

Dawn Bell Project Manager City of Lee's Summit Development Center 220 SE Green Street Lee's Summit, MO 64063 Phone: 816.969.1242 Via: Email December 14, 2021

Email: <u>Dawn.Bell@cityofls.net</u>

RE: Streets of West Pryor – Lot 9 City Planning Commission Meeting

Pryor and I-470 Lee's Summit, MO

## Dear Dawn:

The following is provided for use during the City Planning Commission meeting to be held on Thursday December 16, 2021 at 5pm. Included are the following:

•	Current Site Plan	Page 2
•	Current Landscape Plan	Page 3
•	Lot 9A PNC Building Elevations	Page 4-5
•	Lot 9B 2-Tenant Building Elevations	Page 6
•	Lot 9C Chase Building Elevations	Page 7-8
•	Proposed Freestanding Monument Sign Elevation	Page 9

Thank you for your assistance. If you have any questions, please contact me.

Sincerely,

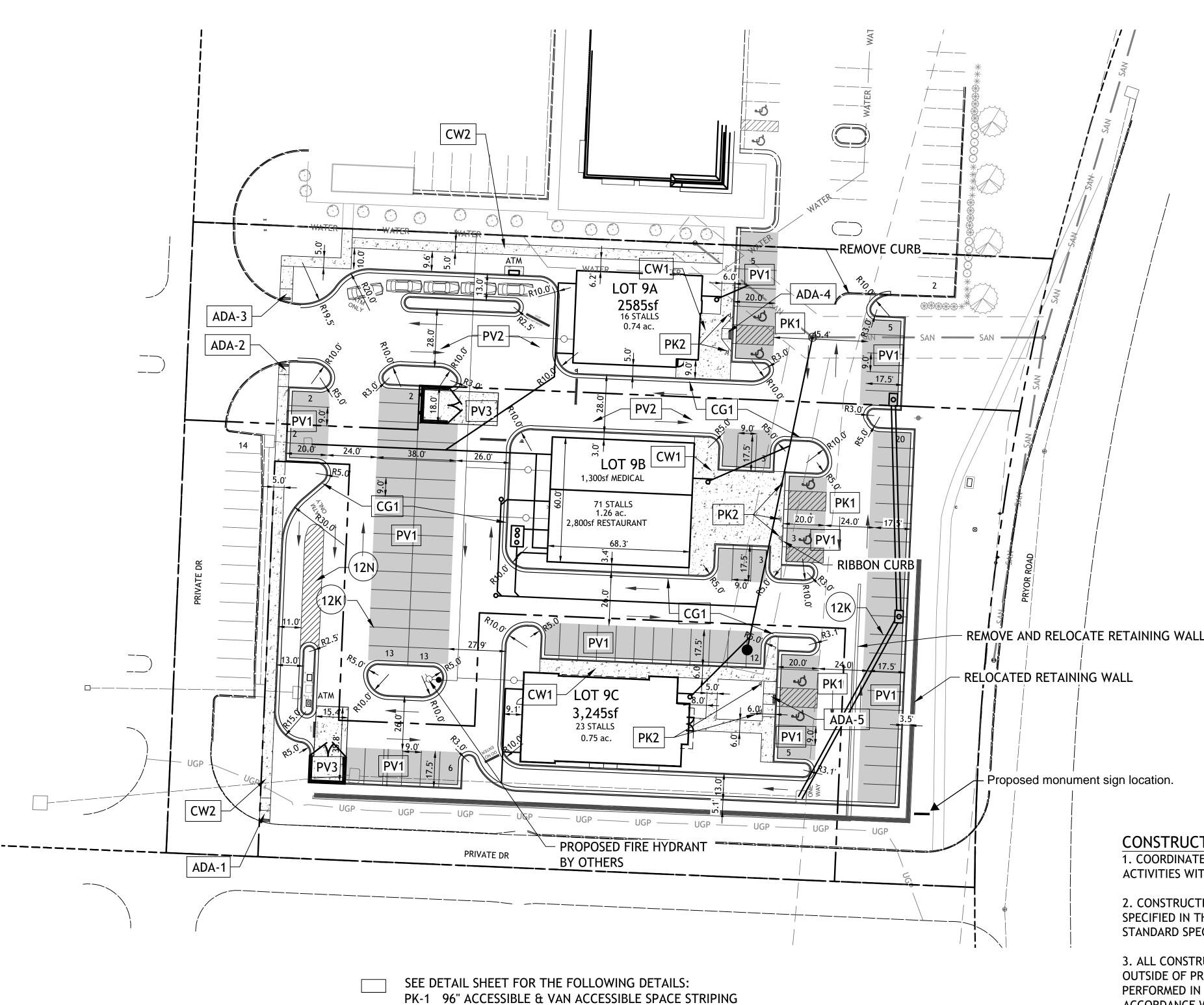
Drew Larkins Monarch Acquisitions, LLC

CC: Matt Pennington

Streets of West Pryor, LLC

Dave Olson

Monarch Acquisitions, LLC



PK-2 ACCESSIBLE SIGN

SG-1 BOLLARD DETAIL

CW2 SIDEWALK

CG-1 TYPE B CURB AND GUTTER

PV1 REGULAR DUTY PAVEMENT

8A DOOR (SEE ARCH. PLANS)

PAINT CURB RED

12N 4" YELLOW STRIPES 3'-0" O.C.

510 CLEAN-OUT (SEE GRADING PLAN)

PV2 HEAVY DUTY ASPHALT PAVEMENT

PV3 HEAVY DUTY CONCRETE PAVEMENT

ADA-1,2,3,4,5 HANDICAP RAMP SEE GEN-3A DETAIL

12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS

TM 2160 LEAD FREE OR APPROVED EQUAL)

CW1 CURB WALK AT BUILDING

SITE DATA

LOT 9A

TOTAL SITE 0.74ac (32,234sf)
TOTAL IMPERVIOUS AREA 22,658sf
OPEN SPACE 9,576sf (29.7%)

TOTAL BUILDING 2,585sf

TOTAL PARKING 16 (6.18 STALLS / 1000sf)

LOT 9B TOTAL SITE 1.26ac (54,885sf)

TOTAL IMPERVIOUS AREA 40,480sf
OPEN SPACE 14,405sf (26.2%)
TOTAL BUILDING 4,100sf

TOTAL PARKING 71 (17.66 STALLS / 1000sf)

LOT 9C

TOTAL SITE 0.75ac (32,670sf)
TOTAL IMPERVIOUS AREA 23,569sf
OPEN SPACE 9,101sf (27.8%)

TOTAL BUILDING 3,245sf

TOTAL PARKING 23 (7.08 STALLS / 1000sf)

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.

2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.

3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.

4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.

5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

6. ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

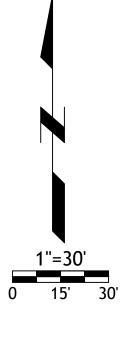
NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

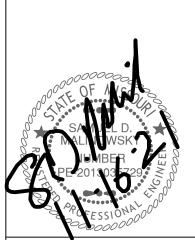
3. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

4. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



5507 High Meadow Circle Manhattan Kansas, 66503 smcivilengr@gmail.com 785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineeris prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



