



DESIGN BOOK

Addendum

Lumberman's Row

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Updated November, 2021

“AN INTELLIGENT CITY PLAN
THINKS IMPARTIALLY FOR ALL
PARTS OF THE CITY AT THE
SAME TIME, AND DOES NOT
FORGET THE GREATER NEEDS
OF TOMORROW IN THE PRESS
OF TODAY.”

- J.C. Nichols

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Community Vision

Lumberman's Row at New Longview is comprised of expansive Estate lots nestled between the Longview Mansion and New Longview Lake on a beautiful split-lane boulevard inspired by Janssen Place in Hyde Park.

Janssen Place was Kansas City's first private road and was nicknamed 'Lumberman's Row' due to the number of business owners in the construction industry who originally built and lived there. Janssen Place remains one of Kansas City's most desirable addresses.

a. This Addendum applies only to the Lumberman's Row platted lots and incorporates and expands upon the requirements included within the main New Longview Design Book. It is encouraged that designers and home buyer review both set of design guidelines.

b. All of the guidelines within the New Longview Design Book apply to Lumberman's Row, however where conflicts exist, this Addendum shall govern.



Neighborhood Design

1. Single-Family Homes

- a. There is one lot type for Single-Family homes in Lumberman's Row: **Estate**.
- b. Homes on Estate lots must have a **minimum of 3,200 square feet** of livable area above-grade and a **minimum of 1,000 square feet on the second story**, not including accessory structures.
 - o **Maximum home size** is determined by city code.
- c. Homes on Estate lots must have a **minimum of two and a maximum of three stories** of livable area.



2. Streetscape Diversity

- a. No more than three homes in Lumberman's Row 1st Plat shall share the same **architecture style**.
- b. **Architectural styles** of each home shall vary significantly from adjacent homes and those immediately across the street.
- c. **Color and material schemes** shall vary significantly from adjacent homes, homes immediately across the street, and other homes in Lumberman's Row with the same architecture style.

3. Active and Passive Sides

- a. [Not applicable in Lumberman's Row]

4. Presentation at Corners

- a. **Front entries** for all lots shall face the street.

5. Semi-Detached Garages

- a. **Garage doors** shall not be directly visible from an adjacent street.
 - o In layouts where the main garage faces the street, the front of the garage shall be set back from the front of the lot a minimum of 100' and utilize some combination of porticos, landscaping, hardscaping, and/or rear-facing garage(s) to shield from view.
- b. **Garage doors** shall be individual and no larger than 10'x10' (9'x9' is common).
- c. **No more than three garage doors** allowed per primary garage (maximum of five garage doors allowed per lot if utilizing a courtyard layout).

6. Side Drive Garages

- a. Drive lanes may be no more than 12' in width along the side yard.
- b. The driveway may widen to 20 or 30 feet beginning at the front building line.
- c. Lots with at least 100 feet of width along the street front may employ a U-shaped driveway and/or a circle-drive.
 - a. U-shaped driveways and circle drives have additional requirements and require prior approval from the Architectural Review Committee to ensure harmonious implementation.
- d. All side drives must have the primary curb-cut on the South side of homes.
- e. The curb flare shall be 3 feet.

7. Carriage Units / Accessory Structures

- a. [Same guidelines as New Longview Design Book]

8. Setback Variation

- a. [Same guidelines as New Longview Design Book]

9. Lot Types

Estate

Estate lots in Lumberman's Row at New Longview are inspired by some of the most cherished neighborhoods in Kansas City. They allow for respectable larger homes all the way up to sprawling estates.

