'Cherokee Princess' / Cherokee Princess Dogwood	B&B	2" Cal.		4
	<i>Malus x</i> 'Spring Snow' / Spring Snow Crab Apple	B&B	2" Cal.		2
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer rubrum</i> 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.		2
	<i>Nyssa sylvatica</i> 'Wildfire' / Black Gum	B&B	2.5" Cal.		3
	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2.5" Cal.		2
	<i>Ulmus americana</i> 'Valley Forge' / American Elm	B&B	2.5" Cal.		2
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Juniperus virginiana</i> 'Canaerti' / Canaerti Juniper	B&B		6' Ht. Min.	2
	<i>Pinus strobus</i> / White Pine	B&B		6' Ht. Min.	2
	<i>Taxodium distichum</i> / Bald Cypress	B&B		6' Ht. Min.	5
SHRUBS	BOTANICAL / COMMON NAME	CONT			QTY
	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry	3 Gal.			20
	<i>Physocarpus opulifolius</i> 'Diablo' / Diablo Ninebark	5 Gal.			13



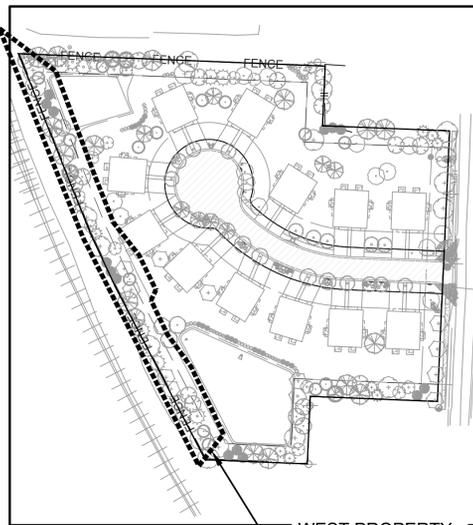
PLANT SCHEDULE NORTHEAST PROPERTY LINE BUFFER

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Cornus florida</i> 'Cherokee Princess' / Cherokee Princess Dogwood	B&B	2" Cal.		4
	<i>Malus x</i> 'Spring Snow' / Spring Snow Crab Apple	B&B	2" Cal.		2
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer rubrum</i> 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.		2
	<i>Nyssa sylvatica</i> 'Wildfire' / Black Gum	B&B	2.5" Cal.		2
	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2.5" Cal.		2
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Juniperus virginiana</i> 'Canaerti' / Canaerti Juniper	B&B		6' Ht. Min.	3
	<i>Picea pungens</i> 'Fat Albert' / Colorado Spruce	B&B		6' Ht. Min.	3



PLANT SCHEDULE SOUTH PROPERTY LINE BUFFER

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Cercis canadensis</i> 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2" Cal.		4
	<i>Cornus florida</i> 'Cherokee Princess' / Cherokee Princess Dogwood	B&B	2" Cal.		4
	<i>Malus x</i> 'Spring Snow' / Spring Snow Crab Apple	B&B	2" Cal.		2
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer rubrum</i> 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.		4
	<i>Nyssa sylvatica</i> 'Wildfire' / Black Gum	B&B	2.5" Cal.		4
	<i>Ulmus americana</i> 'Valley Forge' / American Elm	B&B	2.5" Cal.		2
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Juniperus virginiana</i> 'Canaerti' / Canaerti Juniper	B&B		6' Ht. Min.	4
	<i>Picea pungens</i> 'Fat Albert' / Colorado Spruce	B&B		6' Ht. Min.	5
	<i>Pinus strobus</i> / White Pine	B&B		6' Ht. Min.	1



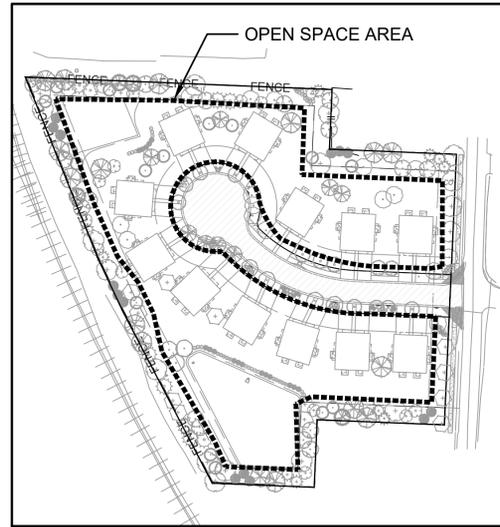
PLANT SCHEDULE WEST PROPERTY LINE BUFFER

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Cercis canadensis</i> 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2" Cal.		3
	<i>Cornus florida</i> 'Cherokee Princess' / Cherokee Princess Dogwood	B&B	2" Cal.		6
	<i>Malus x</i> 'Spring Snow' / Spring Snow Crab Apple	B&B	2" Cal.		5
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer rubrum</i> 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.		6
	<i>Nyssa sylvatica</i> 'Wildfire' / Black Gum	B&B	2.5" Cal.		4
	<i>Ulmus americana</i> 'Valley Forge' / American Elm	B&B	2.5" Cal.		4
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Juniperus virginiana</i> 'Canaerti' / Canaerti Juniper	B&B		6' Ht. Min.	2
	<i>Picea pungens</i> 'Fat Albert' / Colorado Spruce	B&B		6' Ht. Min.	6
	<i>Pinus strobus</i> / White Pine	B&B		6' Ht. Min.	1
	<i>Taxodium distichum</i> / Bald Cypress	B&B		6' Ht. Min.	5

PLANT SCHEDULE NOTE:
SEE SHEET L01 FOR OVERALL LANDSCAPE PLAN AND SCHEDULE
SEE SHEET L01 FOR SEED AND SOD SCHEDULE
SEE SHEET L03 FOR SEPARATE OPEN SPACE AND STREET FRONTAGE SCHEDULES

NO.	BY	DATE	DESCRIPTION
3	JMM AG	02/07/20	PER CITY COMMENTS
2	JMM AG	01/15/20	PER CITY COMMENTS
1	JMM AG	02/11/19	ORIGINAL SUBMITTAL

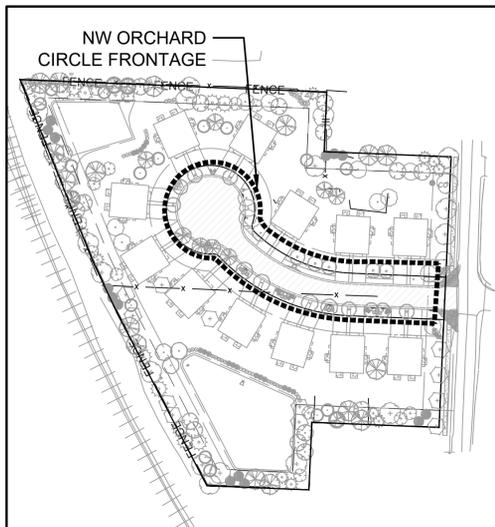
Renaissance Infrastructure Consulting
816.800.0950
1815 MCCOY STREET, SUITE 200
KANSAS CITY, MISSOURI 64108
WWW.RIC-CONSULT.COM