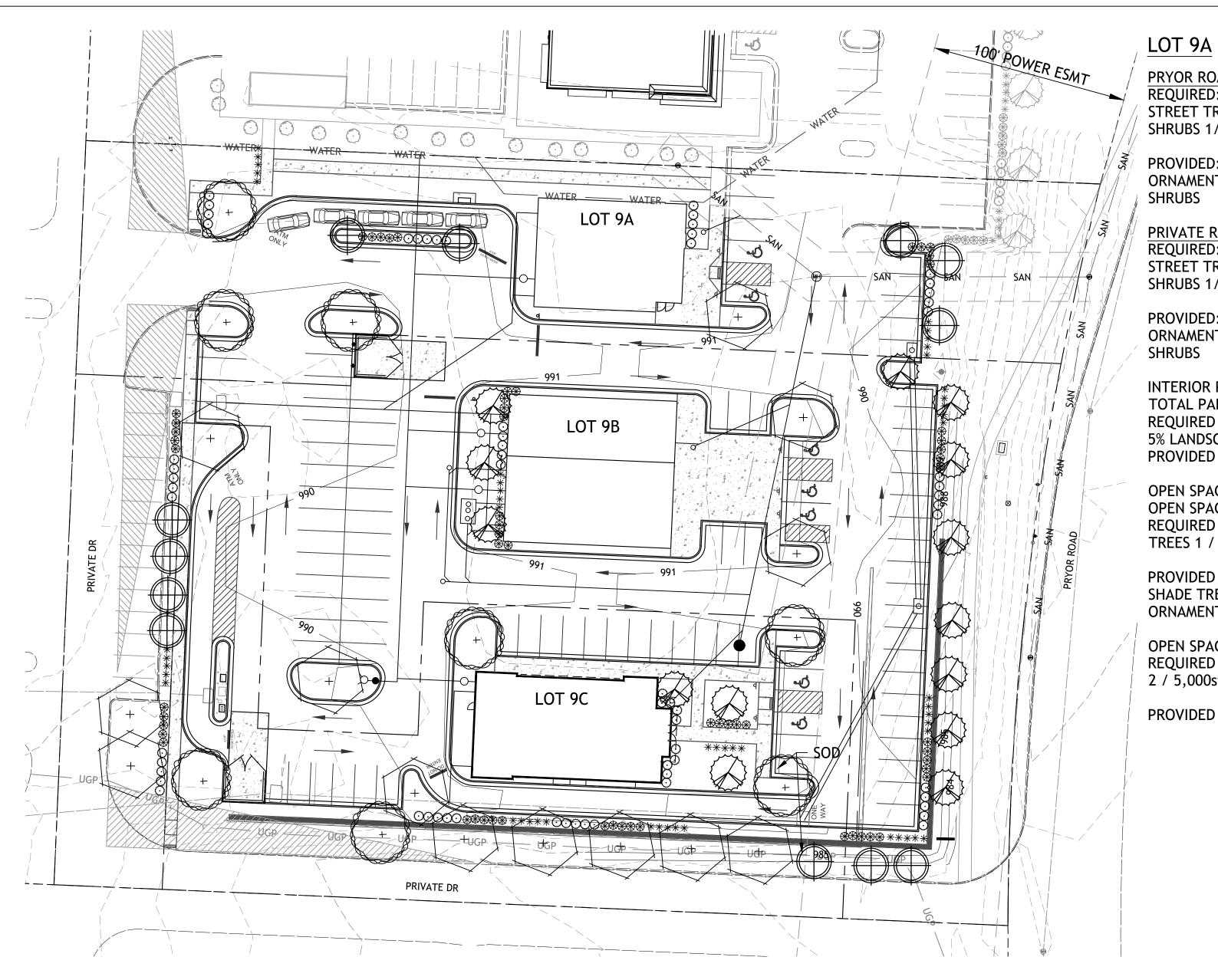
Revisions
11-15-21 CITY COMMENTS

OF WISSOUR

sheet

Civil
SITE PLAN

permit
15 OCTOBER 2021



LOT 9A			LOT 9B PRYOR ROAD 230'			LOT 9C PRIVATE ROAD SOUTH		277'
PRYOR ROAD 75'			REQUIRED:			REQUIRED:	=	
REQUIRED:			STREET TREES 1/30'	=	8	STREET TREES 1/30'	=	9
STREET TREES 1/30'	=	3	SHRUBS 1/20'	=	23	SHRUBS 1/20'	=	28
SHRUBS 1/20'	=	4						
			PROVIDED:			PROVIDED:		•
PROVIDED:			ORNAMENTALS	=	3	SHADE TREES	=	8
ORNAMENTALS	=	3	SHRUBS	=	30	ORNAMENTALS	=	1
SHRUBS	=	15				SHRUBS	=	30
			PRIVATE ROAD SOUTH		67'	INITEDIOD DADIONIC		
PRIVATE ROAD WEST	95'		REQUIRED:	_		INTERIOR PARKING		20.22
REQUIRED:			STREET TREES 1/30'	=	2	TOTAL PARKING SURFACE	. =	20,32
STREET TREES 1/30'	=	3	SHRUBS 1/20'	=	7	REQUIRED		4 044
SHRUBS 1/20'	=	5				5% LANDSCAPE AREA	=	1,016
			PROVIDED:			PROVIDED	=	1,601
PROVIDED:			ORNAMENTALS	=	2	ODEN CDACE TREES		
ORNAMENTALS	=	11	SHRUBS	=	10	OPEN SPACE TREES	20	42 F - 6
SHRUBS	=	10				OPEN SPACE	29,	425sf
			PRIVATE ROAD WEST	208	3'	REQUIRED		,
INTERIOR PARKING			REQUIRED:			TREES 1 / 5,000sf	=	6
TOTAL PARKING SURFACE	=	10,497 sf	STREET TREES 1/30'	=	7	DDOVIDED.		
