PRELIMINARY DEVELOPMENT PLANS FOR LOT 9 OF WEST PRYOR

UTILITIES
Electric Service
EVERGY
Nathan Michael
913-347-4310
Nathan.michael@kcpl.com

Gas Service
Spire
Katie Darnell
816-969-2247
Katie.darnell@spireenergy.com

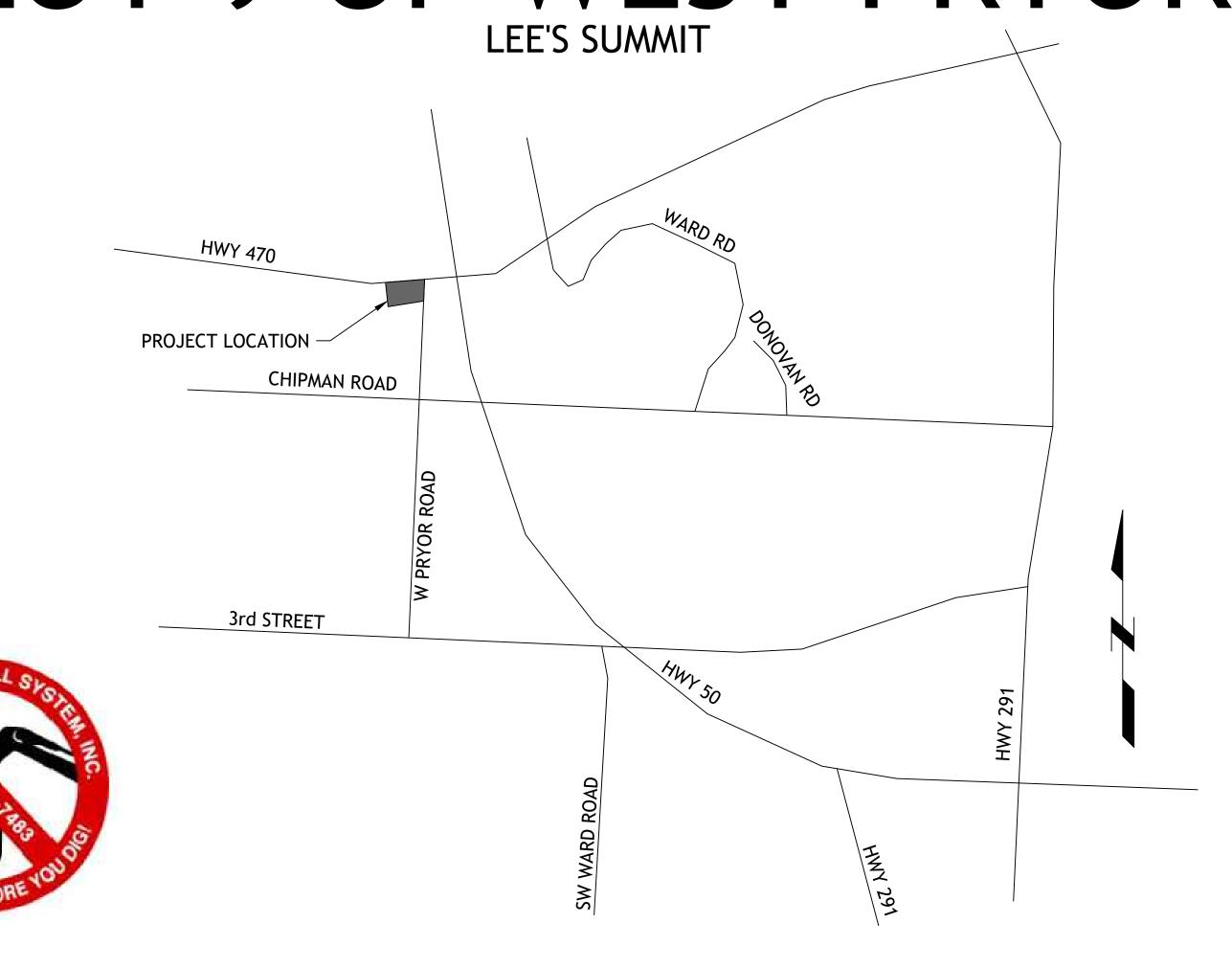
Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service AT&T Carrie Cilke 816-703-4386 cc3527@att.com

Time Warner Cable
Steve Baxter
913-643-1928
steve.baxter@charter.com

Comcast
Ryan Alkire
816-795-2218
ryan.alkire@cable.comcast.com

Google Fiber
Becky Davis
913-725-8745
rebeccadavis@google.com



LOCATION MAP

UTILITY STATEMENT: THE LINDERGROUND LIT

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENEDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

LEGAL DESCRIPTION:

LOT 9, STREETS OF WEST PRYOR, LEE'S SUMMIT, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAW VALLEY ENGINEERING

BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD ELEVATION 971.06

INDEX OF SHEETS

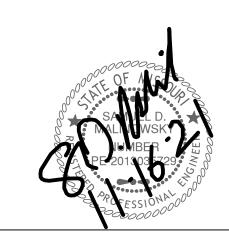
- C-1 COVER SHEET
 C-2 EXISTING CONDITIONS
- C-3 SITE PLAN
- C-4 UTILITY PLAN
- C-5 GRADING PLAN
- C-6 DETAILS C-7 DETAILS
- C-8 DETAILS
- C-9 LANDSCAPE PLAN

DEVELOPER

STREETS OF WEST PRYOR, LLC DAVID N. OLSON 7200 W 133rd ST, SUITE 150 CELL: OVERLAND PARK, KS 66213 314-413-3598

ENGINEER

SM ENGINEERING 5507 High Meadow Circle Manhattan Kansas, 66503 smcivilengr@gmail.com 785.341.9747



SAMUEL D. MALINOWSKY PROFESSIONAL ENGINEEER

5507 High Meadow Circle Manhattan Kansas, 66503 smcivilengr@gmail.com 785.341.9747

SM Engineering

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Revisions 11-15-21 CITY COMMENTS

3 V O B

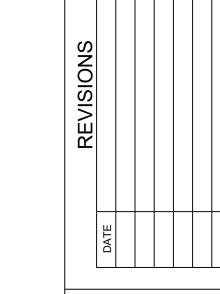
WW [[] W] SUMMIT, MISSOURI

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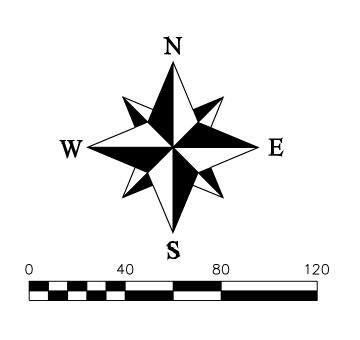
ALTA/NSPS Land Title Survey Streets of West Pryor Lot 9

Section 35, Township 48, Range 32 Lee's Summit, Jackson County, Missouri



S

PROFESSIONAL SEAL



Top: 975.64

Top: 978.63

Out (N): 970.03

Top: 980.93

In (S) 24" RCP: 974.33 In(S) 36" RCP: 964.73

Out(N) 36" RCP: 964.33

Top:∮977.99 Out (N): 970.49

Top: 982.05

Out(N) 24" RCP: 975.20

In (E) 18" RCP: 967.99

In(S) 36" RCP: 962.49

Out(N) 42" RCP: 962.19

Top: 975.85 In (S) 42" RCP: 961.15

Out(N) 48" RCP: 960.85

In (S):965.96

Out (N): 965.74

Streets of West Pryor

Lots 1 thru 14, Tracts
"A", "B", "C", & "D"

Top: 992.06

Streets of West Pryor

Lots 1 thru 14, Tracts

"A", "B", "C", & "D" 119,924 sq. ft (2.75 Ac.

