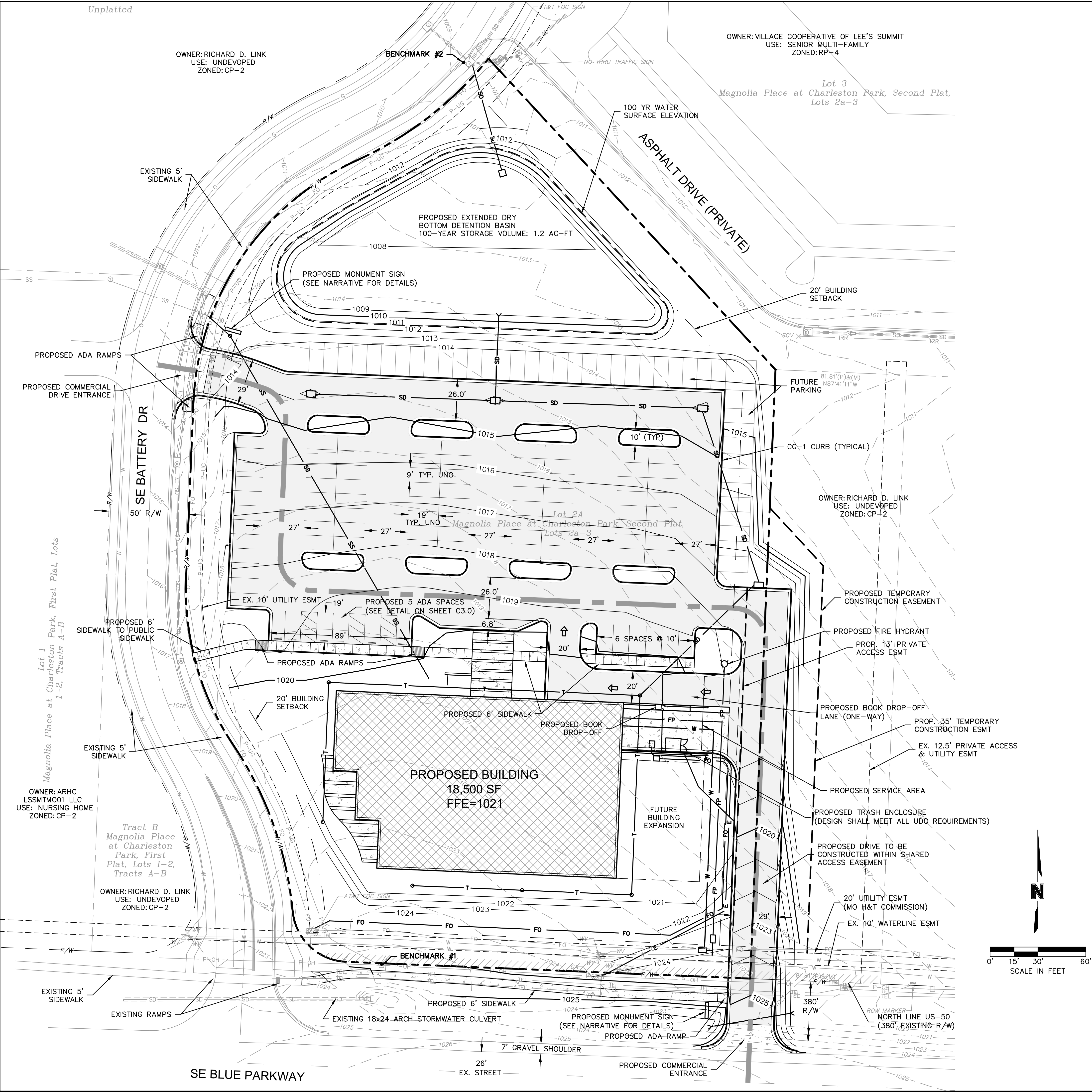


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DATE: Sep 18, 2018 8:18am XREFS: C-4LS_TBLK_80330 C-4LS_PBASE_80330 C-4LS_PBASE_61023 L_PBASE_61023



SITE DATA		
ZONING & SITE AREA		
PROPOSED USE:	PUBLIC LIBRARY	
	SITE AREA	ZONING
LOT 2 (AS DESCRIBED):	3.80 ACRES (165,528 SF)	CP-2
IMPREVIOUS:	1.71 ACRES (74,488 SF) (45%)	
PERVIOUS:	2.09 ACRES (91,040 SF) (55%)	
FAR (0.55 MAX):	0.15	
BUILDING AREA		
BUILDING TYPE	# STORIES	SQUARE FOOTAGE
BUILDING	1	18,500 SF
FUTURE	1	4,700 SF
PARKING		
USE	REQUIRED	PROVIDED
LIBRARY	4 PER 1000 SF = 74	83
ADA	3 (PER CITY TABLE)	5
TOTAL	74	88 (INCLUDING ADA)

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- BUILDING SETBACK LINES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTIC
- GAS LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED FIBER OPTIC
- PROPOSED WATER LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED STORM SEWER LINE
- PROPOSED TURF DRAIN LINE
- PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED GRADE CONTOURS
- PROPOSED FIRE ACCESS ROAD

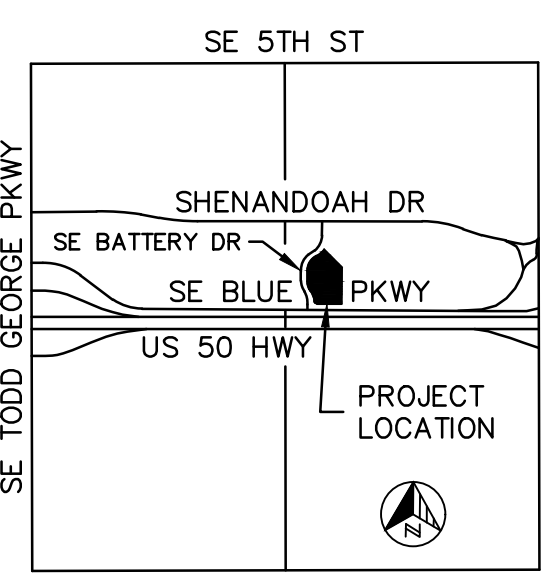
BENCHMARKS:

BENCHMARK #1:
ELEVATION=1027.22'
SET RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE, 66'± NORTH OF THE CL OF SE BLUE PARKWAY, 86' EAST OF THE CL OF SE BATTERY DRIVE.

BENCHMARK #2:
ELEVATION=1009.31'
SET CHISELED "C" CUT ON THE SOUTHWESTERLY CORNER OF A CONCRETE CURB INLET #40636, 630'± NORTH OF THE CL OF SE BLUE PARKWAY, 15' EAST OF THE CL OF SE BATTERY DRIVE.

LEGAL DESCRIPTION:

LOT 2A, MAGNOLIA PLACE AT CHARLESTON PARK, SECOND PLAT, LOTS 2A-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THE EAST 81.81 FEET THEREOF, CONTAINING 165,561 SQUARE FEET OR 3.8008 ACRES, MORE OR LESS.



SECTION 10, T.47N., R.31W.
VICINITY MAP
SCALE: 1" = 2000'

SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #006067

helix

1629 Walnut
Kansas City, MO 64108 816.300.0300

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Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH

2240 SE BLUE PARKWAY
LEE'S SUMMIT, MO 64063
JACKSON COUNTY

PACKAGE
04

Engineer of Record
Terry M Parsons, Engineer MO PE-2018010605

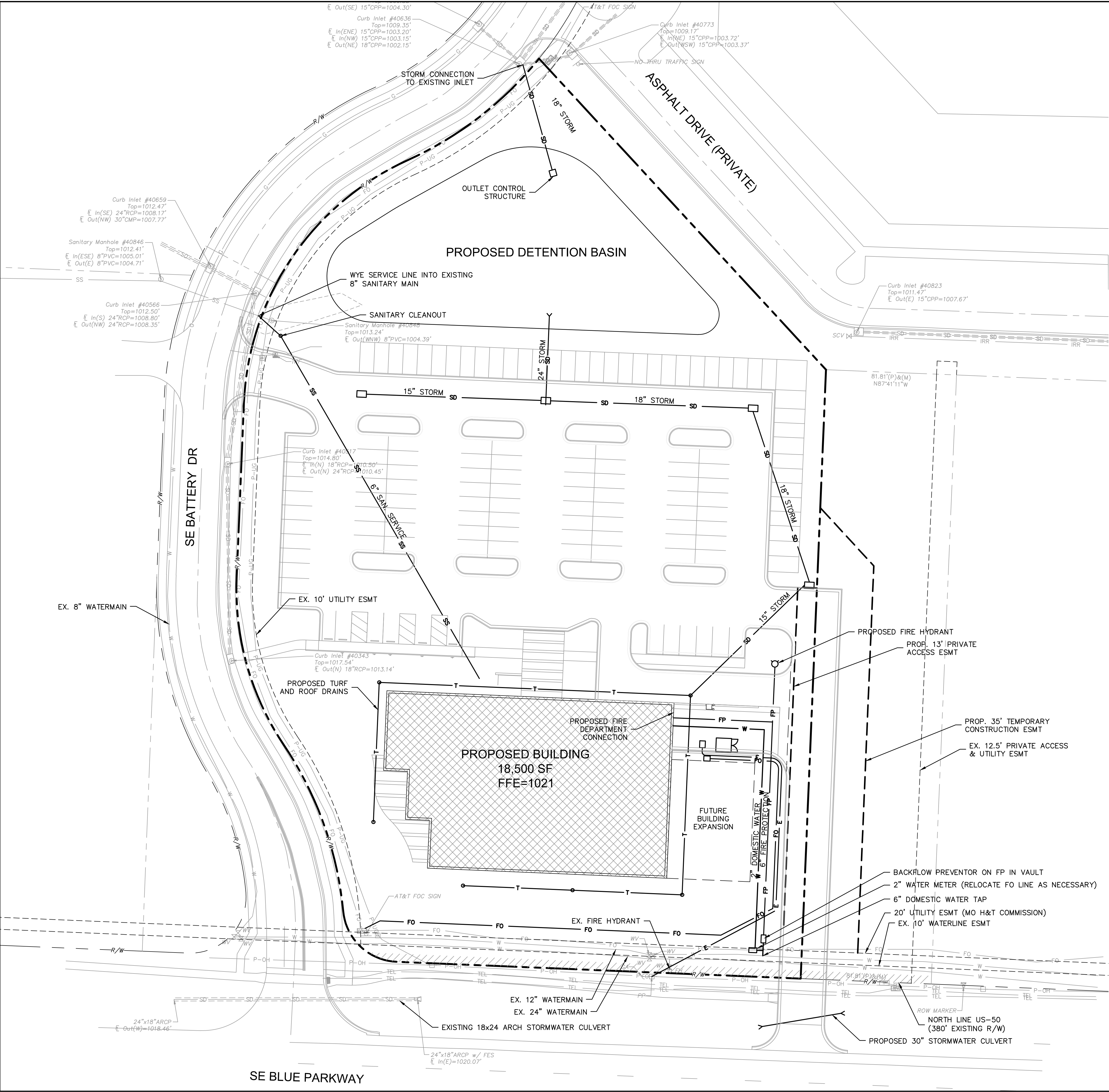
MOLSSON
ASSOCIATES

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.molssonassociates.com

Olsson Associates
Missouri State Certificate of Authority #001592
Revision No. Description Date

Project No. B18-0330 Date 09-18-18 Drawn KDP
Drawing No.
C1.0
PRELIMINARY
DEVELOPMENT PLAN
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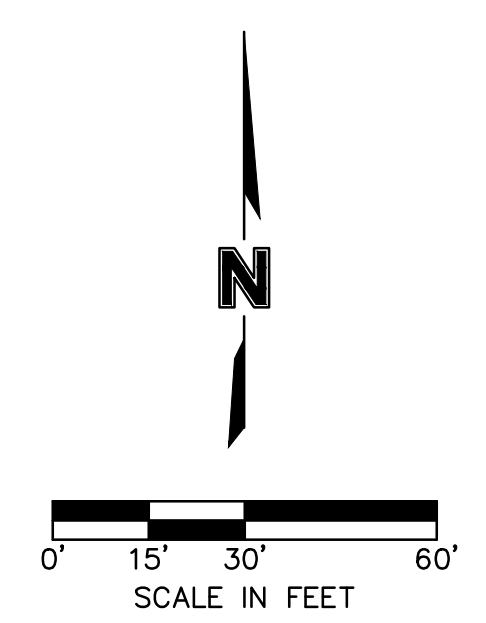


EXISTING CONDITIONS LEGEND

---	PROPERTY LINES
---	RIGHT-OF-WAY LINES
---	EASEMENT LINES
P-OH	OVERHEAD ELECTRIC
P-UG	UNDERGROUND ELECTRIC
TEL	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
G	GAS LINE
W	WATER LINE
SS	STORM SEWER LINE
SS	SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

E	PROPOSED UNDERGROUND ELECTRIC
FO	PROPOSED FIBER OPTIC
W	PROPOSED WATER LINE
FP	PROPOSED FIRE PROTECTION LINE
SD	PROPOSED STORM SEWER LINE
T	PROPOSED TURF DRAIN LINE
SS	PROPOSED SANITARY SEWER SERVICE
	CONCRETE CURB & GUTTER
	PROPOSED BUILDING



SAPP DESIGN ARCHITECTS
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Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLANS FOR
EAST LEE'S SUMMIT BRANCH
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JACKSON COUNTY

PACKAGE **04**

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010605

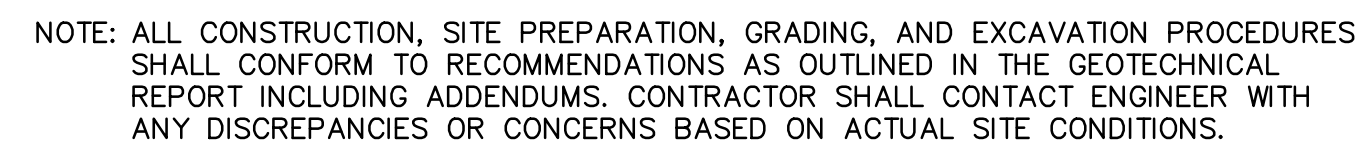
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www.molsonassociates.com

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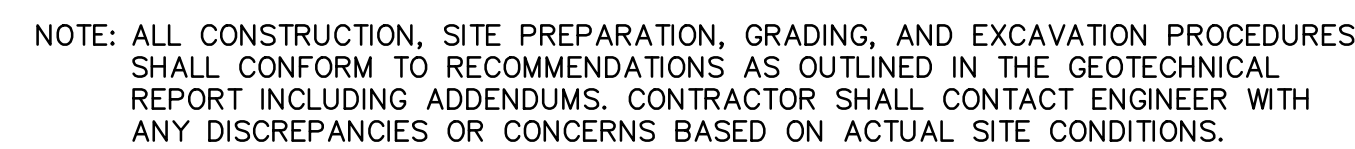
Project No. B18-0330 Date 09-18-18 Drawn KDP

Drawing No. **C2.0**
PDP UTILITY PLAN

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SPHALT PAVEMENT SECTI



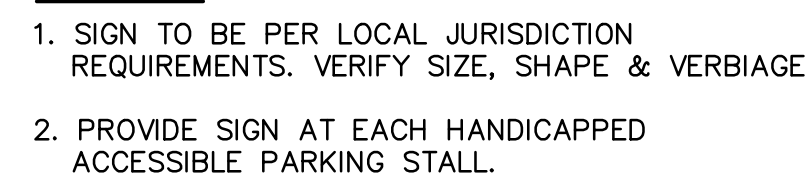
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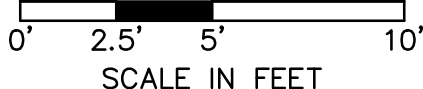
1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
4. KOMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



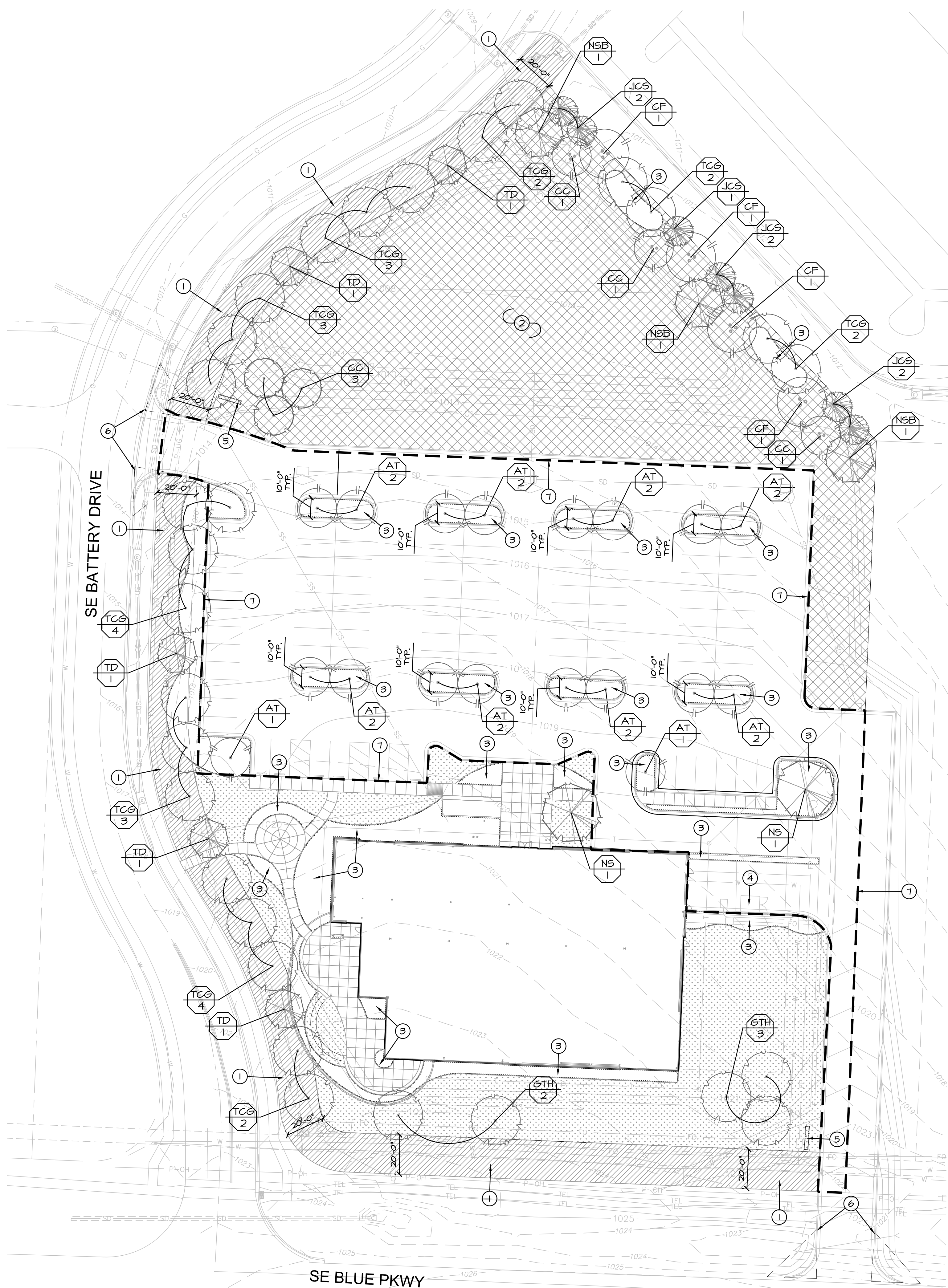
1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
5. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



