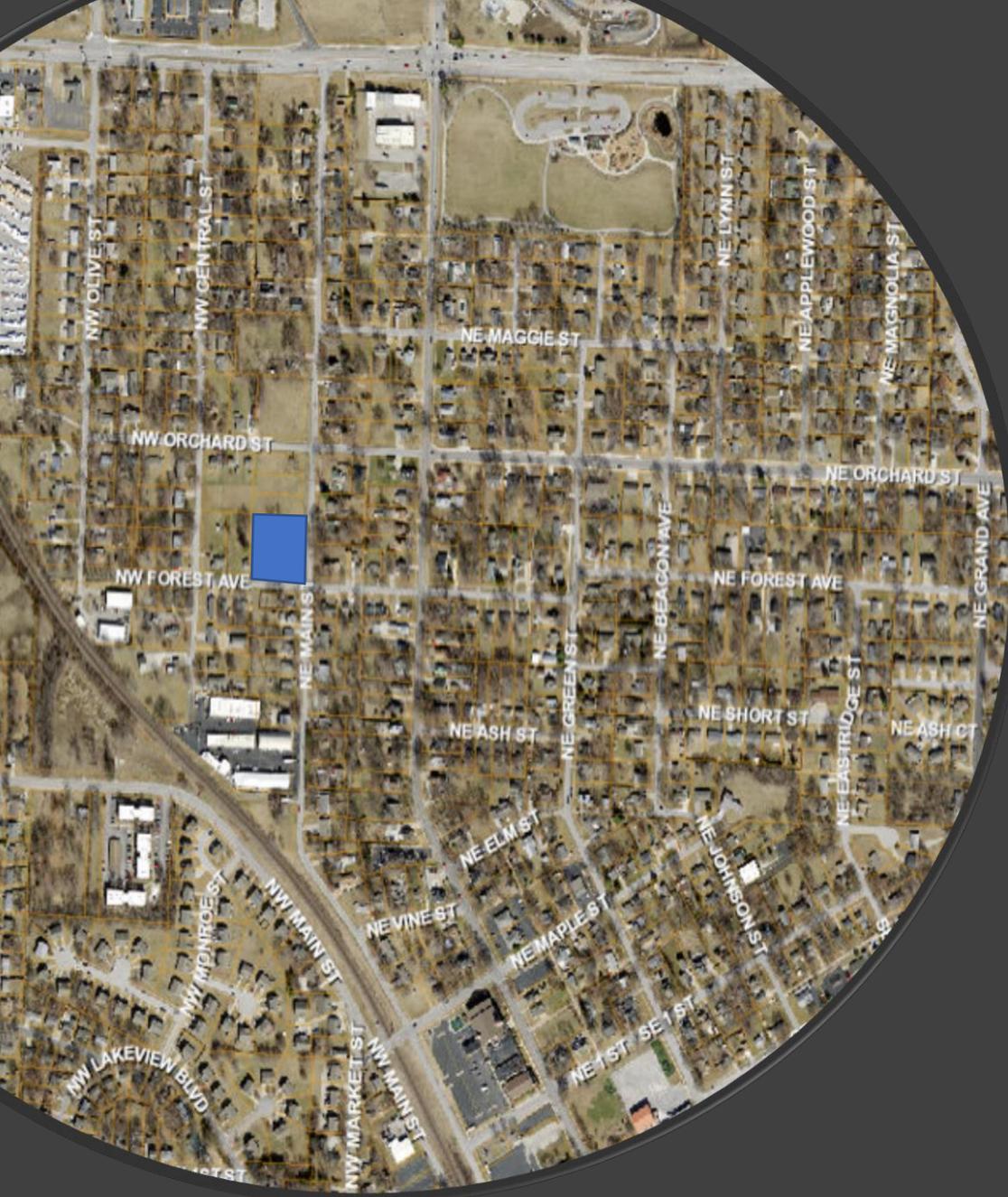




Main Forest
Preliminary Development Plan
PL2021-447
Lee's Summit, MO



Project Summary

Zoned:	RP-2
# of Lots	3
Area:	0.95 Acres
Density:	3.16 Lots/Acre (7.5 Units / Acre Allowed)
Comp Plan:	Old Town Master Plan

Project Summary

-3 Residential Family Lots

House Characteristics

Minimum Floor Area	1,000 sf
Garage	Minimum Single Stall (Detached or Attached to Residence)
Garage Location	No street facing overhead garage doors (Detached or Attached) on Lots 1 and 3 Lot 2 Garage will face Forest
Driveway Width at ROW	16 Feet

Old Lee's Summit Development Master Plan

Chapter IV, Section C "Old Lee's Summit"

North of O'Brien Street, west of NE Main Street and east of NW Donovan Street. This general boundary includes underutilized and/or vacant lands that could be developed with additional residential housing stock for the Old Lee's Summit area.





Neighborhood Meeting

Meeting Date
Location

January 20, 2022, 5pm
Via Zoom

Questions

None



House Color and Material

The developer will have the authority to review and approve all home colors, materials and styles prior to building permit approval.

- Front of the House siding shall consist of multiple types of house siding
- Front and two sides of the home shall provide trim around window and door elements to be painted in a color that is different than the main body color of the house.
- The side and rear elevations shall maintain the principal home siding material around the entire perimeter of the home.
- The detached or attached garage shall maintain the same siding primary / secondary materials as the main house.

Acceptable materials for exterior siding of homes

- Wood Panel, Shingle
- Stone or Brick Veneer
- Real Brick or Stone
- Fiber Cement Lap Siding, Panel or Shingle

Excluded materials for exterior siding of homes

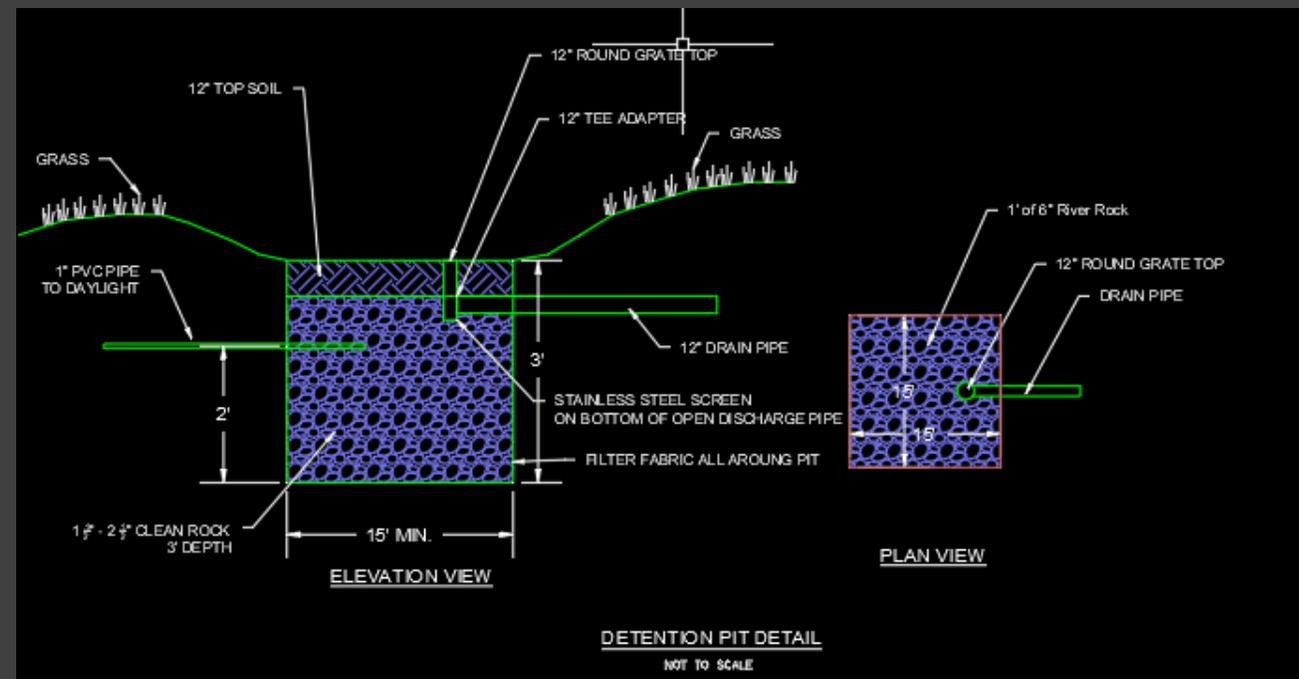
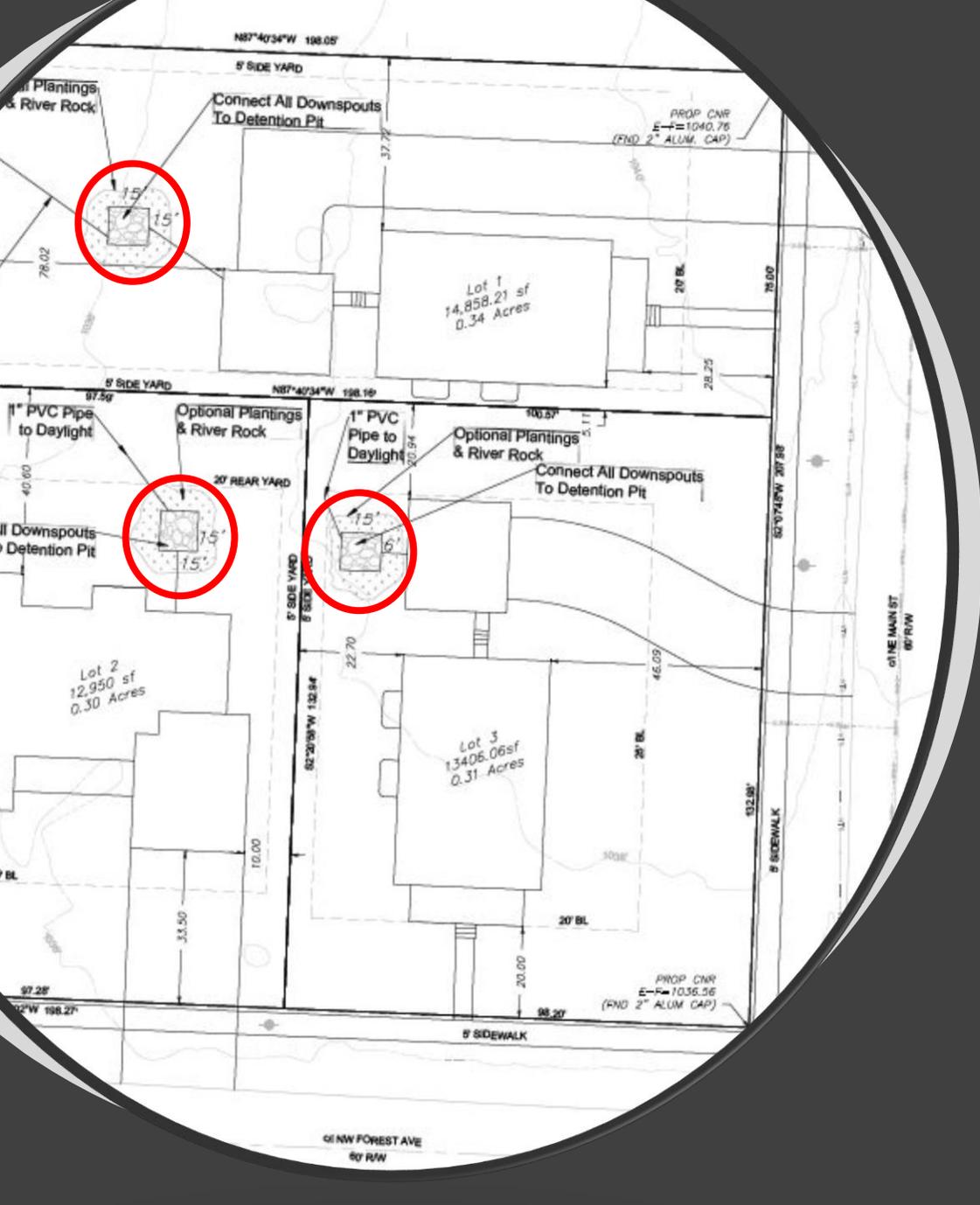
- Horizontal or Vertical Vinyl Siding
- Horizontal or Vertical Metal Siding
- Stucco

Home colors shall not be

- High Contrasting Color Palettes
- Florescent

Storm Drainage Runoff

- Each Lot will Drain all the roof area below grade and into a Detention Pit
- Decrease the peak runoff from the development
- Promote storm water quality





Questions