Top: 984.49

Top: 984.41

In (N) 18" HDPE: 977.41

In(S) 30" HDPE: 976.61 Out(W) 30" HDPE: 976.41

(S) 18" HDPE: 977.84

Top: 989.27

Light Pole

Out(W) 18" HDPE: 984.87

Curb Inlet

Top: 989.85

In (E) \18" HDPE: 983.70

S87°32'44"E 388.97'

Lot 6 Streets of West Pryor

Lots 1 thru 14, Tracts "A", "B", "C", & "D"

Out(W) 24" HDPE: 983.15

Top: 989.78

Top: 989.83\

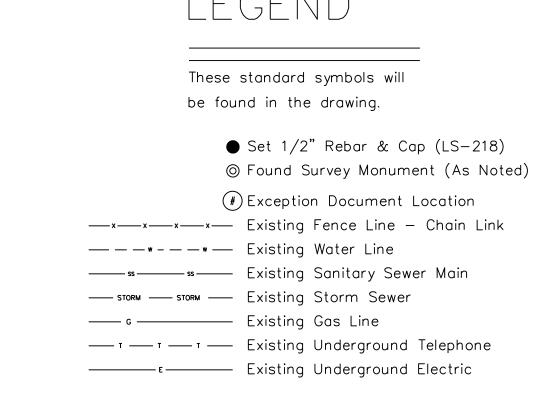
Light Pole

16.5' P.C.A.E.

Out(W) 18" HDRE: 985.13 \

In (W):983.90 Out (E): 983.72

N87°32'43"W 413.63'



PROPERTY DESCRIPTION (Chicago Title Insurance Companyy, Policy No. xxx) (xxxxx at 8:00 AM)

Description taken verbatim from Commitmen

The Survey Parcel is subject to the following items listed in Schedule B - Section II

ALTA/ACSM - Table A requested items

- 1. Monuments were placed at all major corners of the boundary, unless already marked or referenced by existing monuments 2. Address of subject property
- -900 NW Pryor Road 3. Flood Zone Classification
- -Located outside the 100 year flood plan per panel 20209C0152D, dated September 2, 2011
- 4. Gross land area -Lot Area 119,921 sq. ft (2.75 Ac.)
- 6. Current Zoning Classification
- -Height and area standards. All buildings, structures and other uses of land shall conform to the following minimum standards:
- 7. Exterior dimensions of all buildings at ground level No buildings on lot at the time of the survey 8. Substantial features observed in the process of conducting the survey
- 9. Striping, number and type of parking spaces in parking areas, lots and structures
- -14 regular parking spaces on lot at the time of the survey 10.a. Determination of whether certain walls designated by the client are plumb
- 10.b. Determination of whether certain walls designated by the client are plubm
- 11.b. Location of utilities existing on or serving the surveyed property as determined by observed evidence 12. Governmental Agency survey-related requirements as specified by the client, such as for HUD surveys, and survey for lease on Bureau of Land Management managed lands
- -HUD Requirements have been added to the survey 13. Name of adjoining owners of platted lands according to the current public record
- 16. There is no observed evidence of current earth moving work, building construction or building additions
- 17. There have been no apparent changes to the street right of way
- 18. There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill 19. Location of wetland areas as delineated by appropriate authorities
- 20.a Locate improvements within any offsite easements or servitudes benifiting the surveyed property that are disclosed in the Record Documents provided to the surveyor and that are observed in the process of conducting the survey

SURVEYOR'S GENERAL NOTES:

Streets of West Pryor

Lots 1 thru 14, Tracts "A", "B", "C", & "D"

Grate Inlet-

Top: 990.21

In (E) 18" HDPE: 984.59

In(N) 24"-HDPE: 983.39

Out(W) 30"\HDPE: 983.09

In (E) 30" HDPE: 982.21

Out(S) 30" HDPE: 981.96

Curb Inlet/

Top: 990.35

In (S) 30" HDPE: 974.35

In (E) 24" HDPE: 982.45

In (N) 30" HDPE: 981.75

Out(W) 42" HDPE: 973.45

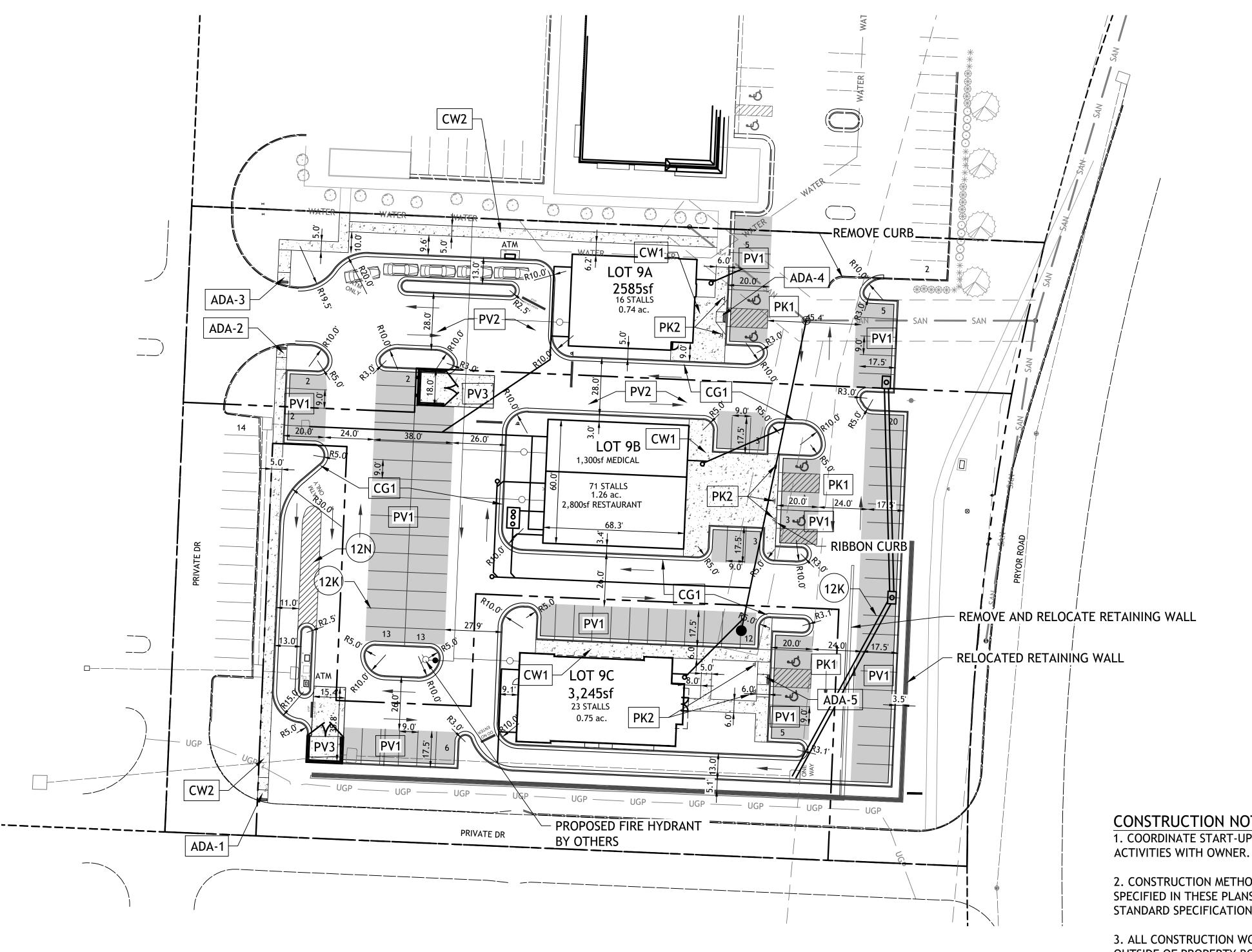
- 1). This survey is based upon the following information provided by the client or researched by this surveyor. (A). Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C", & "D", recorded as Document No. 2019E0032538 in Book 183 at Page 28.
- 2). This survey meets or exceeds the accuracy standards of a (SUBURBAN) Property Boundary Survey as defined by the Missouri Standards for Property Boundary Surveys.
- 3). The Title report was furnished by XXXXX, Policy No. xxxxxx Dated: xxxx xx, 2021 @ 8:00 A.M.
- 4). Bearings shown hereon are based upon bearings described in the Final Plat of Streets of West Pryor Lots 1 thru 14, Tracts "A", "B", "C" & "D".
- 5). This company assumes no responsibility in the location of existing utilities within the subject premises. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
- 6). Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.
- 7) This property is located outside the 100 year flood plain, zone "x" as shown on the Firm Panel 20209C0152D, Dated September 2, 2011