SPACE SIGNAGE

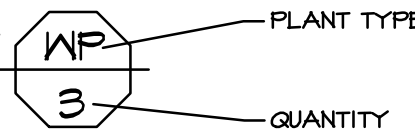


1 OVERSTORY LANDSCAPE PLAN

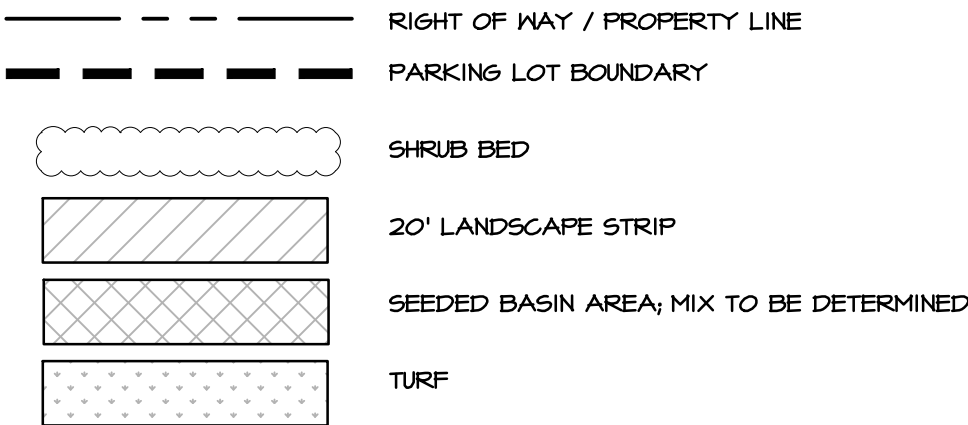


LANDSCAPE GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT, MISSOURI IN CURRENT USAGE. ALL STANDARDS NOT COVERED BY THE CITY SHALL BE APWA STANDARDS IN CURRENT USAGE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES, DRAIN LINES AND IRRIGATION PIPING PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, DRAIN LINES AND IRRIGATION PIPING.
3. CONTRACTOR SHALL VERIFY AND COORDINATE ALL FINAL GRADES WITH LANDSCAPE ARCHITECT PRIOR TO COMPLETION.
4. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.
5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
 - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTINGS BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER'S RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION



LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

- 1 20' LANDSCAPE STRIP
- 2 SEEDED AREA; MIX TO BE DETERMINED
- 3 PLANTING BED; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 4 TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
- 5 MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)
- 6 SIGHT TRIANGLES
- 7 PARKING LOT BOUNDARY

PARKING LOT LANDSCAPE - AREA CALCULATIONS

ORDINANCE REQUIREMENT	
LANDSCAPE ISLANDS, STRIPS, AND PLANTING AREAS SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING.	
TOTAL PARKING LOT AREA = 60,609 SQ. FT. FIVE PERCENT (5%) OF 60,609 = 3,031 SQ. FT.	TOTAL ISLAND AREA = 2,504 SQ. FT. TOTAL LANDSCAPE AREA = 4,112 SQ. FT.

LOW IMPACT BUFFER TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
TCG	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	4
NSB	Nyssa sylvatica	BLACK GUM	3" CAL.	B & B	3
ORNAMENTAL TREES					
CC	Cercis canadensis	EASTERN REDBUD	3" CAL.	B & B	3
CF	Cornus florida	FLOWERING DOGWOOD	3" CAL.	B & B	4
EVERGREEN TREES					
JCS	Juniperus chinensis 'Spartan'	SPARTAN JUNIPER	3" CAL.	B & B	7
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
SIDE LOT LINE = 20' 245 LF x 20' = 4900 SQ. FT. 7 DECIDUOUS TREES REQUIRED 7 ORNAMENTAL TREES REQUIRED 7 EVERGREEN TREES REQUIRED					
					TOTAL PROPOSED 1
					TOTAL PROPOSED 1

STREET FRONTAGE TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	Acer truncatum	SHANTUNG MAPLE	3" CAL.	B & B	5
STH	Gleditsia triacanthos f. inermis 'Skycole'	SKYLINE HONEY LOCUST	3" CAL.	B & B	
NS	Nyssa sylvatica	BLACK GUM	3" CAL.	B & B	21
TCG	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	
TD	Taxodium distichum 'Michelson'	SHAWNEE BRAVE BALD CYPRESS	3" CAL.	B & B	5
ORNAMENTAL TREES					
CC	Cercis canadensis	EASTERN REDBUD	3" CAL.	B & B	
CF	Cornus florida	FLOWERING DOGWOOD	3" CAL.	B & B	
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.					
921 FT. OF STREET FRONTAGE / 30 = 31 TREES REQUIRED					
					TOTAL PROPOSED 31

OPEN YARD TREES - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
SHADE TREES					
AT	Acer truncatum	SHANTUNG MAPLE	3" CAL.	B & B	18
NS	Nyssa sylvatica	BLACK GUM	3" CAL.	B & B	
TCG	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B & B	2
TD	Taxodium distichum 'Michelson'	SHAWNEE BRAVE BALD CYPRESS	3" CAL.	B & B	
ORNAMENTAL TREES					
CC	Cercis canadensis	EASTERN REDBUD	3" CAL.	B & B	7
CF	Cornus Florida	FLOWERING DOGWOOD	3" CAL.	B & B	
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES).					
165,464 SQ. FT. OF TOTAL LOT AREA MINUS 10,450 SQ. FT. OF BUILDING FOOTPRINT 147,014					
147,014 SQ. FT. / 5000 = 29 TREES REQUIRED					
					TOTAL PROPOSED 32

SAPP
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ARCHITECTS

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Springfield, MO 65804 417.877.9600

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RENOVATIONS TO
EAST LEE'S SUMMIT BRANCH
150 NW Oldham Pkwy
Lee's Summit, Missouri 64081
Jackson County