PLANT SCHEDULE OPEN SPACE

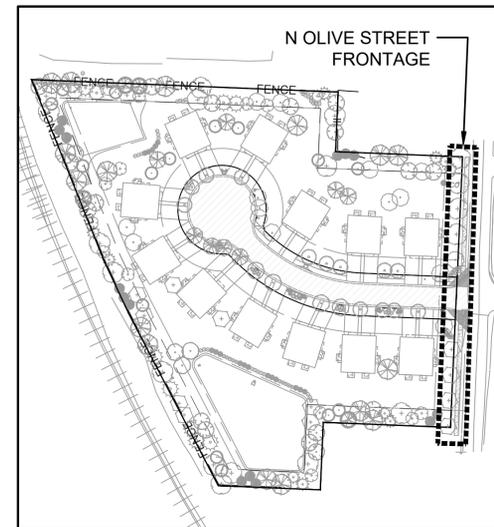
ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	<i>Cercis canadensis</i> 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2" Cal.	2
	<i>Malus x</i> 'Spring Snow' / Spring Snow Crab Apple	B&B	2" Cal.	4
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	<i>Carpinus betulus</i> 'Fastigiata' / Pyramidal European Hornbeam	B&B	2.5" Cal.	4
	<i>Nyssa sylvatica</i> 'Wildfire' / Black Gum	B&B	2.5" Cal.	3
	<i>Quercus robur</i> 'Regal Prince' / Regal Prince English Oak	B&B	2.5" Cal.	3
	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2.5" Cal.	4
	<i>Ulmus americana</i> 'Valley Forge' / American Elm	B&B	2.5" Cal.	2
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquis Beauty Black Chokeberry	3 Gal.		11
	<i>Itea virginica</i> 'Henry's Garnet' / Henry's Garnet Sweetspire	5 Gal.		10
	<i>Juniperus chinensis</i> 'Sea Green' / Sea Green Juniper	5 Gal.		17
	<i>Physocarpus opulifolius</i> 'Diablo' / Diablo Ninebark	5 Gal.		6

PLANT SCHEDULE NOTE:
SEE SHEET L01 FOR OVERALL LANDSCAPE PLAN AND SCHEDULE
SEE SHEET L01 FOR SEED AND SOD SCHEDULE
SEE SHEET L02 FOR SEPARATE BUFFER SCHEDULES



PLANT SCHEDULE NW ORCHARD CIRCLE FRONTAGE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	<i>Carpinus betulus</i> 'Fastigiata' / Pyramidal European Hornbeam	B&B	2.5" Cal.	4
	<i>Ginkgo biloba</i> 'Princeton Sentry' / Princeton Sentry Ginkgo	B&B	2.5" Cal.	8
	<i>Quercus robur</i> 'Regal Prince' / Regal Prince English Oak	B&B	2.5" Cal.	4
	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2.5" Cal.	3
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	<i>Hypericum frondosum</i> 'Sunburst' / Sunburst Hypericum	3 Gal.		2
	<i>Ilex glabra</i> / Inkberry Holly	6" HL		5
	<i>Itea virginica</i> 'Henry's Garnet' / Henry's Garnet Sweetspire	5 Gal.		6
	<i>Juniperus chinensis</i> 'Gold Lace' / Gold Lace Juniper	5 Gal.		7
	<i>Miscanthus sinensis</i> 'Gracillimus' / Maiden Grass	5 Gal.		12
	<i>Panicum virgatum</i> 'Haense Herms' / Haense Herms Switch Grass	5 Gal.		6



PLANT SCHEDULE NW OLIVE STREET FRONTAGE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	<i>Acer rubrum</i> 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.	4
	<i>Quercus shumardii</i> / Shumard Red Oak	B&B	2.5" Cal.	1
	<i>Ulmus americana</i> 'Valley Forge' / American Elm	B&B	2.5" Cal.	4
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquis Beauty Black Chokeberry	3 Gal.		3
	<i>Juniperus chinensis</i> 'Gold Lace' / Gold Lace Juniper	5 Gal.		9
	<i>Panicum virgatum</i> 'Haense Herms' / Haense Herms Switch Grass	5 Gal.		3
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	ANNUAL/SEASONAL Plants Per OWNER	TBD	12" o.c.	58

NO.	BY	DATE	REVISION
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Renaissance Infrastructure Consulting
1815 MACCIE STREET, SUITE 200
KANSAS CITY, MISSOURI 64108
WWW.RIC-CONSULT.COM
MO Certificate of Authority: E-2010033630

LANDSCAPE NOTES

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- TOPSOIL MIX: ASTM 5268, PH RANGE OF 5.5 TO 7%, MINIMUM OF 4% ORGANIC MATERIAL. SOIL SHALL BE FREE OF STONE 1/2" OR LARGER IN ANY DIMENSION, SUBSOIL, CLAY LUMPS, ROOTS, BRUSH, WEEDS, WEED SEED, AND OTHER EXTRANEOUS OR TOXIC MATERIALS HARMFUL TO PLANT GROWTH. CONTENTS OF SOIL SHOULD CONTAIN NO MORE THAN 15% SILT AND 15% CLAY. SOIL SHOULD ALSO CONTAIN NO LESS THAN 40% SAND. TOPSOIL SOURCE SHALL BE FROM ON-SITE MATERIALS; IF ON-SITE SOURCE IS UNAVAILABLE, SUPPLEMENT WITH IMPORTED TOPSOIL FROM A PRE-APPROVED SOURCE. ALL IMPORTED TOPSOIL MIXES SHALL BE TESTED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS AS FOLLOWS:
 - PLANTING BEDS:
 - LOOSE PEAT HUMUS BY VOLUME: 1 PART
 - WELL-ROTTED COMPOSTED MANURE BY VOLUME: 1 PART
 - TOPSOIL (AS DEFINED IN NOTE 13): 2 PARTS
 - FERTILIZER: 3 LBS./100SF
 - BACKFILL FOR TREES
 - LOOSE PEAT HUMUS BY VOLUME: 1 PART
 - WELL-ROTTED COMPOSTED MANURE BY VOLUME: 1 PART
 - TOPSOIL (AS DEFINED IN NOTE 5): 3 PARTS
 - FERTILIZER: AGRIFORM TABLET (OR APPROVED EQUAL) PER MANUFACTURERS RECOMMENDATION
- AGGREGATE MULCH TO MATCH ON-SITE PRODUCT SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS, ISLANDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND. ALL AGGREGATE MULCH SHALL BE INSTALLED OVER A GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL) PER THE DETAIL.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED. PROVIDE SOD OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT, AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED TO MATCH ON SITE TURFGRASS TYPE. SOD SHALL BE INSTALLED IN A PROFESSIONAL MANNER, DURING NORMAL PLANTING SEASONS FOR TYPE OF LAWN WORK REQUIRED. FINAL ACCEPTANCE OF SOD INSTALLATION SHALL BE BY THE OWNER.
- ALL LANDSCAPE SHALL BE MONITORED AND MAINTAINED BY THE LANDSCAPE CONTRACTOR; REFER TO MAINTENANCE NOTES THIS SHEET.
- CONTRACTOR SHALL WARRANTY ALL LIVING PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVERS, & TURF) FOR A PERIOD OF TWO (2) YEARS AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY THE OWNER, ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD OR INCIDENTS THAT ARE BEYOND THE CONTRACTOR'S CONTROL.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

LANDSCAPE MAINTENANCE
GENERAL LANDSCAPE

- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTENANCE SHALL CONTINUE FROM INSTALLATION TO THE TIME OF SUBSTANTIAL COMPLETION, AND FOR NO LESS THAN 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL SUPPLY THE OWNER A WEEKLY LOG OF MAINTENANCE ACTIVITY BEGINNING AFTER PLANTING CONTINUING THROUGHOUT THE ENTIRE MAINTENANCE PERIOD.
- ALL LANDSCAPE SHALL BE, AT A MINIMUM, INSPECTED ONCE PER WEEK BY THE CONTRACTOR THROUGHOUT THE MAINTENANCE PERIOD.
- LANDSCAPE WORK MAY BE OBSERVED FOR ACCEPTANCE IN PORTIONS AS AGREEABLE TO THE OWNER OR LANDSCAPE ARCHITECT, PROVIDED EACH PORTION OF WORK OFFERED FOR OBSERVATION IS COMPLETE, INCLUDING MAINTENANCE. SUBSTANTIAL COMPLETION WILL NOT BE CONSIDERED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED PER THE CONTRACT.