Chicago Title Insurance Company

This is to certify that this man or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACS, Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6.a 6.b, 7.a, 8, 9, 10.a., 10.b, 11. 12, 3,16, 17, 18, 19 and 20.a of Table A thereof. The field work was completed on <u>April 11, 2013</u>

Date of Plat or Mato:

Engineering Soutions, LLC., Corp Authority CLS-218



SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:

PK-2 ACCESSIBLE SIGN

SG-1 BOLLARD DETAIL

CW2 SIDEWALK

CG-1 TYPE B CURB AND GUTTER

CW1 CURB WALK AT BUILDING

PV1 REGULAR DUTY PAVEMENT

8A DOOR (SEE ARCH. PLANS)

PAINT CURB RED

12N 4" YELLOW STRIPES 3'-0" O.C.

510 CLEAN-OUT (SEE GRADING PLAN)

PV2 HEAVY DUTY ASPHALT PAVEMENT

PV3 HEAVY DUTY CONCRETE PAVEMENT

PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING

ADA-1,2,3,4,5 HANDICAP RAMP SEE GEN-3A DETAIL

12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS

TM 2160 LEAD FREE OR APPROVED EQUAL)

SITE DATA LOT 9A

TOTAL SITE 0.74ac (32,234sf) TOTAL IMPERVIOUS AREA 22,658sf **OPEN SPACE** 9,576sf (29.7%)

2,585sf TOTAL BUILDING

TOTAL PARKING 16 (6.18 STALLS / 1000sf)

LOT 9B

TOTAL SITE 1.26ac (54,885sf) TOTAL IMPERVIOUS AREA 40,480sf **OPEN SPACE** 14,405sf (26.2%)

4,100sf TOTAL BUILDING

TOTAL PARKING 71 (17.66 STALLS / 1000sf)

LOT 9C

TOTAL SITE 0.75ac (32,670sf) TOTAL IMPERVIOUS AREA 23,569sf 9,101sf (27.8%) **OPEN SPACE**

TOTAL BUILDING 3,245sf

TOTAL PARKING 23 (7.08 STALLS / 1000sf)

CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION

2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.

3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.

4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.

5. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

6. ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

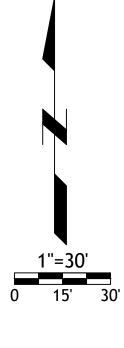
NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

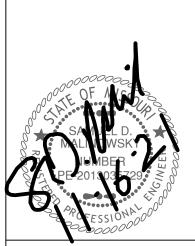
3. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

4. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



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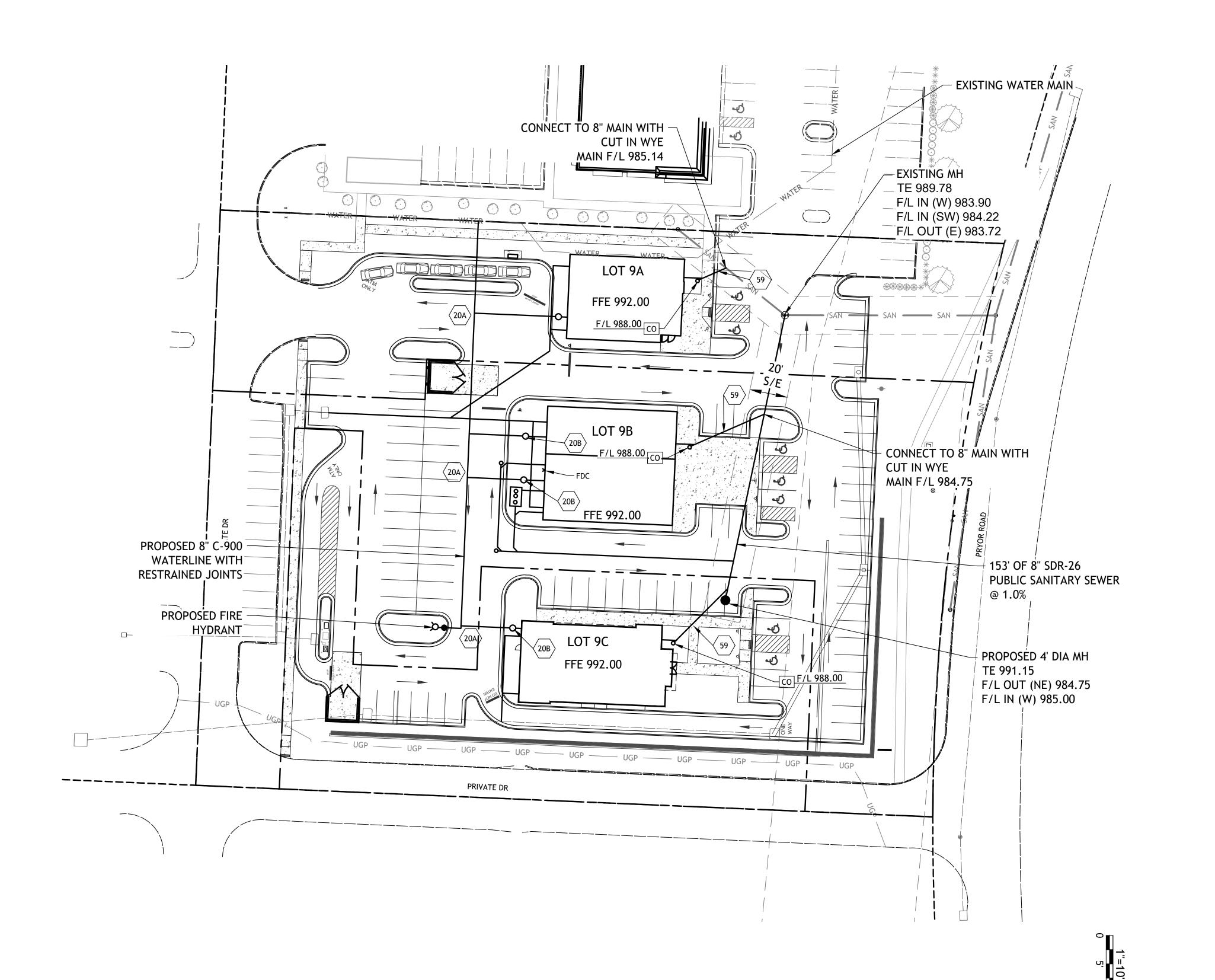
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Revisions 11-15-21 CITY COMMENTS

sheet

Civil SITE PLAN permit 15 OCTOBER 2021



UTILITY NOTES:

- 1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- 2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
- 3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
- 4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
- 5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
- 6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
- 7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
- 8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE. THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
- 9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
- 10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER KCP&L

DETAILS

TRENCH AND BEDDING DETAILS

2-WAY CLEAN-OUT

WAT-12 DCD4 VAULT

WAT-11 WATER SERVICE CONNECTION WAT-7 FIRE HYDRANT

CO CLEANOUT

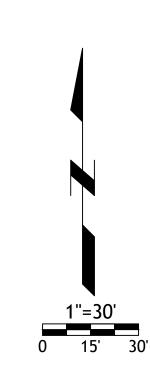
NOTES

POINT OF CONNECTION - WATER SERVICE 2" TAP AND METER WITH 2" SERVICE LINE

4" SANITARY SEWER SERVICE LINE-SDR-26 PVC



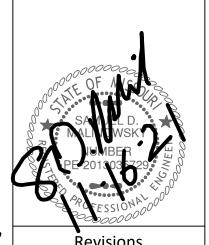
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.



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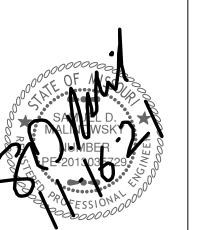
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UTILITY PLAN permit 15 OCTOBER 2021



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GRADING PLAN &

permit 15 OCTOBER 2021

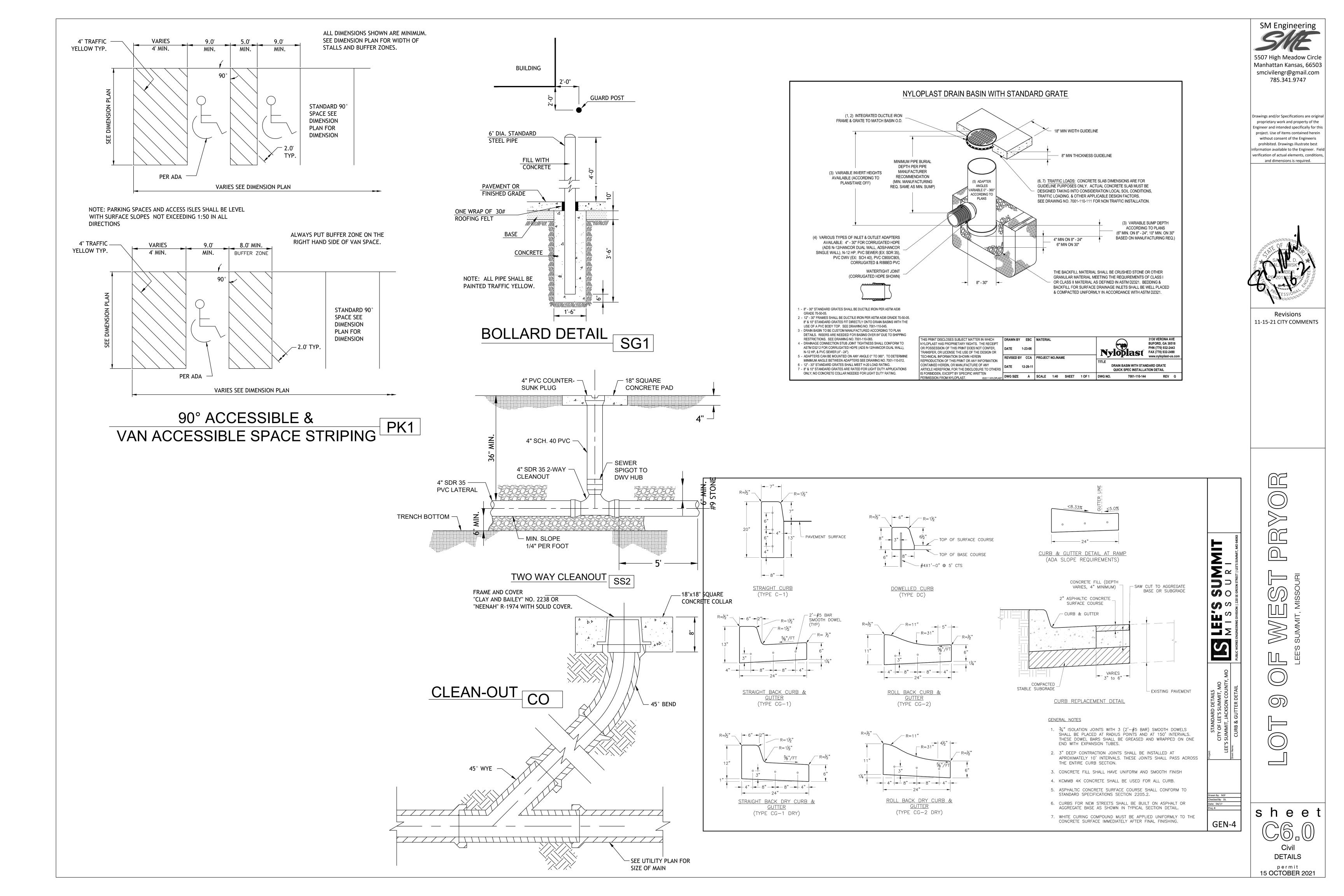
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1"=30' 0 15' 30'

GRADING NOTES:

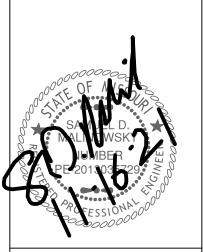
1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.

- 2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
- 3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED. A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
- 4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
- 5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
- 6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- 7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
- 8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
- 9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY
- 11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE
- 13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD



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SEWEST PRYOR

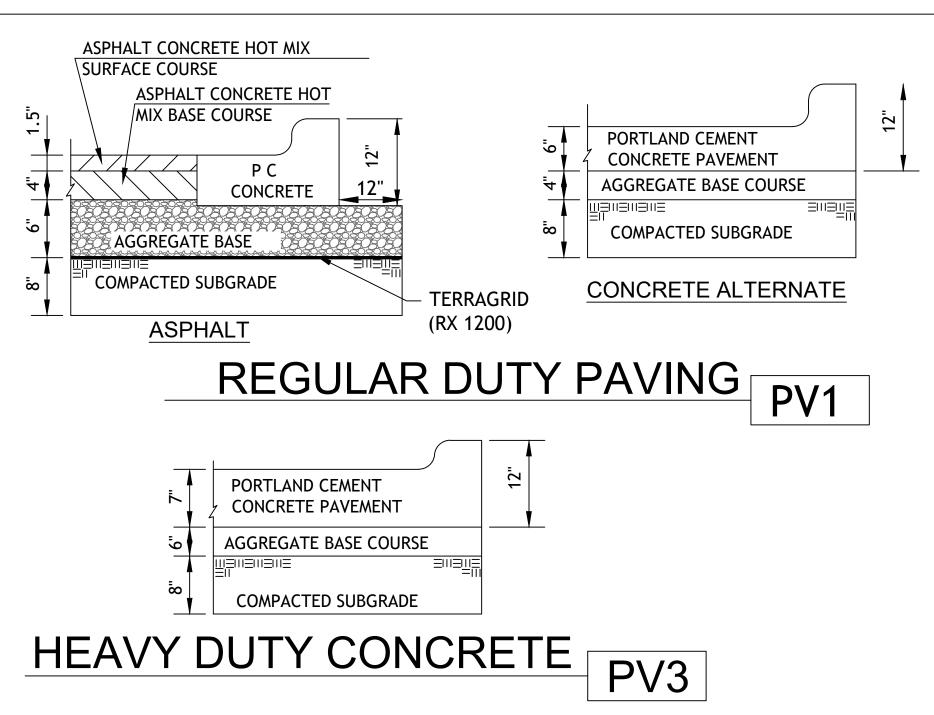
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DETAILS

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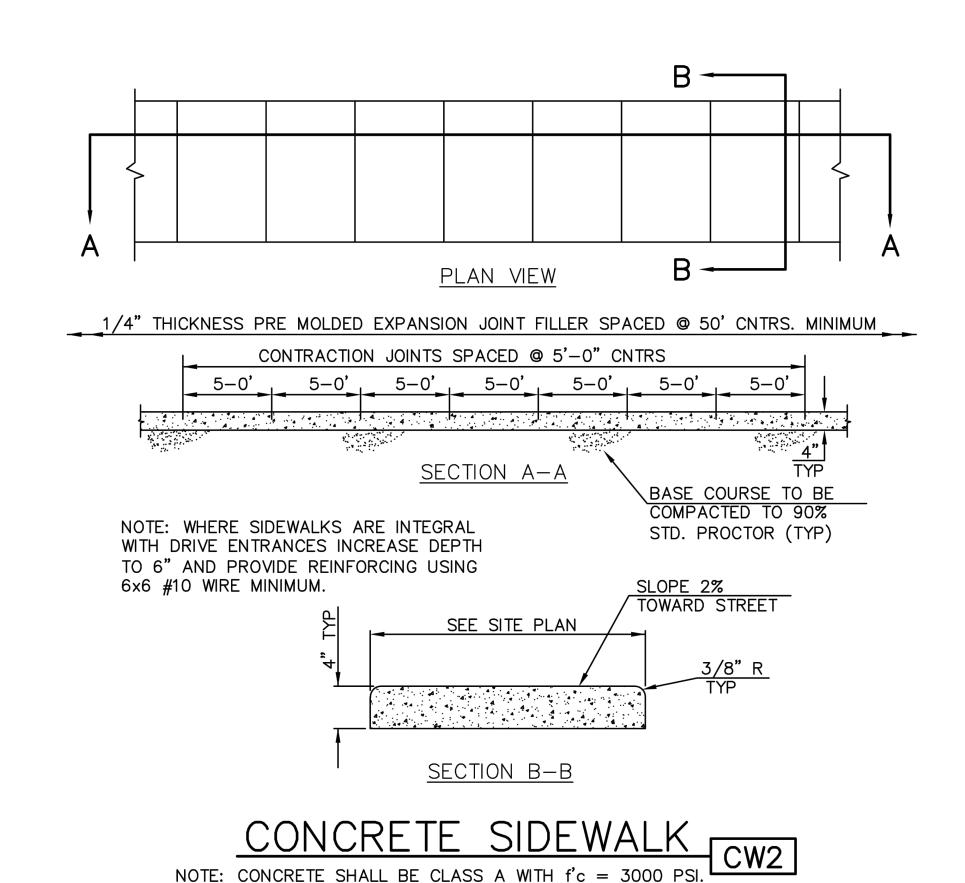
15 OCTOBER 2021

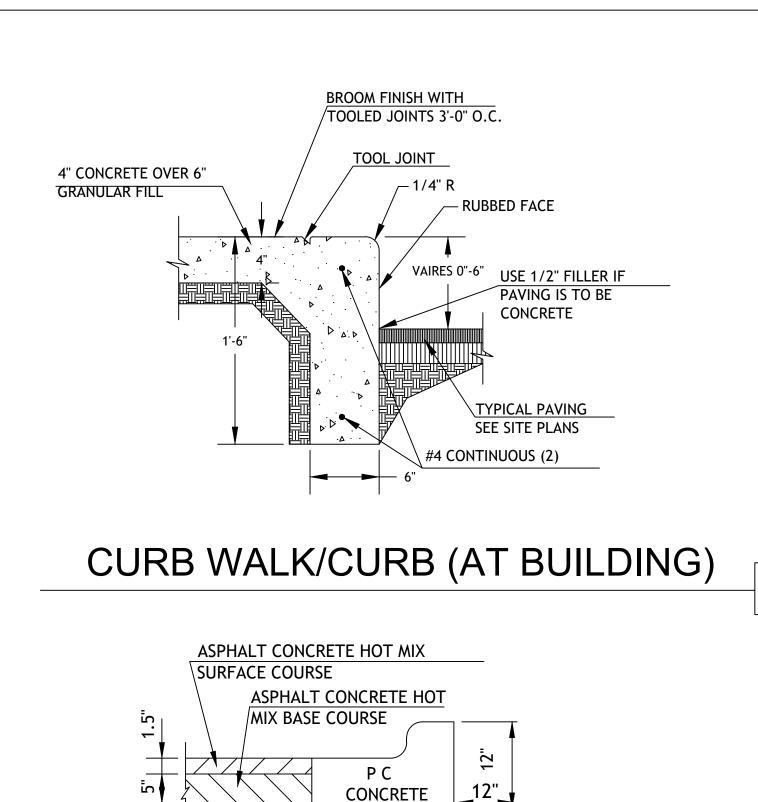


1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

ASPHALT SURFACE COURSE - APWA TYPE 3-01 ASPHALT BASE COURSE - APWA TYPE 2-01 AGGREGATE BASE MODOT TYPE 5 OR EQUIVALENT

2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR ±2% AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.





