

F.I.T. Muscle and Joint Clinic Preliminary Development Plan

File #PL2021- 464

January 27, 2022



LEE'S SUMMIT
MISSOURI

Yours Truly



Current Zoning:

CP-2 (Planned Community Commercial District)

Location:

413 NW Murray Rd



Existing Conditions:

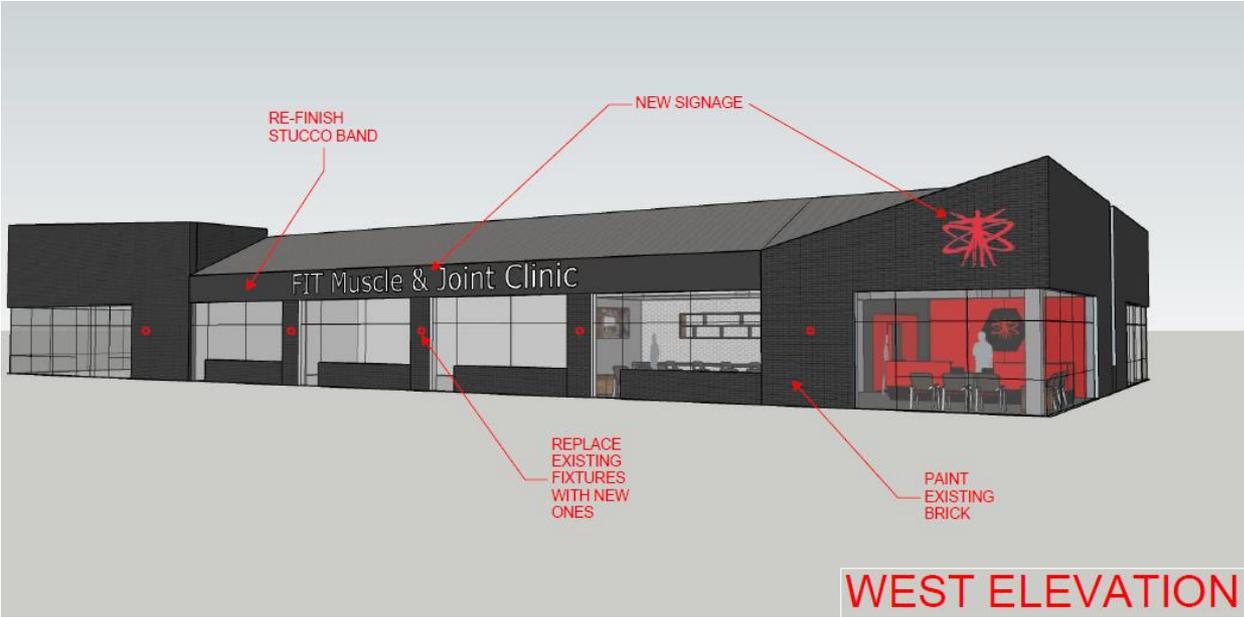
- CP-2 zoning
- Platted lot: Lot 3 – JKV East Commercial Development
- One building 9,800 sq. ft.
- Former college university/educational center
- 58 parking spaces
- Red/Orange Brick facade/Store front windows



- The applicant proposes an exterior renovation for the existing commercial building located at 413 NW Murray Rd. A preliminary development plan for the subject lot was approved in 2004 as part of the John Knox Village (JKV) East commercial development. The new owner has since identified a need to modify the exterior of the building to fit the needs of the F.I.T. Muscle and Joint Clinic business. Revisions to the exterior include a breathable paint in the color black and overhead garage doors that will face Hwy 50.
- The Unified Development Ordinance (UDO) does not authorize staff to administratively approve substantial changes to previously approved preliminary development plans. The proposed exterior changes reach the threshold of a substantial change from the previously approved preliminary development plan.

Proposed changes:

- Fitness/Medical Use
- Painted Brick: Color-Black
- A portion of the storefront windows removed and replaced with overhead garage doors on east elevation
- 58 parking spaces existing (49 required)



Elevations.

- **F.I.T. Muscle and Joint Clinic.**
- Required – Buildings shall incorporate four-sided architecture. Horizontal and vertical elements shall extend completely around the building and utilize the same or similar materials on all building facades. Building materials shall consist of masonry, stone, E.I.F.S, stucco, structural clay, and glass.
- Proposed – Existing brick shall be painted with a breathable elastomeric coating in the color black. The aluminum storefront windows will be replaced with overhead glass garage doors.
- Recommendation – Staff is comfortable with the proposed changes as it offers a more modern look to the building and adapts to the changing needs of services offered within the community. The original development was approved in 2004. It's understandable architectural styles and appearances will change within a 17-year time period, especially when under new ownership.

Recommended Conditions of Approval

Site Specific

1. Development shall be in accordance with the preliminary development plan dated January 12, 2022.