TREES AND SHRUBS

- MAINTAIN TREES AND SHRUBS BY PRUNING, WATERING, CULTIVATING, MULCHING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.

- WATER TREES AND SHRUBS WEEKLY TO A DEPTH EQUAL TO THE SIZE OF THE ROOTBALL OR CONTAINER WHEN PLANTED. SOIL SHOULD BE KEPT MOIST BUT NOT OVERLY SATURATED. DURING TIMES OF DROUGHT OR EXTREME HEAT, CONTRACTOR SHALL WATER ENOUGH TO SUSTAIN PLANT LIFE. THE USE OF WATER BAGS SHALL BE APPROVED BY THE OWNER PRIOR TO USE AND DOES NEGATE THE CONTRACTOR FROM INSPECTIONS OR ROUTINE MAINTENANCE.

- RESTORE OR REPLACE DAMAGED WRAPPINGS

- SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE FROM DISEASE AND INSECTS.

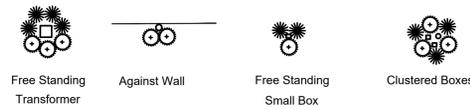
LAWNS

- MAINTAIN AND ESTABLISH LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING AND OTHER OPERATIONS AS DIRECTED BY OWNER. ROLL, RE-GRADE AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.

- KEEP LAWNS UNIFORMLY MOIST TO A DEPTH OF 4 INCHES BY:
 - APPLYING 1" OF WATER IMMEDIATELY AFTER SOD IS LAID
 - APPLYING 1/2" MINIMUM PER DAY FOR THE NEXT 14 DAYS
 - WATERING THE LAWN AT A RATE OF 1" PER WEEK THROUGHOUT THE MAINTENANCE PERIOD. WATER SHALL NOT BE DISTRIBUTED IN ONE APPLICATION
 - DURING DROUGHT OR EXCESSIVE HEAT, CONTRACTOR SHALL APPLY WATER IN AN AMOUNT NEEDED TO SUSTAIN THE TURF.

- MOW LAWNS AS SOON AS THERE IS ENOUGH TOP GROWTH TO CUT WITH MOWER SET AT NORMAL (SEASONAL) HEIGHT FOR PRINCIPAL SPECIES PLANTED. REPEAT MOWINGS AS REQUIRED TO MAINTAIN HEIGHT WITHOUT CUTTING MORE THAN 30 PERCENT OF THE GRASS HEIGHT. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET.

- POST FERTILIZATION: APPLY FERTILIZER TO LAWN AFTER FIRST MOWING AND WHEN GRASS IS DRY. USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 LB. PER 1000 SF OF LAWN AREA. WATER FERTILIZER INTO SOIL AS DIRECTED BY THE MANUFACTURER.

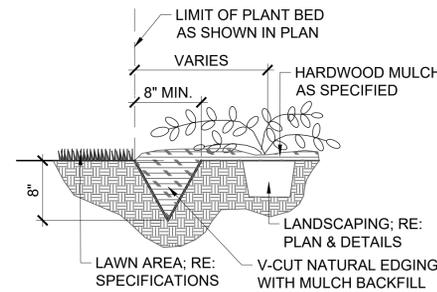


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

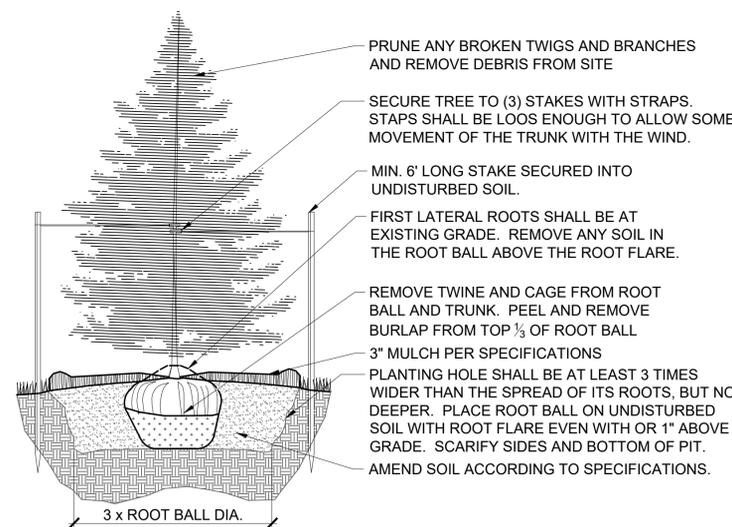
TYPICAL UTILITY BOX SCREENING DETAILS - NTS

NOTES:

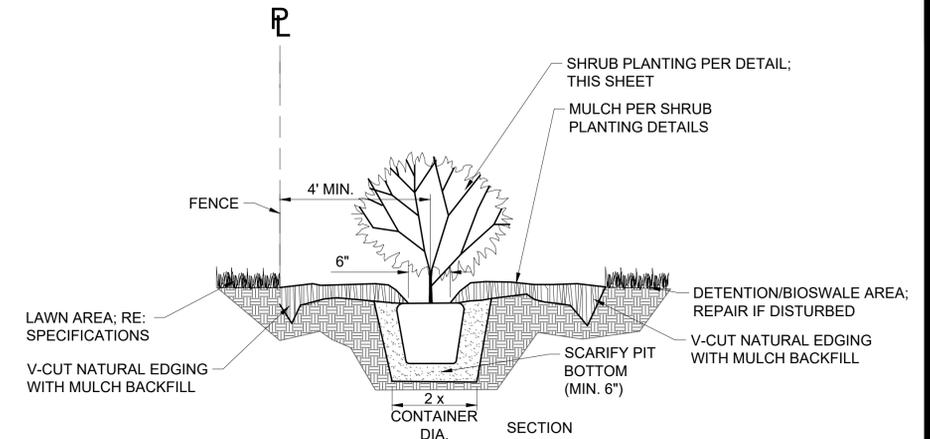
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
- TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.



V-CUT NATURAL EDGE DETAIL - NTS



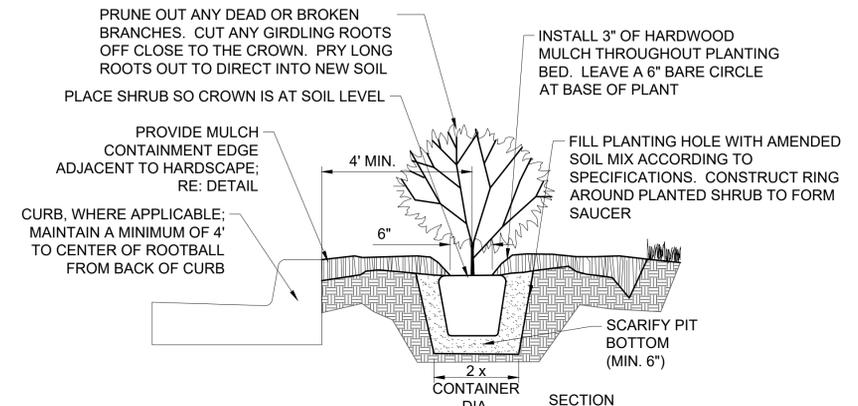
EVERGREEN TREE PLANTING DETAIL - NTS



NOTES:

- PROVIDE V-CUT NATURAL EDGE AT BOTH FENCE EDGE AND TURF/NATIVE SEED EDGE FOR ALL PLANT BEDS ADJACENT TO FENCE. ALL OTHER PLANT BEDS SHALL V-CUT NATURAL EDGE PER PLANS.