SAGGREGATE BASE

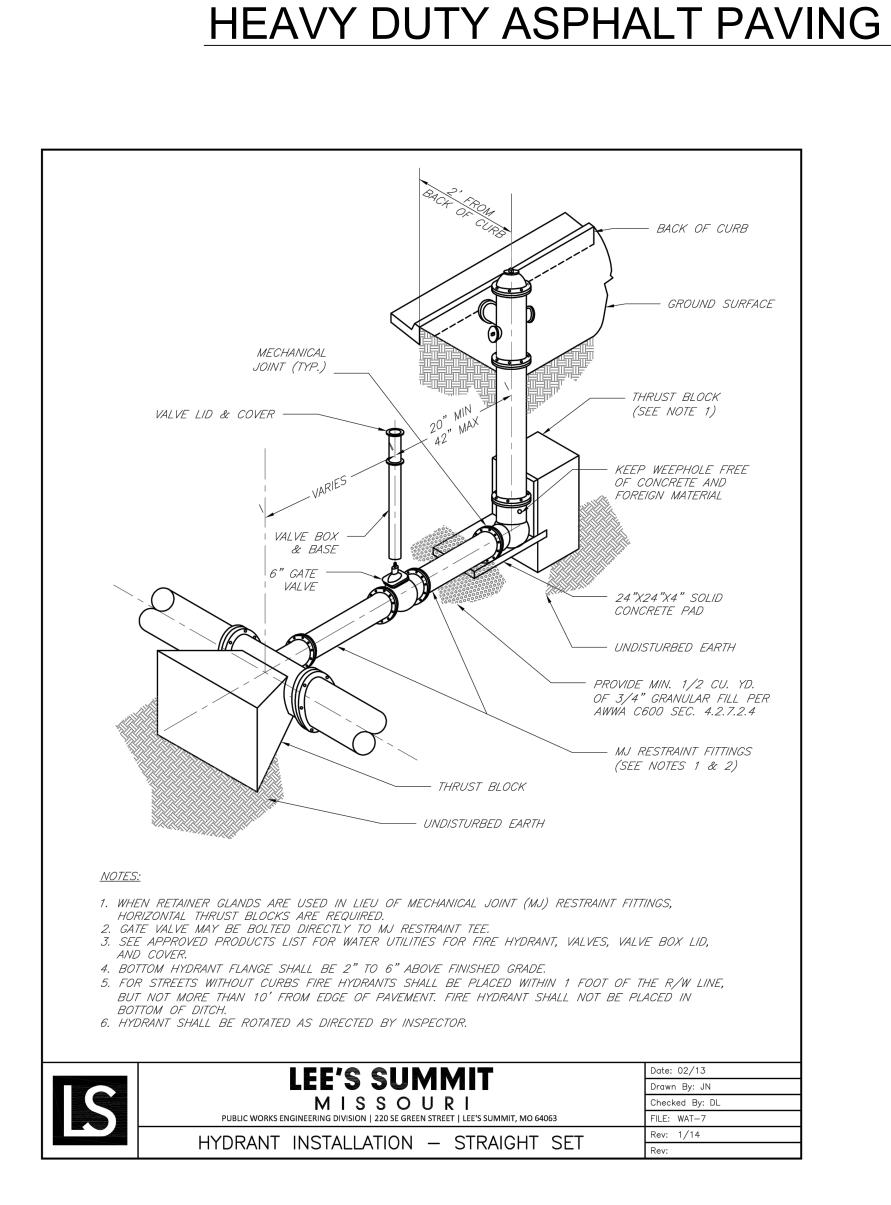
COMPACTED SUBGRADE

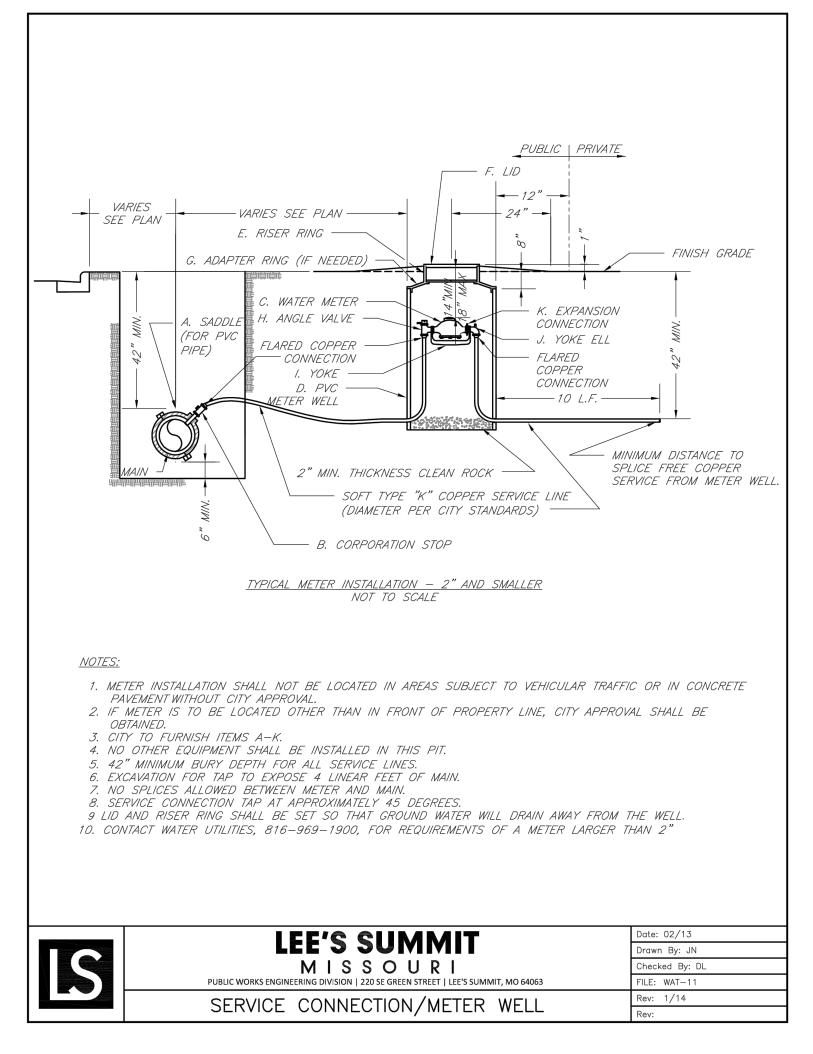
ASPHALT

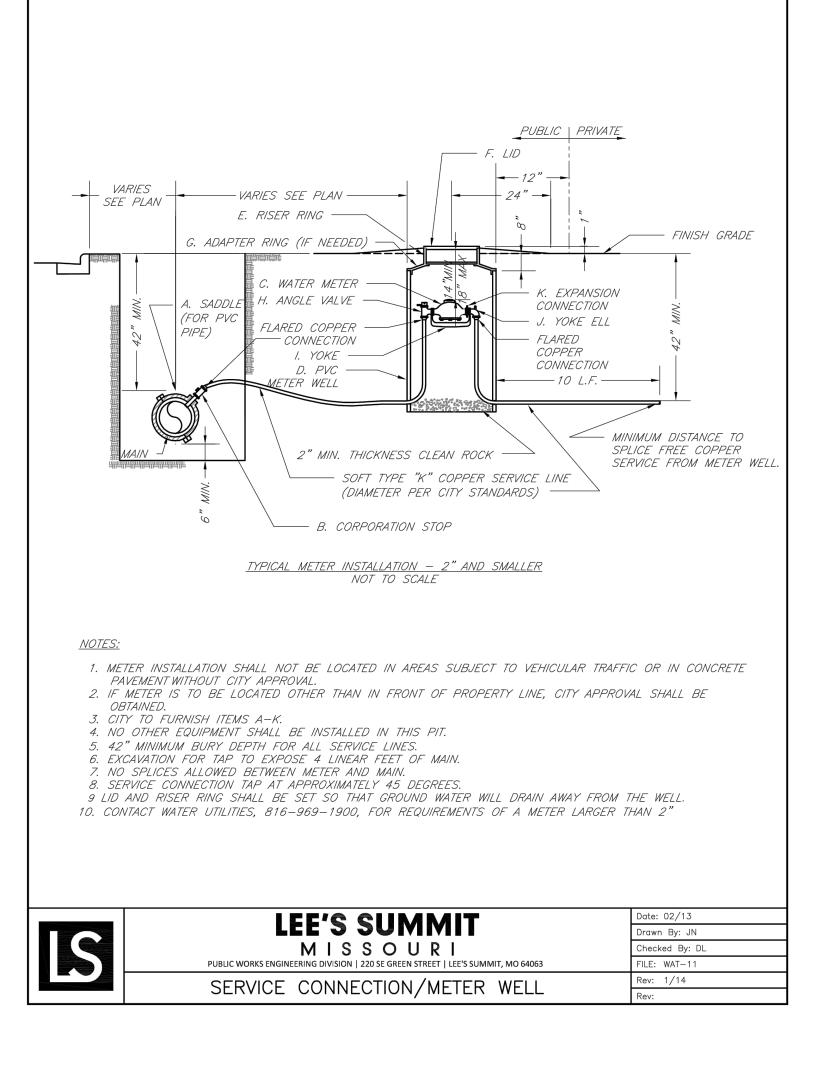
CW1

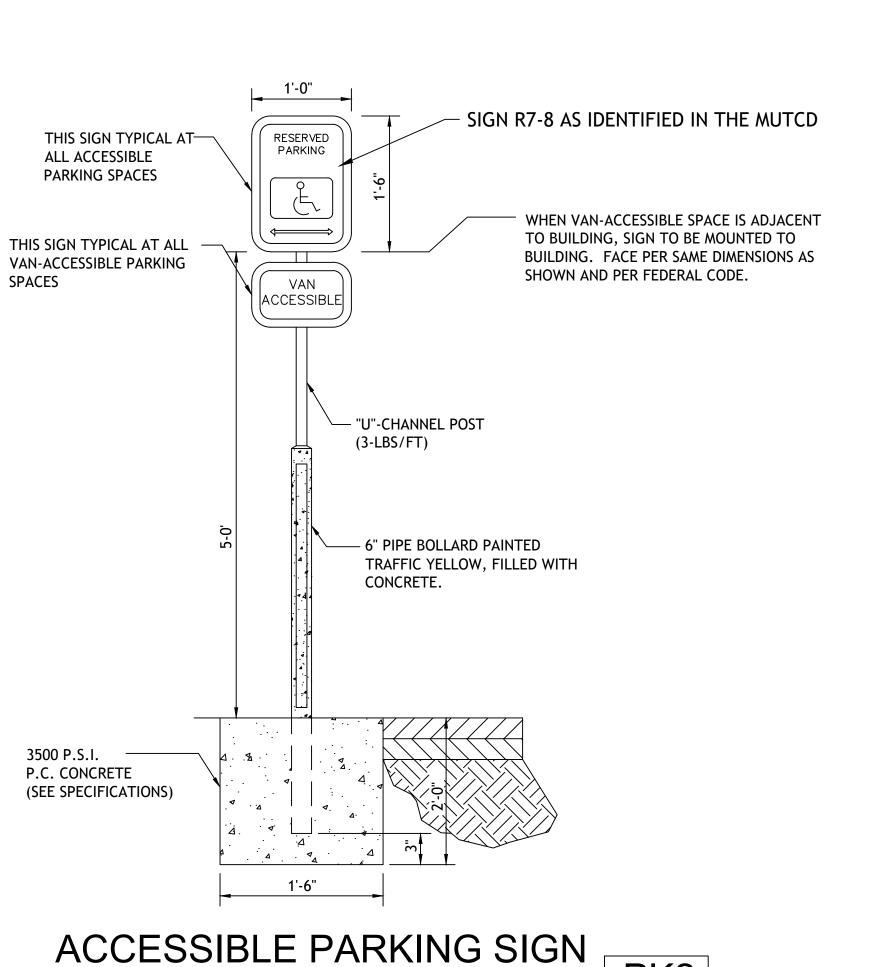