REQUIRED			SHRUBS 1/20'	=	21	PROVIDED		2
5% LANDSCAPE AREA	=	525 sf				SHADE TREES	=	3
PROVIDED	=	871sf	PROVIDED:			ORNAMENTALS	=	3
			SHADE TREES	=	3	ODEN CDACE CURURC		
OPEN SPACE TREES			ORNAMENTALS	=	4	OPEN SPACE SHRUBS		
OPEN SPACE	29,	649sf	SHRUBS	=	25	REQUIRED		12
REQUIRED						2 / 5,000sf	=	12
TREES 1 / 5,000sf	=	6	INTERIOR PARKING	_		PROVIDED	_	20
			TOTAL PARKING SURFACE	Ξ=	36,380 sf	PROVIDED	=	20
PROVIDED			REQUIRED					
SHADE TREES	=	4	5% LANDSCAPE AREA	=	1,819 sf			
ORNAMENTALS	=	2	PROVIDED	=	2,602 sf			
ODEN CD / CE C			ODEN CDACE TREEC					
OPEN SPACE SHRUBS			OPEN SPACE TREES	ΕO	0/5-4			
REQUIRED		42	OPEN SPACE	οU,	865sf			
2 / 5,000sf	=	12	REQUIRED		10			

TREES 1 / 5,000sf

PROVIDED

REQUIRED

2 / 5,000sf

**PROVIDED** 

**Botanical Name** 

Acer Rubrum 'October Glory'

Gleditsia Triacanthos 'Skyline'

Free Standing

Transformer

Koelreuteria Paniculata

Malus Sp. 'Priariefire'

SHADE TREES

ORNAMENTALS

**OPEN SPACE SHRUBS** 

= 15

= 10

= 20

= 20

Size

3" cal

3" cal

3"cal

3"cal

LANDSCAPE NOTES CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date o acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

## Tree List

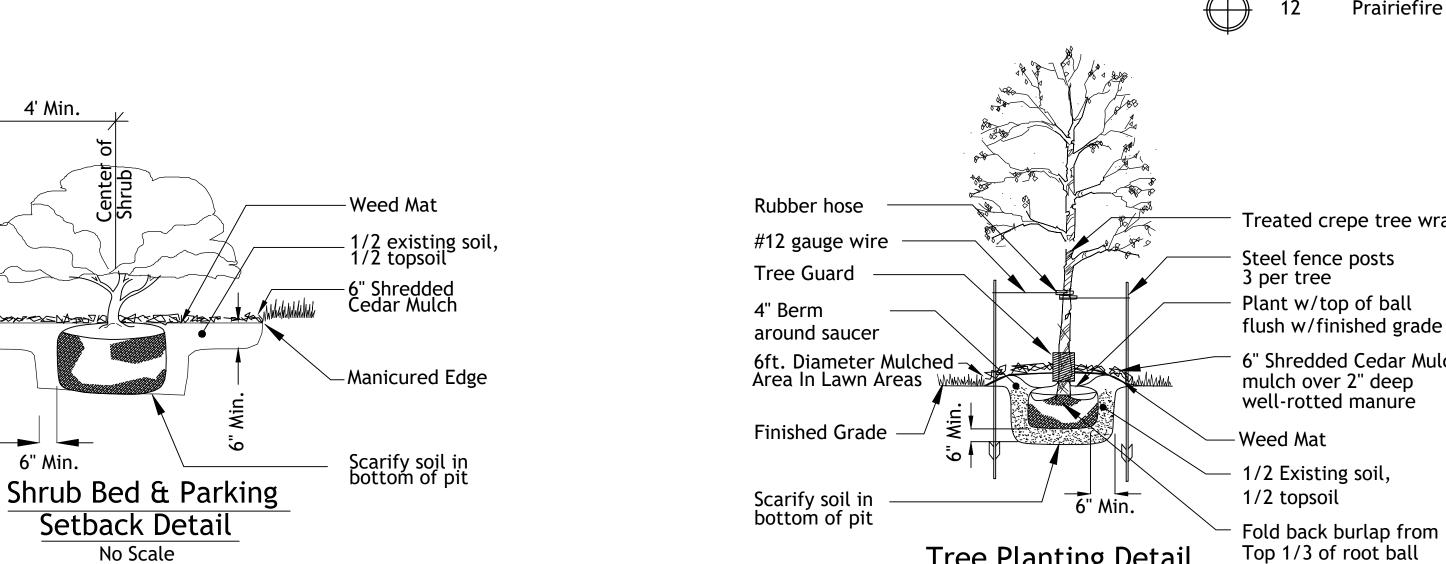
Symbol

Tree Planting Detail

No Scale

Spacing	
4'o.c.	
4'o.c.	
4'o.c.	
	4'o.c.

No Scale



Golden Raintree Prairiefire Crabapple Treated crepe tree wrap Steel fence posts 3 per tree Plant w/top of ball flush w/finished grade 6" Shredded Cedar Mulch mulch over 2" deep well-rotted manure Weed Mat 1/2 Existing soil, 1/2 topsoil

Quantity

Common Name

October Glory Maple

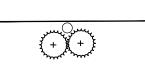
Skyline Honeylocust

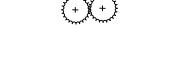
150' SIGHT TRIANGLE

## Typical Utility Box Screening Details

No Scale

Against Wall







Small Box

Condition Spacing

As Shown

As Shown

As Shown

As Shown

BB

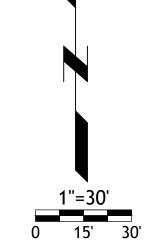
BB











LANDSCAPE PLAN permit 15 OCTOBER 2021

UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

SM Engineering

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785.341.9747

wings and/or Specifications are original proprietary work and property of the

gineer and intended specifically for this

rohibited. Drawings illustrate best

rification of actual elements, conditions,

and dimensions is required.