PLANT BED W/ V-CUT NATURAL EDGE - NTS



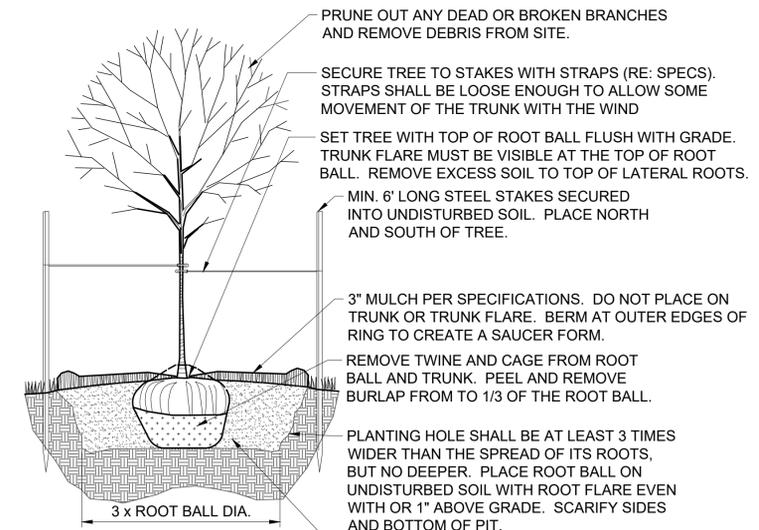
NOTES:

- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
- CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
- INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
- WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4" MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS

NOTES:

- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
- TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



SECTION

DECIDUOUS TREE PLANTING DETAIL - NTS

NO.	BY	DATE	REVISION
1	JMM	02/11/19	ORIGINAL SUBMITTAL
2	JMM	01/15/20	PER CITY COMMENTS
3	JMM	02/07/20	PER CITY COMMENTS



TOMPKINS ARCHITECTS

www.tom-arch.com
816.281.6518

general notes

- 1) GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, BETWEEN MULTIPLE SPECIFICATION SECTIONS AND/OR BETWEEN MULTIPLE DRAWINGS. THE ARCHITECT WILL DETERMINE WHICH SHALL GOVERN.
- 2) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE INCLUDING UTILITIES AND EXISTING STRUCTURES PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION INCLUDING ALL SHORING AND BRACING REQUIRED TO RESIST REQUIRED VERTICAL AND LATERAL FORCES.
- 4) ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE FROM FACE OF CONCRETE OR FACE OF STUD.
- 5) INTERIOR WALLS ARE TO BE COMPRISED OF 2x4 STUDS AT 16" O.C. MAX WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
- 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE EACH OTHERS' WORK WITH ARCHITECTURAL PLANS AND TO NOTIFY ARCHITECT OF NEED FOR SOFFITS OR CHASES FOR INSTALLATION OF DUCTWORK OR PLUMBING.
- 7) ELECTRICAL CONTRACTOR TO INSTALL OUTLETS AS REQUIRED PER CODE. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO BEGINNING DRYWALL.
- 8) DOORS AND LIGHTING ARE COMPLIANT WITH THE PHYSICAL SECURITY ORDINANCE IN THE KANSAS CITY BUILDING AND REHABILITATION CODE - SECTION 326.
- 9) COORDINATE ALL WALLS AND DIMENSIONS ON ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.
- 10) ALL EXTERIOR WALLS TO RECEIVE R-19 BATT INSULATION, U.N.O.
- 12) ALL BASEMENT WALLS TO BE FURRED OUT WITH 2x4 STUDS AND SHALL RECEIVE R-13 BATT INSULATION U.N.O.

partition types

GYPSUM



GYPSUM BOARD PARTITION:
2x4 STUDS @ 16" O.C. - COVER EACH SIDE WITH 1/2" GYPSUM BOARDS.

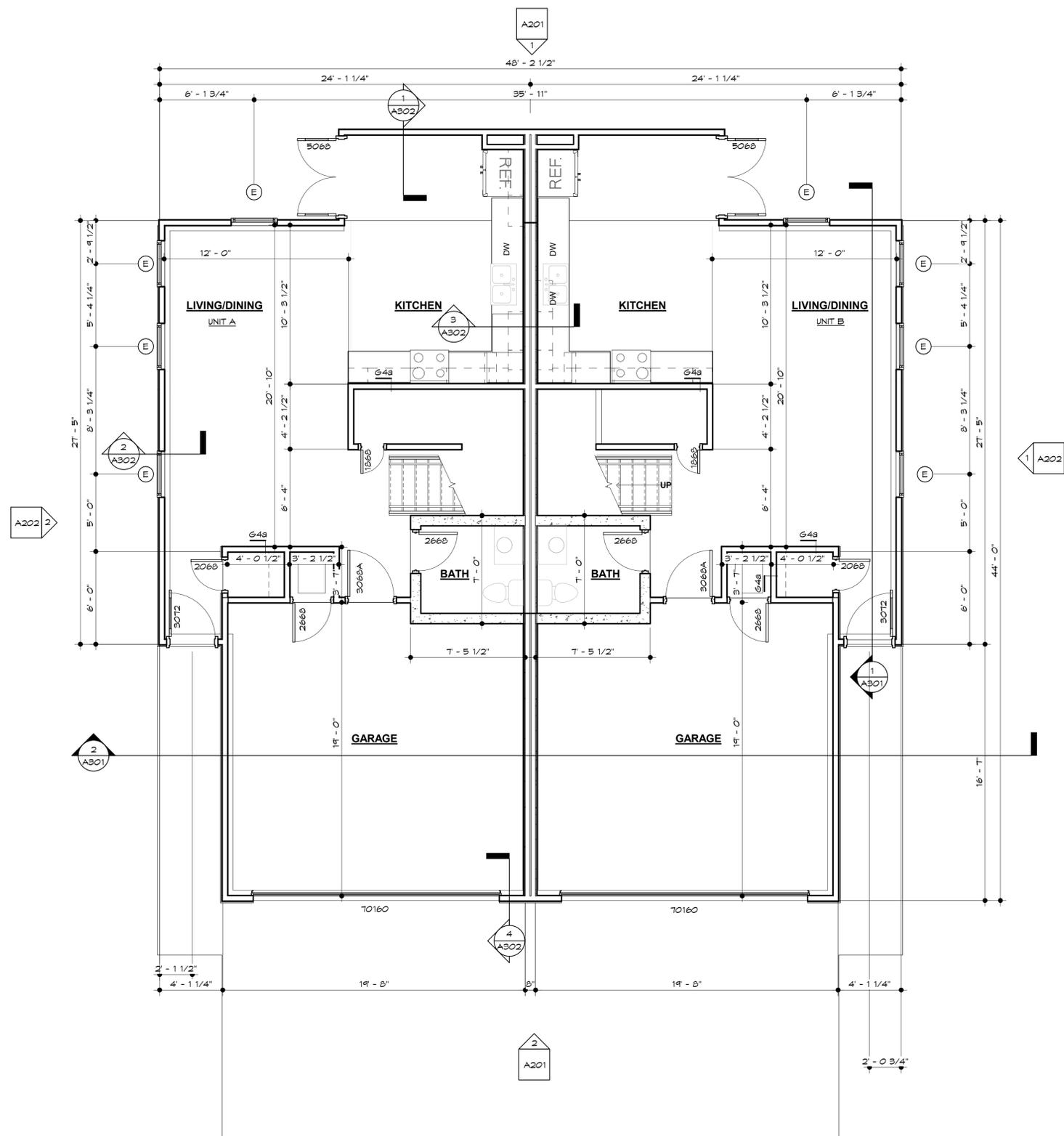
GYPSUM BOARD PARTITION:
2x4 STUDS @ 16" O.C. - COVER EXPOSED SIDE WITH 1/2" GYPSUM BOARDS.