TENSAR TRIAX

TX-5 GEOGRID





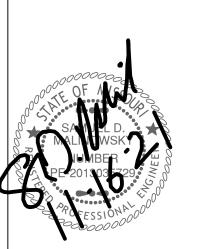






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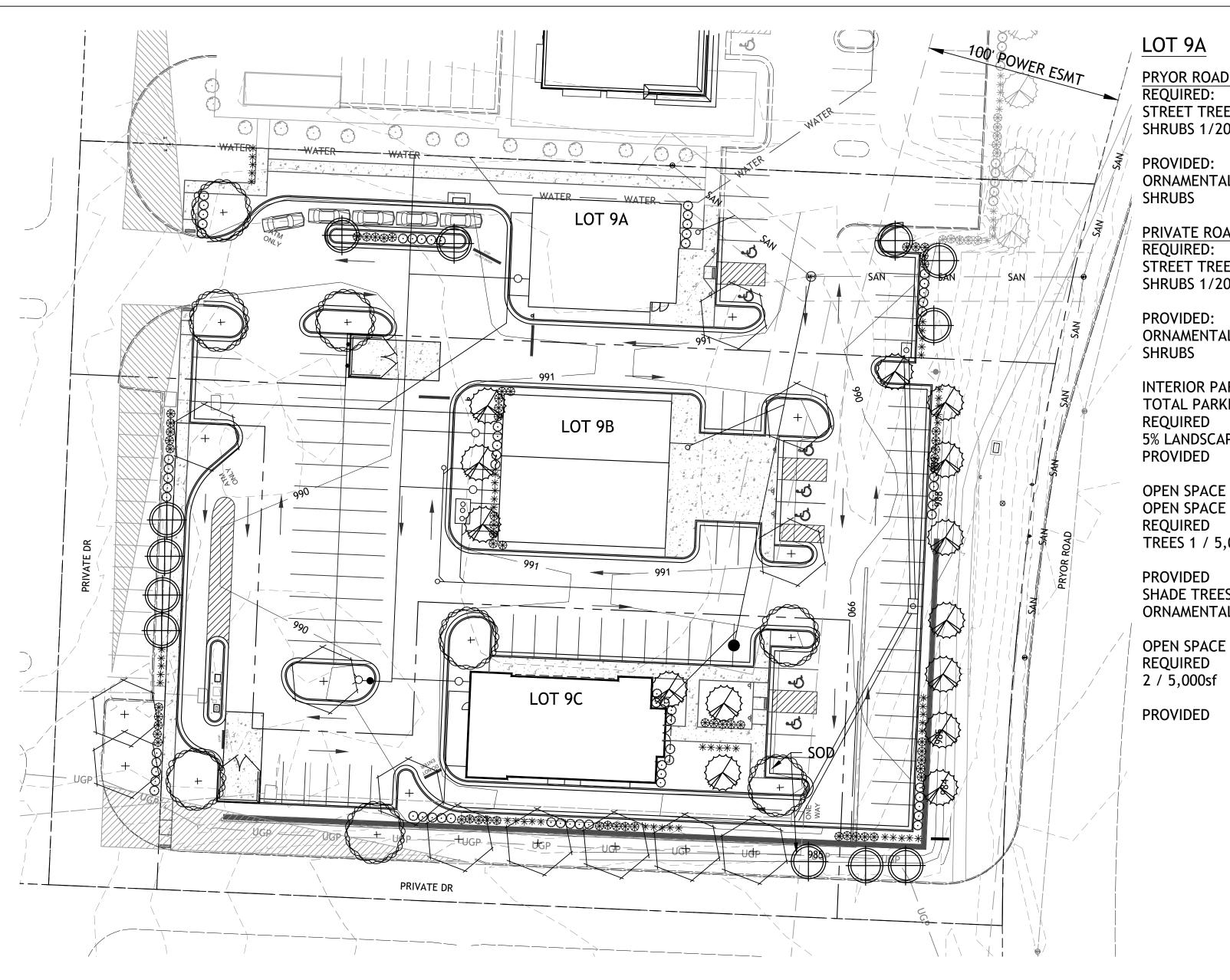