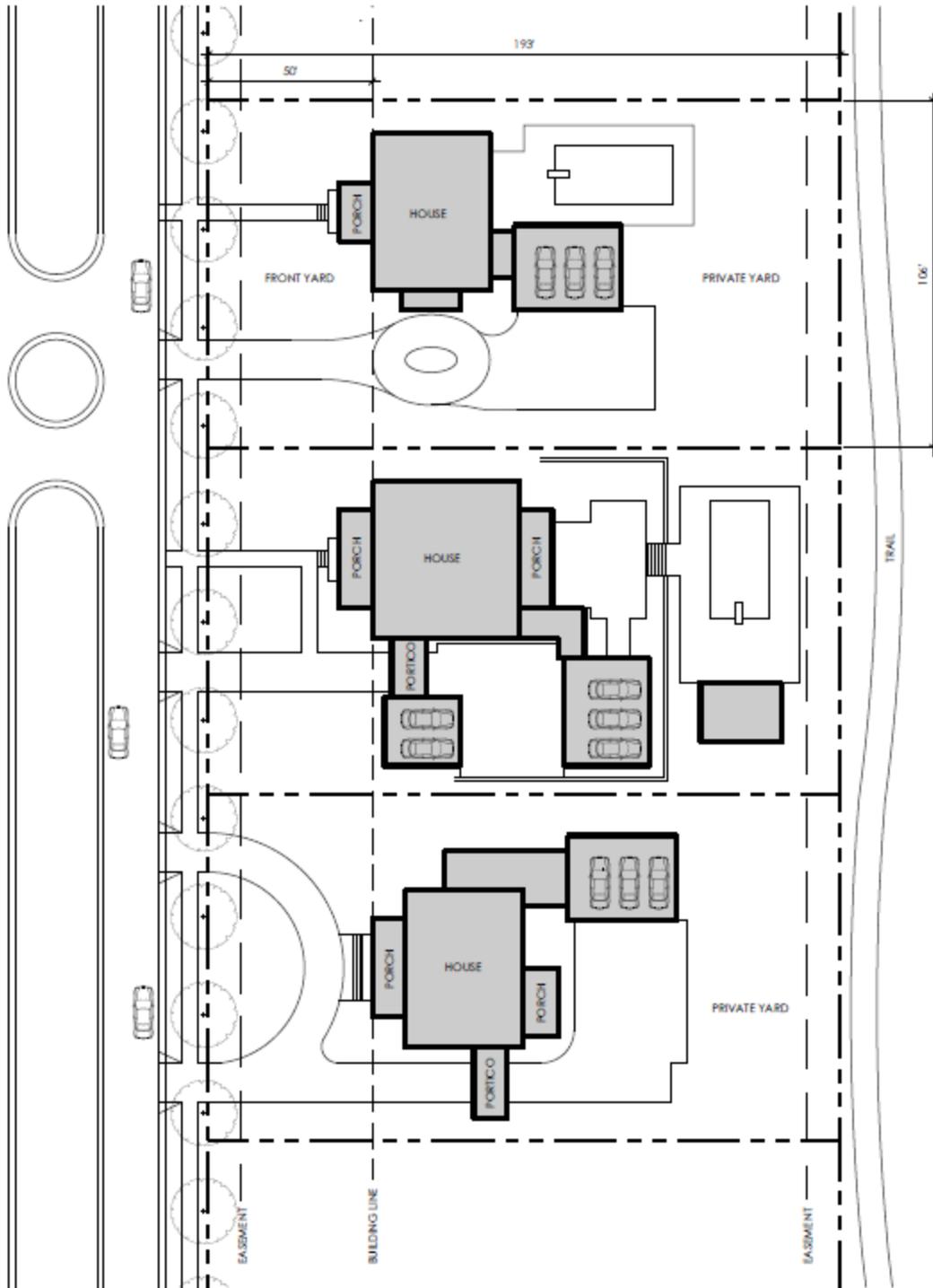
Typical Estate Lot Characteristics:

- a. Width: 76 feet (West), 106 feet (East)
- b. Depth: 197-200 feet

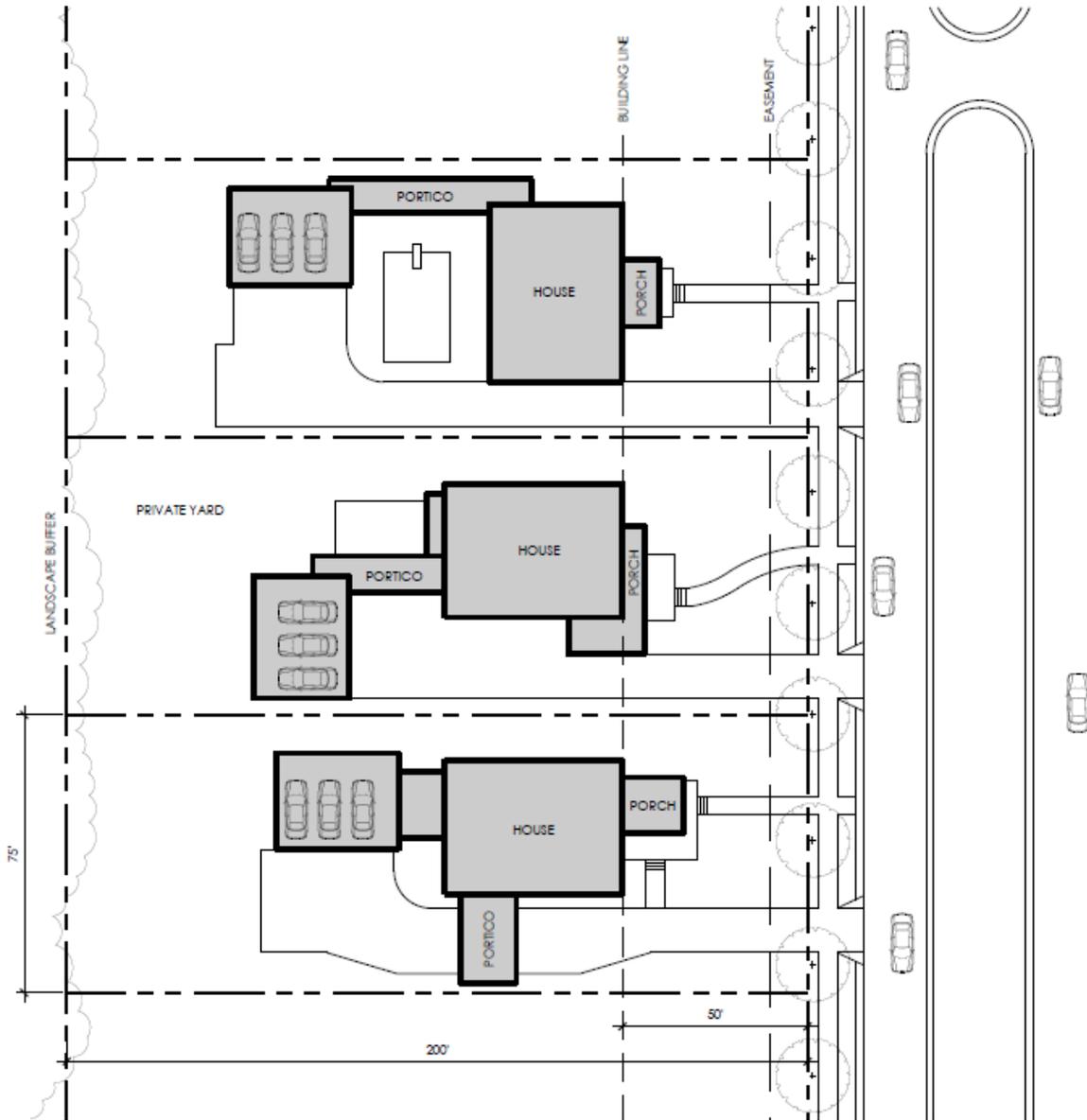
Principal Home Setbacks:

- c. Front: 50 feet from back of curb (porch can encroach)
- d. Side: 10 feet (driveway can encroach)
- e. Side Yard Along a Street: 15 feet
- f. Rear: 15 feet (to foundation)

Estate Lot Layout Examples (East)



Estate Lot Layout Examples (West)



Architectural
&
Landscape
Design

10. Massing and Roof Characteristics

- a. [Same guidelines as New Longview Design Book]

11. Symmetry & Asymmetry

- a. [Same guidelines as New Longview Design Book]

12. Primary Façade

- a. [Same guidelines as New Longview Design Book]

13. Doors

- a. [Same guidelines as New Longview Design Book]

14. Window Types and Composition

- a. [Same guidelines as New Longview Design Book]

15. Wall Materials

- a. [Same guidelines as New Longview Design Book]

16. Brick and Stone Application

- a. [Same guidelines as New Longview Design Book]

17. Building Articulation

- a. [Same guidelines as New Longview Design Book]

18. Exterior Color

- a. [Same guidelines as New Longview Design Book]

19. Exterior Trim and Embellishments

- a. [Same guidelines as New Longview Design Book]

20. Porch Characteristics

- a. [Same guidelines as New Longview Design Book]

21. Lighting

- a. [Same guidelines as New Longview Design Book]

22. Architectural Styles

Between 1890 and 1940 many of the homes in prominent historic Kansas City neighborhoods borrowed architecture styles from a variety of earlier time periods, a practice known as **revival architecture**. For instance, the Tudor style is loosely based on 16th-century English cottages and manors, while Colonial Revival and Neoclassical styles drew inspiration from English and Dutch homes along the Atlantic Seaboard. The practice of applying contemporary spins on historic architecture styles was so widespread that the period became known as **'the eclectic era'** of home construction.

New Longview employs **neotraditional design standards**, which is a contemporary interpretation of historic design styles. As we are basing these homes on styles that were themselves based on previous styles, it might be most appropriate to refer to New Longview as a **'revival revival'** project.

- a. Homes in Lumberman's Row must employ enough characteristic design elements for the style of the home to be easily identified.
- b. Homes should not attempt to replicate historic materials or employ false weathering, etc.; instead, think about honoring the **intent** of each style using contemporary (current) materials and methods – much the same way home designers during the eclectic era interpreted previous historic styles.
- c. Other neotraditional architecture styles and subtypes will be considered, provided they can be identified as having been used during the eclectic era in historic Kansas City neighborhoods on similar size homes as those in Lumberman's Row.

Queen Anne Victorian

Common Identifying Features

- a. Steeply pitched roof of irregular shape, usually with a dominant front gable
- b. Asymmetrical façade with partial or full-width porch, usually one-story high and extended along one or both side walls
- c. Patterned shingles, cutaway bay windows, towers, overhangs, projections, and wall materials of varying texture to avoid a smooth-walled appearance
- d. Large panes of glass bounded by smaller panes of often-colored glass
- e. Round or polygonal towers of varying height, either rising from ground level or cantilevered out at second story
- f. Simple door and window trim



Typical Massing

- g. Hipped roof with lower cross-gables
- h. Cross-gabled roof
- i. Front-gabled roof

Typical Detailing

- j. Spindework – delicate turned porch supports and ornamentation, detailing in gables and under wall overhangs left by cutaway bays, lacy spandrels, knob-like beads
- k. Free Classic – classical columns as porch supports (either full height or raised to level of porch railing) commonly grouped in twos or threes, Palladian windows, dentils, cornice-like details, garlands and other classical details
- l. Half-Timbered – decorative half-timbering in gables or upper story walls, heavy turned posts with solid spandrels, windows grouped in threes or more
- m. Patterned Masonry – masonry walls with patterned brick or stonework, minimal wood accents/trim, decorative panels of terra-cotta or stone, shaped parapeted gabled dormers, oriel or bay windows

Italianate Revival

Common Identifying Features

- a. Low-pitched roof with moderate to widely over-hanging eaves and decorative brackets
- b. Tall, narrow windows, rectangular, arched or curved above
- c. Large eave cornices arranged singly or in pairs on a deep trim band
- d. Windows with one or two panes and elaborate crowns, often an inverted U-shape
- e. Square cupola or tower



Typical Massing

- f. Simple hipped roof
- g. Centered gable
- h. Asymmetrical
- i. Towered
- j. Front-gabled roof

Typical Detailing

- k. Paired or triple windows
- l. One and two-story bays
- m. Single-story small restrained entry porches or full-width with square beveled posts
- n. Single or paired doorways with large panes and frames similar to windows

Tudor-Jacobethan Revival

Common Identifying Features

- a. Steep, complex roof gables
- b. Emphasis on architectural unity (composition)
- c. Flattened Tudor arches
- d. Terra-cotta brickwork, half-timber woodwork, and stucco
- e. Contrasting lighter stone trim around windows and doors



Typical Massing

- f. Cross-gabled
- g. Multiple-façade gables
- h. Symmetrical paired gables
- i. Front facing gable with wing
- j. Single dominant mid-façade gable

Typical Detailing

- k. Balustrades, towers, and parapets
- l. Large groups of rectangular windows
- m. Porches with pillar supports
- n. High chimneys with decorative treatments
- o. Oriel or bay windows

Neogeorgian

Common Identifying Features

- a. Simple two-story 'box' with windows and doors in strict symmetry
- b. Windows aligned horizontally and vertically in symmetrical rows (never in pairs), typically three, five, or seven 'bays' per floor on front
- c. Paneled front door, usually centered and capped by elaborate decorative crown supported by decorative pilasters (flattened columns) with a row of small rectangular glass panes beneath crown



Typical Massing

- d. Side-gabled roof
- e. Gambrel roof
- f. Hipped roof
- g. Centered gable

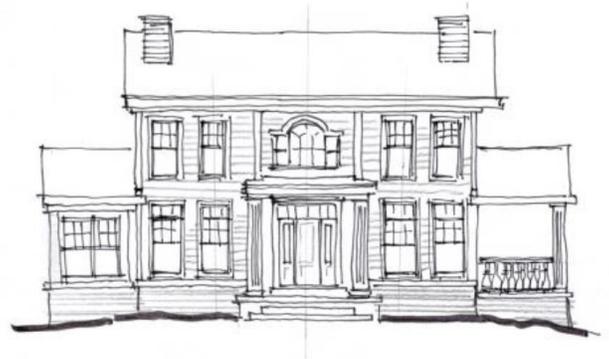
Typical Detailing

- h. Red or painted brick with stone accents
- i. Cornice with decorative molding and small tooth-like dentils
- j. Double-hung windows with multiple divided lights (usually 9 or 12 per sash)

Neocolonial

Common Identifying Features

- a. Façade dominated by full-height porch with roof supported by classical columns
 - o Columns can either be fluted with ornate capitals or slender square columns without capitals (if utilizing full-façade porch)
- b. Symmetrically balanced windows and center door



Typical Massing

- c. Full-height entry porch
- d. Full height entry porch with lower full-width porch
- e. Front gabled roof
- f. Full-façade porch

Typical Detailing

- g. Elaborate, decorative door surrounds
- h. Boxed eaves with moderate overhang, frequently with dentils or modillions
- i. Rectangular double-hung windows
- j. Side and wing porches
- k. Full-width raised terrace-style porch
- l. Cornice-like balustrades
- m. Wide frieze band beneath cornice

Shingle

Common Identifying Features

- a. Aims to be a complex shape with a smooth surface
- b. Walls clad in shingles without interruptions at corners (entire home or second story only)
- c. Asymmetrical façade
- d. Irregular, steeply pitched roof
- e. Intersecting cross-gables and multi-level eaves
- f. Extensive porches



Typical Massing

- g. Hipped roof with cross-gables
- h. Side-gabled roof
- i. Front-gabled roof
- j. Cross-gabled roof
- k. Gambrel roof

Typical Detailing

- l. Half-towers and tower 'bulges' (blended into roofline)
- m. Minimal decorative elements
- n. Slender simple wooden column porch supports or massive stone pillars
- o. Bay windows, multiple windows, walls curving into windows
- p. Massive Romanesque or Syrian arches on porches or entrances
- q. Palladian windows, strips of three or more windows, double-hung windows with multi-pane above and single below
- r. Porches under main roof line
- s. Rustic stone foundations, lower stories, towers, and/or porch supports

Prairie School

Common Identifying Features

- a. Façade detailing emphasizing horizontal lines
- b. Low-pitched roof, usually hipped with wide overhanging box eaves
- c. Two stories with one-story wings
- d. Massive square porch supports



Typical Massing

- e. Hipped roof, symmetrical, with front entry
- f. Hipped roof, asymmetrical
- g. Gabled roof

Typical Detailing

- h. Massive square or rectangular porch supports
- i. Contrasting caps on porch and balcony railings
- j. Contrasting wood trim between stories
- k. Horizontal board and batten siding
- l. Contrasting colors on eaves and cornice
- m. Tall casement windows
- n. Top half of upper story emphasized by continuous sill line below windows and/or different materials
- o. Flattened pedestal urns
- p. Broad, flat chimneys
- q. Swept-back gables
- r. Horizontal rows of windows, sometimes wrapping around corners
- s. Decorative door surrounds

Mediterranean (Spanish/Italian)

Common Identifying Features

- a. Low-pitched hip roof with ceramic or concrete tiles or flat roof
 - o NOTE: Red tile roofs are not permitted to avoid encroaching on historic Longview Farm building design
- b. Upper story windows smaller and less elaborate than main floor windows
- c. Round arches above doors, first-story windows, or porches
- d. Recessed entry porches accented by small classical columns or pilasters



Typical Massing

- e. Symmetrical hipped roof
- f. Symmetrical hipped roof with projecting wings
- g. Asymmetrical
- h. Flat roof

Typical Detailing

- i. Walls clad in stone, stucco, or stone-colored brick (wood/fiber not allowed)
- j. Roofline balustrades
- k. Pedimented windows
- l. Classical door surrounds
- m. Different window treatments on each story, with smallest windows in top story

23. Landscape Requirements

- a. [Same guidelines as New Longview Design Book]

24. Street Trees and Sidewalk

- a. Builders must provide street trees aligned in straight rows, parallel to the curb and centered in the tree lawn at 60' on center.
- b. Street trees shall be of 2-1/2" caliper minimum.
- c. Builders must provide a front Sidewalk of 4' width adjacent to the tree lawn.
- d. Builder is required to notify all utility companies before excavation and installation of trees. All street trees must be at least 10 feet from adjacent utility structures and 20 feet from street lights.
- e. Tree lawns shall be planted with sod.
- f. Tree type shall be selected from the New Longview Approved Tree List.

25. Fencing Design

- a. **Fences** shall be made of decorative aluminum, wrought iron design, or masonry. Materials and workmanship shall be of equal quality to exterior home finishes. Fences may have brick or stone piers. Wooden or chain link fences are not permitted.
- b. **Front yards** in Lumberman's Row may not be fenced.
- c. **Privacy board fences** of 5 feet height may be used for side and rear yards, with possible height exception up to 6 feet granted if the top 12-18 inches is comprised of lattice or has some sort of change in articulation.
- d. **Fences** must run to property line except to avoid utility boxes.

26. Typical Alley Layout

- a. [Not applicable in Lumberman's Row]

27. General / Other

- a. Homes should be designed with appropriate concern given to handicap accessibility, visitability, and energy efficiency. Each home must meet or exceed the current building code and municipal energy efficiency requirements.
- b. The following shall be permitted only in rear yards and where not easily visible from streets or paths and subject to prior approval in all cases: HVAC equipment, utility meters, antennas, permanent grills, permanent play equipment, in or out-of ground hot tubs, permanent in-ground swimming pools.

- c. The following are not permitted: quoins, curved windows, window air-conditioning units, signs of any type.
- d. **Driveways** may be brick, concrete, or concrete pavers.
- e. **Flagpoles** under 6 feet in height may be mounted at 45-degree angles to the home (one per lot).
- f. **Direct vent fireplaces** shall be allowed only if set entirely within the interior space or if chimney is extended to the roof.
- g. **Variations or waivers** to any of the architectural requirements herein may be granted on the basis of architectural merit.