GYPSUM BOARD GENERAL NOTES

- UNLESS NOTED OTHERWISE, EXTEND GYPSUM BOARD 4" ABOVE FINISHED CEILING ELEVATION.
- UNLESS NOTED OTHERWISE, PROVIDE 4" ACOUSTICAL INSULATION IN ALL PARTITIONS.
- FRAME AROUND DUCTWORK, BACK BRACE AS REQUIRED FOR STABILITY.
- REFER TO HOLLOW METAL FRAME DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- EXTEND STUDS TO TOP RUNNER ATTACHED TO STRUCTURE ABOVE, OR BACK BRACE TO STRUCTURE AS NECESSARY TO FULLY STABILIZE THE PARTITIONS.
- REFER TO COLUMN DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- REFER TO FINISH SCHEDULE FOR WALL FINISH.
- ALL PENETRATIONS THROUGH GYPSUM BOARD PARTITIONS EXPOSED TO VIEW WILL BE TRIMMED NEAT AND TRUE AND SEALED.

architectural plan keynotes

- 1) STAIR UP TO SECOND LEVEL - (15) RISERS AT APPROX. 1 1/2" AND (14) TREADS AT 10 1/2"
- 2) STAIR UP TO MAIN LEVEL - (15) RISERS AT APPROX. 1 1/4" AND (14) TREADS AT 10 1/2"



1 architectural floor plan - main level
1/4" = 1'-0"



SEQUOIA DUPLEX

FOR DICK BURTON
ORCHARD DRIVE LEES SUMMIT, MO

sheet issue date:
2020.02.06

tompkins project no.:
2020-01

sheet contents:
FLOOR PLAN - MAIN

sheet no.:

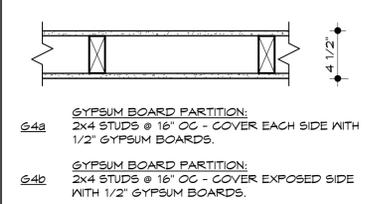
A101

general notes

- 1) GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, BETWEEN MULTIPLE SPECIFICATION SECTIONS AND/OR BETWEEN MULTIPLE DRAWINGS. THE ARCHITECT WILL DETERMINE WHICH SHALL GOVERN.
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- 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE EACH OTHERS' WORK WITH ARCHITECTURAL PLANS AND TO NOTIFY ARCHITECT OF NEED FOR SOFFITS OR CHASES FOR INSTALLATION OF DUCTWORK OR PLUMBING.
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- 10) ALL EXTERIOR WALLS TO RECEIVE R-19 BATT INSULATION, U.N.O.
- 12) ALL BASEMENT WALLS TO BE FURRED OUT WITH 2x4 STUDS AND SHALL RECEIVE R-19 BATT INSULATION U.N.O.

partition types

GYP SUM



GYP SUM BOARD GENERAL NOTES

- UNLESS NOTED OTHERWISE, EXTEND GYP SUM BOARD 4" ABOVE FINISHED CEILING ELEVATION.
- UNLESS NOTED OTHERWISE, PROVIDE 4" ACOUSTICAL INSULATION IN ALL PARTITIONS.
- FRAME AROUND DUCTWORK, BACK BRACE AS REQUIRED FOR STABILITY.
- REFER TO HOLLOW METAL FRAME DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- EXTEND STUDS TO TOP RUNNER ATTACHED TO STRUCTURE ABOVE, OR BACK BRACE TO STRUCTURE AS NECESSARY TO FULLY STABILIZE THE PARTITIONS.
- REFER TO COLUMN DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- REFER TO FINISH SCHEDULE FOR WALL FINISH.
- ALL PENETRATIONS THROUGH GYP SUM BOARD PARTITIONS EXPOSED TO VIEW WILL BE TRIMMED NEAT AND TRUE AND SEALED.

architectural plan keynotes

- 1) STAIR UP TO SECOND LEVEL - (15) RISERS AT APPROX. 7 1/2" AND (14) TREADS AT 10 1/2"
- 2) STAIR UP TO MAIN LEVEL - (15) RISERS AT APPROX. 7 1/4" AND (14) TREADS AT 10 1/2"