Revisions

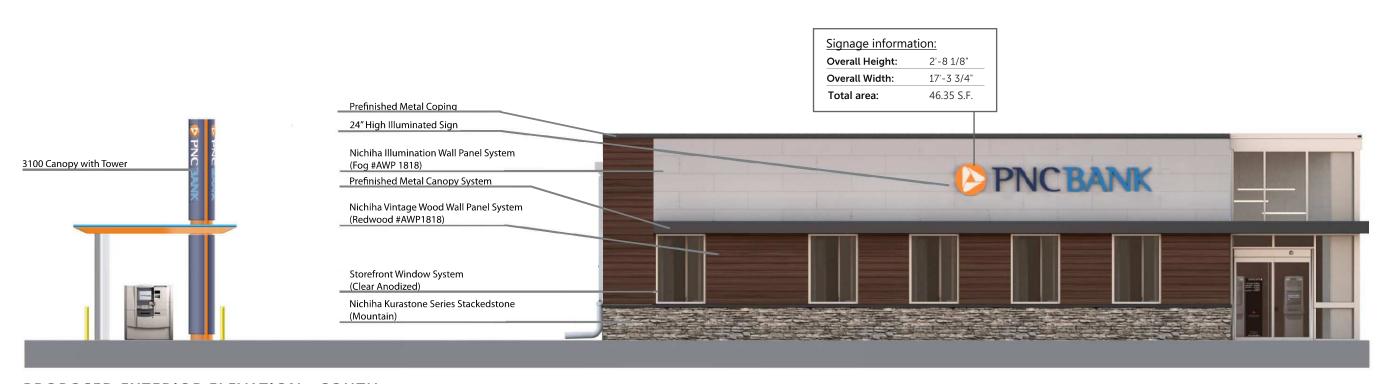
11-15-21 CITY COMMENTS

project. Use of items contained herein without consent of the Engineeris

shee C9.0



PROPOSED EXTERIOR ELEVATION - EAST



PROPOSED EXTERIOR ELEVATION - SOUTH

NOTE - ELEVATIONS ARE FOR DESIGN INTENT ONLY







PROPOSED EXTERIOR ELEVATION - WEST



PROPOSED EXTERIOR ELEVATION - NORTH

NOTE - ELEVATIONS ARE FOR DESIGN INTENT ONLY





schwerdt design group architecture | interiors | planning 2231 sw wanamaker rd topeka, kansas 66614-4275 phone: 785.273.7540

500 north broadway suite 200 oklahoma city, ok 73102 phone: 405.231.3105

NOT FOR CONSTRUCTION

DATE: 11/16/2021

PRYOR BUILDING: WEST LOT #9B OF W LEE'S SUMMIT, MISSOURI & SH #9B

SUBMISSION DATES
PROGRESS PRINT ONLY

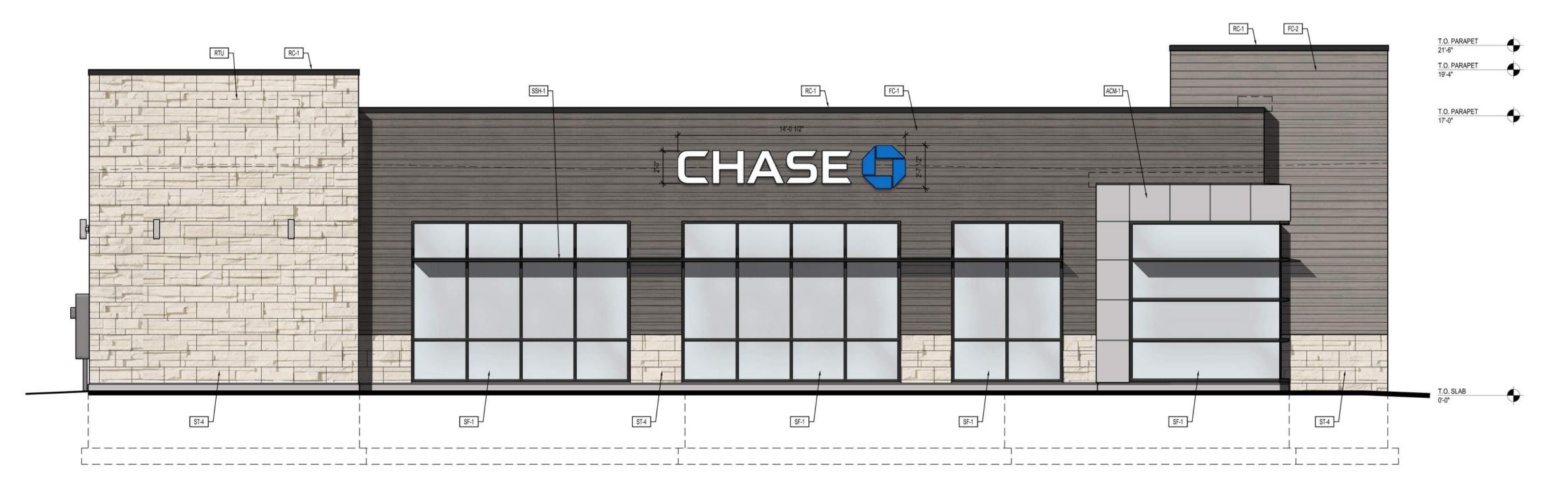
SHEET TITLE EXTERIOR ELEVATIONS

PROJECT NUMBER 210345

A-201

FC-2  FC-2  TOUR  BARK  SIZE  18" NOMINAL x 72" NOMINAL AND 120" NOMINAL  INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "I FLASHING SYSTEM.  FIBER CEMENT PANEL- LIGHT  MANUFACTURER  NICHIHA FIBER CEMENT  VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROT PROJECTS)  COLOR  ASH  SIZE  18" NOMINAL x 72" NOMINAL AND 120" NOMINAL  INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "I FLASHING SYSTEM.  ROOF COPING  MANUFACTURER  PETERSEN ALUMINUM / PAC-CLAD  PRODUCT  COLOR  MATTE BLACK STEEL / BLACK ALUMINUM  ALUMINUM COMPOSITE MATERIAL  MANUFACTURER  ARCONIC ARCHITECTURAL PRODUCTS	LENGTHS JFACTURER'S OT
PRODUCT CHISELED LIMESTONE COLOR CREAM SIZE 24" WIDE x 12" HIGH x 1" THICK GROUT 1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED COLOR-MATCHE CEMENT GROUT  RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. POSSIBLE WITH BUTTED AND LAPPED INSIDE CORNERS AND MANUFACTURED RETURN CORNER PIECES- MITERED CORNERS ARE N ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER REPER TO WALL SECTIONS AND DETAILS  FIBER CEMENT PANEL- DARK  MANUFACTURER NICHIHA FIBER CEMENT  PRODUCT VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTENDIECTS) COLOR BARK SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL  NOTES INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "IFLASHING SYSTEM.  FIBER CEMENT PANEL- LIGHT  MANUFACTURER NICHIHA FIBER CEMENT  PRODUCT VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTENDIECTS) COLOR ASH SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL  NOTES INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "IFLASHING SYSTEM.  FIBER CEMENT PANEL- LIGHT  MANUFACTURER NICHIHA FIBER CEMENT  PRODUCT VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTENDIECTS)  COLOR ASH  SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL  NOTES FLASHING SYSTEM.  RC-1  RC-1  RC-1  RC-1  ROOF COPING  MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD  PRODUCT PAC-CONTINUOUS  COLOR MATTE BLACK STEEL / BLACK ALUMINUM  ALUMINUM COMPOSITE MATERIAL  MANUFACTURER ARCONIC ARCHITECTURAL PRODUCTS  PRODUCT REYNOBOND  COLOR DURAGLOSS 5000 DG SILVER	LENGTHS JFACTURER'S OT
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COLOR DURAGLOSS 5000 DG SILVER	
ALUMINUM STOREFRONT	
MANUEAOTUBED IVANALED	
SF-1 MANUFACTURER KAWNEER PRODUCT 451T	
COLOR BLACK ANODIZED ALUMINUM	
SUNSHADE	
MANUEACTURER KAWNEER	
PRODUCT VERSOLEIL	
COLOR BLACK ANODIZED ALUMINUM	
CANOPY	
CP-1 MANUFACTURER SHOP FABRICATED	
PRODUCT	
COLOR BLACK ANODIZED ALUMINUM	
EXTERIOR LIGHT FIXTURE	
LT-1 MANUFACTURER LUMIERE	
PRODUCT LANTERRA 9004	
COLOR SILVER	







PRYOR RD & LOWENSTEIN DR

EBI

SIGNED BY:

LICENSE NUMBER:

EBI JOB #4121000090
ISSUE DATE DESCRIPTION

CHASE

PRYOR & LOWENSTEIN
PROTOTYPE VERSION 20.4

CONTENTS

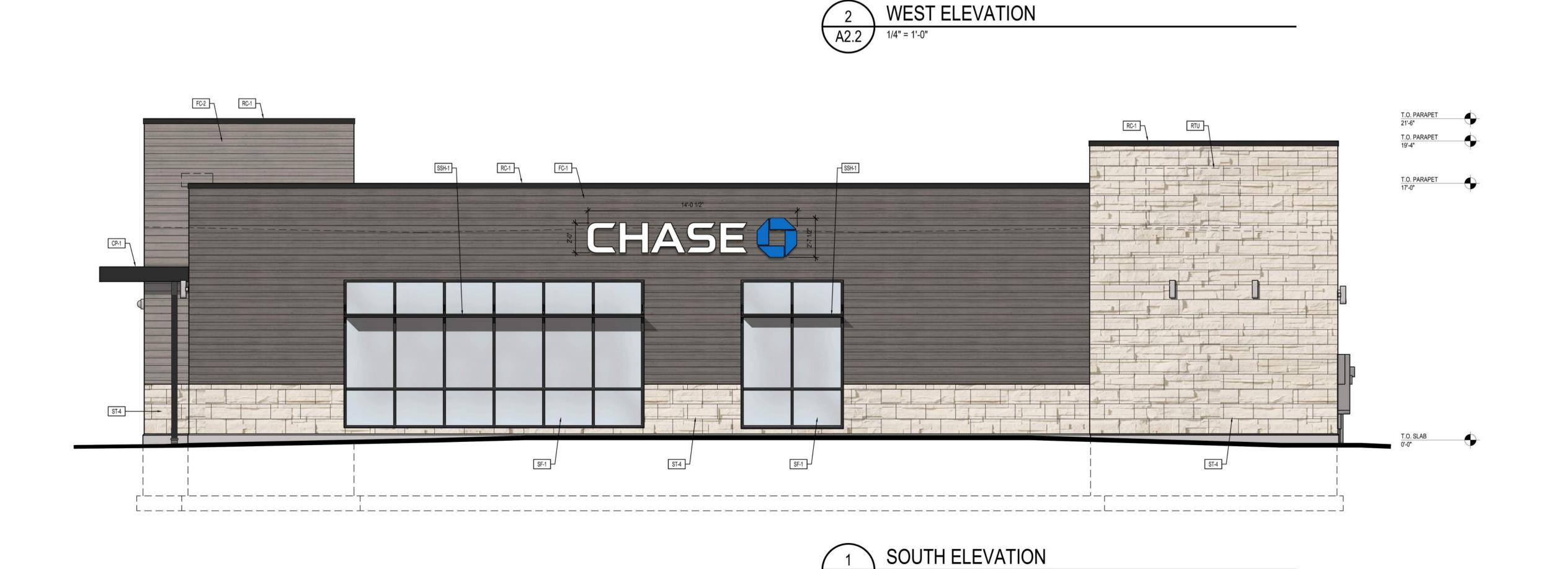
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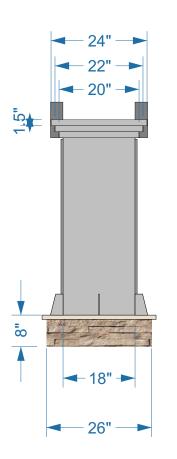
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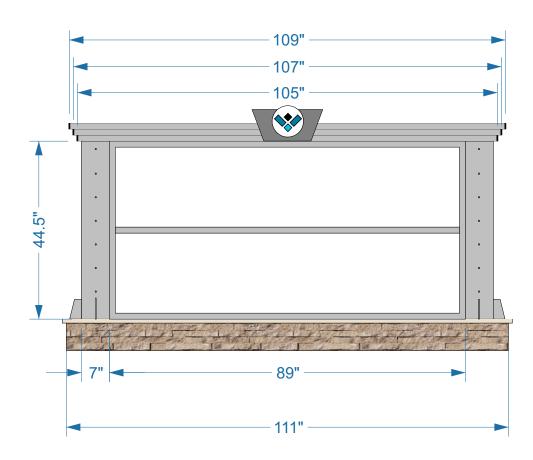
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PRYOR & LOWENSTEIN PROTOTYPE VERSION 20.4

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> > 11/16/2021 SHEET





## **ILLUMINATED D/S MONUMENT SIGN (EXTERIOR)**

**ELECTRICAL POWER (BY OTHERS)** TO BE RUN WITHIN 3 FT. OF SIGN INSTALL LOCATION **BEFORE INSTALL CAN BEGIN.** 

- Welded Aluminum framework, with painted Alum. skins.
- Tenant Panels removable for Name changes.
- Illumination via Internally-mounted WHITE LED's, (Tenant Panels/ Logo are illuminated).
- Qty: (1) One Total Double-sided Illuminated Monument sign. Circular Logo: WHITE Acrylic Face w/ colored Vinyl, BLACK Trimcap, BLACK Returns.
  - Wedge-shaped Decorative gussets: 1/2 Acrylic, painted METALLIC SILVER.
  - Side columns/ Tiered Topper painted METALLIC SILVER.
  - Keystone-shaped Aluminum box painted MEDIUM GREY.
  - Decorative Buttons: 1" Dia. Plastic, painted METALLIC SILVER.