100% DD
SUBMITTAL
PACKAGE
04

NOT FOR
CONSTRUCTION

OCHSNER
HARE & HARE
a design studio of
OLSSON.
ASSOCIATES

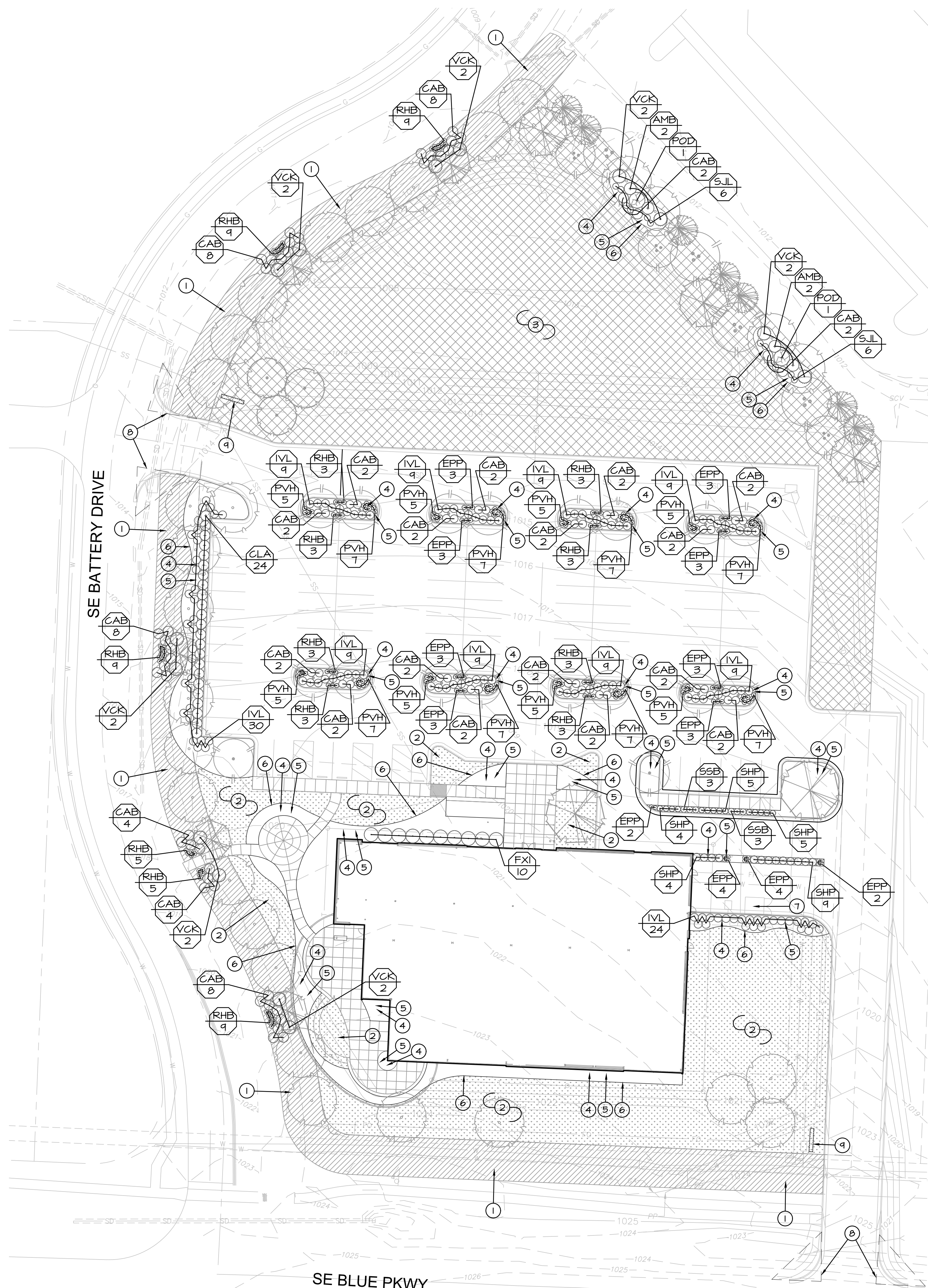
Revision No. Description Date

Project No. 016-1023 Date 09-18-18 Drawn TG

Drawing No.

L500
OVERSTORY
LANDSCAPE PLAN

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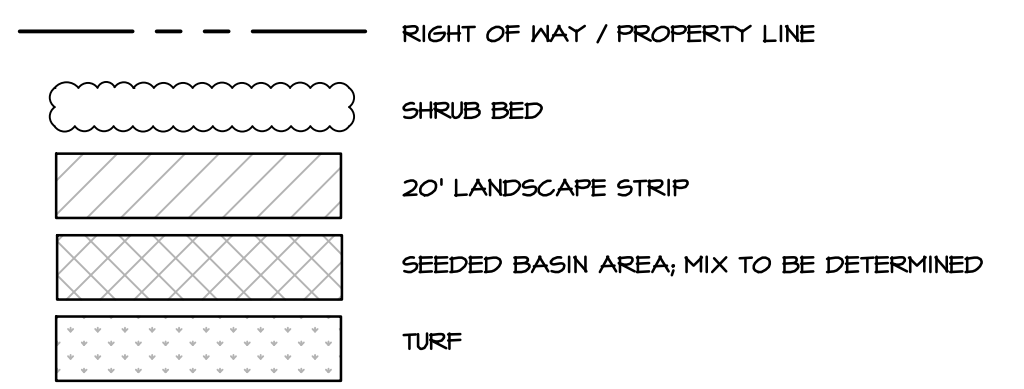
1 UNDERSTORY LANDSCAPE PLAN

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13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION:

WP	PLANT TYPE
3	QUANTITY

LANDSCAPE LEGEND:



LANDSCAPE PLAN NOTES:

- 1 20' LANDSCAPE STRIP
- 2 AREA TO BE SODDED WITH TURF TYPE FESCUE, REF. SPECIFICATIONS
- 3 SEEDING AREA; MIX TO BE DETERMINED
- 4 PLANTING BED; REF. LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 5 HARDWOOD MULCH; REF. LANDSCAPE GENERAL NOTES & SPECIFICATIONS
- 6 CONSTRUCT STEEL BED EDGE; REF. 4/L540
- 7 TRASH ENCLOSURE WITH 6' MASONRY SCREEN WALL (SHALL MEET ALL UDO REQUIREMENTS)
- 8 SIGHT TRIANGLES
- 9 MONUMENT SIGN (SHALL MEET ALL UDO REQUIREMENTS)

LOW IMPACT BUFFER SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
AMB	Aronia melanocarpa	BLACK CHOKEBERRY	3" CAL.	B 4 B	4
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	3" CAL.	B 4 B	4
POD	Physocarpus opulifolius 'Diabolo'	DIABOLO NINEBARK	3" CAL.	B 4 B	2
S.L.	Spirea japonica 'Little Princess'	LITTLE PRINCESS SPIREA	3" CAL.	B 4 B	4
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	3" CAL.	B 4 B	4
ORDINANCE REQUIREMENT					
ONE (1) TREE PER 30 FEET OF STREET FRONTAGE.			SIDE LOT LINE = 20' 245 LF x 20' = 4900 SQ FT 25 SHRUBS REQUIRED		
			TOTAL PROPOSED 26		

STREET FRONTAGE SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	40
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	10
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
ONE (1) SHRUB PER 20 FEET OF STREET FRONTAGE.			921 FT. OF STREET FRONTAGE / 20' = 46 TREES REQUIRED		
			TOTAL PROPOSED 50		

OPEN YARD SHRUBS - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	12
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
TWO (2) SHRUBS PER 5000 SQ. FT. OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT.			165,464 SQ. FT. OF TOTAL LOT AREA MINUS 18,450 SQ. FT. OF BUILDING FOOTPRINT 147,014 147,014 SQ. FT. / 5000 x 2 = 59 TREES REQUIRED		
			TOTAL PROPOSED 114		

PARKING LOT SCREENING - PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	QUANTITY
DECIDUOUS SHRUBS					
CAB	Cornus alba 'Bailhala'	IVORY HALO DOGWOOD	5 GAL.	CONT.	32
CLA	Clethra alnifolia	SUMMERSWEET	5 GAL.	CONT.	12
FXI	Forsythia X intermedia	BORDER FORSYTHIA	5 GAL.	CONT.	
IVL	Itea virginica 'Little Henry'	LITTLE HENRY SHEETSPIRE	5 GAL.	CONT.	
VCK	Viburnum carlesii	KOREANSPICE VIBURNUM	5 GAL.	CONT.	
PERENNIALS / GRASSES / GROUNDCOVERS					
EPP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT.	
FVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS	1 GAL.	CONT.	
RHB	Rudbeckia fulgida speciosa 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL.	CONT.	
SHP	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL.	CONT.	
SSB	Schizachyrium scoparium	LITTLE BLUESTEM	1 GAL.	CONT.	
ANNUALS					
ANN				POT	
ORDINANCE REQUIREMENT					
12 SHRUBS PER 40 LINEAR FEET (MUST BE 2.5 FEET TALL; BERRMS MAY BE COMBINED WITH SHRUBS)			WEST SIDE OF PARKING LOT: 175 LINEAR FT. / 40 LINEAR FT. x 12 = 53 TREES REQUIRED SOUTH SIDE OF PARKING LOT: 80 LINEAR FT. / 40 LINEAR FT. x 12 = 24 TREES REQUIRED		
			TOTAL PROPOSED 104		

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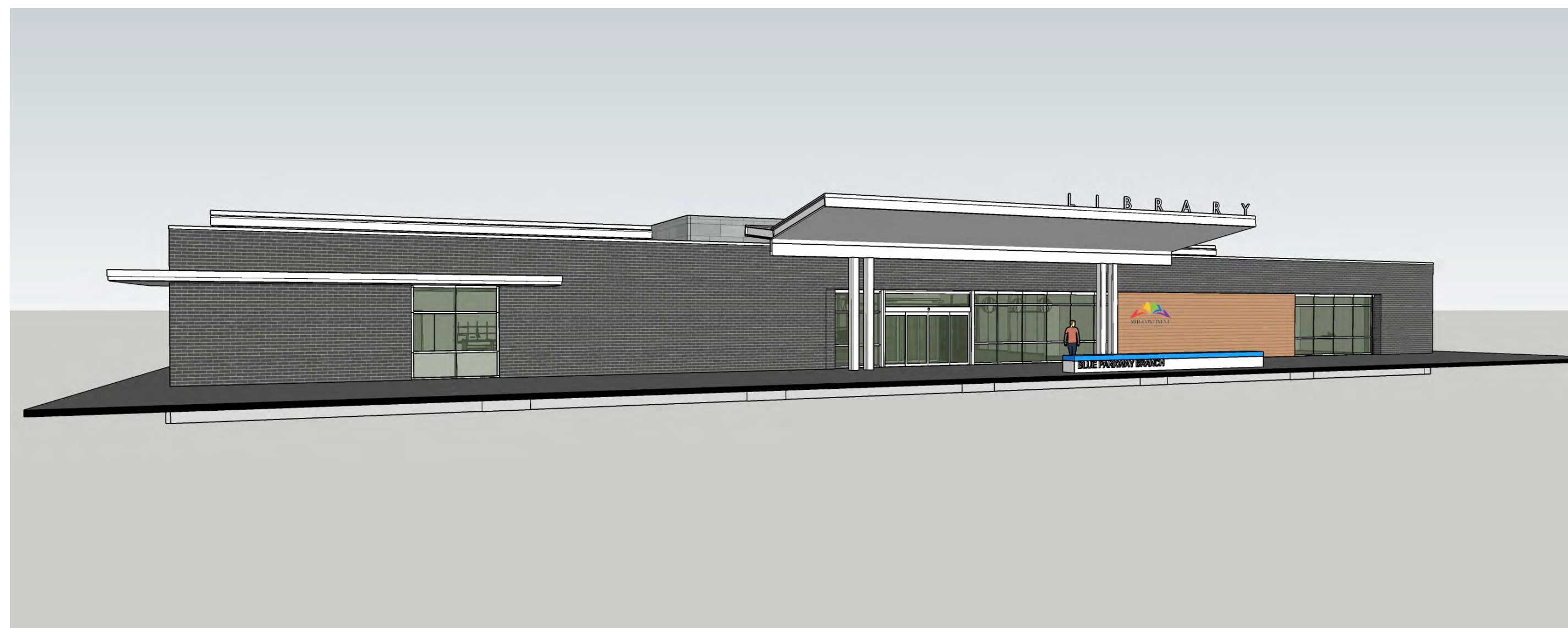
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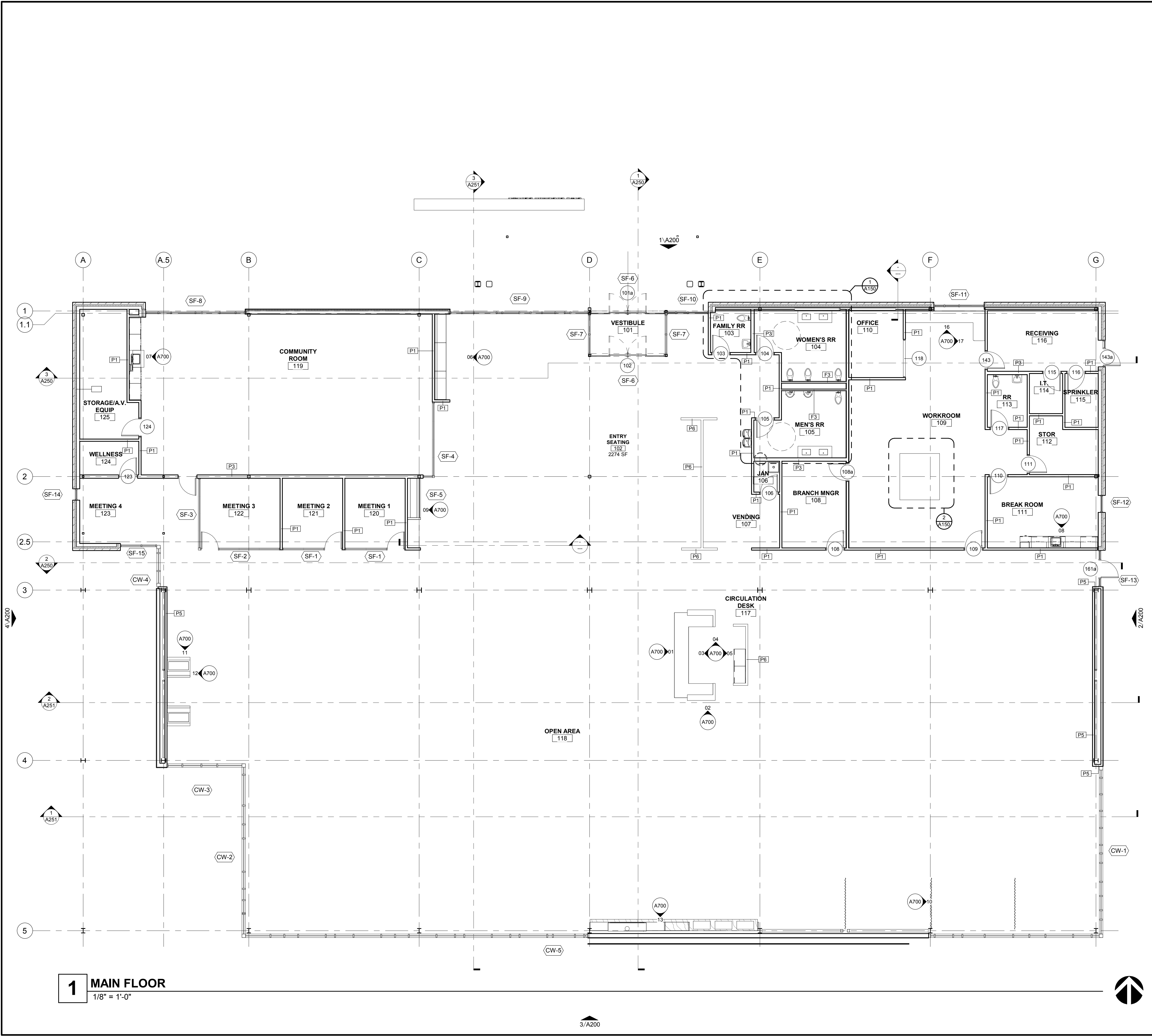
Project No. 016-1023 Date 09-18-18 Drawn TG

Drawing No.

L510
UNDERSTORY
LANDSCAPE PLAN

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GENERAL NOTES

1. ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF CMU. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE + AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES.
2. SEE GENERAL NOTES ON G100 FOR WORK PERTAINING TO EXISTING CONDITIONS, DIMENSIONS, ETC.

KEYNOTES

1

MAIN FLOOR

1/8" = 1'-0"

PRELIMINARY: UNCERTIFIED
RESUBMITTAL FOR PRE-DEVELOPMENT PLAN
9.18.2018

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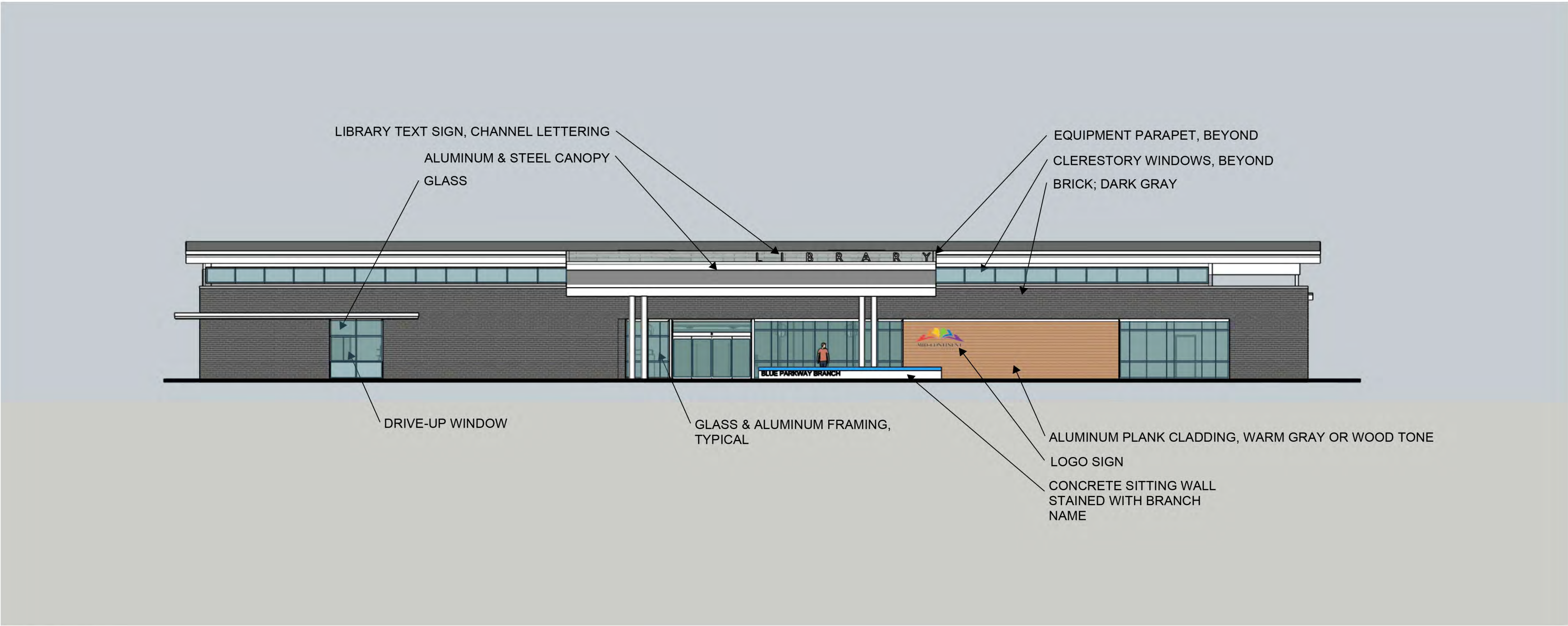
Revision No.	Description	Date

Project No. WP04	Date 9-14-2018	Drawn Author
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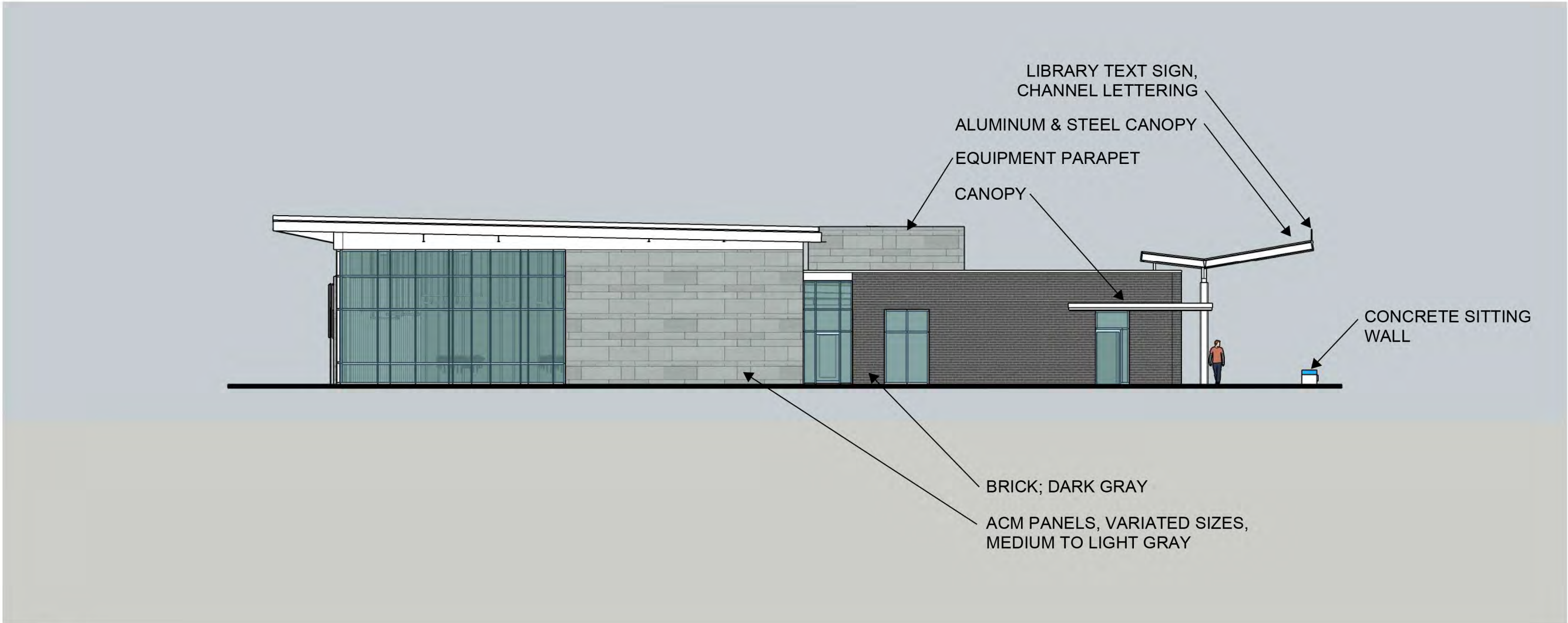
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A100
FLOOR PLAN

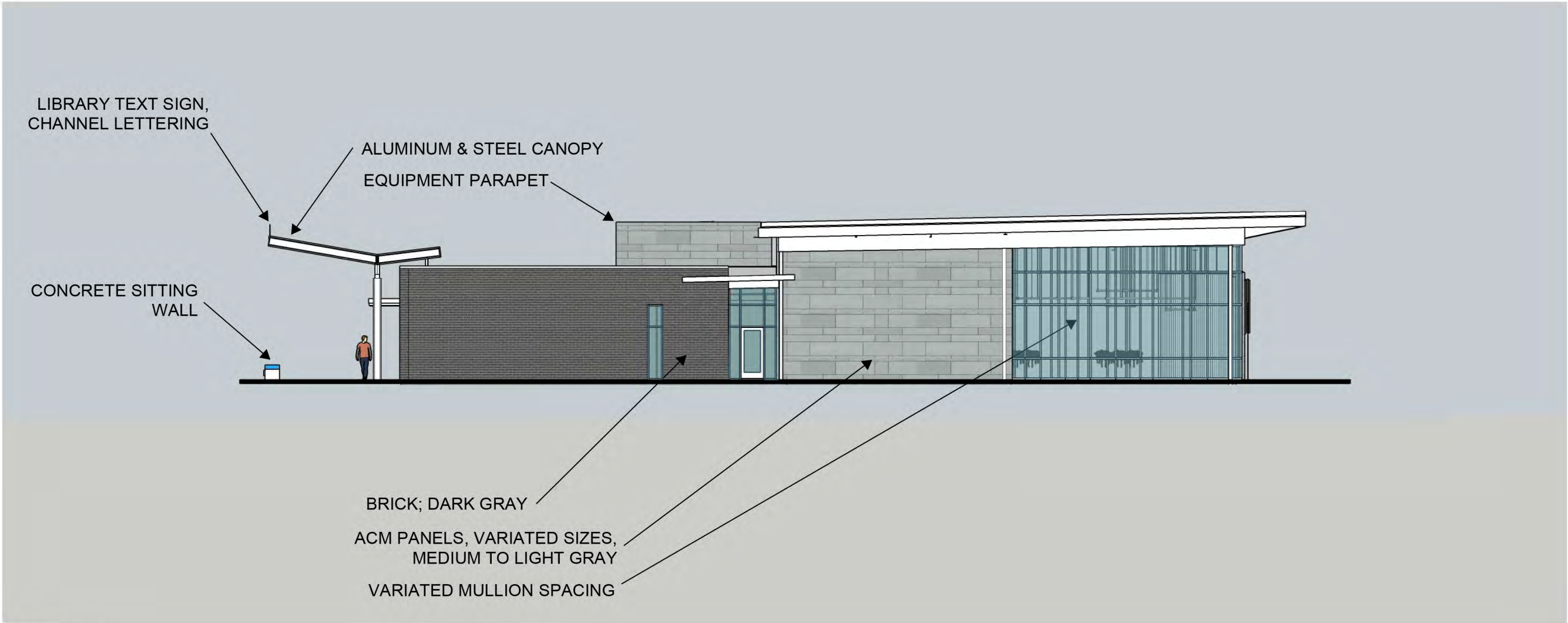
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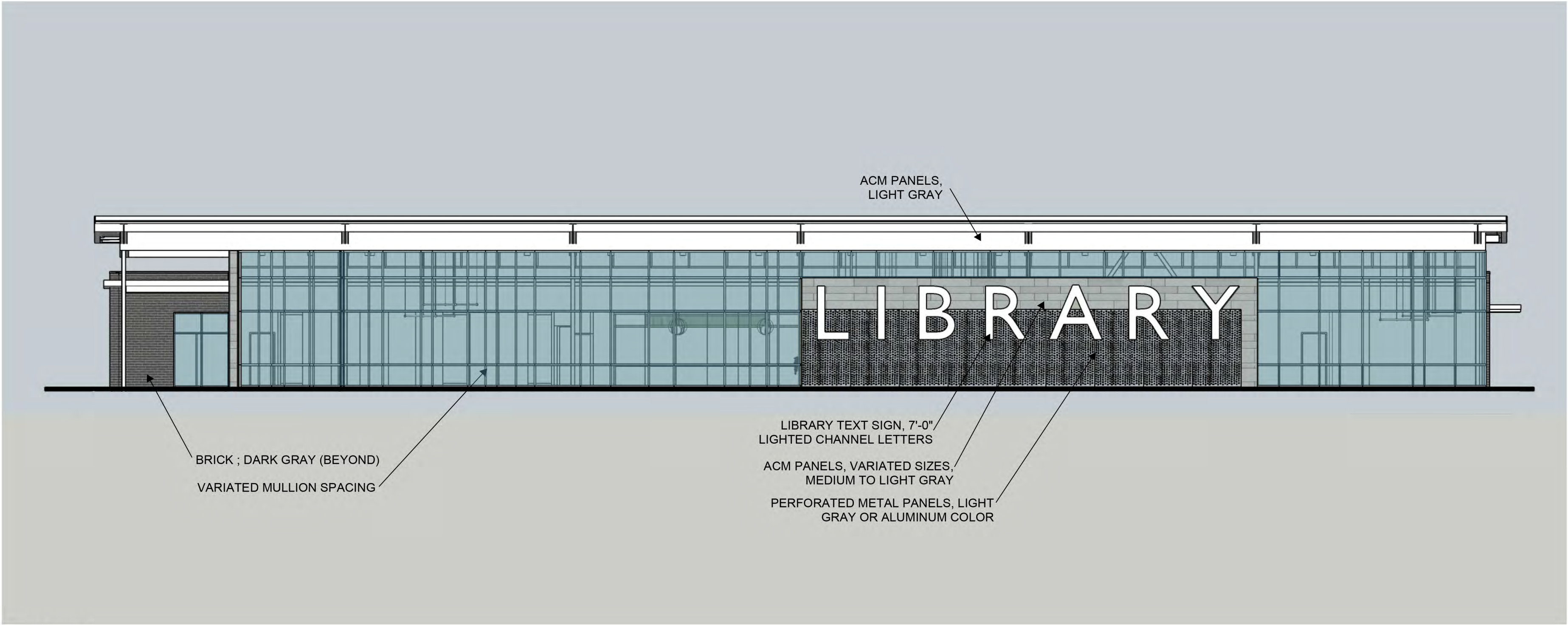
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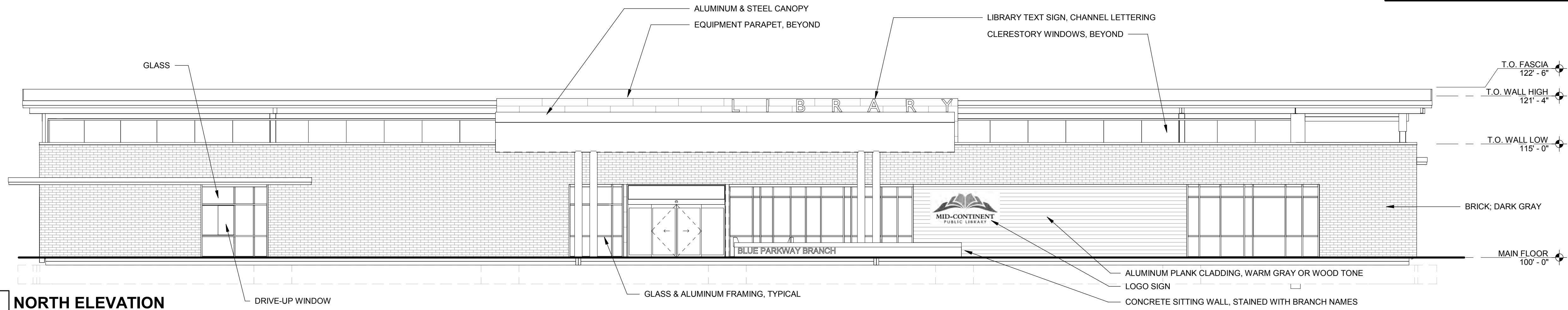
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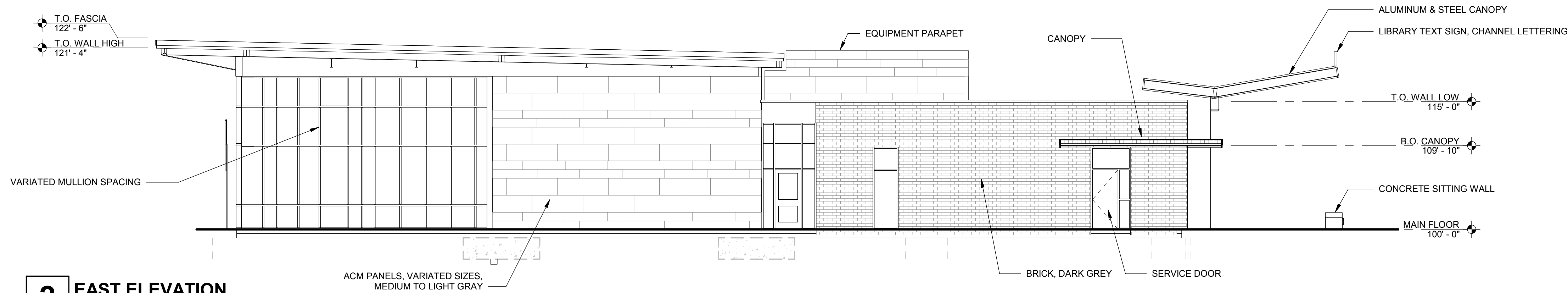
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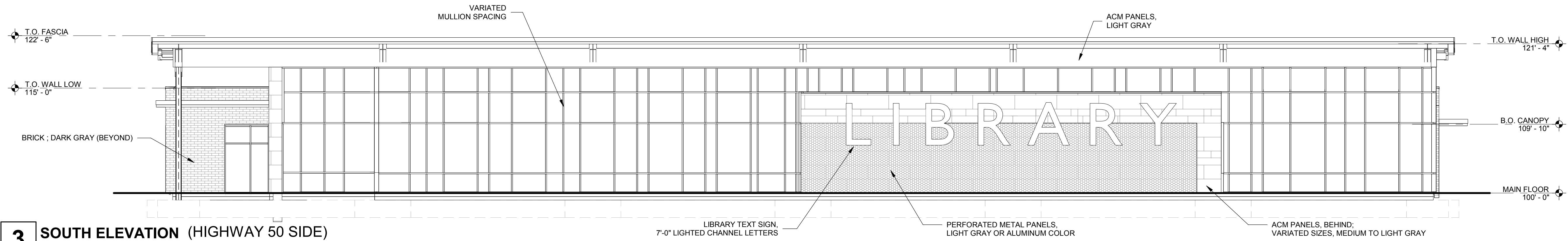
SOUTH



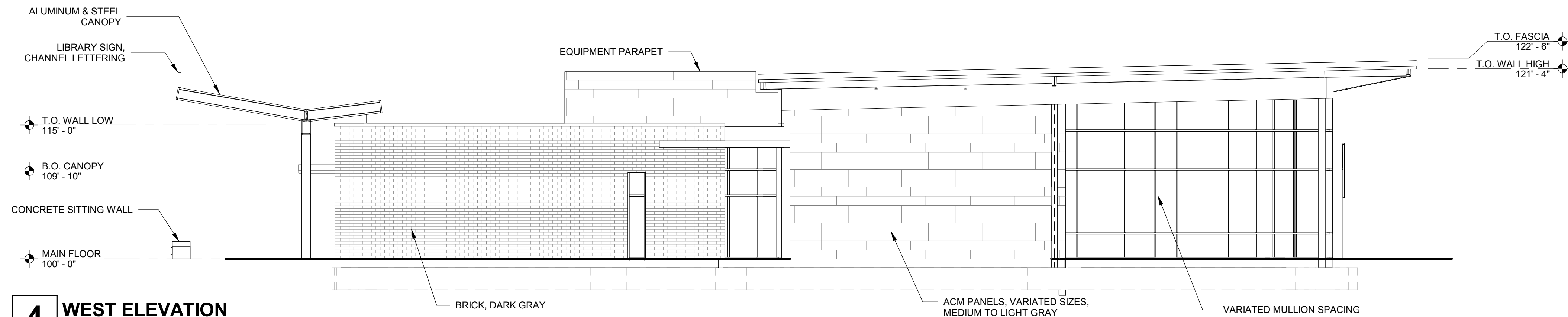
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

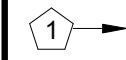


3 SOUTH ELEVATION (HIGHWAY 50 SIDE)
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

KEYNOTES



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Project No.	Date	Drawn
WP04	9-14-2018	Author

Drawing No.

A200
ELEVATIONS

PRELIMINARY: UNCERTIFIED
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9.18.2018

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R. David Hartzler, Engineer MO 023187

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F: 913 . 491 . 1838
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Missouri State Certificate of Authority # 20020027		
Revision No.	Description	Date

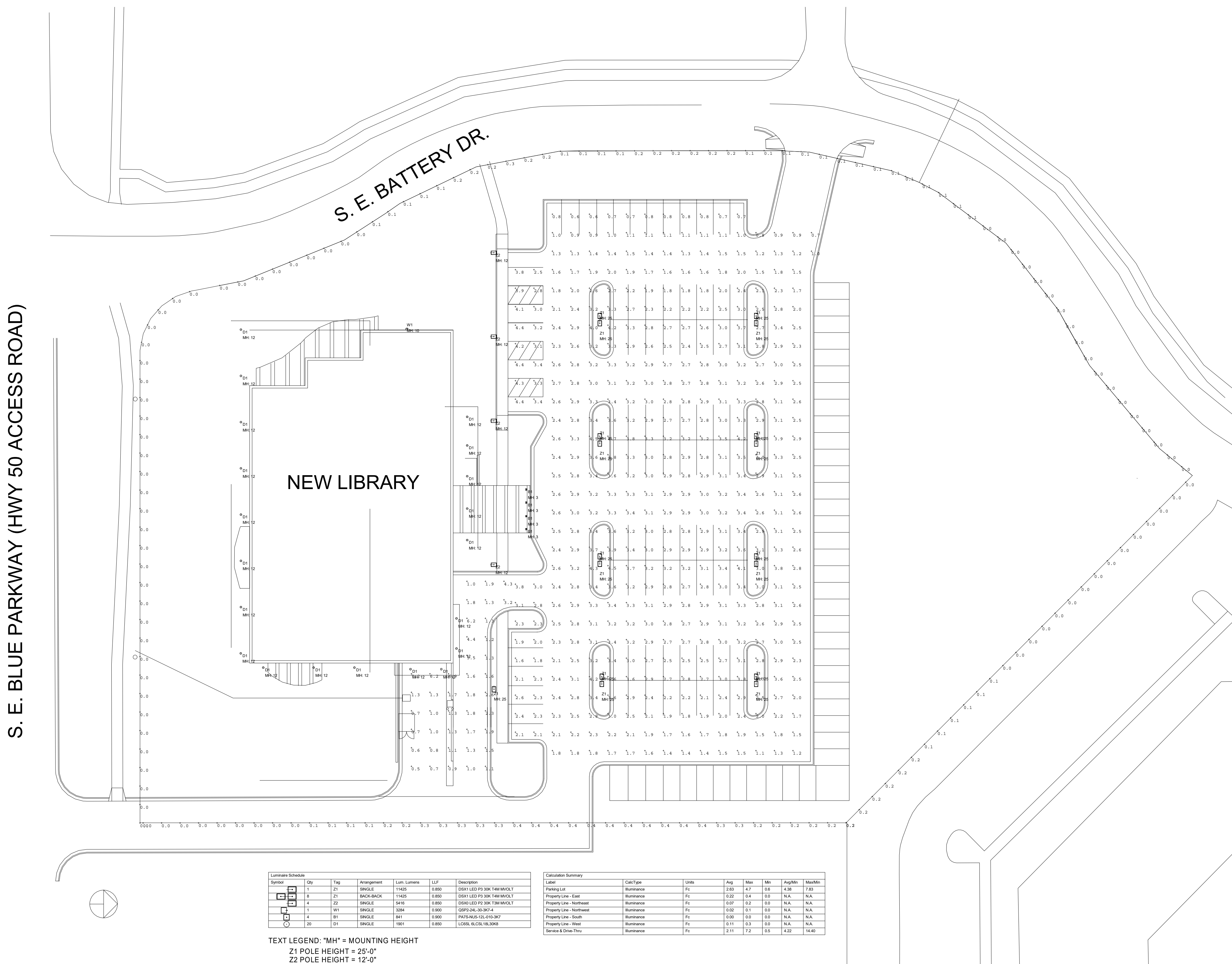
Project No. 1013-004	Date 08-16-2018	Drawn Author
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Drawing No		
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ES101A

SITE LIGHTING CALCULATIONS

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1 Site Lighting Calculations

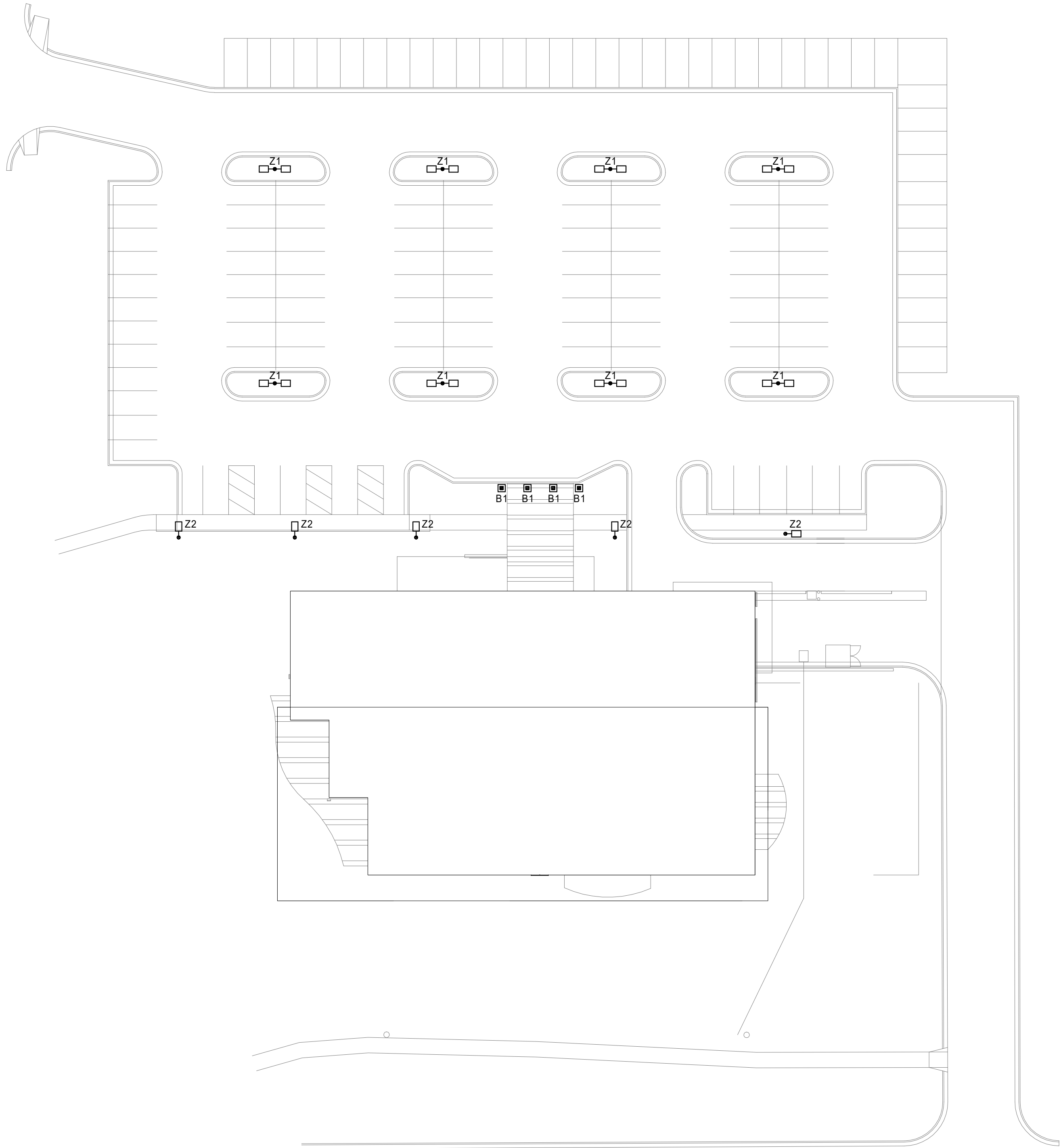
$$1'' = 30'-0''$$

SITE LEGEND (THIS SHEET)	
	POLE-MOUNTED LUMINAIRE
	LANDSCAPE FLOOD LUMINAIRE
	KEYNOTE
	JUNCTION BOX

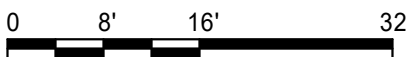
SITE LUMINAIRE SCHEDULE										
FIXTURE TYPE	DESCRIPTION	MANUFACTURER* OR APPROVED EQUIVALENT	MODEL	LAMPS (QTY) TYPE	LAMP CCT	LAMP CRI	INPUT VA	VOLTAGE	SCHEDULED NOTES	
B1	42" TALL, LED SITE BOLLARD. DIE-CAST ALUMINUM HOUSING, WITH IP66 RATED OPTICAL SYSTEM. TYPE V DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). FINISH SELECTED BY ARCHITECT.	KIM LIGHTING*	PA7S-PT-NU5-12L-010-3K7-42A-UNV-EM	LED	3000 K	70	14 VA	277 V		
Z1	33" LONG x 13" WIDE x 7" TALL, LED SITE LUMINAIRE. IP65 RATED, UL WET LOCATION LISTED. TYPE IV DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). TWO HEADS MOUNTED ON POLE, 180 DEGREES APART. PROVIDE 25'-0" SQUARE POLE AND MOUNTING COMPATIBLE WITH FIXTURE. ARCHITECT TO SELECT FINISHED.	LITHONIA* (HUBBELL, MCGRAW-EDISON)	DSX1 LED P3 30K T4M MVOLT SPA	LED	3000 K	70	102 VA	277 V		
Z2	26" LONG x 13" WIDE x 7" TALL, LED SITE LUMINAIRE. IP65 RATED, UL WET LOCATION LISTED. TYPE III DISTRIBUTION, FULL CUTOFF (NO UPLIGHT). SINGLE HEAD MOUNTED ON POLE. PROVIDE 12'-0" SQUARE POLE AND MOUNTING COMPATIBLE WITH FIXTURE. ARCHITECT TO SELECT FINISHED.	LITHONIA* (HUBBELL, MCGRAW-EDISON)	DSX0 LED P2 30K T3M MVOLT SPA	LED	3000 K	70	49 VA	277 V		

GENERAL NOTES (THIS SHEET)	
1. SEE SHEET E001 FOR LEGEND AND ADDITIONAL GENERAL NOTES.	
2. COORDINATE WITH ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR LOCATIONS AND MOUNTING HEIGHTS OF ALL LUMINAIRES. ARCHITECTURAL DRAWINGS AND ELEVATIONS SHALL TAKE PRECEDENCE WHERE ELECTRICAL DRAWINGS VARY FROM ARCHITECTURAL.	
3. USE #10 AWG COPPER WIRE FOR ALL SITE WIRING, UNLESS NOTED OTHERWISE.	
4. REFER TO LIGHTING PLAN FOR BUILDING MOUNTED EXTERIOR LUMINAIRES.	

KEY NOTES (THIS SHEET)	
1. NEW PAD-MOUNTED UTILITY TRANSFORMER BY KCP&L. MOUNT ON KCP&L APPROVED CONCRETE EQUIPMENT PAD, IN ACCORDANCE WITH ALL KCP&L CLEARANCE AND ACCESSIBILITY REQUIREMENTS.	
2. C.T. CABINET, NEMA 3R ENCLOSURE, AND UTILITY ELECTRIC METER, INSTALL PER KCP&L REQUIREMENTS.	



A1 ELECTRICAL SITE PLAN
1" = 30'-0"



REVIEWERS PLEASE NOTE:
DUE TO ONGOING USER INPUT, EQUIPMENT AND DEVICE PLACEMENTS ARE BASED ON THE PROJECT INFORMATION, AS WELL AS USER FEEDBACK FROM VARIOUS DESIGN MEETINGS AND OTHER INFORMATION TO DATE. QUANTITIES AND LOCATIONS OF DEVICES AND EQUIPMENT REFLECT A PRELIMINARY LAYOUT TO SERVE THE CURRENT ARCHITECTURAL DESIGN. EQUIPMENT AND DEVICES ARE NOT YET PLACED PER FINAL LOCATIONS OR QUANTITIES, AS THOSE ARE EXPECTED TO CHANGE.

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Drawing No. ES101 ELECTRICAL SITE PLAN		