SEQUOIA DUPLEX

FOR DICK BURTON
ORCHARD DRIVE LEE'S SUMMIT, MO

REVISIONS

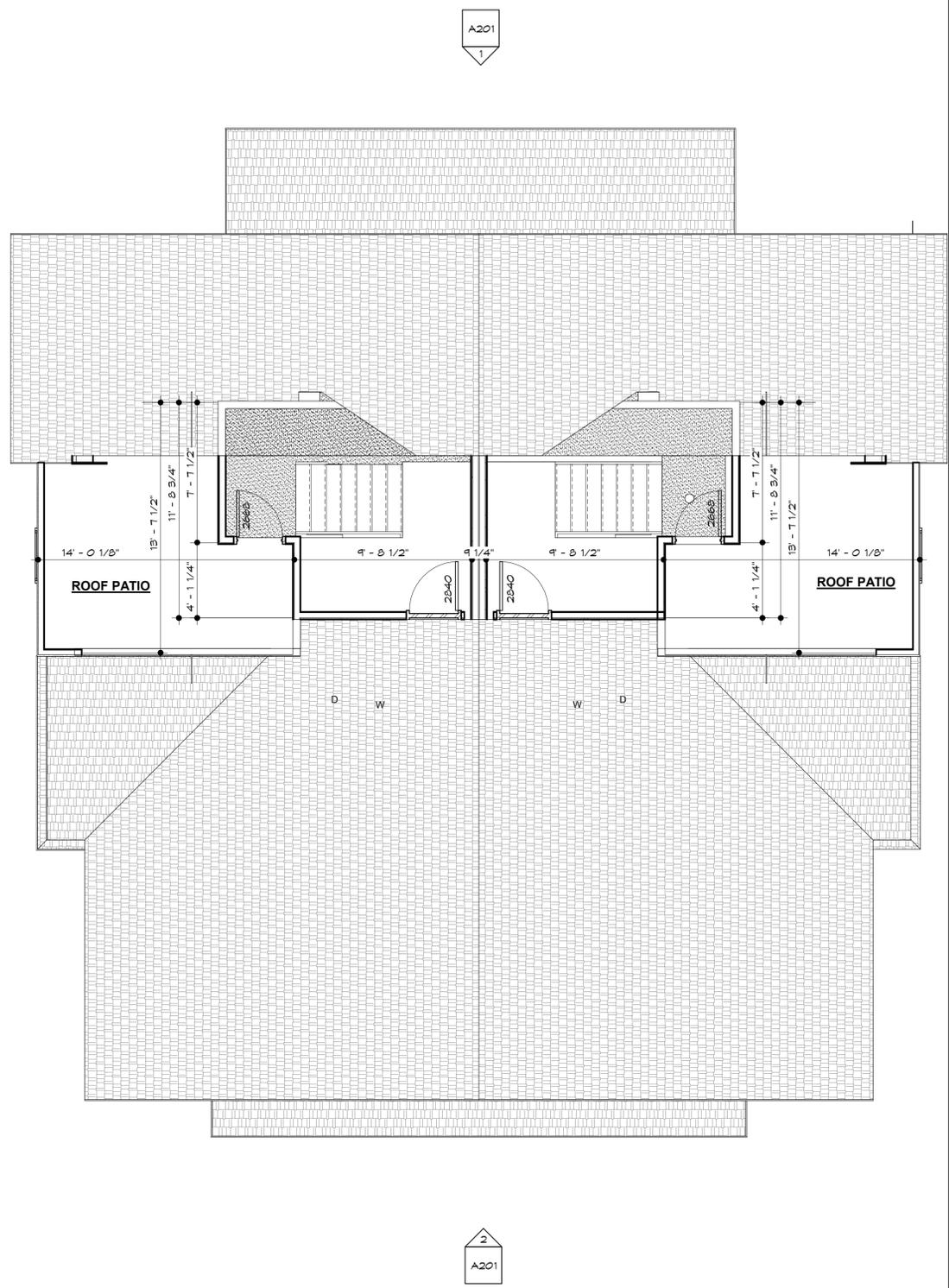
No.	Description	Date

sheet issue date:
2020.02.06

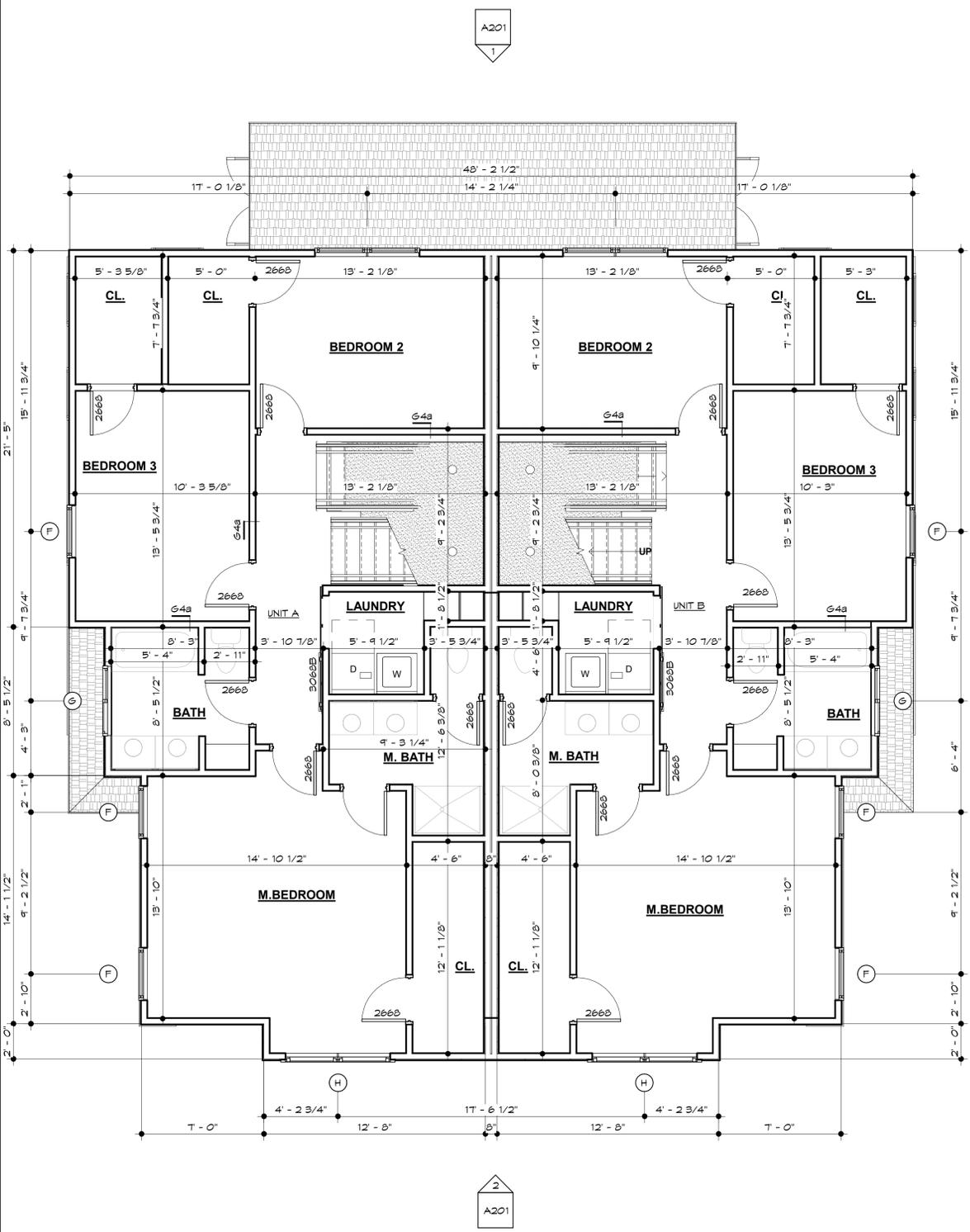
tompkins project no.:
2020-01

sheet contents:
FLOOR PLAN -
SECOND

sheet no.:



2 architectural floor plan - roof terrace
1/4" = 1'-0"



1 architectural floor plan - second level
1/4" = 1'-0"





TOMPKINS ARCHITECTS

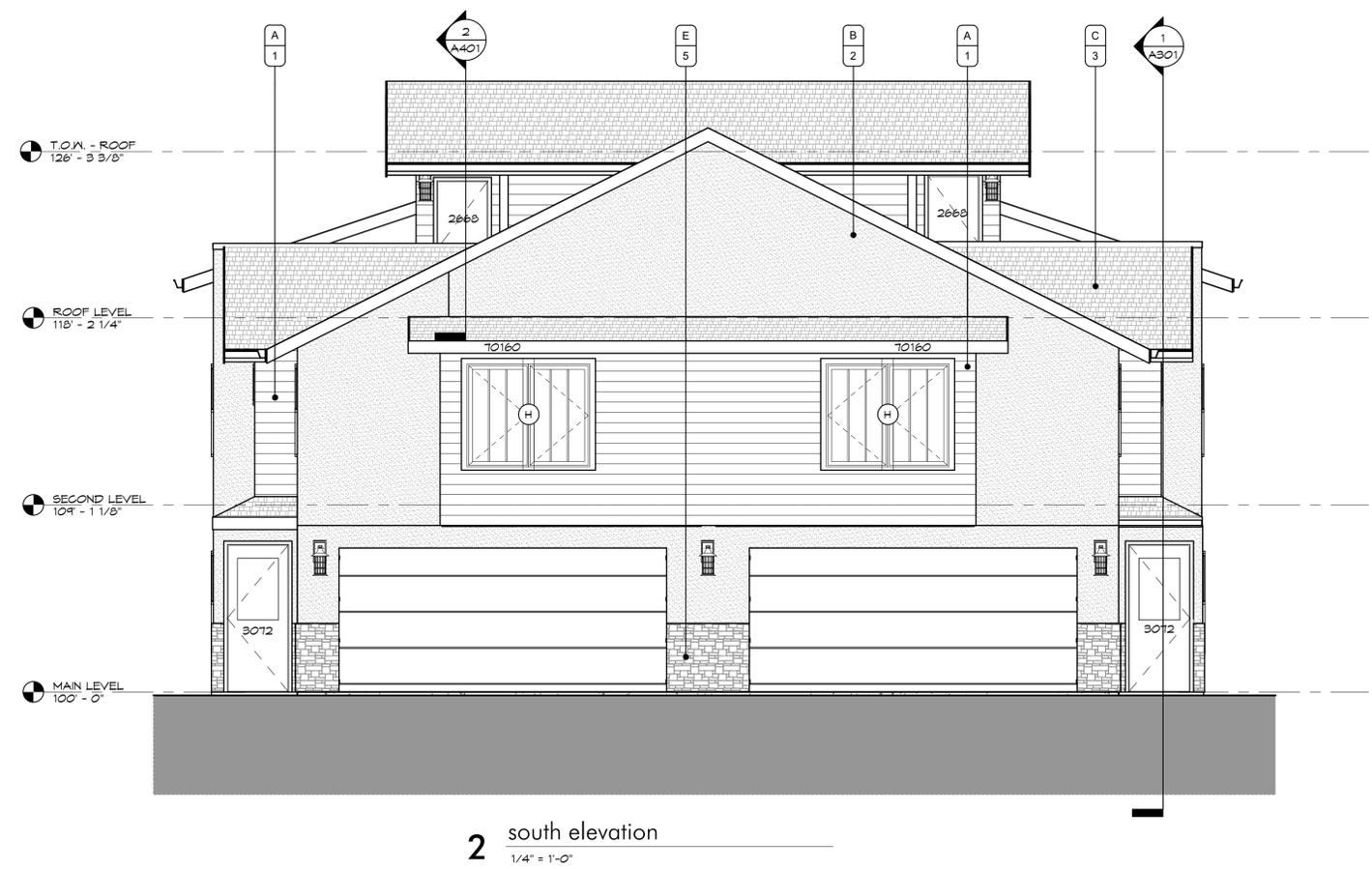
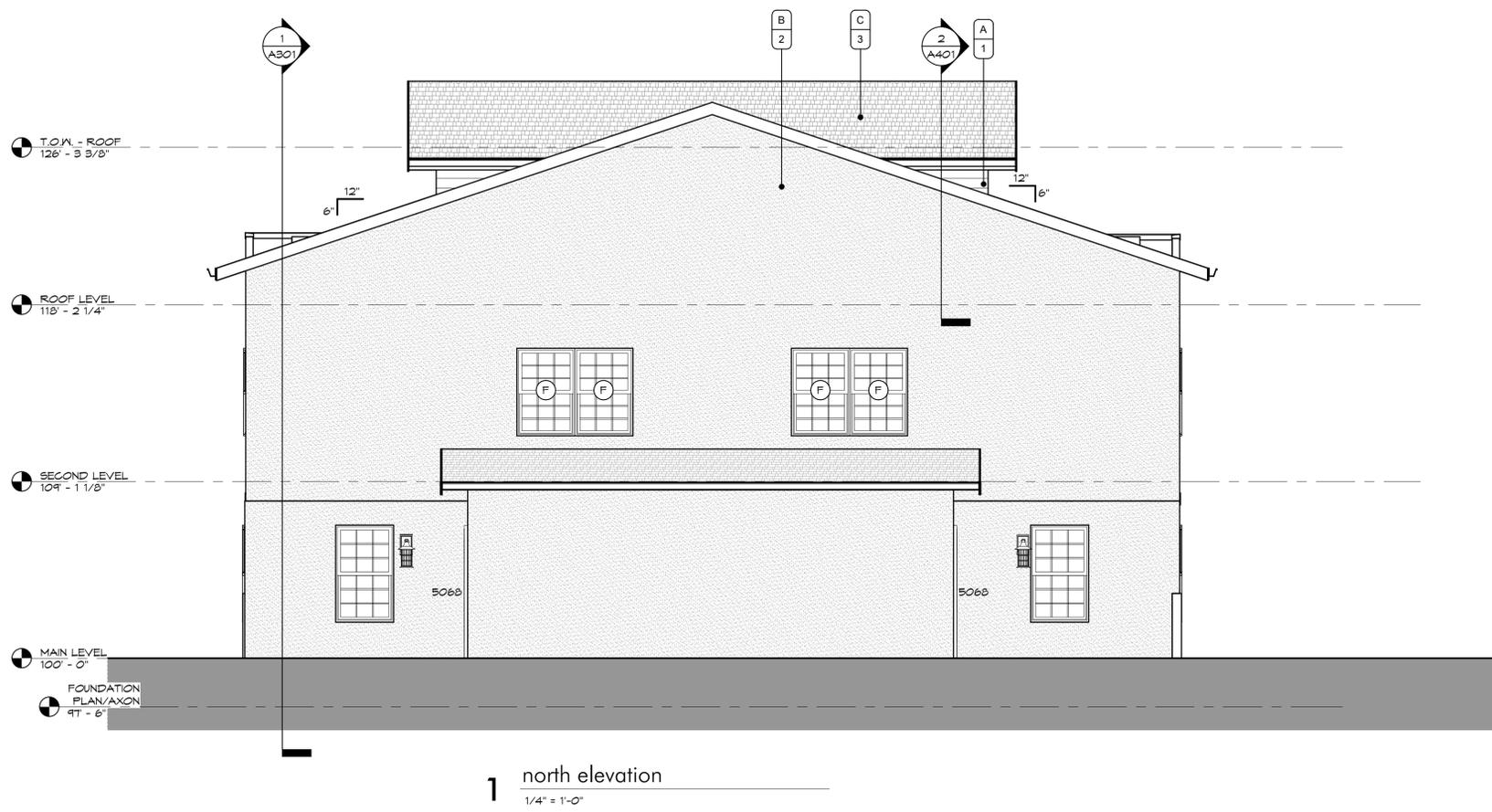
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816.284.6518

exterior elevation general notes

1. SLOPE GRADE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM DISTANCE OF 10'-0"
2. MAINTAIN MIN. 8" CLEARANCE BETWEEN FINAL GRADE AND EXPOSED WOOD
3. EXTERIOR SIDING INDICATED ON DRAWINGS SHALL BE INSTALLED OVER BUILDING WRAP, RESULTING IN A WATER-RESISTIVE EXTERIOR WALL SYSTEM COMPLIANT WITH IRC SECTION 703.2.
4. WHERE DIFFERENTIAL BETWEEN PORCH/PATIO AND SURROUNDING GRADE IS GREATER THAN 18" GUARDRAIL SHALL BE PROVIDED. THE GUARDRAIL SHALL BE 42" TALL AND SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH IT. REFER TO SHEET A601 FOR EXTERIOR LIGHTING. ALL EXTERIOR LIGHTING SHALL HAVE A CONCEALED LIGHT SOURCE.
5. ALL EXTERIOR METAL SHALL BE CORROSION RESISTANT.
6. ALL EXTERIOR MECHANICAL AND PLUMBING VENT LOCATIONS SHALL BE APPROVED WITH ARCHITECT, PRIOR TO INSTALLATION. ALL PIPING SHALL PAINTED TO MATCH SURROUNDING CONTEXT.

exterior material legend

- MATERIAL TYPE
- A. HORIZONTAL CEMENTITIOUS SIDING
 - B. HARD-COAT STUCCO
 - C. ASPHALT SHINGLES
 - D. CEMENTITIOUS BUILDING TRIM
 - E. MANUFACTURED STONE
- MATERIAL FINISH
- 1. PAINT, TBD
 - 2. PAINT, TBD
 - 3. PER MANUFACTURER, TBD
 - 4. PAINT, TBD
 - 5. PER MANUFACTURER, TBD



SEQUOIA DUPLEX

FOR DICK BURTON
ORCHARD DRIVE LEE'S SUMMIT, MO

REVISIONS

No.	Description	Date

sheet issue date:
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2020-01

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

A201



TOMPKINS ARCHITECTS

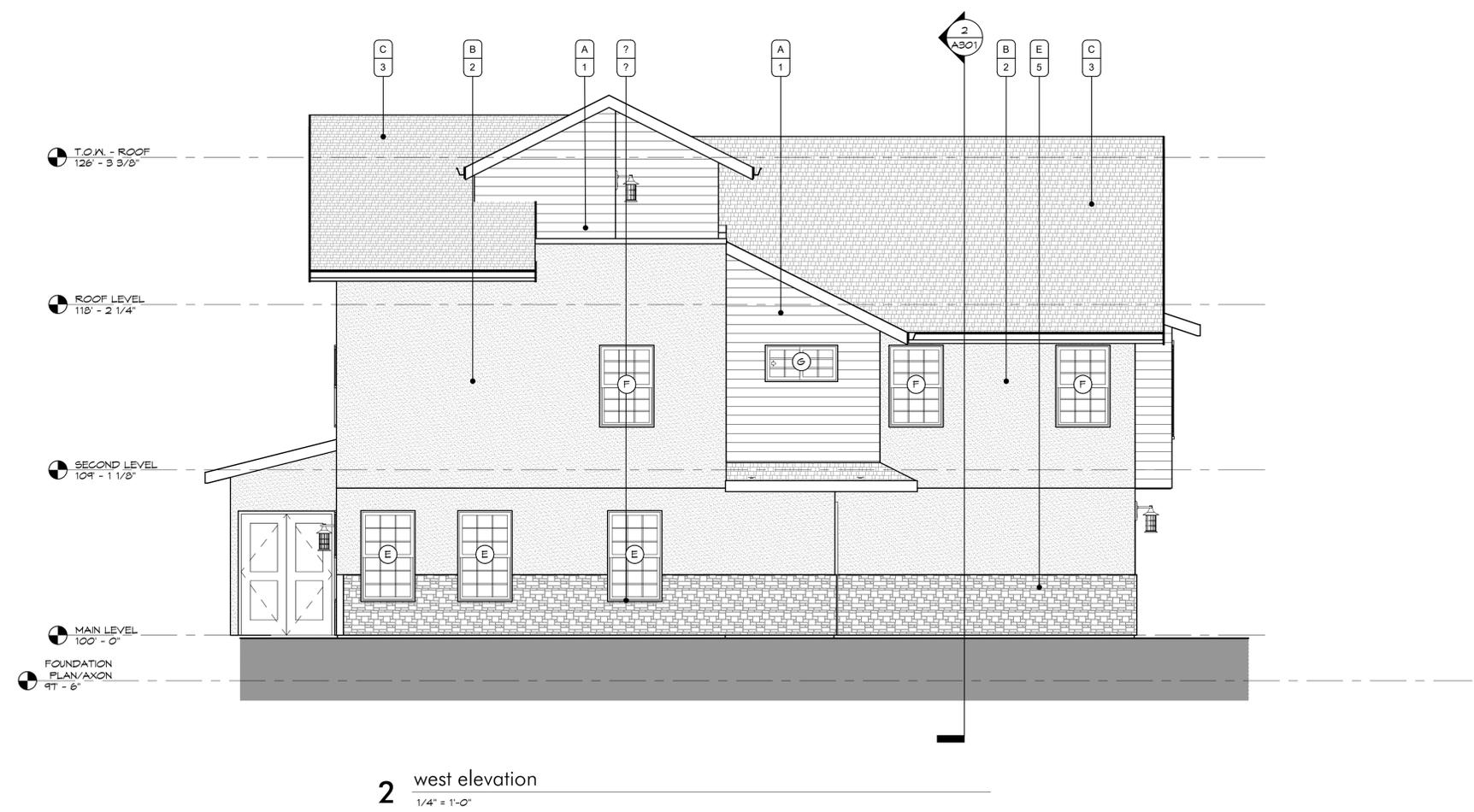
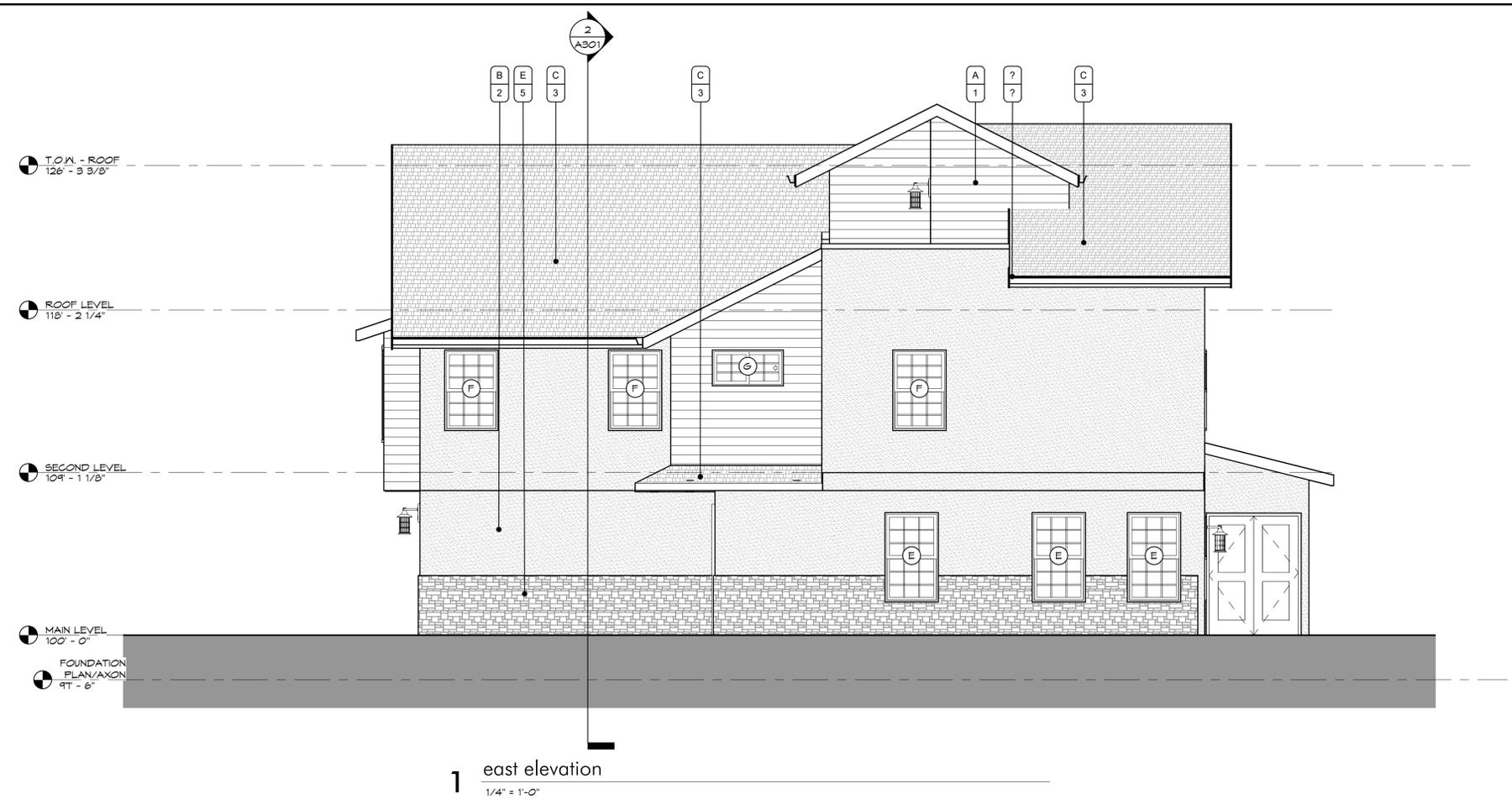
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exterior elevation general notes

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 - E. HARD-COAT STUCCO
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 - D. CEMENTITIOUS BUILDING TRIM
 - E. MANUFACTURED STONE
- MATERIAL FINISH
- 1. PAINT, TBD
 - 2. PAINT, TBD
 - 3. PER MANUFACTURER, TBD
 - 4. PAINT, TBD
 - 5. PER MANUFACTURER, TBD



SEQUOIA DUPLEX

FOR DICK BURTON
ORCHARD DRIVE LEE'S SUMMIT, MO

REVISIONS

No.	Description	Date

sheet issue date:
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2020-01

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

A202