Revisions 11-15-21 CITY COMMENTS

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15 OCTOBER 2021

DETAILS permit



<u>D</u> 75' EES 1/30'	=	3	LOT 9B PRYOR ROAD 230' REQUIRED: STREET TREES 1/30' SHRUBS 1/20'	= =	8 23	LOT 9C PRIVATE ROAD SOUTH REQUIRED: STREET TREES 1/30' SHRUBS 1/20'	- = =	277' 9 28
20' ALS	= = =	4 3 15	PROVIDED: ORNAMENTALS SHRUBS	=	3 30	PROVIDED: SHADE TREES ORNAMENTALS SHRUBS	= = =	8 1 30
OAD WEST EES 1/30' 20'	95' = =	3 5	PRIVATE ROAD SOUTH REQUIRED: STREET TREES 1/30' SHRUBS 1/20'	- = =	67' 2 7	INTERIOR PARKING TOTAL PARKING SURFACE REQUIRED 5% LANDSCAPE AREA PROVIDED	=	20,32 ² 1,016
ALS	= =	11 10	PROVIDED: ORNAMENTALS SHRUBS PRIVATE ROAD WEST	= = 208	2 10	OPEN SPACE TREES OPEN SPACE REQUIRED TREES 1 / 5,000sf	·	1,601 425sf 6
ARKING KING SURFACE	=	10,497 sf	REQUIRED: STREET TREES 1/30' SHRUBS 1/20'	= =	7 21	PROVIDED	=	
APE AREA	= =	525 sf 871sf	PROVIDED: SHADE TREES	=	3	SHADE TREES ORNAMENTALS	=	3
E TREES E	29,6	649sf	ORNAMENTALS SHRUBS	= =	4 25	OPEN SPACE SHRUBS REQUIRED 2 / 5,000sf	=	12
,000sf	=	6	INTERIOR PARKING TOTAL PARKING SURFACE REQUIRED	=	36,380 sf	PROVIDED	=	20
ES ALS	=	4 2	5% LANDSCAPE AREA PROVIDED	=	1,819 sf 2,602 sf			
E SHRUBS	=	12	OPEN SPACE TREES OPEN SPACE REQUIRED	50,8	865sf			

= 10

= 20

= 20

LANDSCAPE NOTES CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

SM Engineering

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Manhattan Kansas, 66503

smcivilengr@gmail.com

785.341.9747

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Revisions

11-15-21 CITY COMMENTS

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date o acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

cedar mulch.

All shrub beds shall be mulched with 3" of shredded

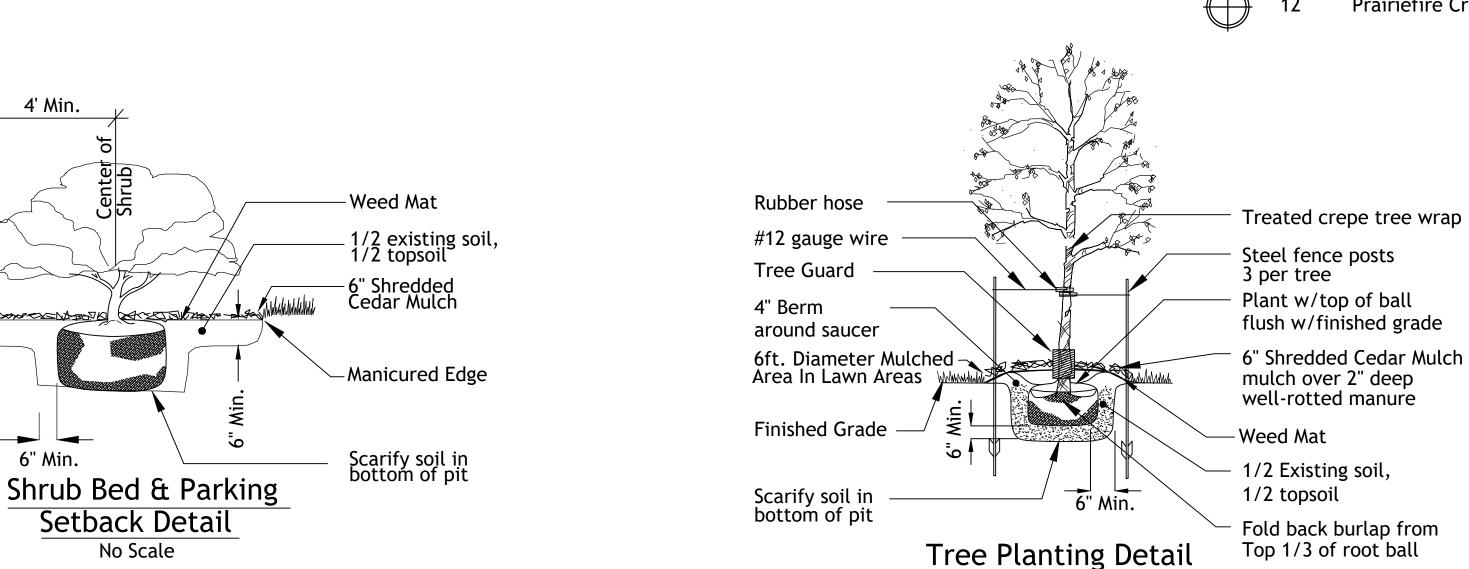
All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

Tree List

No Scale

Shrub Lis Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
y wy	 65	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
₩	 60	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
*	 50	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.



Condition Spacing Quantity Common Name Size Symbol **Botanical Name** 3" cal October Glory Maple Acer Rubrum 'October Glory' BB As Shown Skyline Honeylocust Gleditsia Triacanthos 'Skyline' 3" cal BB As Shown 3"cal Golden Raintree Koelreuteria Paniculata As Shown Malus Sp. 'Priariefire' 3"cal As Shown Prairiefire Crabapple

Free Standing

Transformer

TREES 1 / 5,000sf

PROVIDED

REQUIRED

2 / 5,000sf

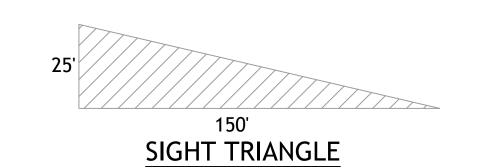
PROVIDED

SHADE TREES

ORNAMENTALS

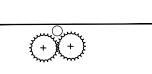
OPEN SPACE SHRUBS

= 15

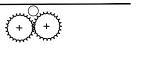


Typical Utility Box Screening Details

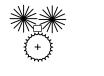
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Against Wall







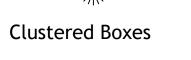
Free Standing

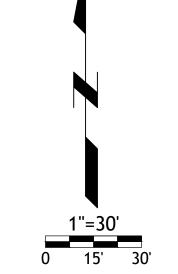
Small Box











C9.0 LANDSCAPE PLAN permit 15 OCTOBER 2021

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UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE