



## The City of Lee's Summit

### Final Agenda

### City Council - Regular Session

Tuesday, November 12, 2019

6:00 PM

City Council Chambers

City Hall

220 SE Green Street

Lee's Summit, MO 64063

(816) 969-1000

\*\*\*AMENDED\*\*\* REGULAR SESSION NO. 42

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#### Preliminaries:

- A. Invocation
- B. Pledge of Allegiance
- C. Call to Order
- D. Roll Call

#### 1. Approval of Agenda

#### 2. Approval of Consent Agenda:

*Items on the Consent Agenda are routine business matters or proposed ordinances approved unanimously by the Council on First Reading. Consent agenda items may be removed by any Councilmember for discussion as part of the regular agenda.*

- A. [BILL NO. 19-242](#) An Ordinance approving a Preliminary Development Plan located at 711 SE M-291 Hwy in District CP-2, proposed Wendy's in accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.  
(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

**Presenter:** Josh Johnson, AICP, Assistant Director of Plan Services  
Tiffany Lehman, PE, Neikirk Engineering, LLC

- B. [BILL NO. 19-243](#) An Ordinance approving a Preliminary Development Plan located at 2001 NW Shamrock Ave in District PMIX, Proposed Dialysis Clinic, INC. In accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.  
(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

**Presenter:** Josh Johnson, AICP, Asst. Director of Plan Services

- C. [BILL NO. 19-244](#) An Ordinance approving a rezoning from Districts AG, RP-1, CP-2, PI and PMIX to AZ for approximately 553.633 acres located at 2751 NE Douglas St, Lee's Summit Airport in accordance with the provisions of Chapter 33, The Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.  
(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)  
**Presenter:** Bob Hartnett, PLA, Deputy Director of Public Works/Administration  
Josh Johnson, AICP, Assistant Director of Plan Services
- D. [BILL NO. 19-245](#) An Ordinance vacating dedicated rights-of-way for a portions of NE Strother RD, NE Douglas RD, NE Hagan RD and NE Leinweber RD., located at 2751 NE Douglas ST, in the City of Lee's Summit, Missouri.  
(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)  
**Presenter:** Josh Johnson, AICP, Assistant Director of Plan Services  
Bob Hartnett, PLA, Deputy Director of Public Works/Administration
- E. [2019-3121](#) Approval of the New Ownership Arrangement regarding Liquor Licenses G3 and S for Siki Japanese Restaraunt, 601 NW Blue Parkway, Lee's Summit, MO 64063.

### 3. Council Roundtable

*Council Roundtable is reserved for items of general interest, community announcements and other such information. Council may ask for clarification or give direction about agenda items or discuss items of an emerging nature.*

### 4. Proclamations:

- A. [2019-3147](#) November 13, 2019 - Jaguars Softball Day  
**Presenter:** Coaches and teammates from the Blue Springs South High School Softball Team

### 5. Public Comments:

*Anyone wishing to address the Mayor and Council during Public Comments will be limited to 3 minutes. Each speaker must fill out a Public Comment Card. The Public Comment Cards are located at the entrance of Council Chambers. After completion, the card is to be given to the City Clerk. Please be concise with comments and respect the 3 minute time limit.*

### 6. Presentations:

- A. [2019-3099](#) Fire Department Community Risk Standard of Cover  
**Presenter:** Mike Snider, Fire Chief  
Dan Manley, Assistant Fire Chief  
Darrel Clowes, Captain
- B. [2019-3139](#) Funding for current and future operational needs  
**Presenter:** Stephen Arbo, City Manager
- C. [2019-3126](#) Presentation and Discussion - Land Clearance for Redevelopment Authority Policy  
**Presenter:** Mark Dunning, Assistant City Manager  
David Bushek, Chief Counsel of Econ. Dev. & Planning

**7. Resolutions:**

- A. [RES. NO. 19-15](#) A Resolution authorizing the offering for sale of General Obligation Bonds for the benefit of the City of Lee's Summit, Missouri.
- Presenter: Bette Wordelman, Finance Director

**8. Proposed Ordinances Forwarded from Committee:**

*The following proposed ordinances were considered by a Council Committee and are presented to the Council for two readings and adoption.*

- A. [BILL NO. 19-247](#) An Ordinance authorizing the execution of an intergovernmental agreement for facilitation services for Ignite strategic plan implementation plan development by and between the City Of Lee's Summit, Missouri and KU Public Management Center in the amount of \$39,900.
- Presenter: Christal Weber, Assistant City Manager

**9. Committee Reports**

*Committee chairs report on matters held in Committee.*

Community and Economic Development Committee – Nov. 13 at 4:00 p.m.

Planning Commission – Nov. 14 at 5:00 p.m.

Historic Preservation Commission – Nov. 18 at 6:00 p.m.

Legislative and Intergovernmental Relations - Nov. 18 at 6:00 p.m.

Public Safety Advisory Board – Nov. 19 at 3:00 p.m.

City Council Regular Session – Nov. 19 at 6:00 p.m.

**10. Council Comments:**

*(NOTE: Total time for Council Comments will be limited to 5 minutes.)*

**11. Staff Roundtable**

*Staff Roundtable is reserved for items of general interest, community announcements and other such information; however, staff may ask for clarification or direction from the council related to items on the agenda or for items of an emergency nature for which insufficient time exists for adding to the agenda.*

**12. Adjournment**

Unless determined otherwise by the Mayor and City Council, no new agenda items shall be considered after 11:00 p.m.

For your convenience, City Council agendas, as well as videos of City Council and Council Committee meetings, may be viewed on the City's Legislative Information Center website at "lsmo.legistar.com"

## Packet Information

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**File #:** BILL NO. 19-242, **Version:** 1

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An Ordinance approving a Preliminary Development Plan located at 711 SE M-291 Hwy in District CP-2, proposed Wendy's in accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.

(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

Proposed City Council Motion:

I move for adoption of an Ordinance approving a preliminary development plan located at 711 SE M-291 Hwy in District CP-2, proposed Wendy's in accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.

Josh Johnson, AICP, Assistant Director of Plan Services

Tiffany Lehman, PE, Neikirk Engineering, LLC

## **BILL NO. 19-242**

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AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 711 SE M-291 HWY IN DISTRICT CP-2, PROPOSED WENDY'S IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-233, submitted by NPC International, Inc., requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 711 SE M-291 Hwy was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on October 10, 2019, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 5, 2019, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

Section 8, Township 47 North, Range 31 West, in Lee's Summit, Jackson County, Missouri, being described as follows:

*ALL OF LOT 5A, POLK ADDITION LOTS 5A AND 5B, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART DESCRIBED AS FOLLOWS:*

*ALL THAT PART OF LOT 5A, POLK ADDITION, LOTS 5A AND 5B, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 5A; THENCE SOUTH 90 DEGREES 0 MINUTES 0 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 5A, A DISTANCE OF 26.05 FEET; THENCE NORTH 0 DEGREES 0 MINUTES 0 SECONDS EAST CONTINUING ALONG THE LOT LINE OF SAID LOT 5A, A DISTANCE OF 110 FEET; THENCE NORTH 90 DEGREES 0 MINUTES 0 SECONDS EAST, A DISTANCE OF 26.05 FEET TO A POINT ON THE LOT LINE BETWEEN LOT 5A AND LOT 5B OF SAID SUBDIVISION; THENCE SOUTH 0 DEGREES 0 MINUTES 0 SECONDS WEST*

## **BILL NO. 19-242**

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*ALONG THE LOT LINE OF SAID LOT 5A AND LOT 5B, A DISTANCE OF 110 FEET TO THE POINT OF BEGINNING.*

SECTION 2. That the following conditions of approval apply:

1. Aluminum composite metal (ACM) panels shall be allowed as a conditional material as shown in the preliminary development plan date stamped September 9, 2019.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped September 9, 2019:

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this \_\_\_\_ day of \_\_\_\_\_, 2019.

ATTEST:

\_\_\_\_\_  
Mayor *William A. Baird*

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney *Brian W. Head*



**LEE'S SUMMIT**  
**MISSOURI**  
Development Services Department

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## Development Services Staff Report

<b>File Number</b>	PL2019-233
<b>File Name</b>	PRELIMINARY DEVELOPMENT PLAN – Wendy's
<b>Applicant</b>	NPC International, Inc.
<b>Property Address</b>	711 SE M-291 Hwy
<b>Planning Commission Date</b>	October 10, 2019
<b>Heard by</b>	Planning Commission and City Council
<b>Analyst</b>	Hector Soto, Jr., AICP, Planning Manager
<b>Checked By</b>	Kent D. Monter, PE, Development Engineering Manager

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### Public Notification

Pre-application held: April 3, 2019  
Neighborhood meeting conducted: October 7, 2019  
Newspaper notification published on: September 21, 2019  
Radius notices mailed to properties within 185 feet on: September 19, 2019  
Site posted notice on: September 19, 2019

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### Table of Contents

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### Attachments

Traffic Impact Analysis prepared by Michael Park, dated October 3, 2019 – 2 pages  
Preliminary Development Plan, date stamped September 9, 2019 – 14 pages  
Location Map

## 1. Project Data and Facts

Project Data	
Applicant/Status	NPC International, Inc. / Developer
Applicant's Representative	Cathy Wagner
Location of Property	711 SE M-291 Hwy
Size of Property	±1.09 acres
Zoning (Proposed)	CP-2 (Planned Community Commercial)
Comprehensive Plan Designation	Retail
Procedure	<p>The Planning Commission makes a recommendation to the City Council on the proposed preliminary development plan. The City Council takes final action on the preliminary development plan in the form of an ordinance.</p> <p><b>Duration of Validity:</b> Preliminary development plan approval by the City Council shall not be valid for a period longer than twenty-four (24) months from the date of such approval, unless within such period a final development plan application is submitted. The City Council may grant one extension not exceeding twelve (12) months upon written request.</p>

Current Land Use
The property is the site of a vacant restaurant most recently operating in 2014.

Description of Applicant's Request
The applicant seeks approval of a preliminary development plan to raze the existing 6,445 sq. ft. sit-down restaurant building and construct a 2,504 sq. ft. drive-through restaurant.

## 2. Land Use

Description and Character of Surrounding Area
The property is located along the M-291 Hwy commercial corridor north of US 50 Hwy. Commercial development predominantly lines both sides of the corridor. However, due west of the site is Lee's Summit High School. Additionally, the Missouri State Highway Patrol Headquarters sits at the northwest corner of M-291 Hwy and SE Blue Pkwy/US 50 Hwy. The area due east of the site is industrial in nature. The area further northeast of the site is residential in nature.

### Adjacent Land Uses and Zoning

North:	Retail center / CP-2
South:	Automobile sales / CP-2
East:	Office-warehouse / PI (Planned Industrial)

<b>West:</b>	Lee's Summit High School / CP-1 (Planned Neighborhood Commercial)
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**Site Characteristics**

The site is a relatively flat lot that sits approximately 8 feet below the adjacent grade of M-291 Hwy. There are a total of three (3) access points to the site via M-291 Hwy, SE Melody Ln and SE 7<sup>th</sup> Terr.

**Special Considerations**

There are no special or unique site conditions to consider.

### 3. Project Proposal

**Site Design**

<b>Land Use</b>	
Impervious Coverage:	74%
Pervious:	26%
<b>TOTAL</b>	<b>100%</b>

**Parking**

<b>Proposed</b>		<b>Required</b>	
Total parking spaces proposed:	37	Total parking spaces required:	35
Accessible spaces proposed:	2	Accessible spaces required:	2
Parking Reduction requested?	No	Off-site Parking requested?	No

**Setbacks (Perimeter)**

<b>Yard</b>	<b>Building / Parking Required</b>	<b>Building / Parking Proposed</b>
Front (M-291 Hwy)	15' (Building) / 20' (Parking)	75' (Building) / 46' (Parking)
Side (north and south)	10' (Building) / 6' (Parking)	59' (Building) / 8' (Parking) – north; 84' (Building) / 11' (Parking) – south
Rear (east)	20' (Building) / 6' (Parking)	107' (Building) / 6' (Parking)

**Structure(s) Design**

<b>Number and Proposed Use of Buildings</b>
1 building; drive-through restaurant
<b>Building Height</b>
24'
<b>Number of Stories</b>
1 story

## 4. Unified Development Ordinance (UDO)

Section	Description
2.040,2.260,2.300,2.320	Preliminary Development Plans
4.210	Zoning Districts
8.120,8.170,8.180	Design Standards
8.220,8.230,8.250,8.260,8.290	Lighting Standards
8.530,8.580,8.620	Parking Standards
8.720,8.750,8.790,8.810,8.820	Landscaping

### Unified Development Ordinance

The proposed drive-through restaurant is a use permitted by right, but with conditions. The use conditions associated with a drive-through restaurant are:

- A minimum of five (5) car stacking from order box. **Stacking for ten (10) cars is provided from the order box.**
- Order box is screened from view and located to project sound away from residential districts or uses. **The order box is located approximately 195' from the nearest residentially zoned property and approximately 295' from the nearest residential use, both located to the northeast of the site. Three existing fences are located between the order box and the residential property. The order box projects toward the industrial property to the east. Staff will continue to work with the applicant at the final development plan stage to project the order box more toward the southeast so as to further mitigate any noise concerns toward the residences.**
- Drive-through lane screened from view by high impact screen in order to eliminate glare. **The site is screened from the adjacent industrial property to the east by an existing fence and supplemental landscaping to be installed as part of this project. A high-impact screen is not required to the north or south due to the identical CP-2 zoning of those properties.**
- A minimum distance of 100 feet to any residential district or use shall be maintained to the order (speaker) box or pick-up window. **The order box is located approximately 195' from the nearest residentially zoned property and approximately 295' from the nearest residential use.**

The proposed drive-through restaurant is consistent and compatible with other auto-oriented uses along the M-291 Hwy commercial corridor.

## 5. Comprehensive Plan

Focus Areas	Goals, Objectives & Policies
Overall Area Land Use	Objective 1.3 Objective 1.4

Economic Development	Objective 2.3
Commercial Development	Objective 4.1 Objective 4.2

**Comprehensive Plan**

The proposed use is consistent with the retail land use recommended by the Comprehensive Plan for the area. As a highway corridor, the subject property is appropriate for an auto-oriented restaurant use.

**6. Analysis****Background and History**

The applicant seeks approval of a preliminary development plan for Wendy's. The proposed project calls for the demolition of the existing 6,445 sq. ft. sit-down restaurant building and construction of a 2,504 sq. ft. drive-through restaurant on Lot 5A of *Polk Addition*. The proposed exterior building materials consist of fiber cement panels, aluminum composite metal (ACM) panels and glass.

- February 19, 1963 – The City Council approved the final plat (Appl. #1963-023) of *Polk Addition* by Ordinance No. 743-A.
- September 27, 2001 – The minor plat (Appl. #2001-123) of *Polk Addition, Lots 5A and 5B* was recorded with the Jackson County Recorder of Deeds office.

**Compatibility**

The property is generally located at the northeast corner of SE 7<sup>th</sup> Terr and M-291 Hwy. The site sits adjacent to a retail shopping center to the north, a used auto dealer to the south and QuikTrip immediately south of SE 7<sup>th</sup> Terr. M-291 Hwy serves as a major auto-oriented commercial corridor north of US 50 Hwy.

A drive-through restaurant is a compatible use for the area and zoning. The subject property and the two abutting properties to the north and south are zoned CP-2. The abutting property to the east is zoned PI. Drive-through restaurants are a use permitted by right in the CP-2 zoning district and a use permitted by right with conditions in the PI zoning district.

The proposed building materials and architecture are compatible with newer development and redevelopment along the M-291 Hwy corridor. The proposed building exterior is composed of glass, fiber cement panels and aluminum composite metal (ACM) panels. The ACMs are limited to the vertical tower-like feature on the west elevation and similar vertical features on the north and south elevations. The use of ACM panels requires City Council approval as a conditional material. ACM panels are common in commercial applications employing contemporary architecture. City Council has previously approved the use of ACMs in commercial applications for auto dealerships.

### **Adverse Impacts**

The proposed development will not detrimentally impact the surrounding area. The proposed project redevelops a long-vacant and highly visible property along the M-291 Hwy corridor.

The proposed development will not create excessive storm water runoff. The property has 91% impervious coverage in its current state. The proposed redevelopment will reduce the amount of impervious coverage to 74%, thereby reducing the storm water runoff from this site.

The proposed use is not expected to create noise and air pollution in excess of what is customary for a restaurant use in a commercial area. The site sits along a high traffic commercial corridor.

### **Public Services**

The proposed redevelopment will not impede the normal and orderly development and improvement of the surrounding property. The surrounding properties are fully built out. The subject property provides a redevelopment opportunity of a former restaurant that has remained vacant approximately 5 years. The proposed redevelopment will tie into the existing public infrastructure.

The site has access from M-291 Hwy, SE Melody Ln and SE 7<sup>th</sup> Terr. However, M-291 Hwy currently provides the primary point of access to the site. M-291 Hwy has sufficient capacity to accommodate the proposed use. No road improvements are required as part of the redevelopment. However, future MoDOT improvements at the M-291 Hwy/US 50 Hwy interchange will include raised median improvements that extend to the intersections of SE Blue Pkwy and SE 7<sup>th</sup> Terr with M-291 Hwy. These future improvements may result in the removal, relocation or restriction of access to M-291 Hwy. The existing site access to SE Melody Ln provides an alternate route to M-291 Hwy for the subject property and several other properties via the signalized intersection at SE Bayberry Ln. M-291 Hwy can also be accessed via a shared drive onto SE 7<sup>th</sup> Terr that will be improved as part of this project.

### **Modifications**

No modifications are requested as part of this application.

### **Recommendation**

With the conditions of approval below, the application meets the requirements of the UDO and Design & Construction Manual.

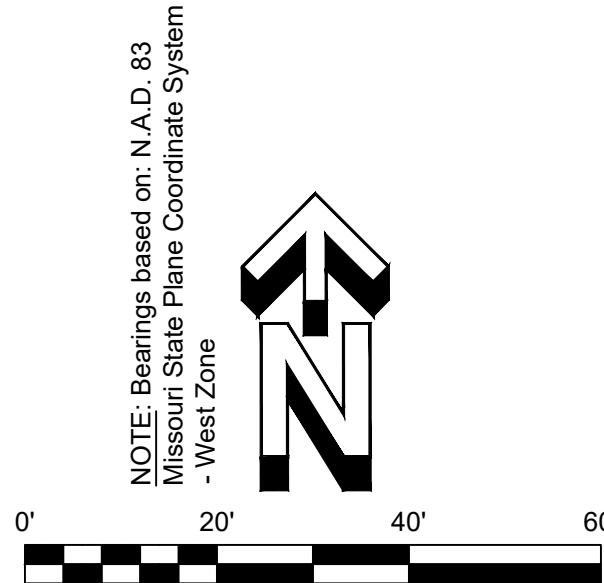
## **7. Recommended Conditions of Approval**

### **Site Specific**

1. Aluminum composite metal (ACM) panels shall be allowed as a conditional material as shown in the preliminary development plan date stamped September 9, 2019.

### **Standard Conditions of Approval**

2. All required engineering plans and studies, including water lines, sanitary sewers, storm drainage, streets and erosion and sediment control shall be submitted along with the final development plan. All public infrastructure must be substantially complete, prior to the issuance of any certificates of occupancy.
3. All Engineering Plan Review and Inspection Fees shall be paid prior to approval of the associated engineering plans and prior to the issuance of any infrastructure permits or the start of construction (excluding land disturbance permit).
4. A Land Disturbance Permit shall be obtained from the City if ground breaking will take place prior to the issuance of an infrastructure permit, building permit, or prior to the approval of the Final Development Plan / Engineering Plans.
5. All permanent off-site easements (i.e., private sanitary sewer easements), in a form acceptable to the City, shall be executed and recorded with the Jackson County Recorder of Deeds prior to approval of any final development plan. A certified copy shall be submitted to the City for verification.
6. Private parking lots shall follow the Unified Development Ordinance (UDO) for pavement thickness and base requirements.
7. Any cut and / or fill operations, which cause public infrastructure to exceed the maximum / minimum depths of cover shall be mitigated by relocating the infrastructure vertically and / or horizontally to meet the specifications contained within the City's Design and Construction Manual.
8. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.
9. Sign permits shall be obtained prior to installation of any signs through the Development Services Department. All signs proposed must comply with the sign requirements as outlined in the sign section of the Unified Development Ordinance.
10. ADA accessible parking space signs shall be mounted on a pole or other structure a minimum 60" above the ground, measured to the bottom of the sign.
11. A final plat or minor plat shall be approved and recorded (with the appropriate number of copies of the recorded plat returned to the Development Services Department) prior to any building permits being issued.



UTILITIES SHOWN HEREON ARE BASED ON PLAN INFORMATION AND ABOVE GROUND FEATURES TO THE BEST OF OUR KNOWLEDGE. THIS EXISTING CONDITIONS DRAWING DOES NOT GUARANTEE THE "EXISTENCE OR NON EXISTENCE" OF UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 AND FIELD VERIFY UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY UTILITIES ENCOUNTERED BUT NOT SHOWN HEREON OR IF LOCATION OF UTILITIES VARIES FROM THAT SHOWN ON THE PLANS

ALL EXISTING ITEMS ON THE SITE SHALL BE DEMOLISHED UNLESS OTHERWISE INDICATED. ITEMS TO BE DEMOLISHED SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL HAUL DEMO ITEMS OFF-SITE. EXISTING WATER METER SHALL REMAIN.

ALL REMOVAL AREAS SHOWN SHALL BE SAW CUT TO FULL DEPTH WHEN ADJACENT TO REMAINING PAVEMENT.

Benchmark #1:  
Iron Pin  
Northing = 997,235.05'  
Easting = 2,828,035.85'  
Elev. = 1,026.08'

Benchmark #2:  
Iron Pin  
Northing = 997,050.27'  
Easting = 2,828,015.40'  
Elev. = 1,026.54'

*linear!*  
Marc Brundige,  
Architect  
8951 CYPRESS WATERS BLVD., STE 13  
DALLAS, TX 75019  
PHONE: 972.929.9226  
FAX: 972.929.9061



4200 W. 115TH ST. STE. 200  
LEAWOOD, KANSAS  
66211  
OFFICE: (913) 327-3120  
CELL: (913) 544-3421

PROJECT TYPE: NEW  
SMART 55 - NARROW

**MICHAEL E. NEIKIRK PE**  
***Civil Engineer***  
306 North Market Street Ste. 101  
Mt. Carmel, IL 62863  
Phone: (618) 263-4100

**Wendy's®**  
#12533 (NPCQB#6042)  
711 E MISSOURI 291 HWY  
LEE'S SUMMIT, MO 64063

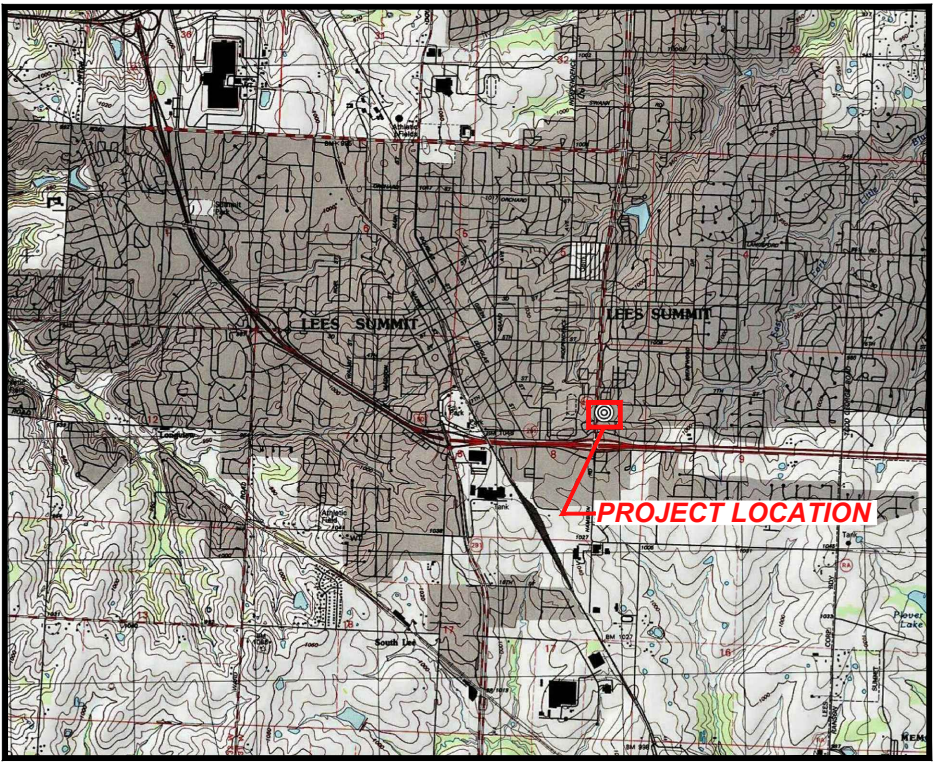
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## EXISTING CONDITIONS

SHEET NUMBER

# C1

Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).



VICINITY MAP  
(NOT TO SCALE)

## SITE PLAN DESIGN NOTES

- |  |       |   |  |      |
|--|-------|---|--|------|
| 1 TRAFFIC DIRECTIONAL MARKER                   | 5 C7  | 10 LANDSCAPING AREA                               | 19 SIDEWALK WITH MIN. 24" DETECTABLE WARNING         | 4 C7 |
| 2 DIAGONAL STRIPING - 4" YELLOW @ 24" O.C.     | 2 C7  | 11 SAFETY RAILING SEE ARCHITECTURAL DETAILS       | 20 SAWCUT CURB / PAVEMENT FULL DEPTH FOR CLEAN JOINT |      |
| 3 ADA ACCESSIBLE PARKING STALLS                | 2 C7  | 12 SIDEWALK RAMP WITH MIN. 24" DETECTABLE WARNING | 21 5' x 5' CONCRETE STOOP                            | 1 C7 |
| 4 INTEGRAL CURB AND SIDEWALK                   | 8 C7  | 13 MENU BOARD                                     | 22 CANOPY PROTECTION BAR                             | 7 C8 |
| 5 DUMPSTER ENCLOSURE                           | 9 C8  | 14 ORDER STATION                                  | 23 ADA ACCESSIBLE PARKING SIGN                       | 7 C7 |
| 6 CONCRETE CURB                                | 11 C7 | 15 PRE-SELL BOARD                                 | 24 CONCRETE SIDEWALK                                 | 3 C7 |
| 7 ASPHALT PAVEMENT                             | 9B C7 | 16 BOLLARD  | 25 OUTDOOR PATIO SEE ARCHITECTURAL SHEETS            |      |
| 8 PAVEMENT STRIPING - 4" YELLOW                |       | 17 CONCRETE PAVEMENT                              | 26 PYLON SIGN SEE ARCHITECTURAL SHEETS               |      |
| 9 DUMPSTER PAD - 8" CONCRETE PAVEMENT W/ APRON | 12 C7 | 18 PAVEMENT MARKER DETAIL                         | 27 AREA LIGHT - SEE SHEET C9                         |      |
|  |       |   | 28 TRANSITION FROM 6" CURB TO EXISTING CURB          |      |

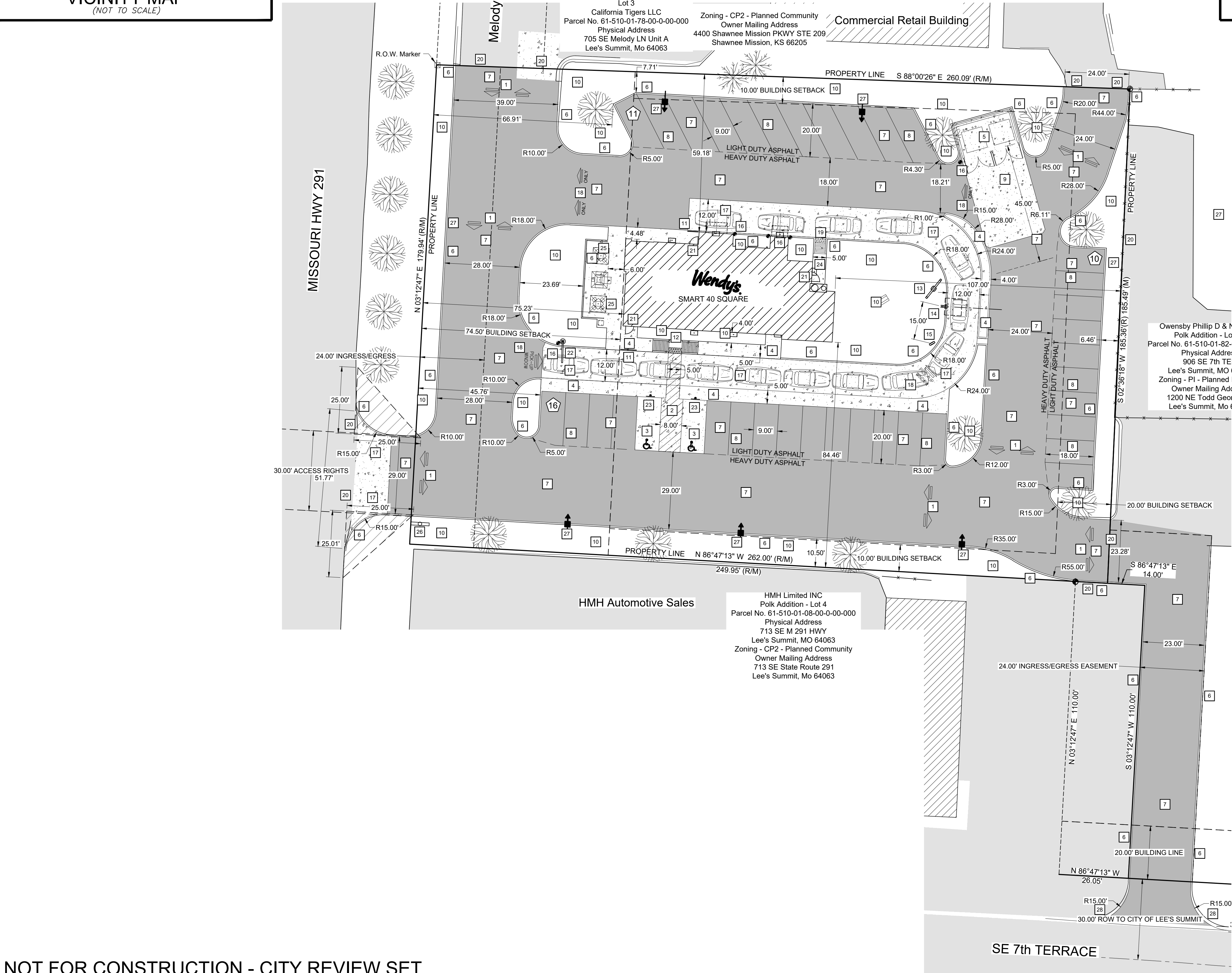
LEGEND	
Benchmark	Sanitary Sewer Manhole
Iron Pin Found	Sign
Backflow Preventer	Water Meter
Bollard	Water Valve
Soil Boring Location	Utility Pole
Sanitary Sewer Cleanout	TBR To Be Removed
Gas Meter	TC Top of Curb
Storm Sewer Curb Inlet	PV Pavement
Storm Sewer MH/Open Lid	ME Match Existing
Light Pole or Traffic Light	470.0 Grade point
Storm Sewer Manhole	Number of Parking Spaces
Air Conditioner	TBR To Be Removed

W	W	Water Line
SS	SS	Sanitary Sewer Main
X	X	Fence
470	470	Existing Contours
UGE	UGE	Proposed Contours
S	S	Underground Electric
S	S	Storm Sewer
OHE	OHE	Limits of Pavement Removal
GAS	GAS	Overhead Utility Lines
Ditch / Swale	Ditch / Swale	Gas Lines
Existing Asphalt	Gravel	
New Asphalt	Existing Concrete	
New Concrete		

## SITE DATA

- AREA OF SITE: 47,692.73 SQ.FT. - 1.09 ACRES.
- PARKING CONDITIONS ARE AS FOLLOWS:  
MIN. REQUIRED SPACES: 14 PER 1000 SQ.FT. GROSS FLOOR SPACE  
TOTAL GROSS FLOOR SPACE: 2,504 SQ. FT.  
PARKING REQUIRED: 35 STALLS  
ACTUAL SPACES:  
35 REGULAR SPACES  
2 ACCESSIBLE SPACES  
TOTAL SPACES: 37
- PROPERTY ZONING  
CP-2, PLANNED COMMUNITY COMMERCIAL
- EXISTING USE: RESTAURANT  
PROPOSED USE: RESTAURANT WITH DRIVE THRU DRIVE THRU STACKING REQUIRED: 4 FROM MENU BOARD AND 4 FROM FIRST WINDOW STACKING SUPPLIED: 14 FROM FIRST WINDOW
- PHYSICAL ADDRESS : 711 SE M 291 HWY  
LEE'S SUMMIT, MO 64063
- PARCEL INFORMATION: LEE'S SUMMIT 29197 LLC  
POLK ADDITION - LOT 5A  
PARCEL NO. 61-510-01-81-01-0-00-000
- OWNER ADDRESS: 605 W 47TH ST 100,  
KANSAS CITY, MO 64112
- BUILDING FLOOR AREA: 2,506 SQ.FT.  
FLOOR AREA RATIO = 2,506 / 47,692.73 (LOT AREA) = 5.25%
- BUILDING HEIGHT: 24 FT.
- DRAINAGE: LOT AREA= 47,692.73 SQ.FT.  
EXISTING:  
IMPERVIOUS AREA: 43,283 SQ.FT. = 90.75%  
PERVIOUS AREA: 4,409.73 S.F.T. = 9.25%  
PROPOSED:  
IMPERVIOUS AREA: 35,431.21 SQ.FT. = 74.29%  
PERVIOUS AREA: 12,260.52 SQ.FT. = 25.71%

ZONING REQUIREMENTS:  
Zoning - CP2 - Planned Community  
1. Minimum Front Yard: 15'  
2. Minimum Side Yard: 10'  
3. Minimum Rear Yard: 20'  
4. Building Height: 40'  
\*74.5 Front Building Setback line per Exception 8



NOT FOR CONSTRUCTION - CITY REVIEW SET

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ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

linear!  
Marc Brundige,  
Architect

8951 CYPRESS WATERS BLVD., STE 130  
DALLAS, TX 75019  
PHONE: 972.929.9226  
FAX: 972.929.9061



4200 W. 115TH ST. STE. 200  
LEAWOOD, KANSAS  
66211  
OFFICE: (913) 327-3120  
CELL: (913) 544-3421

PROJECT TYPE: NEW  
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
Civil Engineer  
306 North Market Street Ste. 101  
Mt. Carmel, IL 62863  
Phone: (618) 263-4100

Wendy's®  
#12533 (NPCQB#6042)  
711 E MISSOURI 291 HWY  
LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

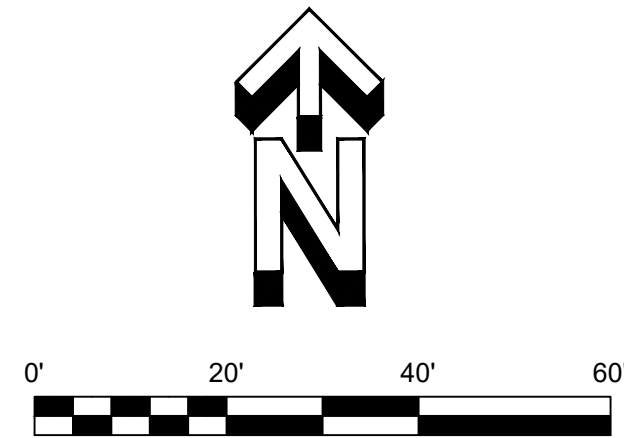
ISSUE DATE: 09-05-19  
PROJECT NUMBER: NPCQB#6042  
DRAWN BY: T.J.L. RM  
CHECKED BY: MEN.T.J.L.



SHEET NAME  
SITE PLAN

SHEET NUMBER

C2



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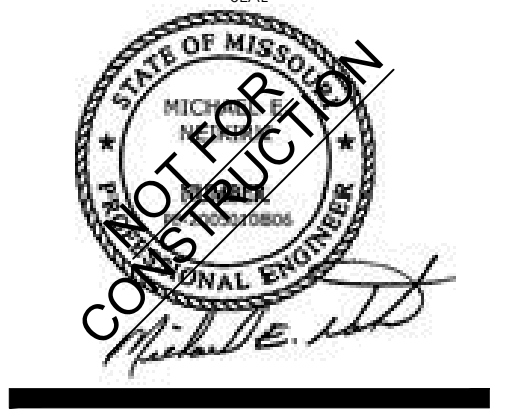
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ISSUE DATE: 09-05-19

PROJECT NUMBER:  
NPCQB#6042

DRAWN BY: TJL RM

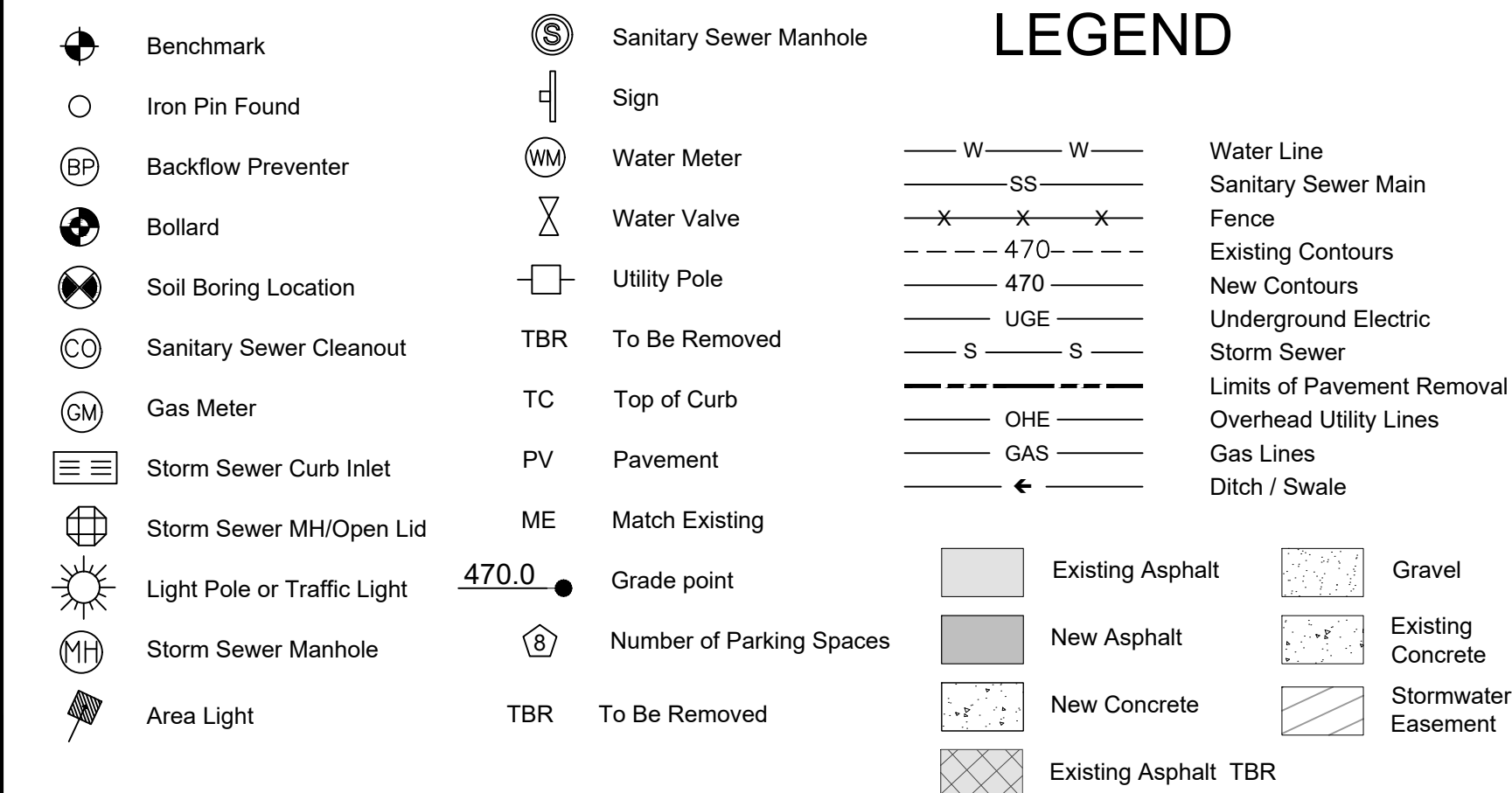
CHECKED BY: MEN, TJL



## GRADING & DRAINAGE

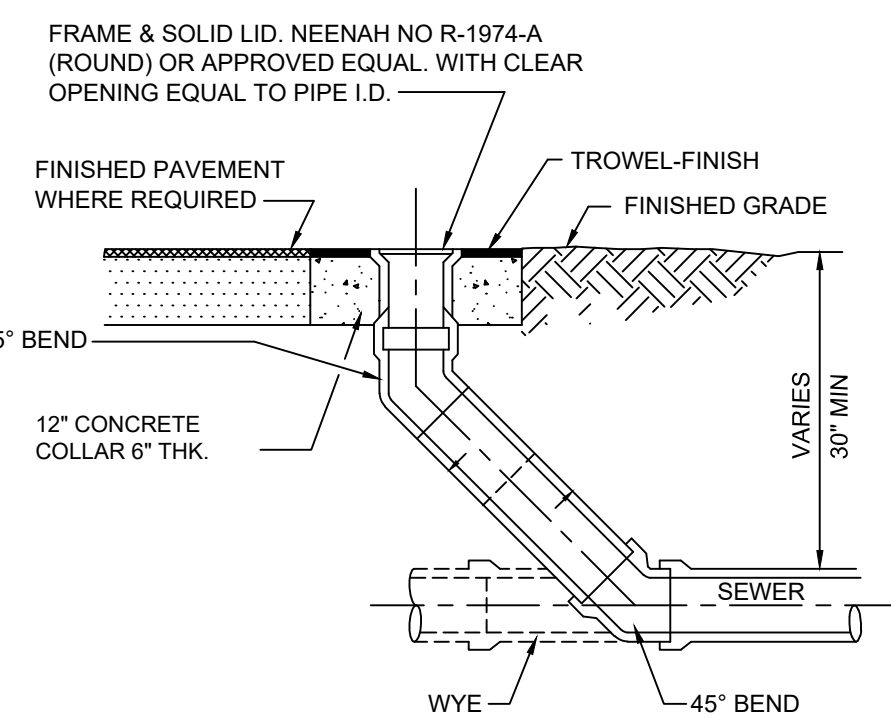
SHEET NUMBER:

# C3



## CONTRACTOR CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL WATER CONNECTIONS SHALL BE COORDINATED WITH POWER UTILITY COMPANY PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
2. CONTRACTOR SHALL COORDINATE CONNECTION POINT, SERVICE SIZE AND TRANSFORMER LOCATION WITH ELECTRICAL SERVICE CO. PRIOR TO CONSTRUCTION. METER BASES CANNOT BE MOUNTED ON TRANSFORMERS. CURRENT TRANSFORMERS FOR SERVICES ABOVE 400 AMPERES CAN BE INSTALLED ON POLES, BUILDINGS, OR INSIDE TRANSFORMERS. WILSON ENERGY WILL SPOT ALL TRANSFORMER AND METER LOCATIONS. PLEASE NOTIFY WILSON ENERGY OF EXACT ELECTRICAL REQUIREMENTS SUCH AS TOTAL CONNECTED LOAD AND VOLTAGE REQUIREMENTS. TREES OR SHRUBBERY THAT INTERFERES WITH WILSON ENERGY ELECTRICAL LINES IN THE FUTURE WILL BE REMOVED.
3. CONTRACTOR SHALL VERIFY LOCATION, SIZE AND INVERT OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND COORDINATE WITH POWER UTILITY COMPANY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL INSPECT THE EXISTING LINE TO ENSURE IT IS NOT DAMAGED AND NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.
4. CONTRACTOR SHALL COORDINATE WITH GAS SERVICE PROVIDER PRIOR TO CONSTRUCTION. EXPOSURES ARE TO BE MADE TO VERIFY EXISTING LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL GAS AND PLUMBING CODE.
5. CONTRACTOR SHALL COORDINATE CONNECTION POINT AND SERVICE SIZE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION FOR BOTH TELEPHONE AND CABLE TV SERVICE.



## 1 CLEANOUT DETAIL

NOT FOR CONSTRUCTION - CITY REVIEW SET

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OWNER:	NPCQB
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[illegible]

ISSUE DATE: 09-05-19

PROJECT NUMBER:  
NPCQB#4042

DRAWN BY: TJL, RM

CHECKED BY: MEN, TJ

\_\_\_\_\_



SHEET NAME

## UTILITY PLAN

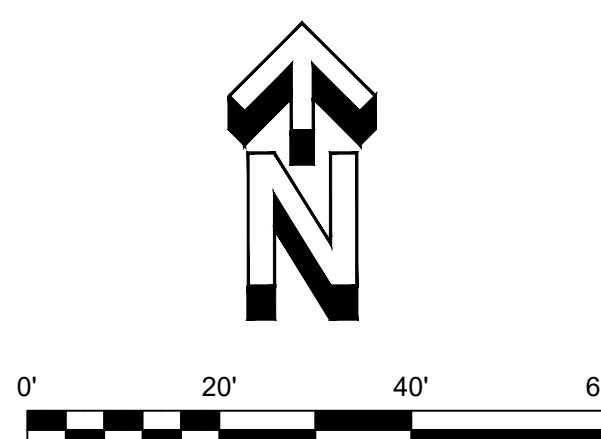
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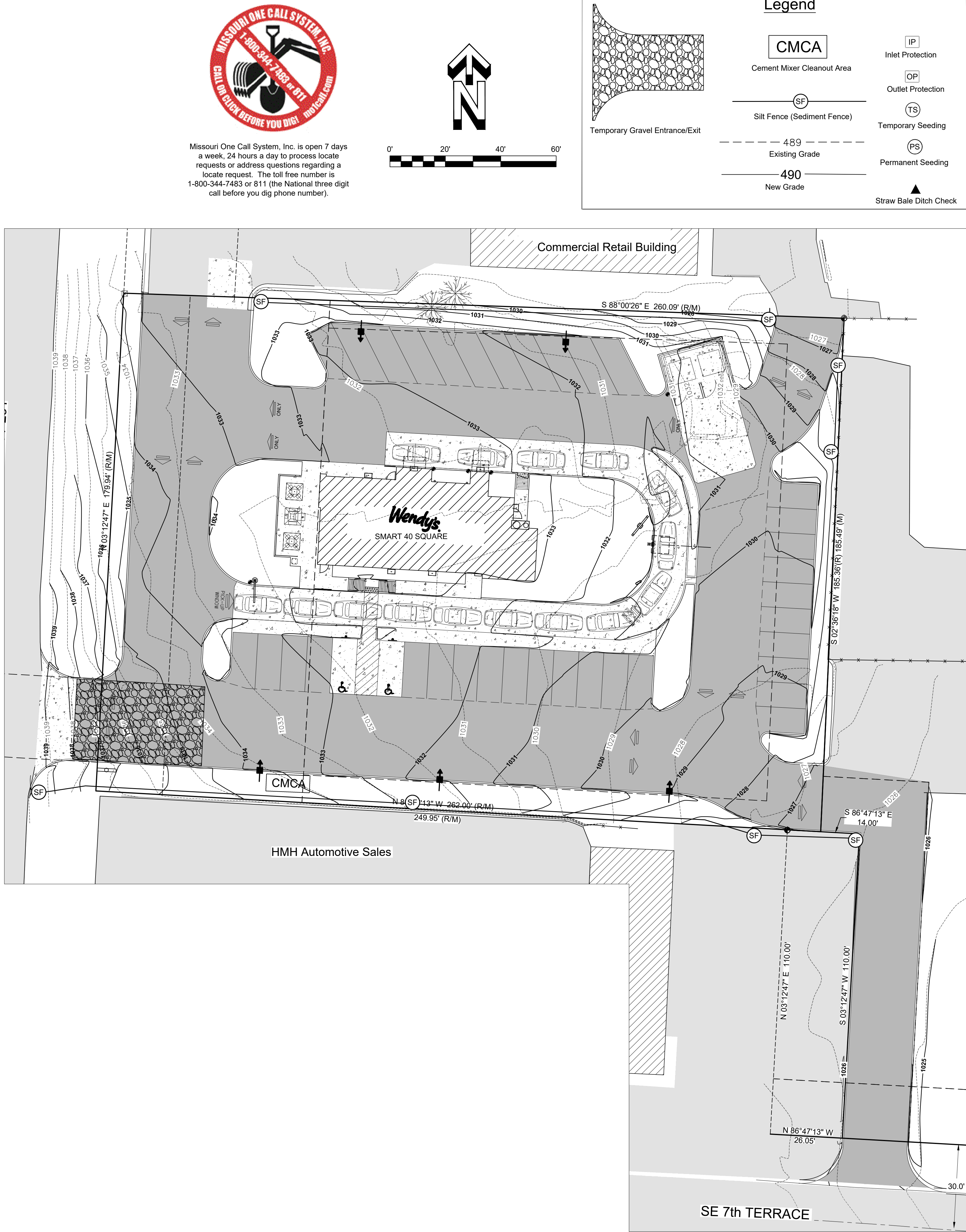
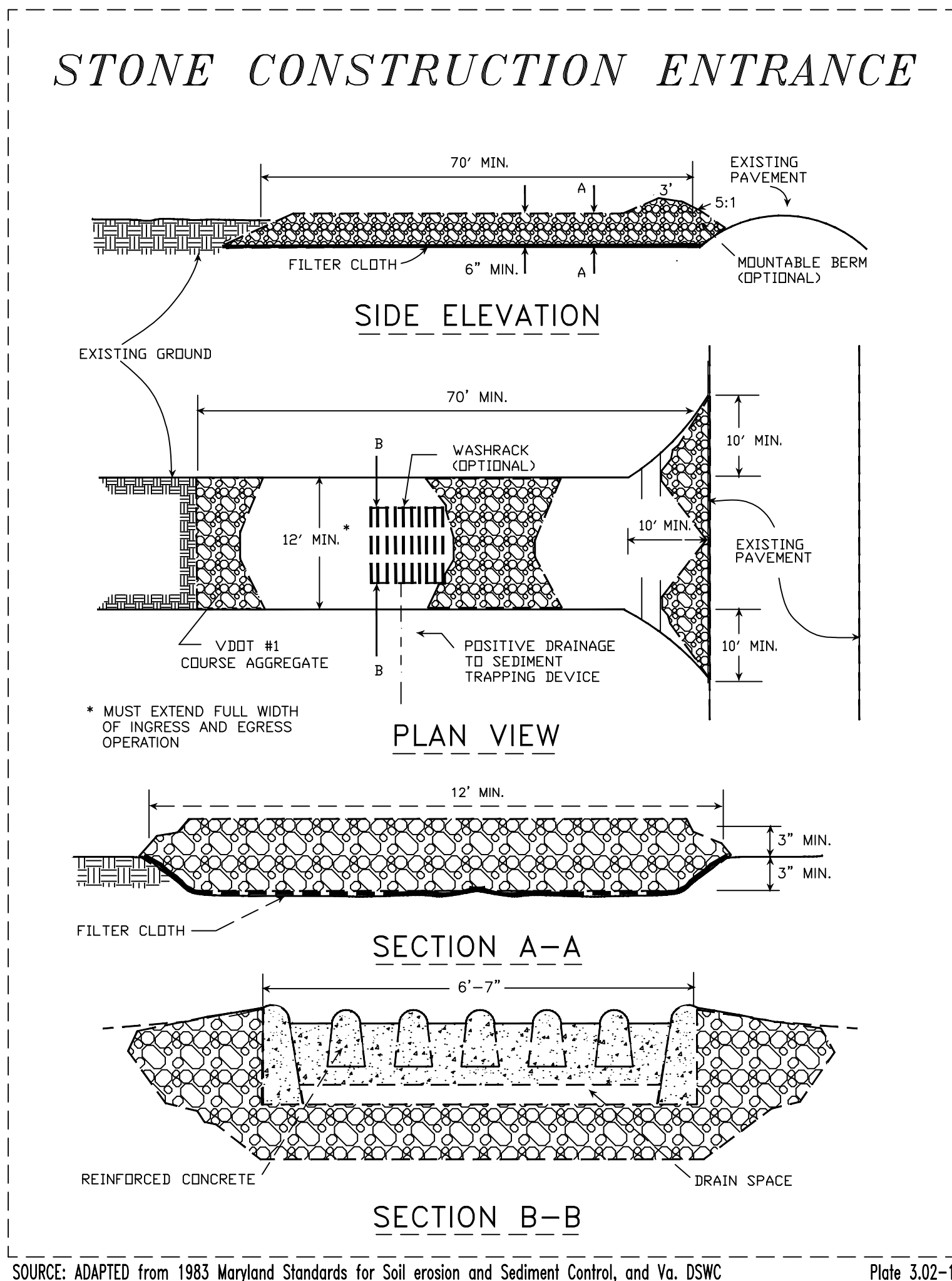
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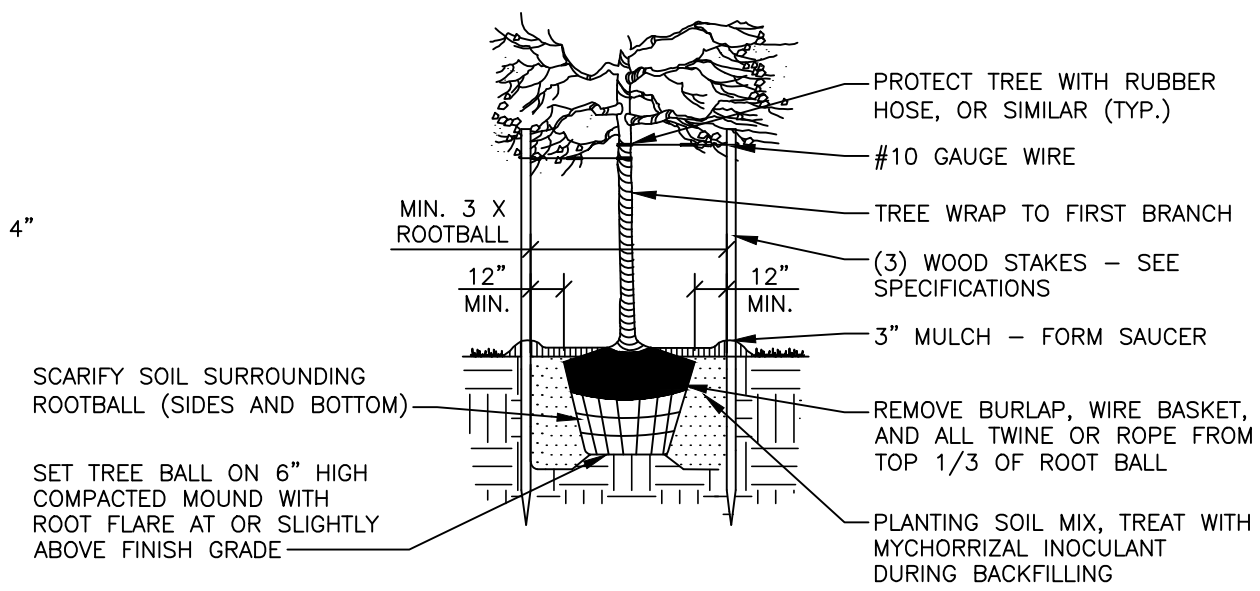
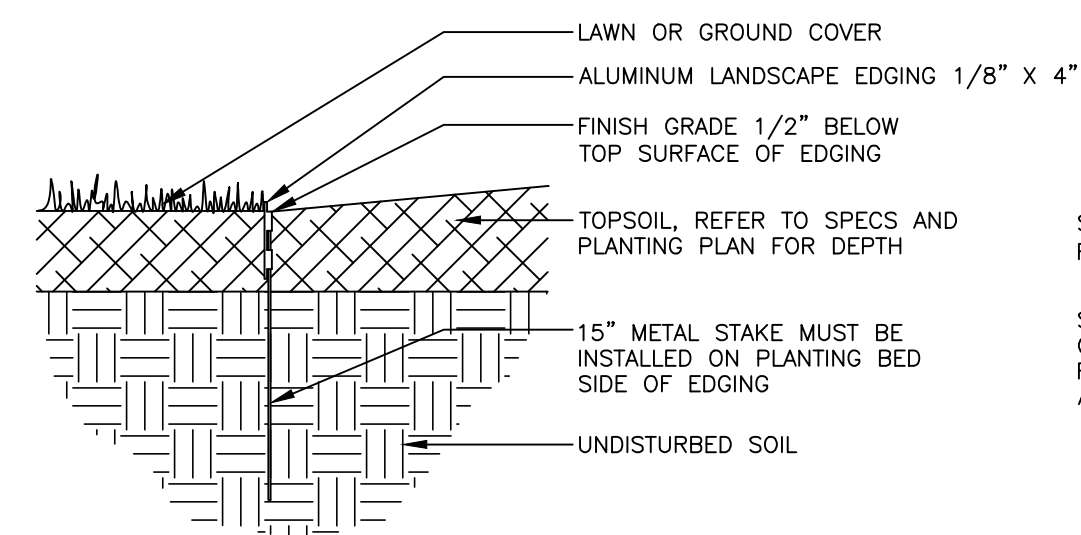
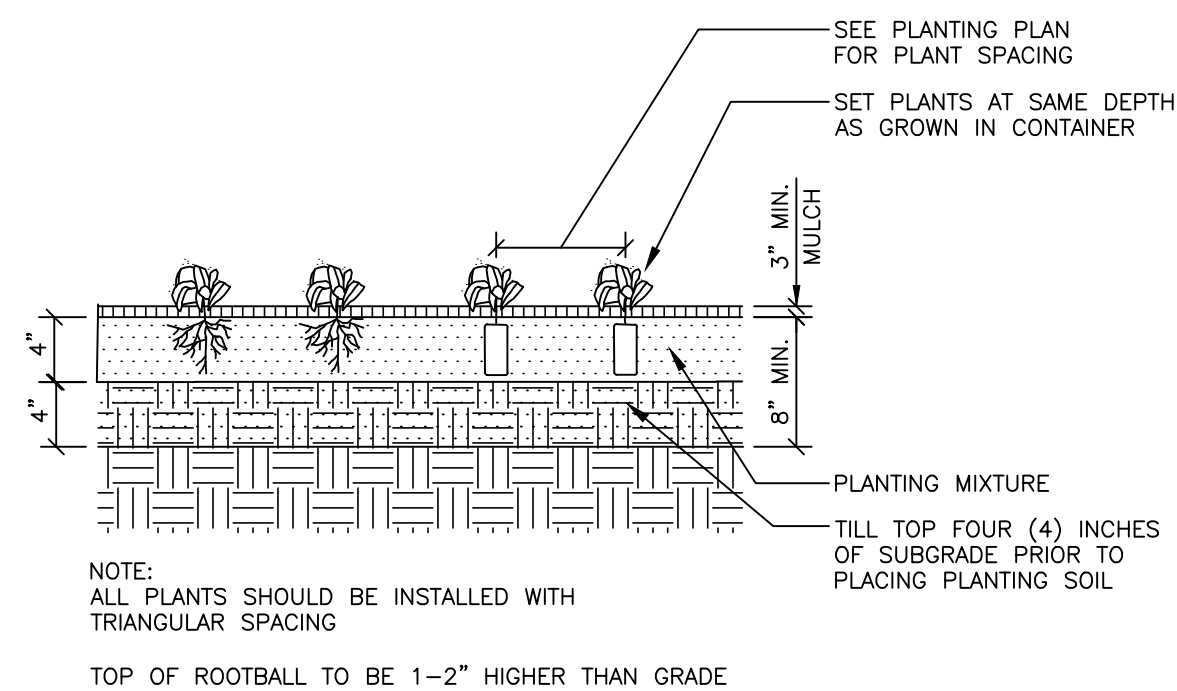


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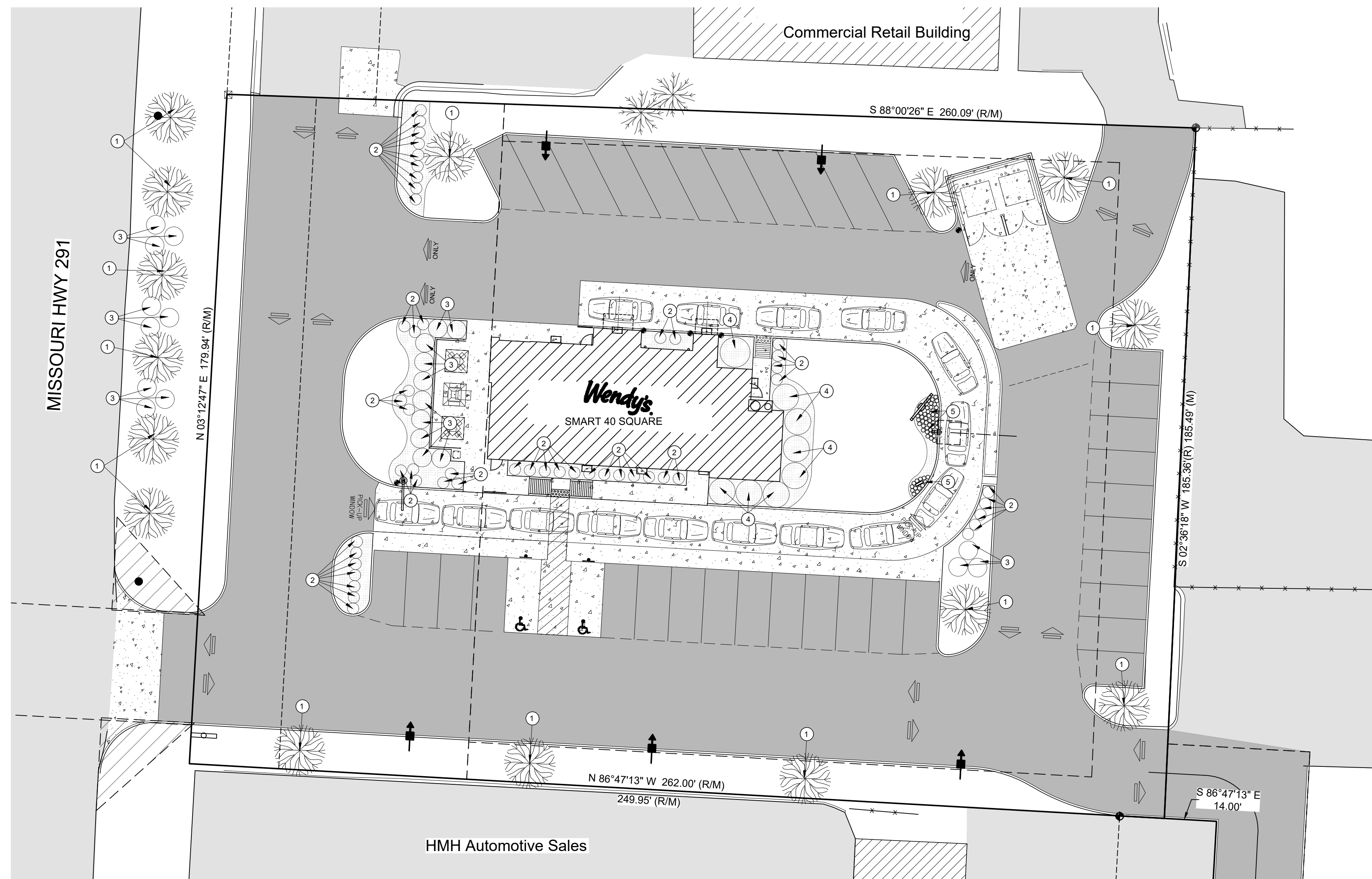
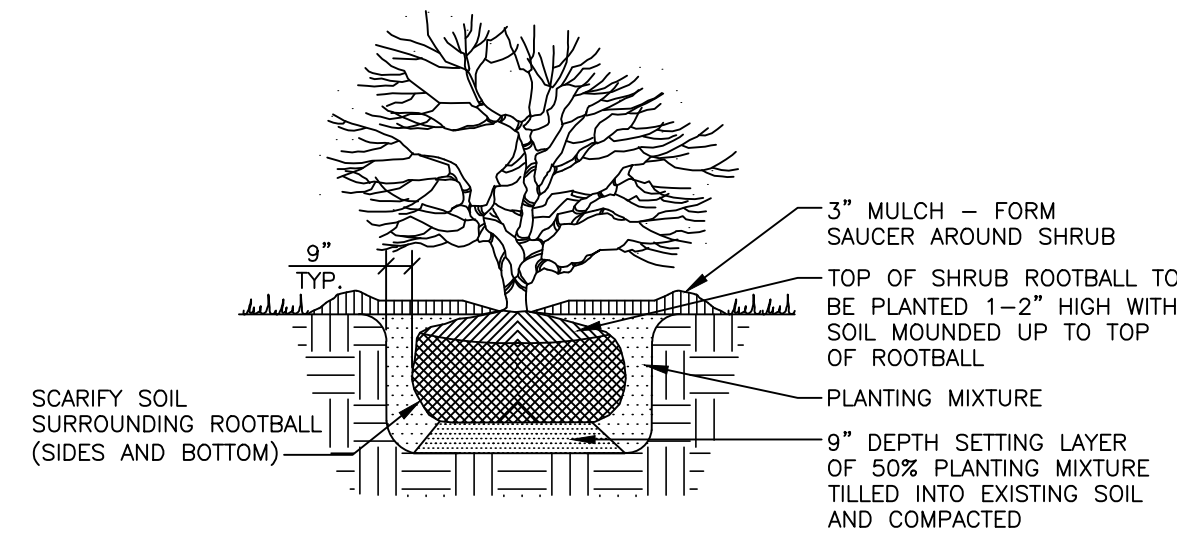



































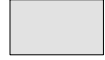
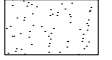


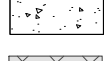
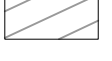



# C5



- NOTES
1. TREES WITH 2.5" CALIPER MUST HAVE A MINIMUM VOLUME OF 500 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
  2. TREES WITH 3" CALIPER MUST HAVE A MINIMUM VOLUME OF 750 CF OF NEW PLANTING SOIL MIX AROUND THE ROOT BALL.
  3. CONTRACTOR TO CONFIRM PERCOLATION OF ALL PLANTING PITS PRIOR TO TREE INSTALLATION. IF PITS DO NOT PERCOLATE, INSTALL 4" PERFORATED UNDERDRAIN AT BOTTOM OF PIT AND CONNECT TO NEAREST DOWNSTREAM STORM CATCHBASIN/MANHOLE.



	Benchmark		Sanitary Sewer Manhole	<h1>LEGEND</h1>	
	Iron Pin Found		Sign		
	Iron Pin Set		Water Meter		Water Line
	Bollard		Water Valve		Sanitary Sewer Main Fence
	Soil Boring Location		Utility Pole		Existing Contours
	Sanitary Sewer Cleanout		TBR To Be Removed		New Contours
	Gas Meter		TC Top of Curb		Underground Electric Storm Sewer
	Storm Sewer Curb Inlet		PV Pavement		Limits of Pavement Removal
	Storm Sewer MH/Open Lid		ME Match Existing		Overhead Utility Lines
	Light Pole or Traffic Light		<u>470.0</u> Grade point		Gas Lines
	Storm Sewer Manhole		(8) Number of Parking Spaces		Ditch / Swale
	Air Conditioner		TBR To Be Removed		Existing Asphalt
					Gravel
					New Asphalt
					Existing Concrete
					New Concrete
					Stormwater Easement
					Existing Asphalt TBR

KEYNOTE	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
①	Red Maple	Acer rubrum	18	3" CALIPER
②	Green Velvet Boxwood	Buxus x 'Green Velvet'	35	2 GAL. CONTAINER
③	Koreanspice Viburnum	Viburnum carlesii 'Compactum'	15	2 GAL. CONTAINER
④	Blue Point Juniper	Juniperus chinensis 'Blue Point'	8	24"-30" BALLED AND BURLAPPED
⑤	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	56	2 1/2" PEA POT

## LANDSCAPING REQUIREMENTS

1. Planting areas shall be mulched. All planting areas and lawn areas shall be separated by steel edging. No steel edging needs to be installed adjacent to buildings, sidewalks, or curbs. Cut steel edging at 45 degree angle where it intersects walks and curbs.
2. All landscaped and lawn areas shall be irrigated through the use of an automatic underground irrigation system with rain and freeze sensors and evapotranspiration weather-based controllers. Irrigation system shall be designed and installed by a licensed irrigation contractor. Hunter Irrigation System shall be used unless equity is approved by owner.
3. All landscape material shall be maintained in accordance with the American Standard for Nursery Stock as published by the American Association of Nurserymen. All dead, dying, or diseased material will be replaced, in kind, by the owner within the next available planting season.
4. All portion of the site not covered with paving or buildings shall be landscaped. Open area not covered with other material shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slopes.
5. Street Frontage = 179.94'  
Required Trees: 1 tree required for each 30 feet of street frontage = 6 required trees  
Actual Trees: 6 trees along frontage  
Required Shrubs: 1 shrub for each 20 feet of street frontage = 9 required shrubs  
Actual Shrubs = 9 shrubs along frontage
6. Parking Lot Screening = 48.50'  
Required Shrubs: 12 Shrubs required for each 40 feet of Parking Lot = 15 Shrubs  
Actual Shrubs: 16 Shrubs along Parking lot Frontage
7. Total Lot Area minus Building Footprint = 45,186.73 Sq. Ft.  
Required Shrubs: 2 shrubs per 5,000 sq. ft. of total lot area = 18 Shrubs  
Actual Shrubs = 56 Shrubs on Lot (not used for Street Frontage or Parking Lot Screening)  
Required Trees: 1 Tree per 5,000 sq. ft. of total lot area = 9 Trees  
Actual Trees = 9 Trees
8. Total Vehicle Use Area = 30,676.20 Sq. Ft.  
Required Interior Landscape Area: 5% of VUA = 1,534 Sq. Ft.  
Actual Interior Landscape Area = 1,876 Sq. Ft.



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	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

*linear!*  
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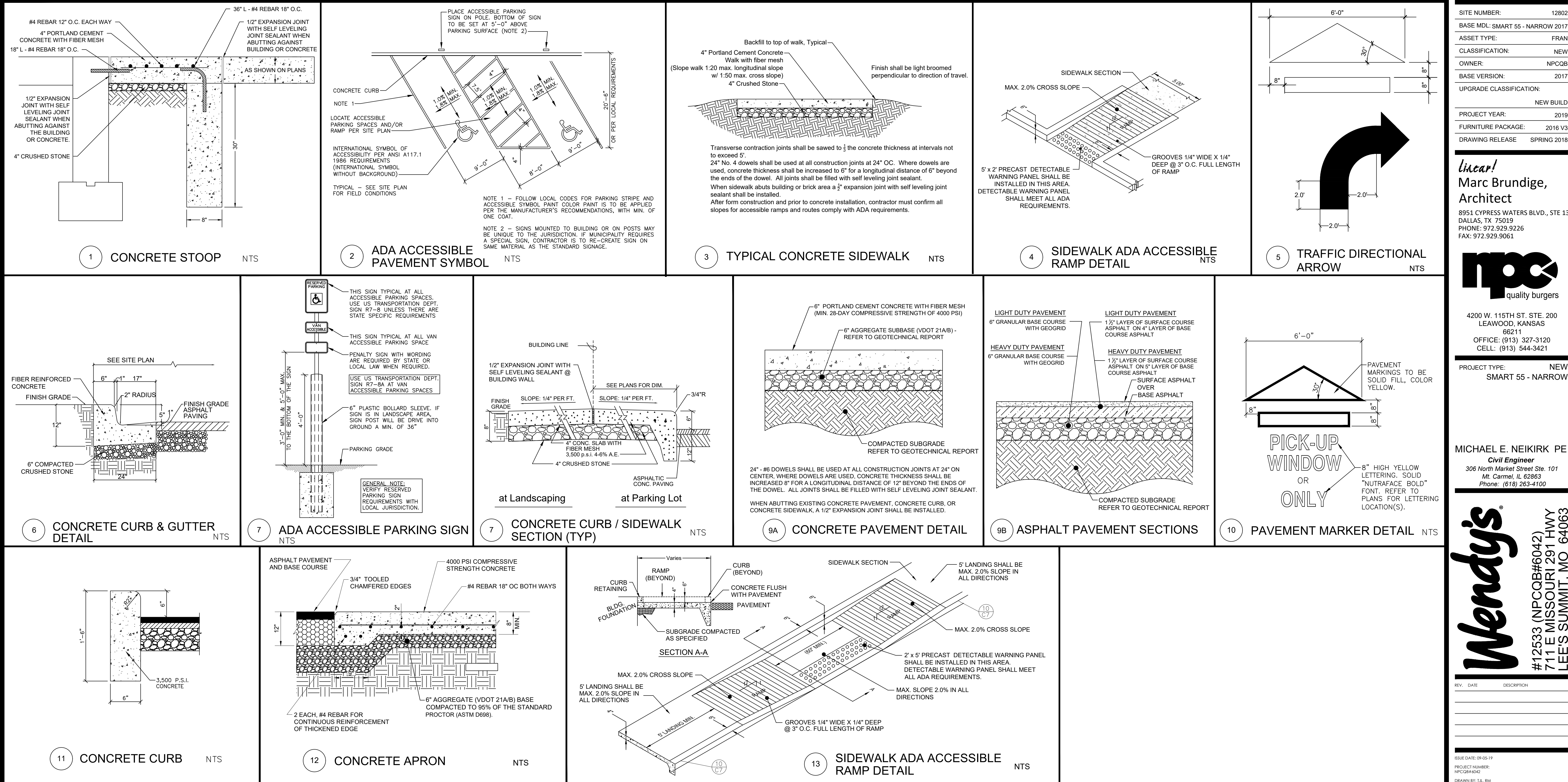


SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

# C6



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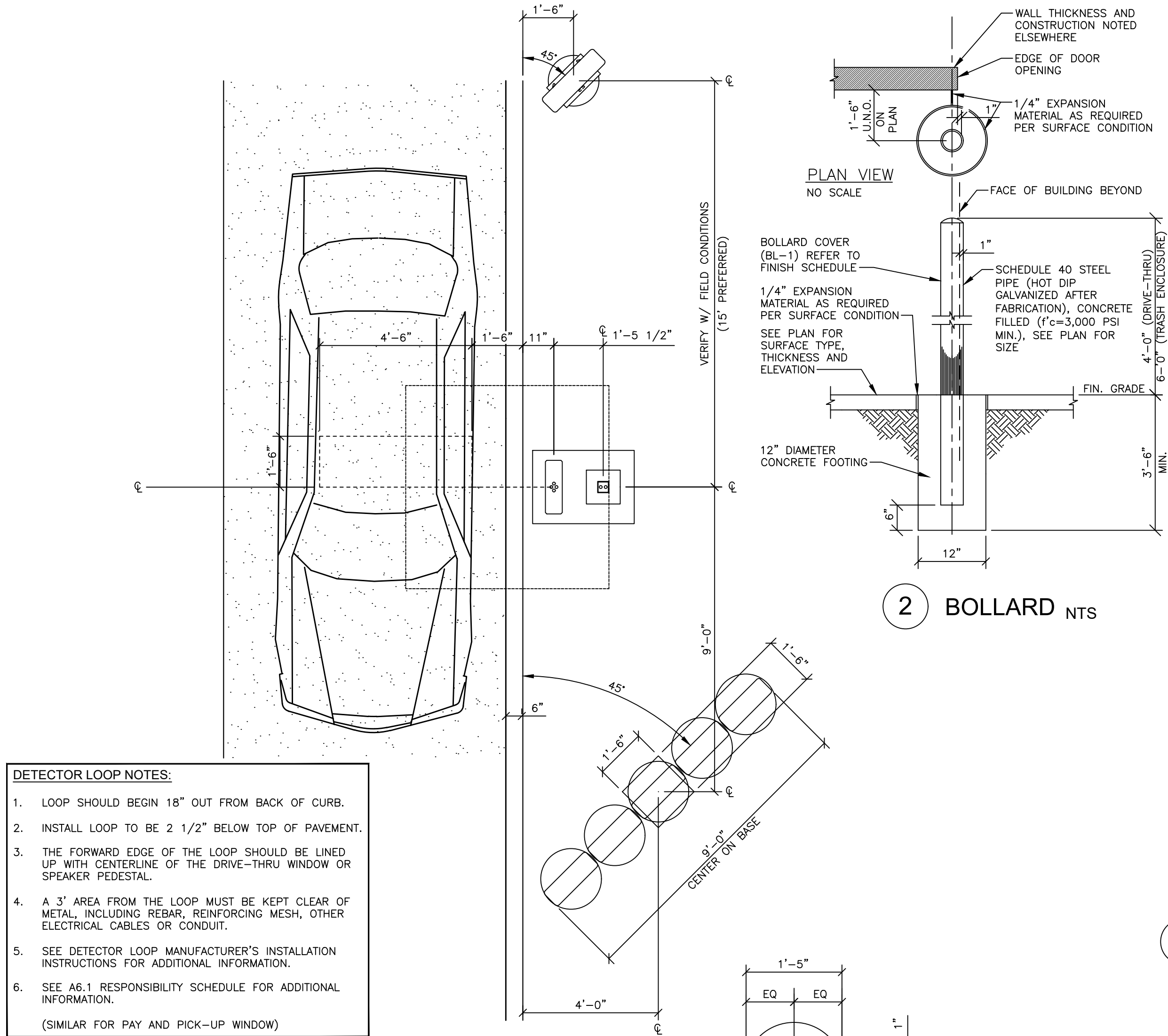
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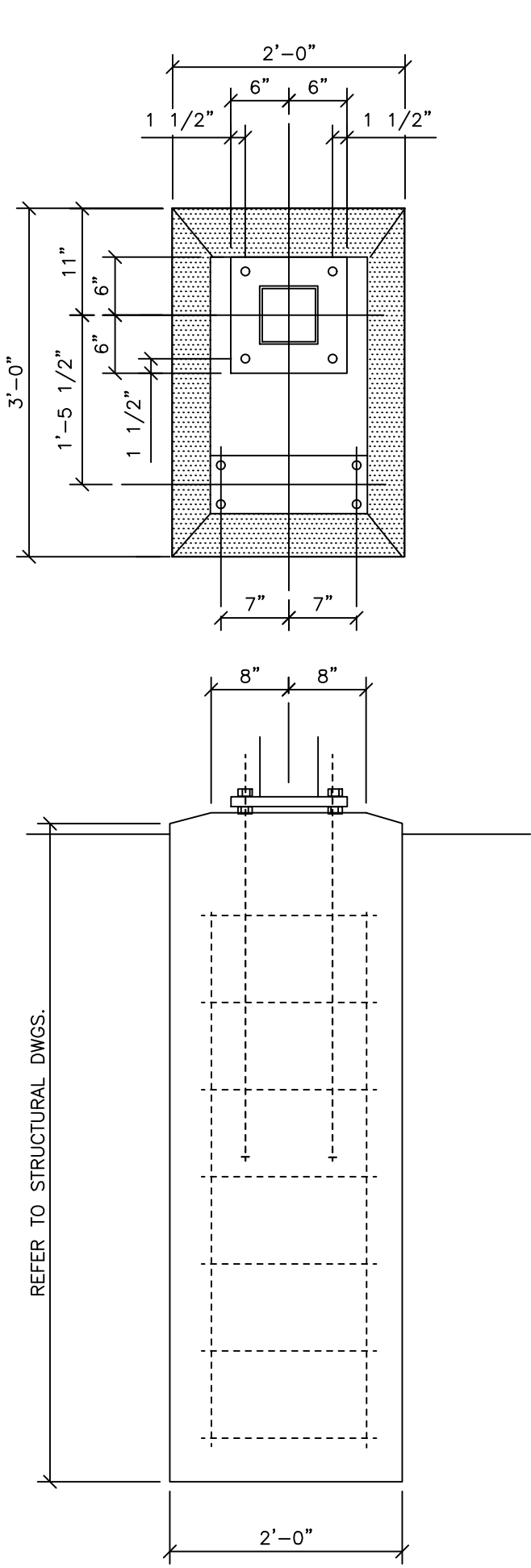
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DETAILS

SHEET NUMBER

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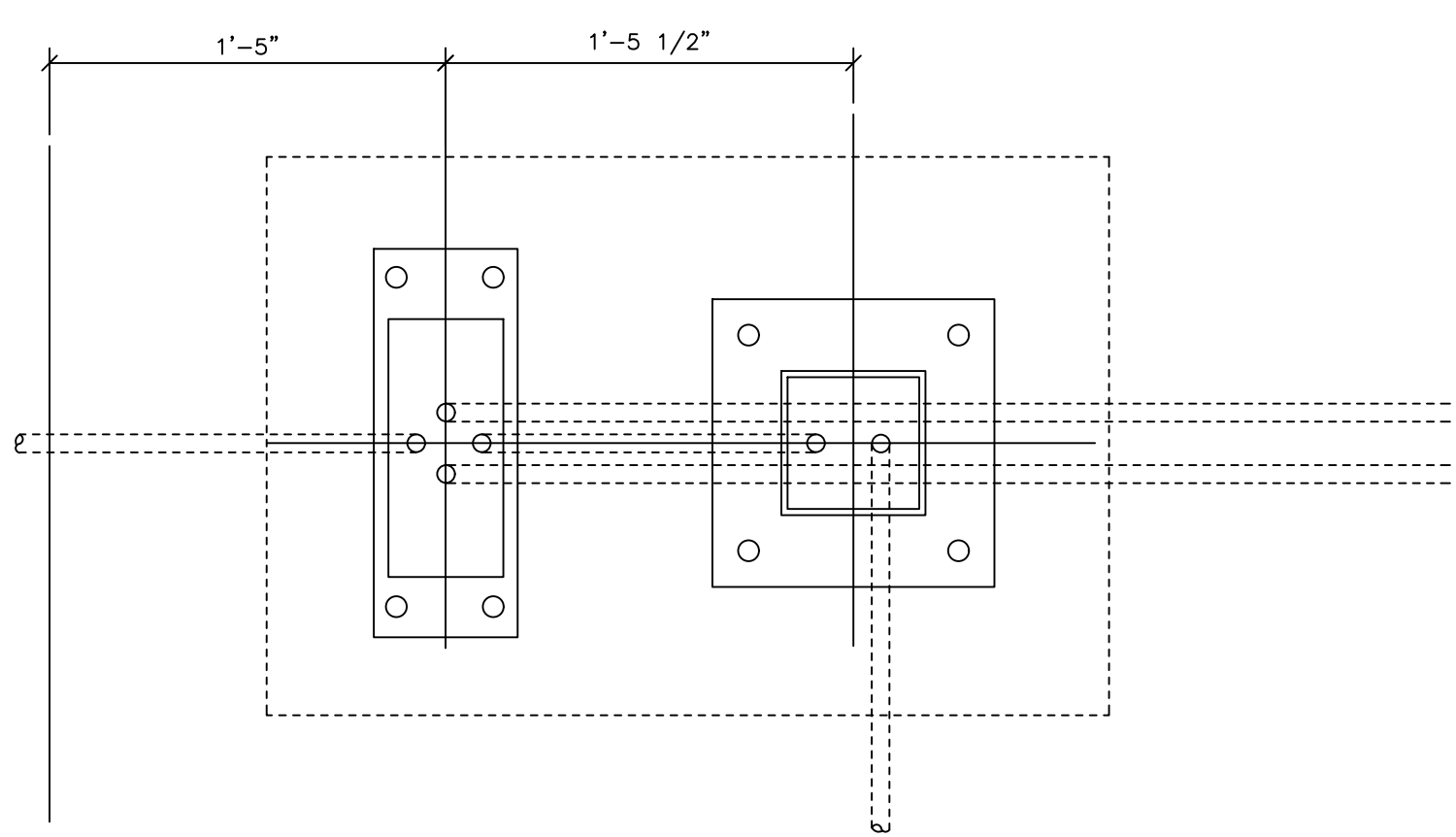


2 BOLLARD NTS

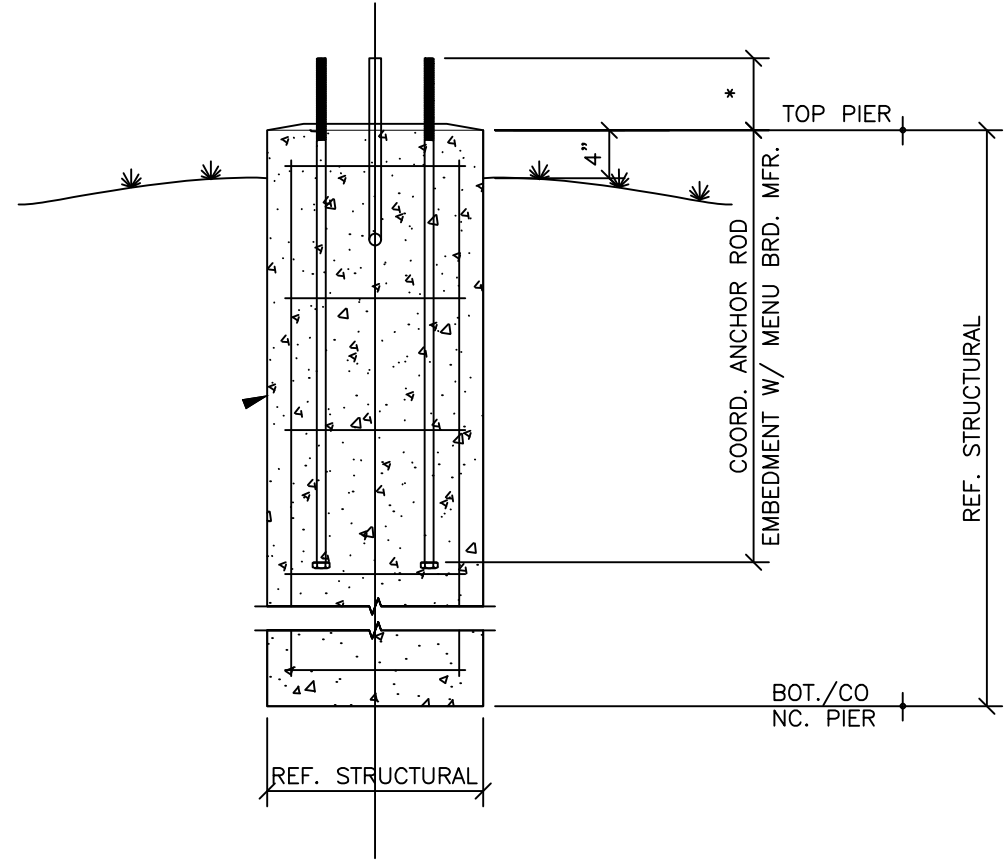


3 CANOPY FOOTING SECTION NTS

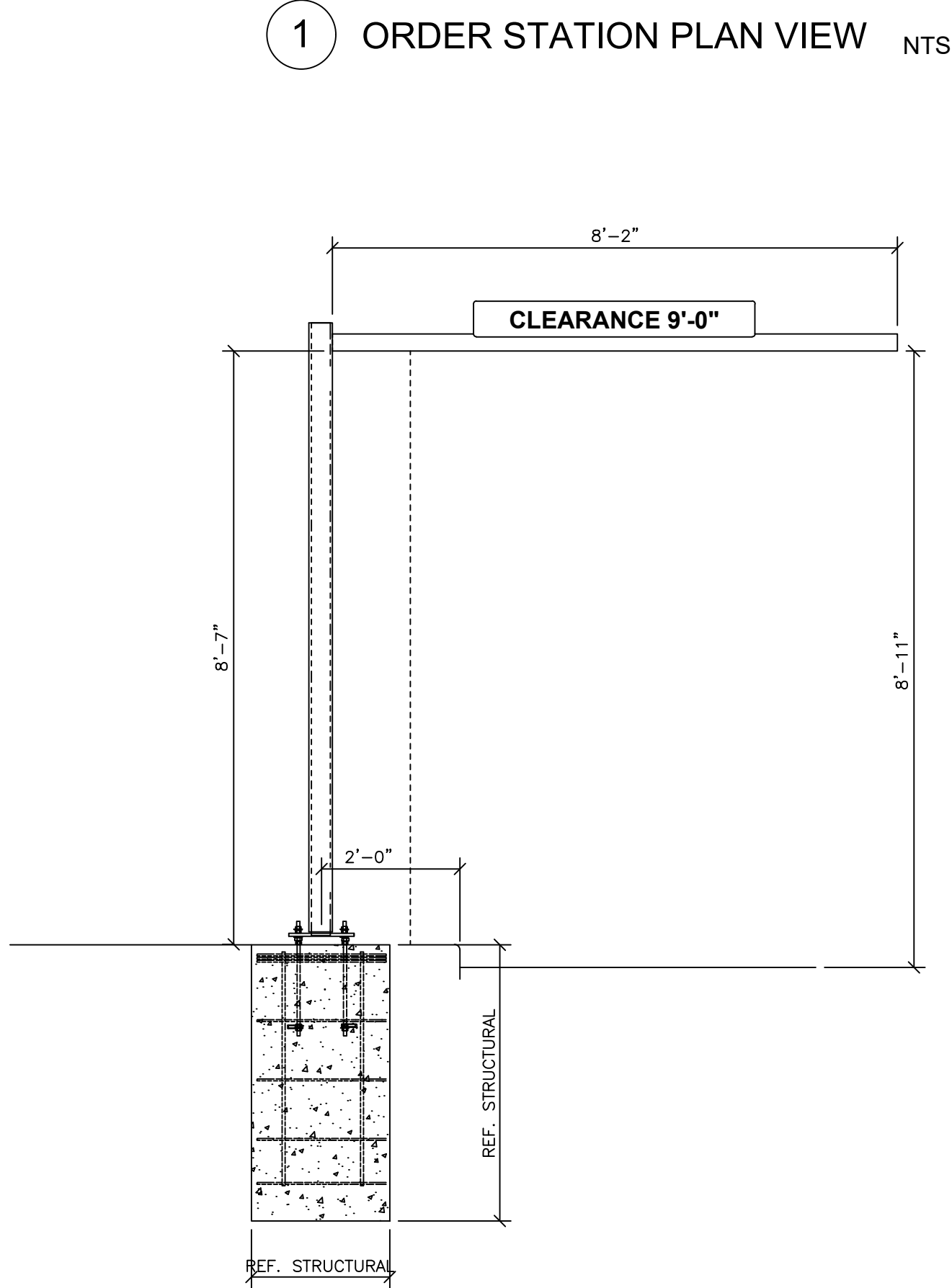
4 ORDER STATION CANOPY NTS



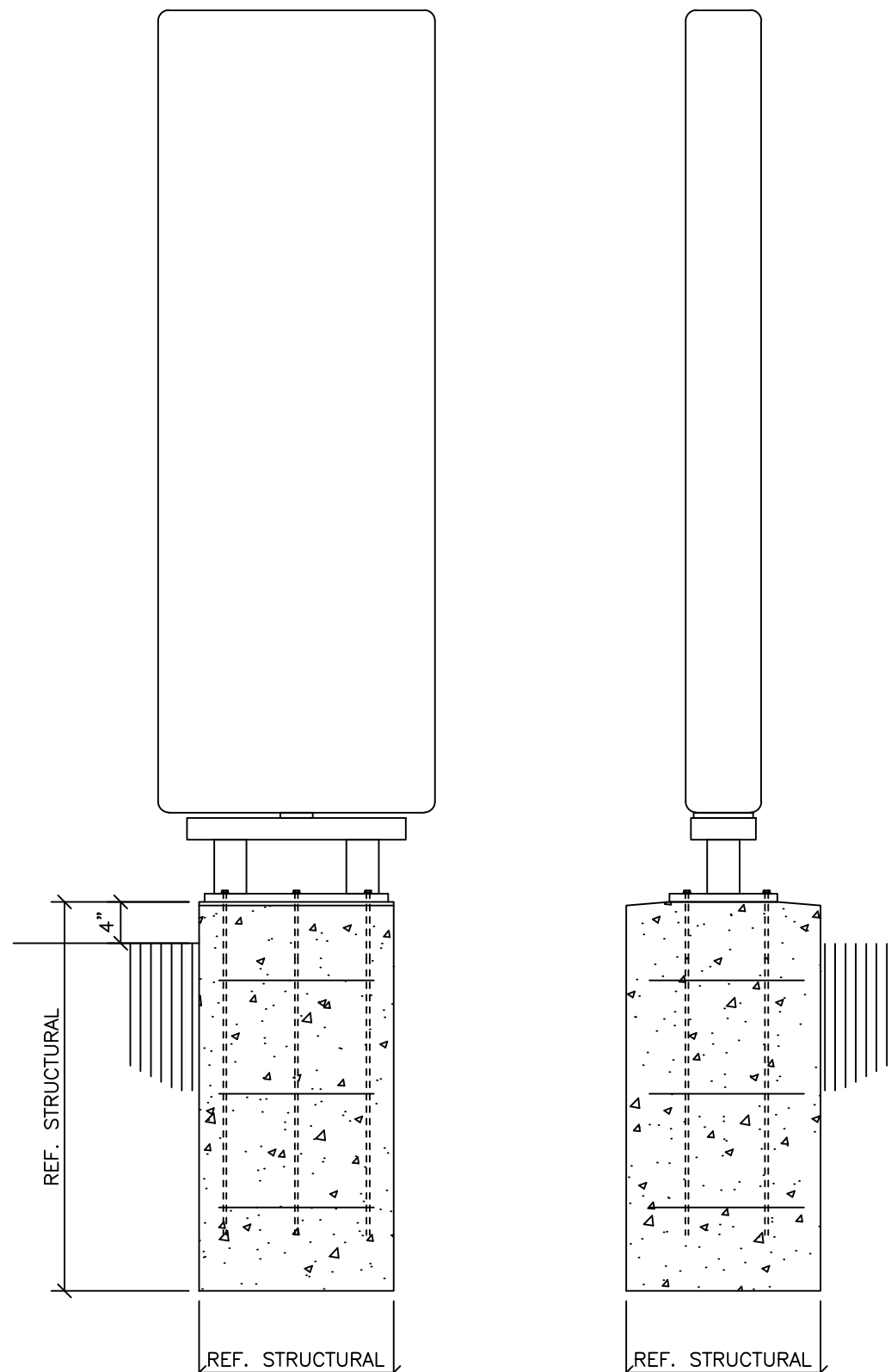
5 ORDER STATION CANOPY FOOTING NTS



6 MENU BOARD FOOTING NTS



7 CANOPY PROTECTION BAR NTS



8 PRE-SELL BOARD FOOTING NTS

- DETECTOR LOOP NOTES:**
1. LOOP SHOULD BEGIN 18" OUT FROM BACK OF CURB.
  2. INSTALL LOOP TO BE 2 1/2" BELOW TOP OF PAVEMENT.
  3. THE FORWARD EDGE OF THE LOOP SHOULD BE LINED UP WITH CENTERLINE OF THE DRIVE-THRU WINDOW OR SPEAKER PEDESTAL.
  4. A 3' AREA FROM THE LOOP MUST BE KEPT CLEAR OF METAL, INCLUDING REBAR, REINFORCING MESH, OTHER ELECTRICAL CABLES OR CONDUIT.
  5. SEE DETECTOR LOOP MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION.
  6. SEE A6.1 RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION.
- (SIMILAR FOR PAY AND PICK-UP WINDOW)

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**npc**  
quality burgers  
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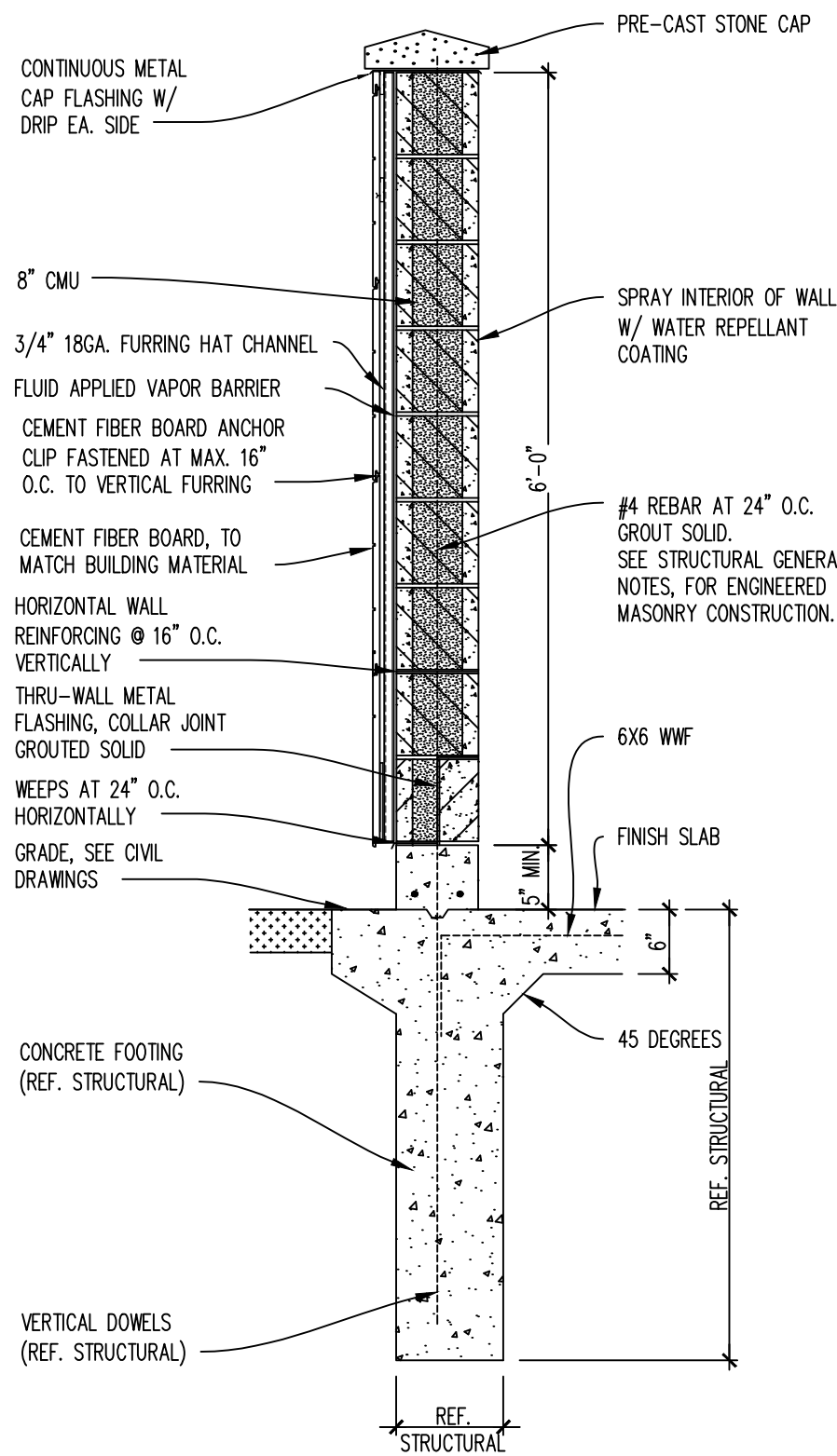
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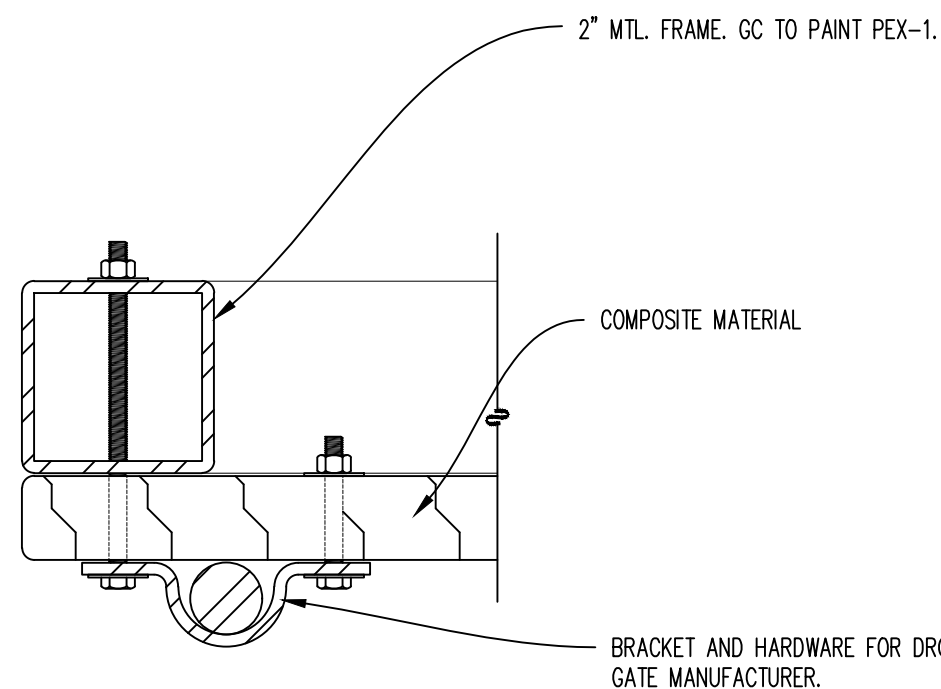
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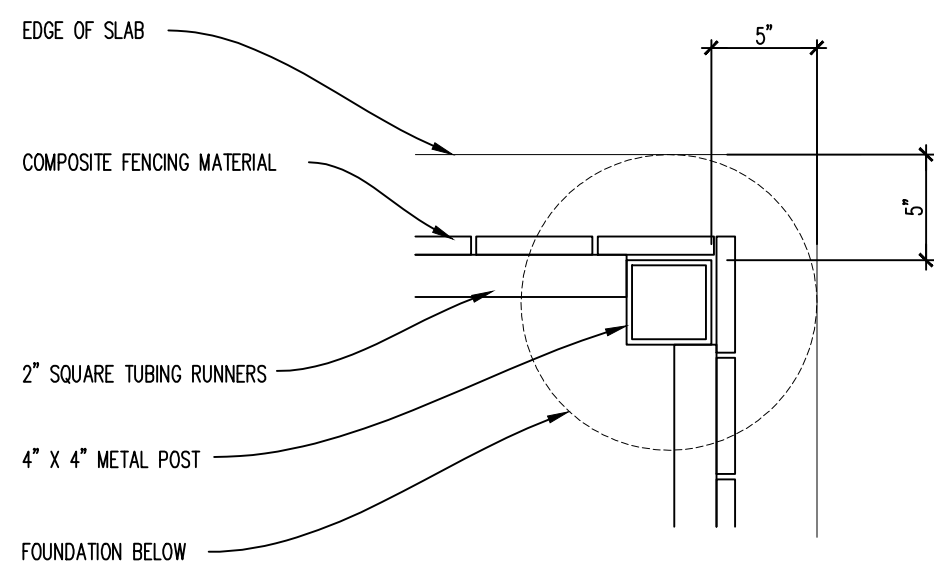
NOT FOR CONSTRUCTION - CITY REVIEW SET



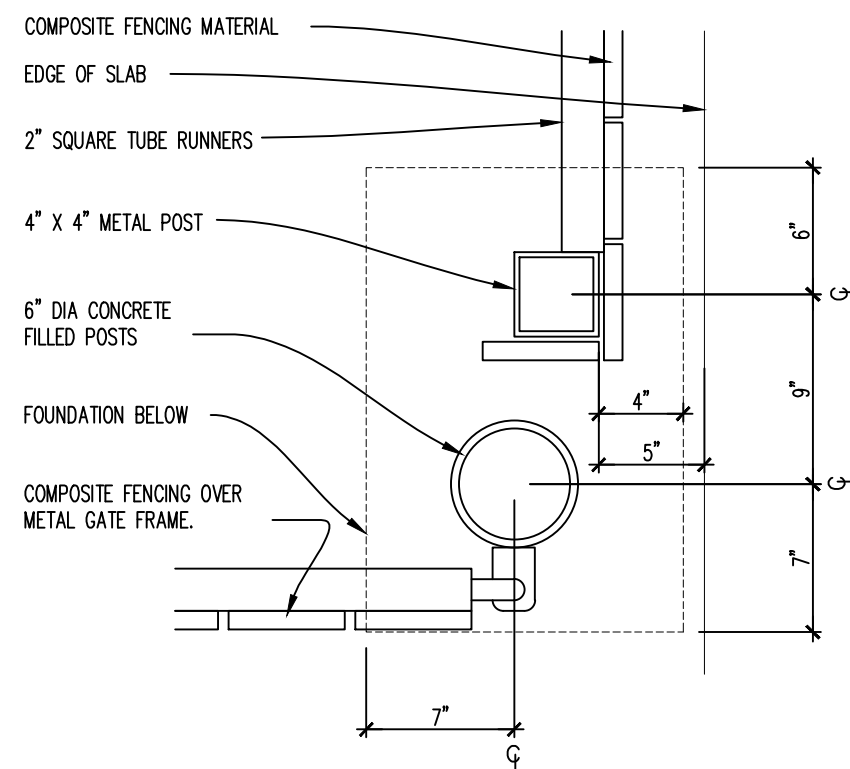
08 WALL SECTION  
SCALE: 3/4\"=1'-0"



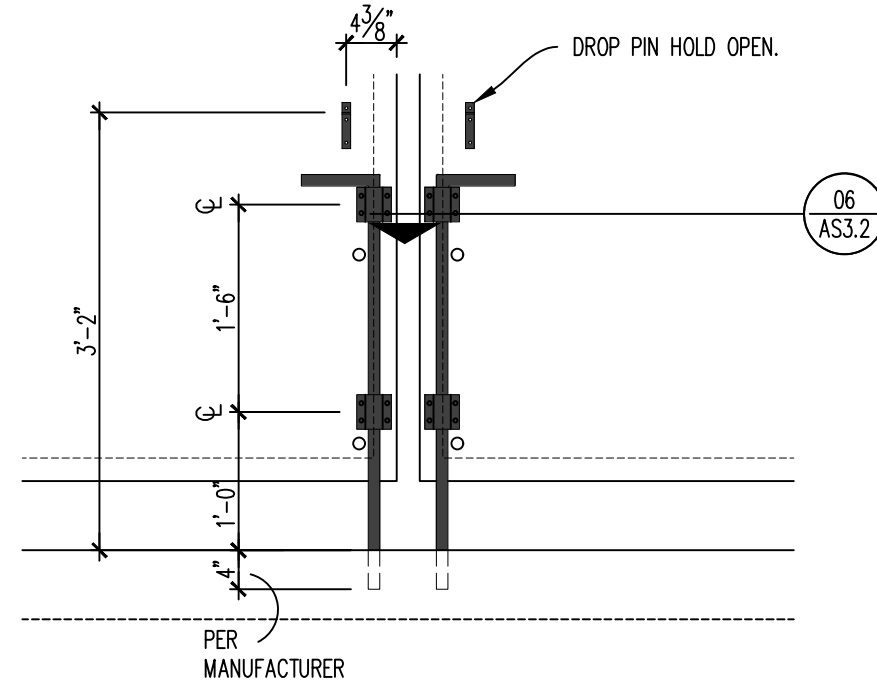
07 DROP-PIN DETAIL COMPOSITE GATE  
SCALE: 6\"=1'-0"



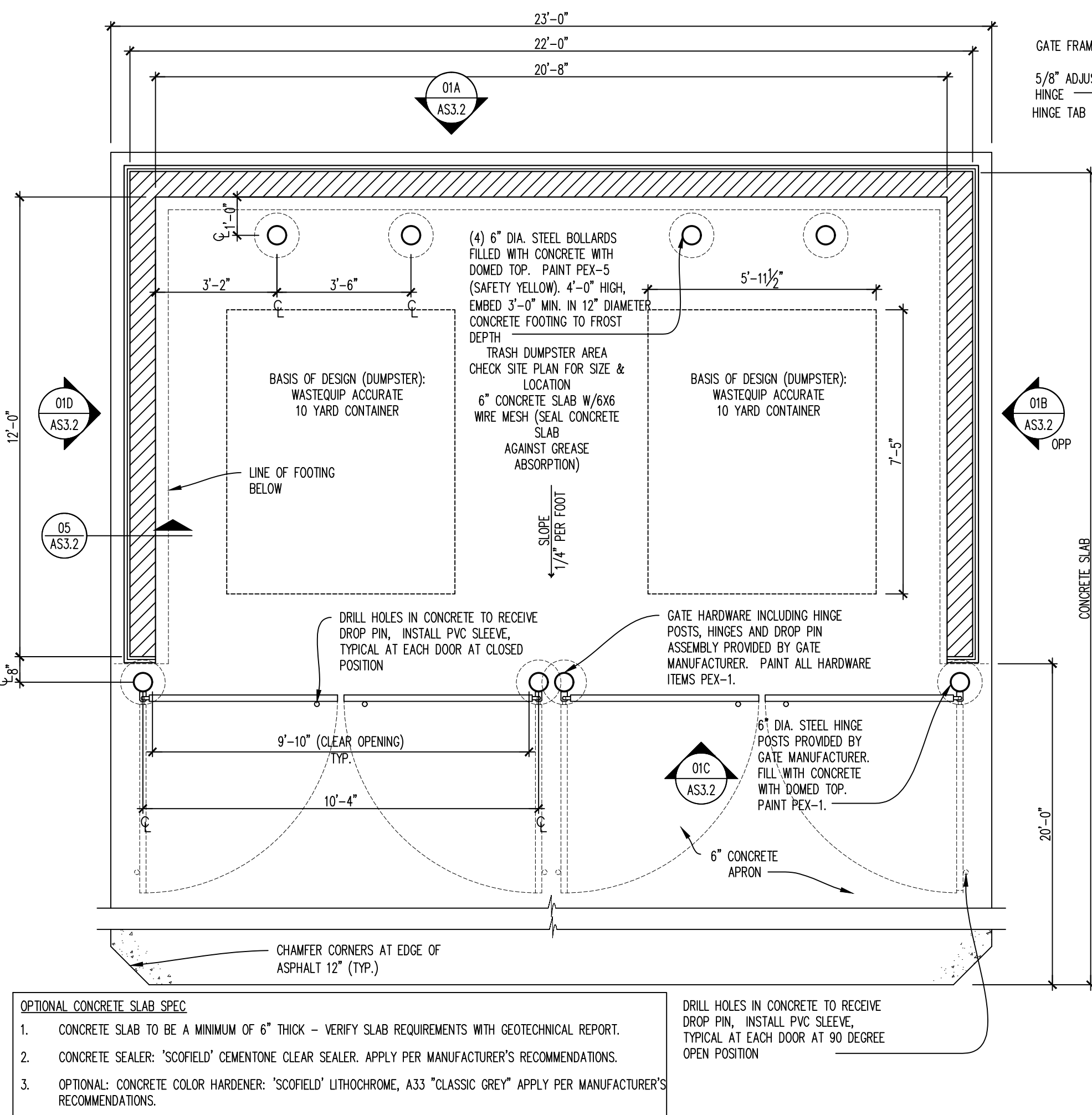
06 PLAN DETAIL  
SCALE: 1 1/2\"=1'-0"



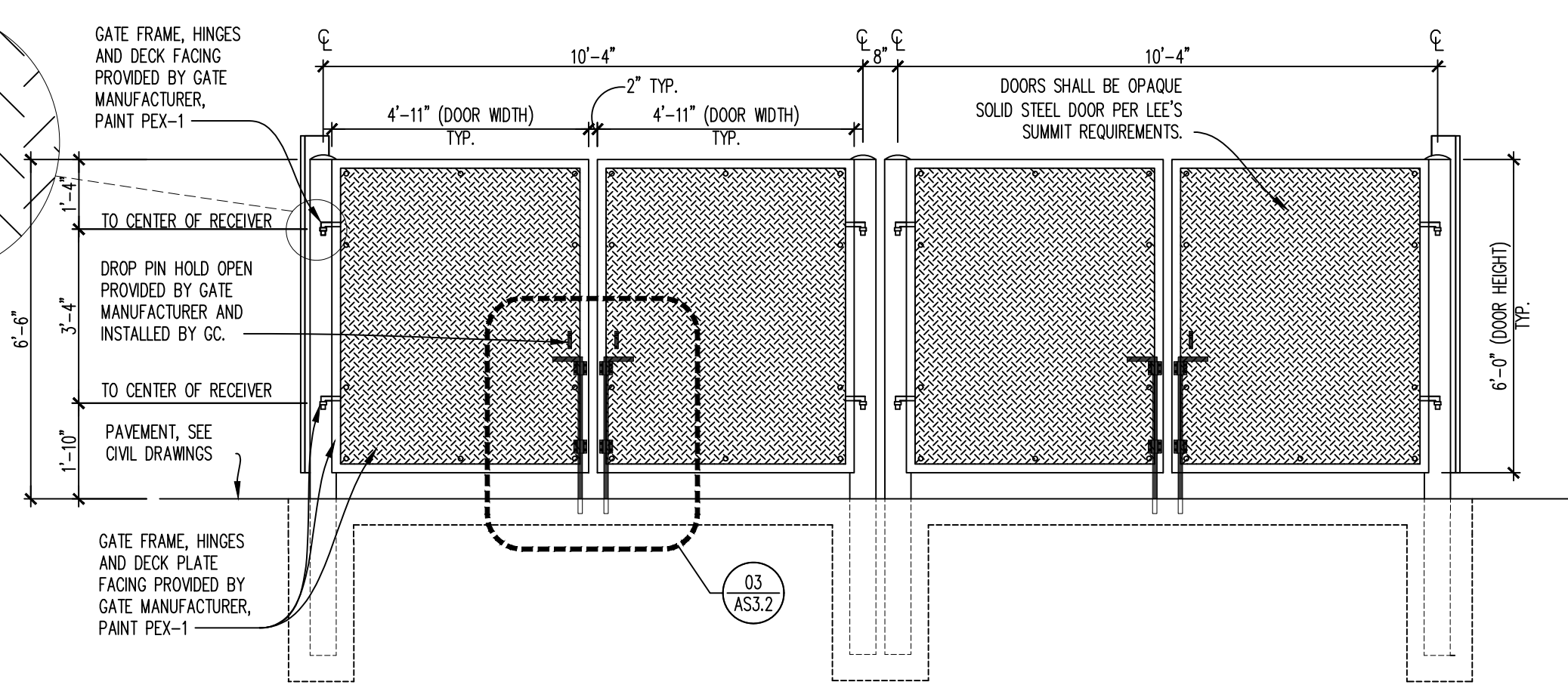
05 PLAN DETAIL  
SCALE: 1 1/2\"=1'-0"



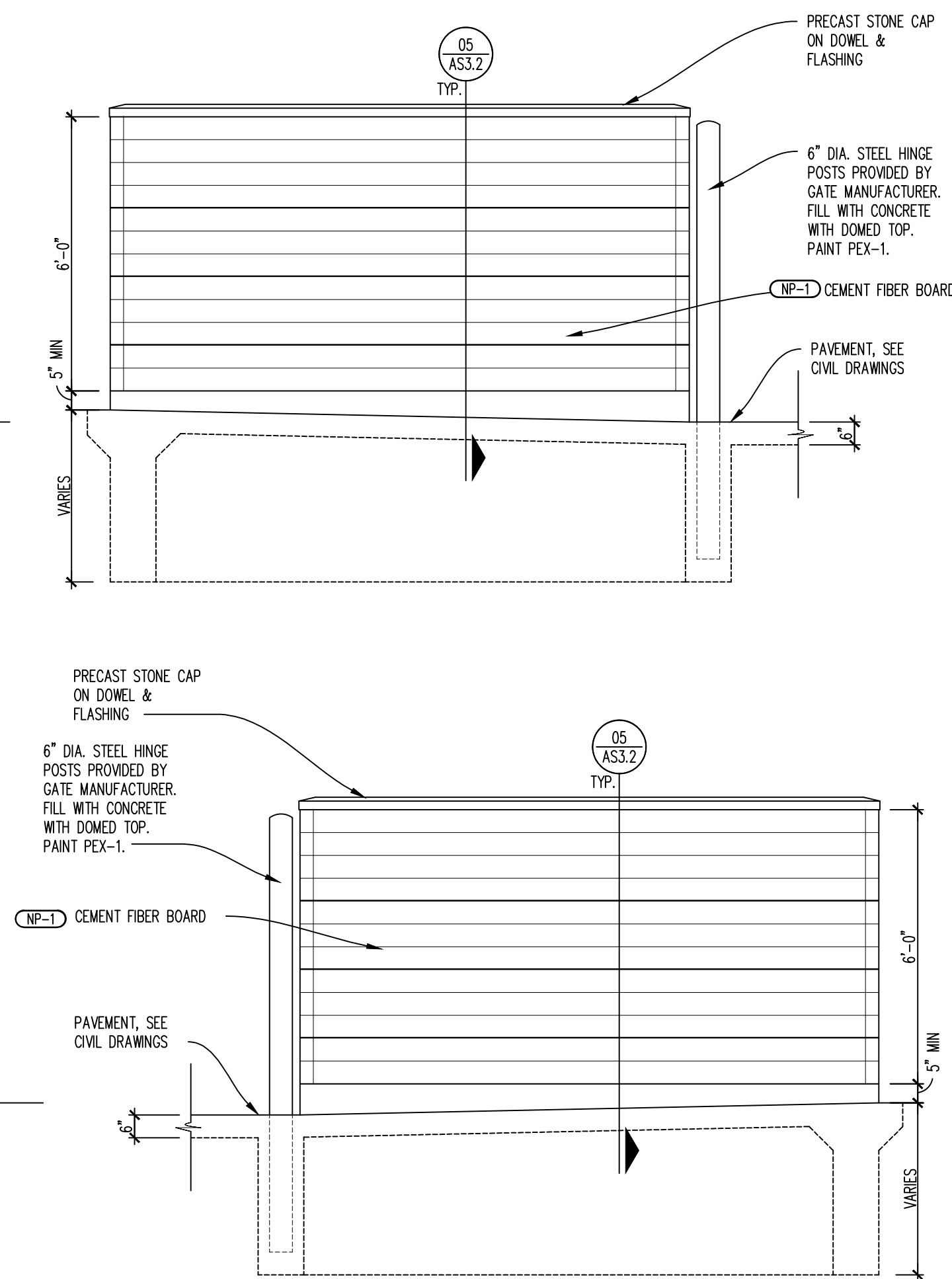
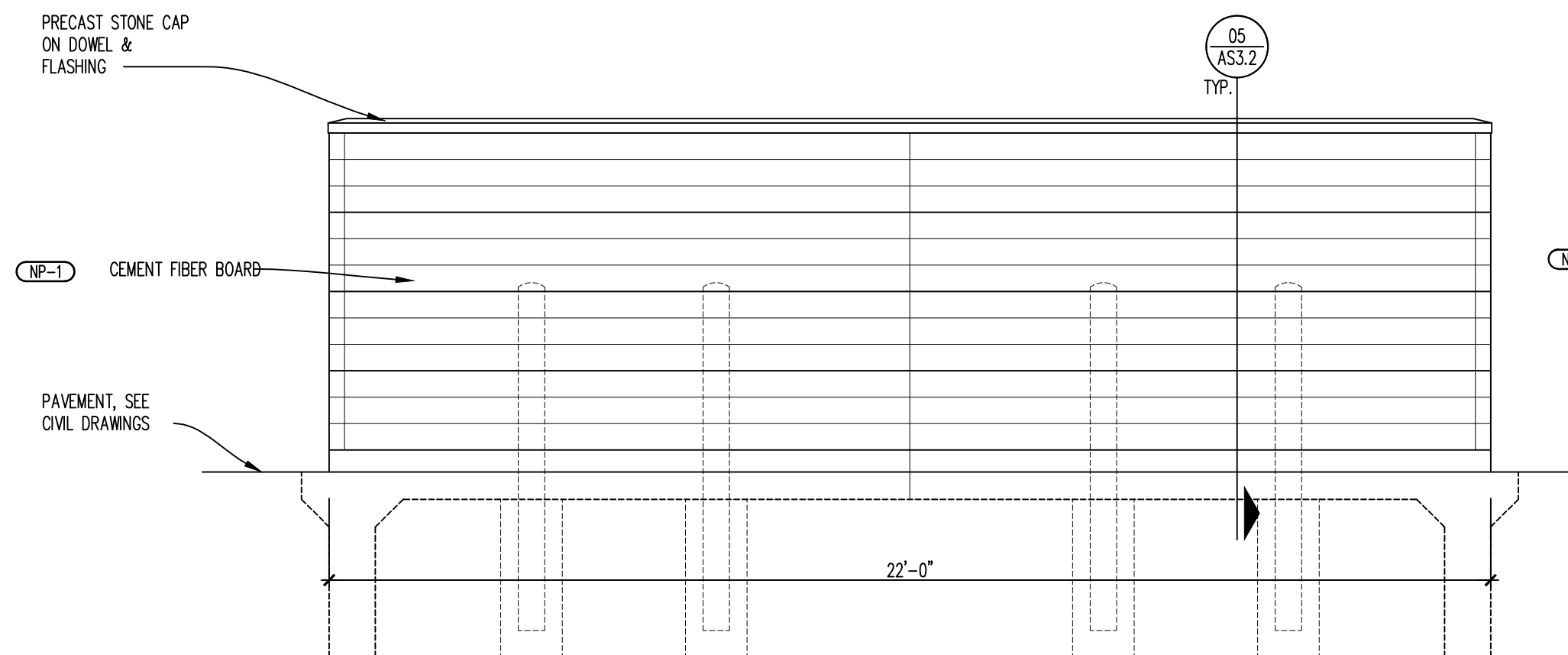
03 DROP PIN DETAIL  
SCALE: 3/4\"=1'-0"



02 TRASH ENCLOSURE PLAN  
SCALE: 3/8\"=1'-0"



04 ELEVATION - COMPOSITE GATE  
SCALE: 3/8\"=1'-0"



01 TRASH ENCLOSURE ELEVATIONS  
SCALE: 3/8\"=1'-0"

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

*linear!*  
**Marc Brundige,**  
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quality burgers  
4200 W. 115TH ST. STE. 200  
LEAWOOD, KANSAS 66211  
OFFICE: (913) 327-3120  
CELL: (913) 544-3421

PROJECT TYPE: NEW  
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
*Civil Engineer*  
306 North Market Street Ste. 101  
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**Wendy's**  
#12533 (NPCQB#6042)  
711 E MISSOURI 291 HWY  
LEE'S SUMMIT, MO 64063

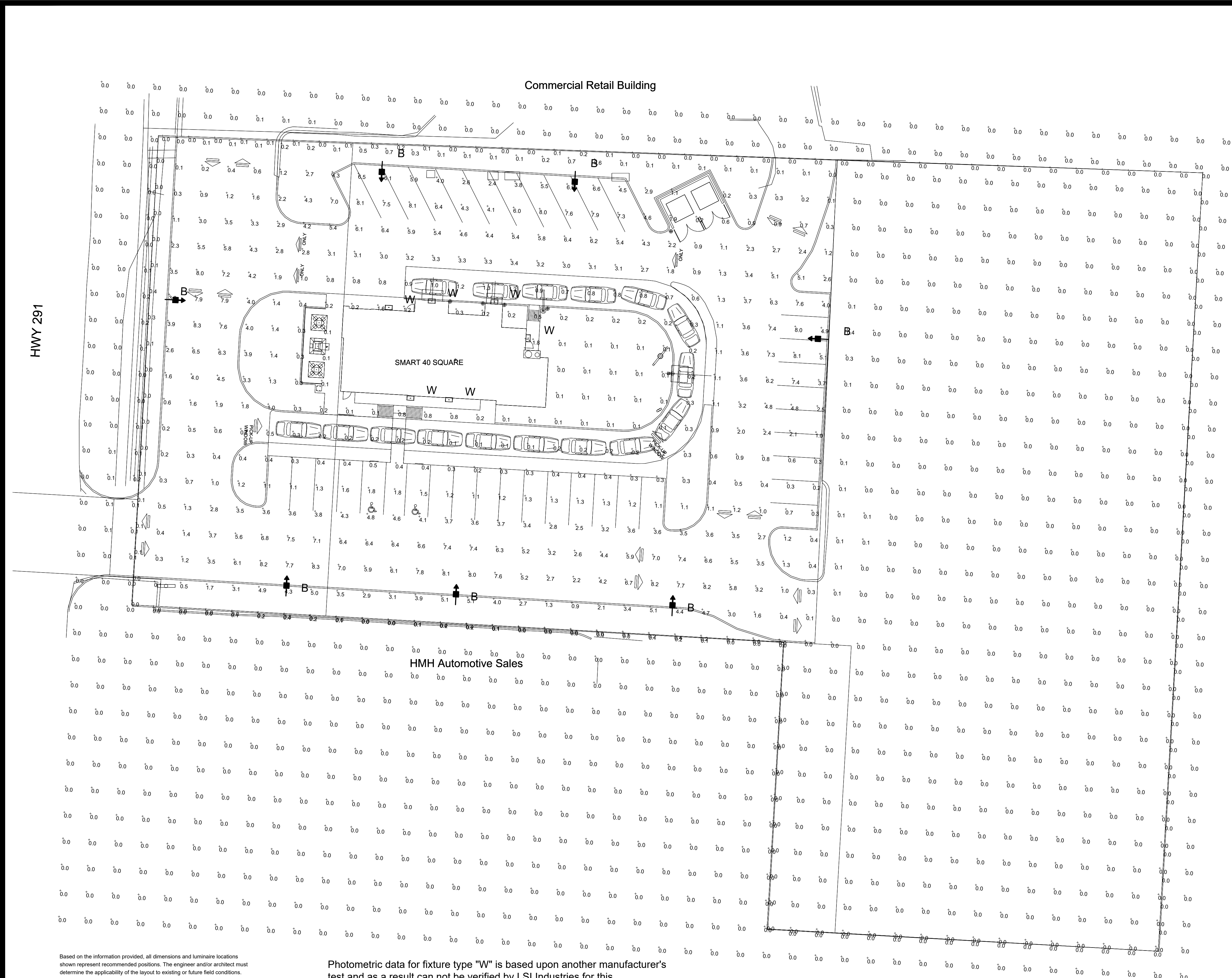
REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
PROJECT NUMBER: NPCQB#6042  
DRAWN BY: T.J.L. RM  
CHECKED BY: MEN. T.J.L.

STATE OF MISSOURI  
MICHAEL E. NEIKIRK  
Professional Engineer  
No. 12533  
Exp. 09/05/2021  
Michael E. Neikirk  
SHEET NAME  
DETAILS  
SHEET NUMBER

C9

C:\Users\jleah\Google Drive\Projects\Drawings\2019\0253\1921 NPC - Wendy's Lee's Summit, MO.dwg  
9/2/2019 10:46 AM



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Photometric data for fixture type "W" is based upon another manufacturer's test and as a result can not be verified by LSI Industries for this calculation.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CALCS @ GRADE-	Illuminance	Fc	0.78	8.3	0.0	N.A.
PROPERTY LINE	Illuminance	Fc	0.03	0.4	0.0	N.A.
CURB INTERIOR	Illuminance	Fc	2.91	8.3	0.0	N.A.

Total Project Watts  
Total Watts = 1441.6

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLD	UDF
	7	B	SINGLE	SLM-LED-24L-SIL-FT-50-70CRI-IL-SINGLE-18" MH	1.000	1.000
	6	W	SINGLE	WENMS-L16_8-120-27TV (FIXTURE BY OTHERS) 10.5' MH	1.000	1.000

NOT FOR CONSTRUCTION - CITY REVIEW SET



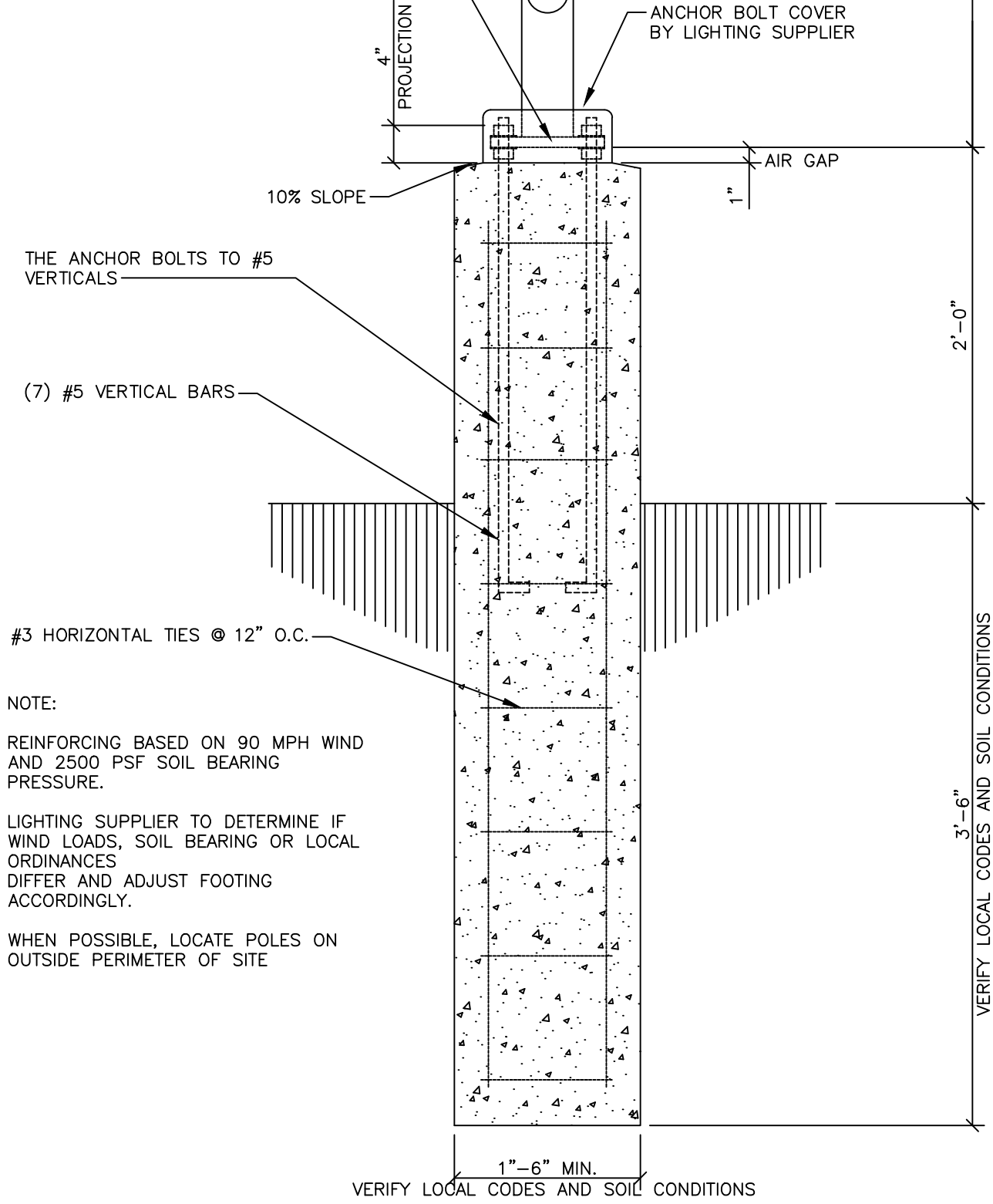
#### EXTERIOR PARKING LOT LIGHTING NOTES

1. REFER TO SITE LIGHTING SUPPLIERS
2. PARKING LOT TO HAVE AN AVERAGE OF 4 - 6 FOOTCANDLES IN THE PAVED AREA UNLESS LOCAL CODES REQUIRE LESS
3. CONSULT WITH THE PARKING LOT LIGHT SUPPLIERS TO HAVE A PHOTOMETRIC SITE PLAN PREPARED
4. LIGHT POLE: 24'-0" HIGH, 4" DIAMETER

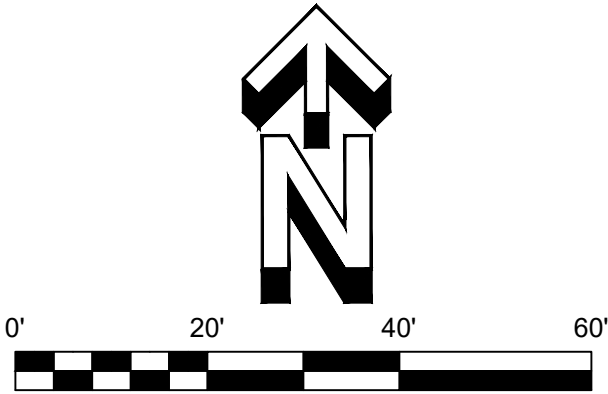
LIGHT POLE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. POLE AND LUMINAIRE TO BE FURNISHED BY THE SAME MANUFACTURER

POLE HEIGHT - 24'-0"  
POLE DIAMETER - 4"  
POLE TYPE - STEEL SQUARE  
POLE FINISH - BRONZE  
BOLT SIZE - 1" BOLT CIRCLE  
ANCHOR BOLTS - 1"x36" W/  
DOUBLE NUT AND WASHERS

FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP, AND DETERIORATION OF THE POLE'S STABILITY



EXTERIOR LIGHT POLE & STANDARD RAISED CONCRETE BASE DETAIL  
NO SCALE



SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
NEW BUILD	
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

**linear!**  
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**Architect**  
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PROJECT TYPE: NEW  
SMART 55 - NARROW

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REV.	DATE	DESCRIPTION

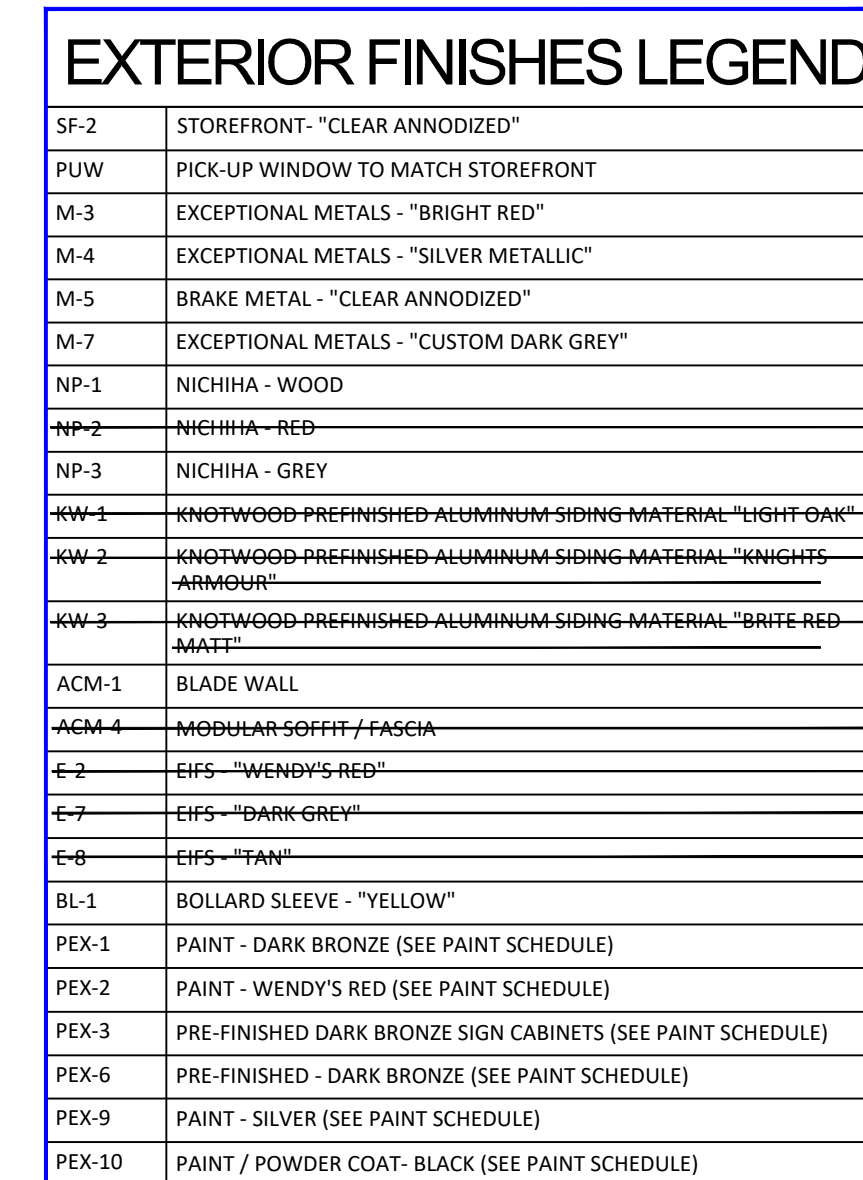
ISSUE DATE: 09-05-19  
PROJECT NUMBER: NPCQB#6042  
DRAWN BY: T.J.L. RM  
CHECKED BY: MEN.T.J.L.



PHOTOMETRIC PLAN

SHEET NUMBER

**C10**



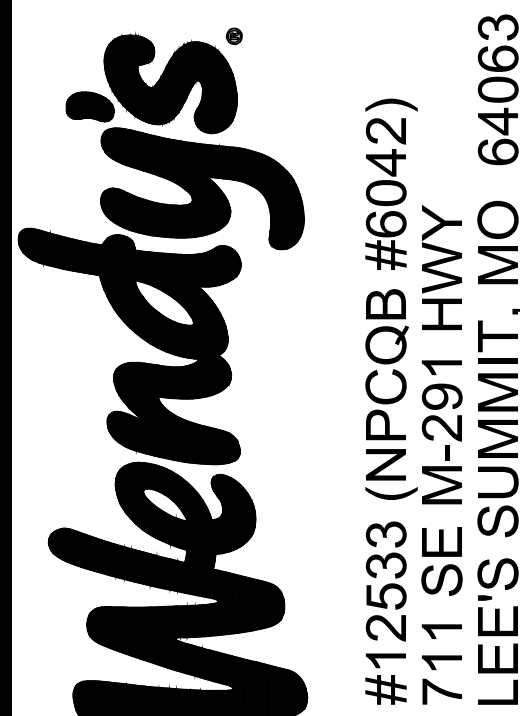
*linear!*  
Marc Brundige,  
Architect  
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DALLAS, TX 75019  
PHONE: 972.929.9226  
FAX: 972.929.9061



4200 W. 115TH ST., STE. 200  
LEAWOOD, KANSAS  
66211  
PHONE: (913) 327-5555  
FAX: (913) 327-5850

PROJECT TYPE: NEW  
SMART 40 - SQUARE

ISSUED FOR  
PERMIT  
07/26/2019

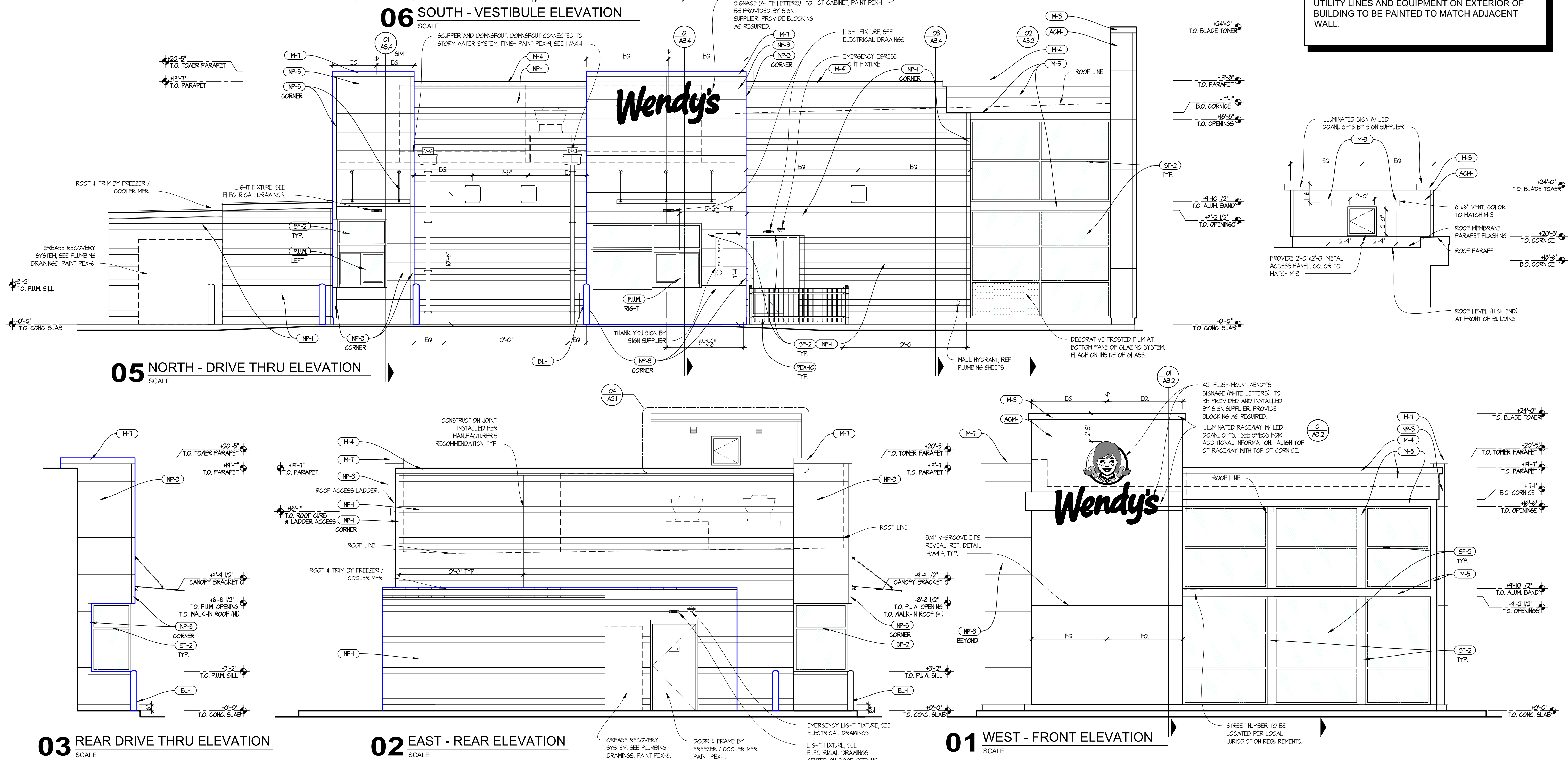
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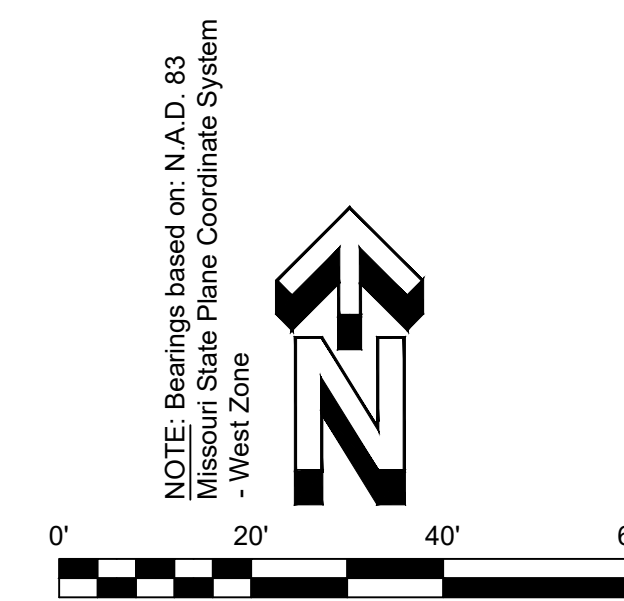
SHEET NAME

NICHIHA FINISH OPTION  
SMART 40 SQUARE

SHEET NUMBER

## A2.1





**EXISTING NORTHWEST DRAINAGE AREA:**

TOTAL AREA = 0.12 ACRES  
IMPERVIOUS AREA = 0.09 ACRES @ C=0.90  
PERVIOUS AREA = 0.03 ACRES @ C=0.30  
COMPOSITE C = 0.75

TIME OF CONCENTRATION = 7.75 MIN.  
I 100 YEAR = 9.29 IN/HOUR

$Q = CIA = (0.75)(9.29 \text{ IN/HOUR})(0.12 \text{ ACRES}) = 0.84 \text{ CFS}$

**EXISTING NORTHEAST DRAINAGE AREA:**

TOTAL AREA = 0.15 ACRES  
IMPERVIOUS AREA = 0.12 ACRES @ C = 0.90  
PERVIOUS AREA = 0.03 ACRES @ C = 0.30  
COMPOSITE C = 0.78

TIME OF CONCENTRATION = 2.09 MIN. THEREFORE USE 5 MIN. MIN.  
I 100 YEAR = 10.3 IN/HOUR

$Q = CIA = (0.78)(10.3 \text{ IN/HOUR})(0.15 \text{ ACRES}) = 1.21 \text{ CFS}$

**EXISTING SOUTHEAST DRAINAGE AREA:**

TOTAL AREA = 0.82 ACRES  
IMPERVIOUS AREA = 0.79 ACRES @ C = 0.90  
PERVIOUS AREA = 0.03 ACRES @ C = 0.30  
COMPOSITE C = 0.88

TIME OF CONCENTRATION = 6.99 MIN.  
I 100 YEAR = 9.6 IN/HOUR

$Q = CIA = (0.88)(9.6 \text{ IN/HOUR})(0.82 \text{ ACRES}) = 6.93 \text{ CFS}$

*linear!*  
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**MICHAEL E. NEIKIRK PE**  
***Civil Engineer***  
306 North Market Street Ste. 101  
Mt. Carmel, IL 62863  
Phone: (618) 263-4100

[illegible]

SEAL


The seal is circular with a double-lined border. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. Inside the ring, the name "MICHAEL E. NANTZ" is written in a semi-circle, and below it, the number "No. 06879" is displayed. A diagonal line runs from the bottom left to the top right across the seal. Overlaid on this line is the word "COPYRIGHT" in large, bold, capital letters. Below the seal, there is a handwritten signature that appears to read "Michael E. Nantz". At the very bottom of the page, there is a thick black horizontal bar.

EXISTING DRAINAGE AREAS

---

SHEET NUMBER

**EX. 1**



Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).

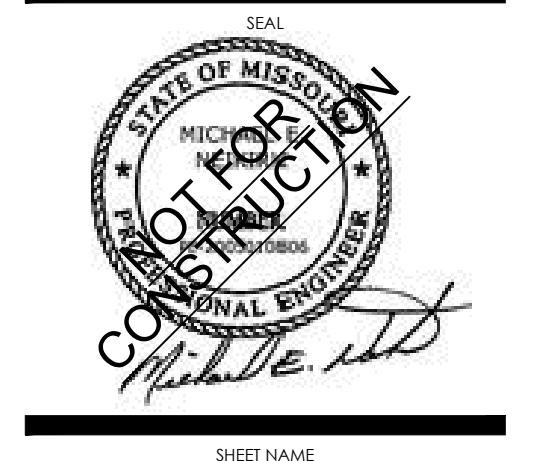
C-VALUES ARE FROM TABLE 5602-3 RUNOFF PARAMETERS, TIME OF CONCENTRATION CALCULATIONS WERE COMPLETED USING EQUATION FROM SECTION 5602.7, AND INTENSITIES WERE CALCULATED USING TABLE 5602-5 FROM APWA STORM DRAINAGE SYSTEMS AND FACILITIES MANUAL.

**MICHAEL E. NEIKIRK PE**  
***Civil Engineer***  
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Mt. Carmel, IL 62863  
Phone: (618) 263-4100

**Wendy's®**  
#12533 (NPCQB#6042)  
711 E MISSOURI 291 HWY  
LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
PROJECT NUMBER: NPCQ8#6042  
  
DRAWN BY: T.J.L RM  
CHECKED BY: MEN, T.J.L



PROPOSED DRAINAGE AREA

SHEET NUMBER

## EX. 2



1 WEST ELEVATION  
NOT TO SCALE



2 SOUTH ELEVATION  
NOT TO SCALE



3 EAST ELEVATION  
NOT TO SCALE



4 NORTH ELEVATION  
NOT TO SCALE

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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LEAWOOD, KANSAS  
66211  
OFFICE: (913) 327-3120  
CELL: (913) 544-3421

PROJECT TYPE: NEW  
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE  
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711 E MISSOURI 291 HWY  
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REV.	DATE	DESCRIPTION

ISSUE DATE: 09-05-19  
PROJECT NUMBER: NPCQB#6042  
DRAWN BY: T.JL RM  
CHECKED BY: MEN T.JL



SHEET NAME  
COLORED RENDERINGS

SHEET NUMBER

**EX. 3**

PL2019-233 PRELIM DEV PLAN  
Wendy's



## Packet Information

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**File #:** BILL NO. 19-243, **Version:** 1

---

An Ordinance approving a Preliminary Development Plan located at 2001 NW Shamrock Ave in District PMIX, Proposed Dialysis Clinic, INC. In accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.

(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

### Proposed City Council Motion:

I move for adoption of an Ordinance approving a Preliminary Development Plan located at 2001 NW Shamrock Ave in District PMIX, Proposed Dialysis Clinic, INC. In accordance with the provisions of Chapter 33, the Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.

Josh Johnson, AICP, Asst. Director of Plan Services

## **BILL NO. 19-243**

---

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 2001 NW SHAMROCK AVE IN DISTRICT PMIX, PROPOSED DIALYSIS CLINIC, INC. IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-246, submitted by Dialysis Clinic, Inc., requesting approval of a preliminary development plan in District PMIX (Planned Mixed Use District) on land located at 2001 NW Shamrock Ave was referred to the Planning Commission to hold a public hearing; and

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on October 10, 2019, and rendered a report to the City Council recommending that the preliminary development plan be approved; and

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 5, 2019, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District PMIX on the following described property:

LOT 2, WEST VILLAGE COMMERCIAL DEVELOPMENT LOTS 1-3

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the design of the required 20' wide high impact landscape screen along the south property line, to allow a 6' vinyl fence placed 3' north of the south property line and all required landscaping material planted on the north side of the fence.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped September 10, 2019:

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

## **BILL NO. 19-243**

---

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney *Brian W. Head*



**LEE'S SUMMIT**  
**MISSOURI**  
Development Services Department

---

## Development Services Staff Report

<b>File Number</b>	PL2019-246
<b>File Name</b>	Preliminary Development Plan – DCI Lee's Summit
<b>Applicant</b>	Dialysis Clinic, Inc.
<b>Property Address</b>	2001 NW Shamrock Ave
<b>Planning Commission Date</b>	October 10, 2019
<b>Heard by</b>	Planning Commission and City Council
<b>Analyst</b>	C. Shannon McGuire, Planner
<b>Checked By</b>	Hector Soto, Jr., AICP, Planning Manager Kent Monter, PE, Development Engineering Manager

---

### Public Notification

Pre-application held: July 9, 2019

Neighborhood meeting conducted: September 19, 2019

Newspaper notification published on: September 21, 2019

Radius notices mailed to properties within 300 feet on: September 6, 2019

Site posted notice on: September 20, 2019

---

### Table of Contents

1. Project Data and Facts	2
2. Land Use	2
3. Project Proposal	3
4. Unified Development Ordinance (UDO)	4
5. Comprehensive Plan	4
6. Analysis	4
7. Recommended Conditions of Approval	6

### Attachments

Traffic Impact Analysis prepared by Michael Park, dated October 3, 2019 – 3 pages

Traffic Impact Study prepared by Olsson, dated September 10, 2019 – 25 pages

Drainage Summary prepared by Catalyst Design Group, date stamped August 26, 2019 – 5 pages

Preliminary Development Plan, date stamped September 10, 2019 – 24 pages

Location Map

## 1. Project Data and Facts

Project Data	
Applicant/Status	Dialysis Clinic, Inc., applicant
Applicant's Representative	
Location of Property	2001 NW Shamrock Ave
Size of Property	±2.225 acres
Zoning	PMIX (Planned Mixed Use)
Comprehensive Plan Designation	Mix Use-John Knox Village
Procedure	<p>The Planning Commission makes a recommendation to the City Council on the preliminary development plan. The City Council takes final action on the preliminary development plan in the form of an ordinance.</p> <p><b>Duration of Validity:</b> Preliminary development plan approval by the City Council shall not be valid for a period longer than twenty-four (24) months from the date of such approval, unless within such period a final development plan application is submitted. The City Council may grant one extension not exceeding twelve (12) months upon written request.</p>

Current Land Use
Undeveloped vacant ground

Description of Applicant's Request
The applicant seeks approval of a preliminary development plan to construct a 10,442 sq. ft. building to operate a dialysis center.

## 2. Land Use

Description and Character of Surrounding Area
The property is located at the southwest corner of NW Shamrock Ave and NW Pryor Rd. Just west of the subject site is the location of the new fire station #3. John Knox Village is located east, across NW Pryor Rd. The Sterling Hills single-family subdivision is located to the south. North of the property is undeveloped land for future commercial use.

### Adjacent Land Uses and Zoning

<b>North:</b>	Undeveloped / PMIX (Planned Mixed Use)
<b>South:</b>	Sterling Hills Subdivision / R-1 (Single-Family Residential District)
<b>East:</b>	John Knox Village / PMIX (Planned Mixed Use)
<b>West:</b>	Lee's Summit Fire Station #3 (under construction) / PMIX (Planned Mixed Use)

**Site Characteristics**

The site is a relatively unremarkable rectangular shaped property that generally slopes from the northwest to the southeast. An existing tree line is located on the south property line. The subject site is bordered by NW Pryor Rd on the east and NW Shamrock Ave on the north.

**Special Considerations**

There are no special or unique site conditions to consider.

### 3. Project Proposal

#### Site Design

<b>Land Use</b>	
Impervious Coverage:	46%
Pervious:	54%
<b>TOTAL</b>	<b>100%</b>

#### Parking

<b>Proposed</b>		<b>Required</b>	
Total parking spaces proposed:	52	Total parking spaces required:	52
Accessible spaces proposed:	4	Accessible spaces required:	2
Parking Reduction requested?	No	Off-site Parking requested?	No

#### Setbacks (Perimeter)

<b>Yard</b>	<b>Building / Parking Required</b>	<b>Building / Parking Proposed</b>
Front	15' (Building) / 20' (Parking)	102'+ (Building) / 32' (Parking)
Side	15' (Building) / 20' (Parking) – north; 6' (Parking) – south	35'+ (Building) / 85' (Parking)
Rear (west)	20' (Building) / 20' (Parking)	370' (Building) / 247' (Parking)

#### Structure(s) Design

<b>Number and Proposed Use of Buildings</b>
1 medical office building
<b>Building Height</b>
34'10"
<b>Number of Stories</b>
1 story

## 4. Unified Development Ordinance (UDO)

Section	Description
2.040,2.260,2.300,2.320	Preliminary Development Plans
8.120,8.170,8.180	Design Standards
8.220,8.230,8.250,8.260,8.290	Lighting Standards
8.530,8.580,8.620	Parking Standards
8.720,8.750,8.790,8.810,8.820	Landscaping

### Unified Development Ordinance

The PMIX zoning district allows for office and institutional uses that are compatible with the surrounding area. The proposed use is an allowed use in the subject zoning district. Should the requested preliminary development plan and modifications be granted, the proposed development would satisfy any requirements applicable to the zoning district pursuant to UDO.

## 5. Comprehensive Plan

Focus Areas	Goals, Objectives & Policies
Overall Area Land Use	Objective 1.1 Objective 1.3 Objective 1.4
Economic Development	Objective 2.1 Objective 2.2
Commercial Development	Objective 4.1 Objective 4.2

### Comprehensive Plan

The proposed use is consistent with the land use recommended by the Comprehensive Plan for the area. The subject site is identified as Mix Use-John Knox Village by the 2005 Comprehensive Plan Land Use Map.

## 6. Analysis

### Background and History

The applicant seeks approval of a preliminary development plan for a dialysis center. The proposed development consists of a single-story 10,442 sq. ft. building. The proposed exterior building materials consist of masonry, EIFS, brick and glass. The applicant has requested a modification to place the required landscape screen fence approximately 3 feet off the property line rather than placing it in the center of the required 20' buffer.

- July 13, 1976 – City Council approved a rezoning (Application #1975-016) of approximately 58 acres from AG to RP-3 and PRO for a mixed-use residential development and nursing home for John Knox Village by Ordinance No. 1692.
- December 7, 2006 – The City Council approved the rezoning (Appl. #2006-184) from RP-3 to PMIX and the preliminary development plan (Appl. #2006-184) for Villas at John Knox Village by Ordinance No. 6305.
- February 19, 2007 – A final development plan (Appl. #2006-284) for Forest Lake Information Center located at 2001 NW Forest Lake Dr. was approved.
- April 18, 2007 – A minor plat (Appl. #2007-012) for Forest Lake at John Knox Village, 1st Plat was recorded at Jackson County Recorder of Deeds, by Document #2007E0051292.
- September 20, 2018 – City Council approved a preliminary development plan (PL2018-103) for the adjacent Woodside Ridge residential development to the west by Ordinance No. 8470.
- September 20, 2018 – City Council approved a rezoning from district RP-3 to district PMIX, preliminary development plan and conceptual plan (Appl. PL2018-135) for the proposed West Pryor Development by Ordinance No. 8472. The subject property was include in the conceptual plan, therefore requires approval of the subject PDP application.

### **Compatibility**

The property is located at the intersection of NW Shamrock Ave. and NW Pryor Rd. The proposed building exterior is composed of masonry, EFIS, brick and glass. The 2005 Lee's Summit Comprehensive Plan Land Use Map identifies the area of the proposed project as Mixed Use – John Knox Village. The proposed land use and building is in substantial compliance with the Lee's Summit Comprehensive Plan

### **Adverse Impacts**

The proposed development will not detrimentally impact the surrounding area.

Stormwater from the proposed development will be managed on-site through a stormwater detention system.

### **Public Services**

The proposed development will not impede the normal and orderly development and improvement of the surrounding property.

The existing road network has sufficient capacity to accommodate the proposed use; no improvements are required as part of the proposed development.

### **Modifications**

A high impact screening buffer between developments of differing land uses adjoining one another is required by the UDO along the south property line, adjacent to the residentially zoned district. The high impact screening requirements include a twenty foot buffer yard with a six foot high masonry wall or opaque vinyl fence and high-impact screening planted on both sides of the wall or the fence.

The applicant proposes to provide a 20' wide high impact landscape screen with a 6' tall vinyl fence placed approximately 3' north of the south property line, with the high impact screen planted on the north side of the fence. By installing the fence 3' north of the property line and planting the required screening elements on the north side of the fence, the vegetation will be more accessible and the burden of any required ongoing maintenance will be reduced.

**Recommendation**

With the conditions of approval below, the application meets the requirements of the UDO and Design & Construction Manual.

## **7. Recommended Conditions of Approval**

### **Site Specific**

1. A modification shall be granted to the design of the required 20' wide high impact landscape screen along the south property line, to allow a 6' vinyl fence placed 3' north of the south property line and all required landscaping material planted on the north side of the fence.

### **Standard Conditions of Approval**

2. All required engineering plans and studies, including water lines, sanitary sewers, storm drainage, streets and erosion and sediment control shall be submitted along with the final development plan. All public infrastructure must be substantially complete, prior to the issuance of any certificates of occupancy.
3. All Engineering Plan Review and Inspection Fees shall be paid prior to approval of the associated engineering plans and prior to the issuance of any infrastructure permits or the start of construction (excluding land disturbance permit).
4. A Land Disturbance Permit shall be obtained from the City if ground breaking will take place prior to the issuance of an infrastructure permit, building permit, or prior to the approval of the Final Development Plan / Engineering Plans.
5. All permanent easements, in a form acceptable to the City, shall be executed and recorded with the Jackson County Recorder of Deeds prior to the issuance of a Certificate of Substantial Completion or approval of the final plat. A certified copy shall be submitted to the City for verification.
6. Private parking lots shall follow the Unified Development Ordinance for pavement thickness and base requirements.

7. Any cut and / or fill operations, which cause public infrastructure to exceed the maximum / minimum depths of cover shall be mitigated by relocating the infrastructure vertically and / or horizontally to meet the specifications contained within the City's Design and Construction Manual.
8. Sign permits shall be obtained prior to installation of any signs through the Development Services Department. All signs proposed must comply with the sign requirements as outlined in the sign section of the Unified Development Ordinance.

## The City of Lee's Summit

### Action Letter - Draft

### Planning Commission

Thursday, October 10, 2019

5:00 PM

City Council Chambers

City Hall

220 SE Green Street

Lee's Summit, MO 64063

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#### Call to Order

#### Roll Call

**Present:** 7 - Board Member Mark Kitchens  
Board Member Carla Dial  
Chairperson Jason Norbury  
Vice Chair Donnie Funk  
Board Member Terry Trafton  
Board Member Jeff Sims  
Board Member Dana Arth

**Absent:** 2 - Board Member John Lovell  
Board Member Jake Loveless

#### Approval of Agenda

Chairperson Norbury announced that would be a few adjustments to the agenda. Items 2, 3, and 6, Items PL2019-261, PL2019-255, and PL2019-257, all pertaining to the Lee's Summit Airport, would be heard at the same time. Motions would be made and voted on for each item separately. He asked for a motion to approve.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this agenda be approved as amended. The motion carried unanimously.

#### Public Comments

There were no public comments presented at the meeting.

#### Approval of Consent Agenda

[TMP-1386](#) Appl. #PL2019-296 - SIGN APPLICATION - Raintree Village monument sign, 3803 SW Ward Rd; Royal Signs & Graphics, applicant

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

[2019-3072](#) Minutes of the September 26, 2019, Planning Commission meeting

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that the minutes be approved. The motion carried unanimously.

#### Public Hearings

[2019-3078](#) Appl. #PL2019-261 - VACATION OF RIGHT-OF-WAY - unused right-of-way on

Lee's Summit Airport property, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury opened the hearing for agenda items 2 and 3 at 5:10 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Bob Hartnett, deputy director of the Public Works Department, gave his business address as Lee's Summit City Hall at 220 SE Green Street. The City had purchased the Airport in 1977, and had acquired about 40 additional properties since then. These properties carried the original zoning; so the Airport had land zoned for residential, commercial and industrial uses. These agenda items were primarily for clean-up, including vacation of some rights-of-way involving Strother, Hagan, Leinweber and Douglas roads. These rights-of-way were no longer necessary. The rezoning application was a request to change this zoning mixture to all AZ (Airport) zoning. Regarding the final plan (agenda item 6), would reorganize these 40 lots into three lots.

Mr. Hartnett added that Mr. Andy Boding, of the consulting engineering firm of Crawford, Murphy and Tilly (CMT) and Mr. Jim Anderson of Anderson Survey were present and could answer questions.

Mr. Shannon McGuire entered into the record Exhibit (A), list of exhibits 1-12 for Application PL2019-255 and list of exhibits 1-12 for Application PL2019-261. He confirmed that the Airport property currently consisted of 44 different lots, with a mixture of AG, RP-1, CP-2, PI and PMIX zoning designations. The City proposed to change these to the AZ Airport zoning district established in 2006. It had been established to incorporate the City airport with adjoining developable properties in order to provide for selected commercial and industrial uses that would be compatible with the airport use. Additionally, several unused rights-of-way crossed over the property, as indicated on the displayed aerial map, one of them crossing a runway. Vacating these rights-of-way was necessary for replatting the existing 44 parcels into four lots.

The proposed rezoning and right-of-way vacations would not impact the surrounding neighborhood, and the proposed AZ zoning was consistent with the entire property's use. It was substantially consistent with the Comprehensive Plan, as well as meeting the requirements of the UDO and the Design and Construction Manual. . An overhead copper cable was within the Leinweber Road right-of-way, and a Condition of Approval for this application indicated a general utility easement. The second of two Conditions of Approval was the standard requirement for recording the vacation of the right-of-way.

Following Mr. McGuire's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony. Seeing one, he opened the hearing for any Commissioners' questions for the applicant or staff.

Chairperson Norbury asked Mr. McGuire if it was correct that the rezoning would have no functional impact on the Airport's operations. Mr. McGuire confirmed that it was.

Chairperson Norbury asked if there were any further questions for the applicant or staff. As there were none, he closed the public hearing at 5:10 p.m. and asked for discussion among the Commission members, or for a motion. He asked that the two applications be voted on in two separate motions.

Mr. Funk asked what would be done with Item 6, which addressed the final plat. Chairperson Norbury answered that this item would be heard next.

Mr. Funk made a motion to recommend approval of Application PL2019-261, Vacation of Right-Of Way: unused right-of-way on Lee's Summit Airport property, 2751 NE Douglas St.; City of Lee's Summit, applicant; subject to staff's letter of October 4, 2019 specifically

Conditions of Approval 1 and 2. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3077](#)

Appl. #PL2019-255 - REZONING from AG, RP-1, CP-2, PI and PMIX to AZ - Lee's Summit Airport, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury asked for a motion on Application PL2019-255.

Mr. Funk made a motion to recommend approval of Application PL2019-255, Rezoning from AG, RP-1, CP-2, PI and PMIX to AZ; Lee's Summit Airport, 2751 NE Douglas St.; City of Lee's Summit, applicant. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3075](#)

Appl. #PL2019-233 - PRELIMINARY DEVELOPMENT PLAN - Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant

Chairperson Norbury opened the hearing at 5:13 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Ms. Tiffany Lehman stated that she was the civil engineer for this project. She described the subject property currently had a vacant restaurant building with asphalt coverage throughout the property. An access easement existed on the southeast side, leading down to SE 7th Terrace. The applicants planned to demolish the building and redevelop the property with a 2,600 square foot Wendy's restaurant. The project would include asphalt parking, concrete sidewalks, drive-through area, and a dumpster enclosure. The access easement would be redone, and they would install landscaping on the property.

Ms. Lehman displayed colored elevations, including the front (west side) of the building facing M-291 as well as the rear of the building, the south side of the building and the north side which included the drive-through.

Following Ms. Lehman's presentation, Chairperson Norbury asked for staff comments.

Mr. Soto entered Exhibit (A), list of exhibits 1-13 into the record. He confirmed that this was a redevelopment of an existing property. Displaying an aerial photo, he pointed out the locations of SE 7th Terrace and M-291 Highway. Lee's Summit High School was across the highway to the west, and the Missouri State Highway Patrol headquarters to the southwest. The QuikTrip store and HMM AutoSport were further south. A multi-tenant retail center were to the north and immediately to the east were some office/warehouse properties with industrial zoning. Some single-family residences and duplexes were further to the northeast.

The property had previously had restaurant use, most recently a 6,500 square foot sit-down restaurant but had been vacant for at least five years. The future user would be a 2,500 square foot drive-through restaurant. The proposed parking would be 37 spaces, two more than the 35 spaces required. The site had access at three points: the right-of-way from M-291

Highway, from SE Melody Lane and from SE 7th Terrace. At the northeast corner was a cross-access that went along the back of the retail building to Bayberry and its signaled access to M-291.

Mr. Soto noted that this redevelopment would be reducing impervious coverage on the site by about 17 percent: from 91 percent coverage to 74 percent. Referring to the colored elevations referenced earlier, he noted the building materials: brown or earth tone fiber cement panels, and the aluminum composite metal (ACM) panels in red and gray. These were similar to materials previously proposed and approved for churches and for some auto dealerships, as well as other materials and architecture along M-291. The elevations also showed a large amount of glass on the north and south sides. Staff's analysis concluded that the use was consistent with the Comprehensive Plan, with the M-291 corridor north of US 50 was primarily retail use. Restaurant use would be equally appropriate, and this long-vacant site was in an especially visible location.

Staff's only Condition of Approval was that the ACM panels proposed would be allowed as a conditional material, "as shown in the preliminary development plan date stamped September 9, 2019." The UDO allowed the panels, but after a review. This was a material that had become more common.

Following Mr. Soto's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, he then opened the hearing for Commissioners' questions for the applicant or staff.

Mr. Funk asked if Melody Lane would end at the property or continue to be a through street in front of the restaurant. Mr. Soto answered that there would still be continuous access, but the right-of-way did terminate at the north property line and extend into the private drive beyond that. 7th Street would remain, and be improved, and it had a cross-access easement with adjoining properties. On the displayed aerial map, he pointed out the drive behind the HMM building that gave access to 7th Terrace.

Mr. Kitchens noted that the drive-through traffic was immediately to the left of the entrance/exit off M-291. It had room for 2 or 3 cars. He asked if it could be a one-way corridor, as it would be easy for drivers from M-291 to cut through the drive-through traffic. It was a common problem with fast-food restaurants whose lots combined parking and drive-through traffic.

Ms. Lehman asserted that the applicant had worked with the City on this issue. Their stacking did allow for about nine cars from the order box out to the front. Wendy's corporate usually requested six. They wanted to keep the two-way traffic, as it allowed the most access throughout the site; and as the stacking for the drive-through was more than what was required, they did not anticipate any traffic obstruction in the front. Mr. Kitchens asked if the applicant had a waiting time limit for drive-through lines.

Mr. Park clarified that the M-291 access belonged to MoDOT. They had reviewed this plan and the traffic circulation, and the property did have room for stacking of 8 or 9 vehicles up to the menu board. Staff's preference was also for the drive to be two-way; and MoDOT had indicated that this access shared with Melody to the north would be changed. This would be after interchange improvements that would move the Blue Parkway signal to 7th Street, just to the south; and at that point MoDOT would probably move it north to the Melody Lane right-of-way. At present, they did not have a schedule for interchange improvements from MoDOT and so relied on the operator of the store to mitigate congestion by directing people around the perimeter before entering the drive-through line.

Mr. Sims remarked to Mr. Park that while he understood the concern with stacking and the drive-through, he was more concerned with left turns onto M-291. He acknowledged that it

was a MoDOT right-of-way, and asked if making this a right-in-right-out access had been considered. Mr. Park answered that MoDOT did have a safety concern about the left and crossover movements onto M-291. They were reserving the access management control for an interchange. They could not know what the extent and nature of the improvements would be at this point.

At Mr. Funk's request, Ms. Lehman pointed out this area was on the site plan, toward the back of the property. The plan showed a significant area for stacking in front of it.

Regarding the aluminum composite metal panels referred to earlier, Chairperson Norbury asked Mr. Soto if City staff had considered making it a conditional use since its use was becoming more common. Mr. Soto replied that they were.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:30 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk commended the applicant on Wendy's current designs, mentioning the store on Chipman as an example. He then made a motion to recommend approval of Application PL2019-233, Preliminary Development Plan: Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Recommendation Conditions of Approval 1 (site specific) and 2-11 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3076](#)

Appl. #PL2019-246 - PRELIMINARY DEVELOPMENT PLAN - DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant

Chairperson Norbury opened the hearing at 5:30 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Philip Pierson of the Callas Design Group, gave his address as 5016 Centennial Boulevard in Nashville, Tennessee. He was present representing Dialysis Clinic, Inc. They proposed to build a 10,400 square foot building for the clinic. The clinic would have 17 patient stations, a small suite for a doctor's office. Mr. Pierson emphasized that this was not a use that generated much noise or heavy traffic. Patients often stayed for several hours, so the clinic would have morning and afternoon shifts.

Following Mr. Pierson's presentation, Chairperson Norbury asked for staff comments.

Mr. McGuire entered Exhibit (A), list of exhibits 1-15 into the record. He first cited a correction to page 5 of staff's letter, with the site's use being "Mixed Use—John Knox Village." The subject property was on the southwest corner of NW Shamrock Avenue and NW Pryor Road and was about 2.25 acres. It was just west of the new fire station #3. It had been included in the conceptual plan approved by the City Council in September 2018 and so had required a preliminary development plan. The property was zoned PMIX, with the Comprehensive Plan identifying this area as "Mixed Use – John Knox Village." John Knox Village was to the east, and the Sterling Hills single-family subdivision was to the south. To the north was some undeveloped land kept for future commercial use.

Mr. McGuire displayed color elevations of the building, showing materials of masonry, EIFS,

brick and glass. The applicant asked for one modification, to the high-impact screening buffer required. They proposed a six-foot tall vinyl fence about three feet north of the south property line, and the required high-impact screen planted on the fence's north side instead of on both sides of the fence. With the fence three feet from the property line, and the required screening elements planted on the north side, the vegetation would be more accessible for maintenance.

The proposed development would not have any detrimental impact on the surrounding area, nor impede the development of surrounding properties. It would have an on-site stormwater detention system. The road network had enough capacity to handle the proposed use, so no road improvements were needed or required. The project met the requirements of both the UDO and the Design and Construction Manual.

Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, Chairperson Norbury then asked if the Commission had questions for the applicant or staff.

Chairperson asked if any City staff was working on the UDO's definition of a high-impact landscaping buffer. Mr. Soto replied that in most recent proposals the amount of landscaping met the UDO requirements; though not often stating where a required fence would be placed. Staff was working on some flexibility on this placement, to allow for different circumstances and conditions on different sites. Utility lines, for example, could often mandate modifications.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:35 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk made a motion to recommend approval of Application PL2019-246, Preliminary Development Plan: DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Conditions of Approval 1 (Site Specific) through 8 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

## Other Agenda Items

### [TMP-1388](#)

PL2019-257 - FINAL PLAT - Lee's Summit Airport, 2751 NE Douglas St; Anderson Survey Co., applicant

Chairperson Norbury opened the hearing at 5:12 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. McGuire remarked that usually this would be a Consent Agenda Item. However, due to the timing of the preliminary plat, the rezoning, and the rights-of-way vacations, it had been moved up. It was not possible to replat with the right-of-way. Consequently, there was no further presentation.

Chairperson Norbury asked for a motion for Application PL2019-257.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

Roundtable

**There were no Roundtable items at the meeting.**

Adjournment

**There being no further business, Chairperson Norbury adjourned the meeting at 5:42 P.M.**

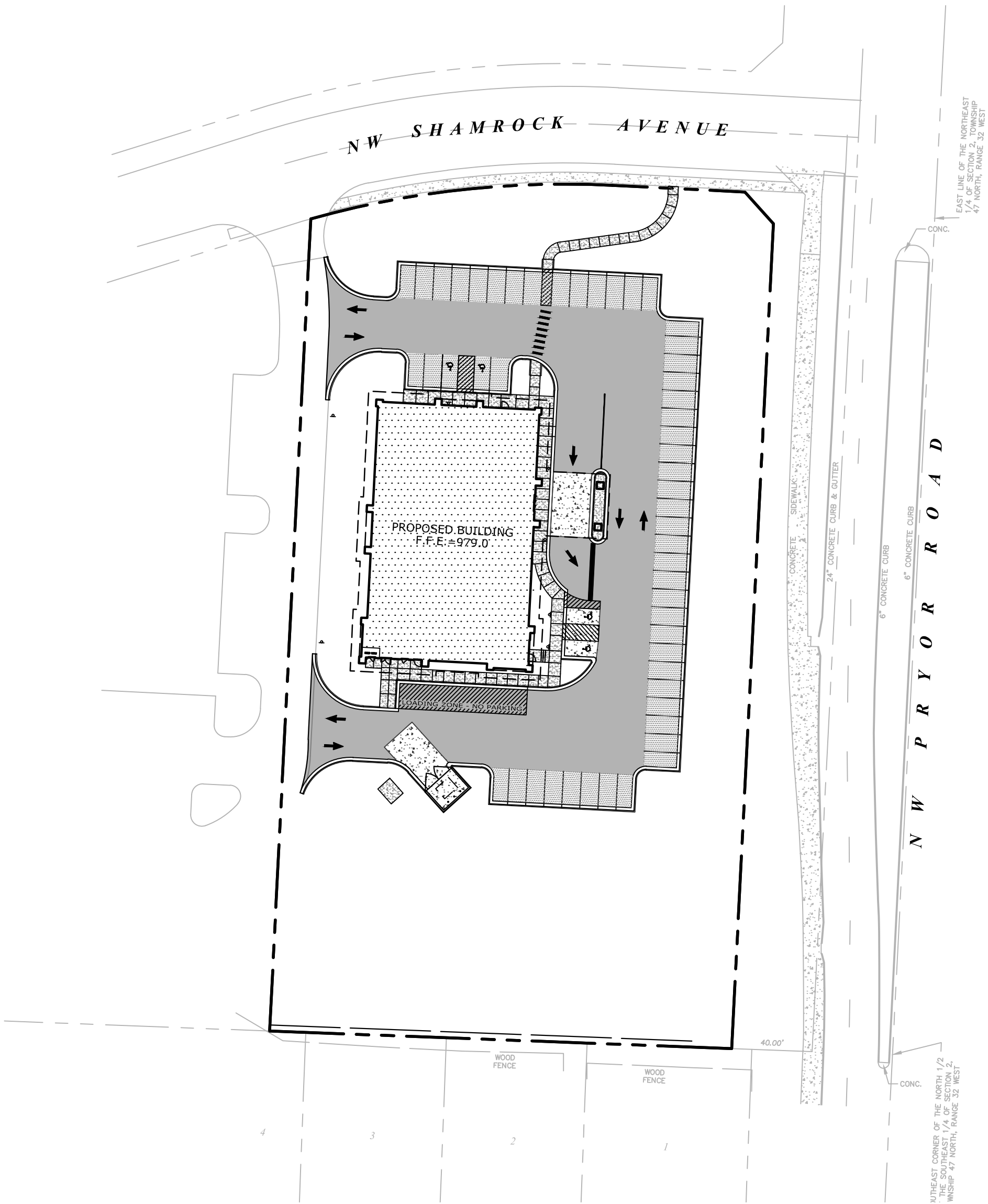
For your convenience, Planning Commission agendas, as well as videos of Planning Commission meetings, may be viewed on the City's Legislative Information Center website at "[lsmo.legistar.com](http://lsmo.legistar.com)"

CONSTRUCTION DRAWINGS  
DCI - LEE'S SUMMIT  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CATALYST PROJECT NO. 20180111  
09/06/2019

SITE DATA

PARCEL ID.: 62-240-99-04-00-0-00-000  
SITE ADDRESS: 2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI 64081  
LEGAL DESCRIPTION: LOT 2, WEST VILLAGE COMMERCIAL DEVELOPMENT  
LOTS 1-3, SUBDIVISION IN LEE'S SUMMIT,  
JACKSON COUNTY, MISSOURI  
SITE ACREAGE: 2.225 AC. (96,932 FT<sup>2</sup>)  
EXISTING ZONING: PMIX - PLANNED MIXED USE DISTRICT  
PROPOSED USE: DIALYSIS CLINIC  
PROPOSED MAX. BUILDING HEIGHT: 1 STORIES  
PROPOSED BUILDING SQUARE FOOTAGE: 10,442 S.F.  
FLOOR AREA RATIO OF SITE: 0.11 (10,442 FT<sup>2</sup>/ 96,932 FT<sup>2</sup>)  
IMPERVIOUS SURFACE AREA  
BUILDINGS: 0.24 AC. (10,442 FT<sup>2</sup>)  
DRIVES/SIDEWALKS: 0.78 AC. (34,316 FT<sup>2</sup>)  
TOTAL PROPOSED IMPERVIOUS AREA: 1.02 AC. (44,590 FT<sup>2</sup>)  
PROPOSED ISR: 0.46  
ALLOWED ISR: 0.80  
PARKING SUMMARY  
PARKING REQUIRED: 5 SPACES PER 1,000 S.F.  
(PARKING REQUIREMENTS) 52 SPACES REQUIRED  
PARKING PROVIDED: 52 SPACES (4 ACCESSIBLE)  
OWNER: DIALYSIS CLINIC, INC.  
ADDRESS: 1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061  
CONTACT NAME: BILL WOOD  
CONTACT E-MAIL ADDRESS: bwood@dcilinc.org  
PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP  
ADDRESS: 5016 CENTENNIAL BLVD., STE 200  
NASHVILLE, TN 37209  
615.866.2410  
PHONE NO.: PHILLIP PIERCY  
CONTACT NAME: ppiercy@catalyst-dg.com  
CONTACT E-MAIL ADDRESS: ppiercy@catalyst-dg.com  
FEMA PANEL:  
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO  
COMMUNITY PANEL NO. 29095C0416G, JANUARY 20, 2017, COMMUNITY NAME: FEMA COMMUNITY NAME.



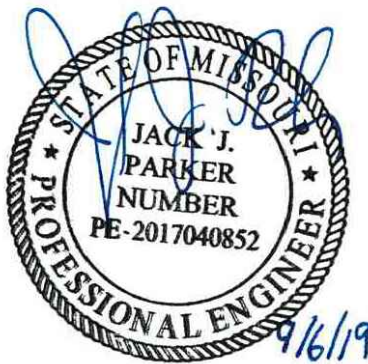
VICINITY MAP  
NOT TO SCALE

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	GENERAL NOTES
C3.0	INITIAL EROSION CONTROL PLAN
C3.1	INTERMEDIATE EROSION CONTROL PLAN
C3.2	FINAL EROSION CONTROL PLAN
C3.3	SEDIMENT AND EROSION CONTROL DETAILS
C4.0	LAYOUT PLAN
C5.0	GRADING & DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
C7.2	SITE DETAILS
C7.3	SITE DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A1.0	FLOOR PLAN
A3.0	ROOF PLAN
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A4.3	RENDERED PERSPECTIVES
E1.1	SITE PHOTOMETRICS
E1.2	SITE PHOTOMETRIC FIXTURES

ARCHITECT  
RANDY DOVER  
4121 HILLSBORO RD SUITE 303  
NASHVILLE, TN 37215  
615.251.3388

PREPARED FOR  
DIALYSIS CLINIC, INC.  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061

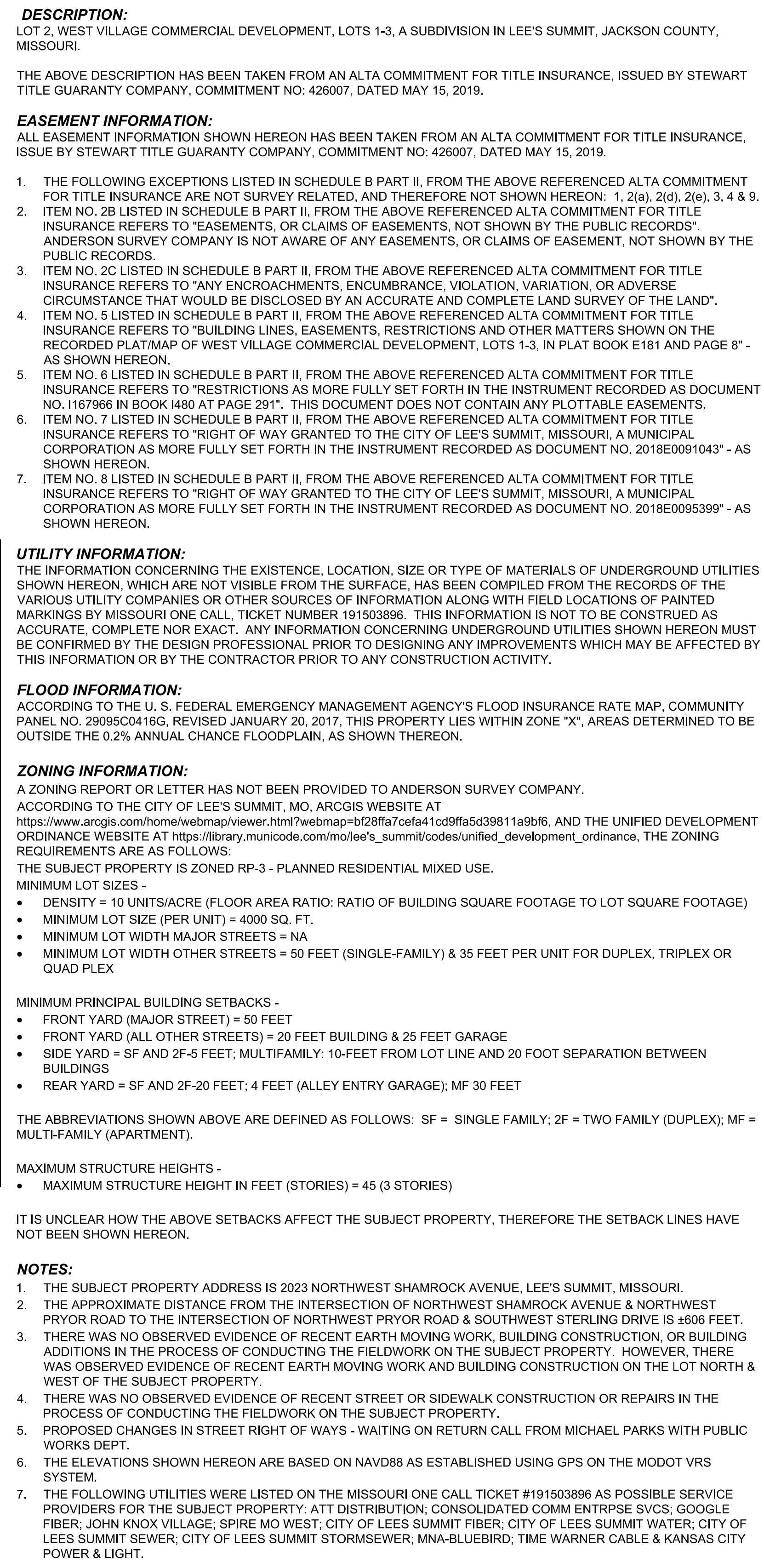


CIVIL ENGINEER/LANDSCAPE ARCHITECT  
**Catalyst**  
DESIGN GROUP  
5016 CENTENNIAL BLVD., SUITE 200  
NASHVILLE, TN 37209  
(615) 866-2410

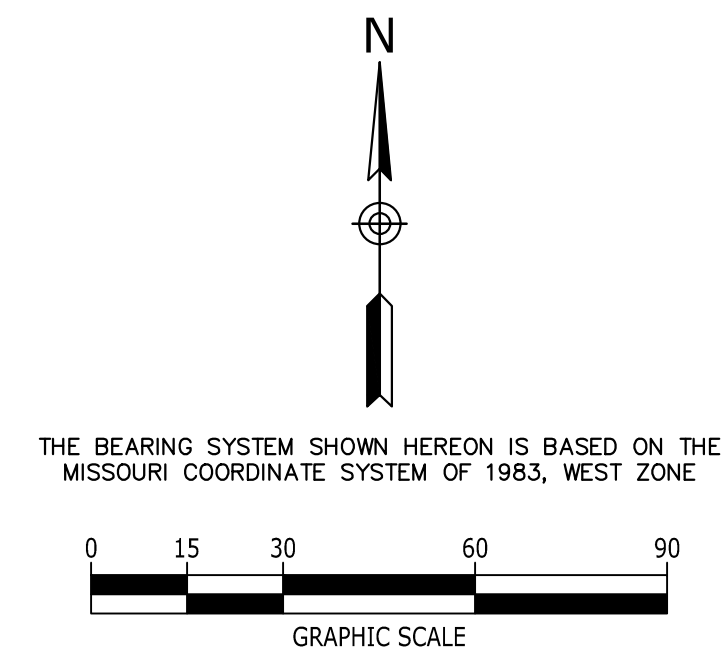


COVER SHEET

C0.0



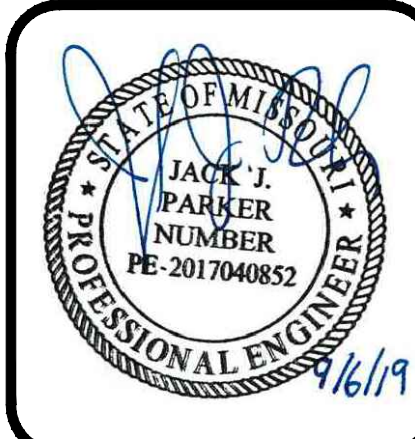
BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY ANDERSON SURVEY COMPANY, DATED 06/03/2019. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.



**Catalyst**  
DESIGN GROUP

5016 CENTENNIAL BLVD., SUITE 200, NASHVILLE, TN 37209  
(615) 866-2410 | [WWW.CATALYST-DCG.COM](http://WWW.CATALYST-DCG.COM)

**DIALYSIS CLINIC, INC.**  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061



CONSTRUCTION DRAWINGS

**DCI - LEE'S SUMMIT**

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

[illegible]

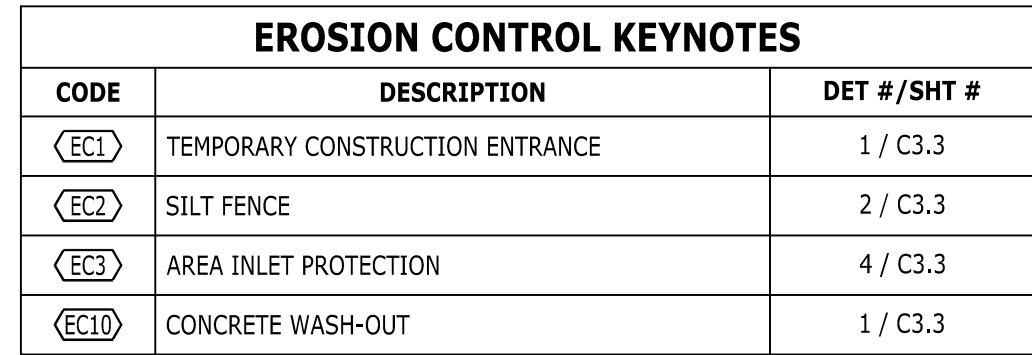
DRAWING TITLE

EXISTING  
CONDITIONS

PROJECT NUMBER	20180111
DRAWING NUMBER	

# C1.0







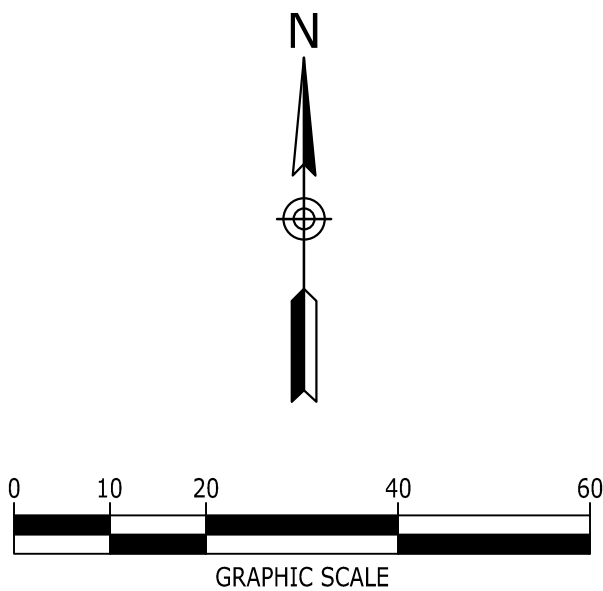


THE SITE IS LOCATED AS PARCEL ID 62-240-99-04-00-0-00-000 IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 2.26± ACRES TO CONSTRUCT A 10,220 S.F. +/- DIALYSIS CLINIC, PARKING, AND ASSOCIATED SITE IMPROVEMENTS.

1. APPROXIMATE CONSTRUCTION TIME TABLE:
- |                       |   |              |
|-----------------------|---|--------------|
| BEGIN CONSTRUCTION    | - | [ OCT 2019 ] |
| COMPLETE CONSTRUCTION | - | [ JAN 2021 ] |
2. CONSTRUCTION SEQUENCE:
- ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.
  - INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE
  - CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
  - CLEAR AND GRUB THE REMAINING SITE.
  - CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
  - UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
  - REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 96,932 SF (2.225± AC.)  
DISTURBED AREA = 98,540 S.F. (2.26± AC.)

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
- THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
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LEGEND	
SILT FENCE	
LIMITS OF DISTURBANCE	
INLET PROTECTION	
EROSION CONTROL MATTING	



**Catalyst**  
DESIGN GROUP

5016 CENTENNIAL BLVD., SUITE 200, NASHVILLE, TN 37209  
(615) 866-2410 | [WWW.CATALYST-DC.COM](http://WWW.CATALYST-DC.COM)

**DIALYSIS CLINIC, INC.**  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061



CONSTRUCTION DRAWINGS

**DCI - LEE'S SUMMIT**

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

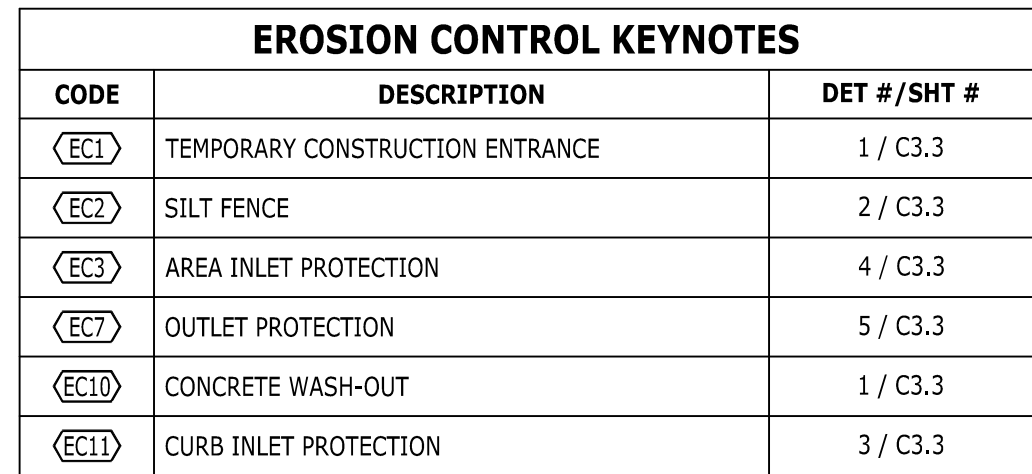
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DRAWING TITLE

INITIAL EROSION  
CONTROL PLAN

PROJECT NUMBER	20180111
DRAWING NUMBER	





### C3.0

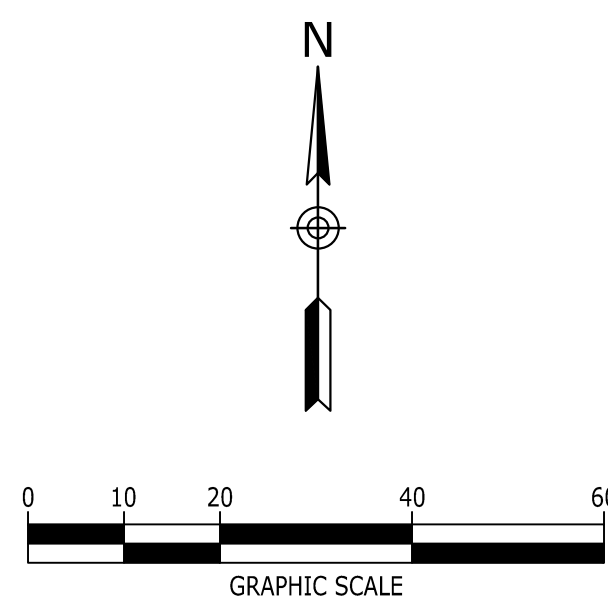


THE SITE IS LOCATED AS PARCEL ID 62-240-99-04-00-0-00-000 IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 2.26± ACRES TO CONSTRUCT A 10,220 S.F.+/- DIALYSIS CLINIC, PARKING, AND ASSOCIATED SITE IMPROVEMENTS.

1. APPROXIMATE CONSTRUCTION TIME TABLE:  
BEGIN CONSTRUCTION - [ OCT 2019 ]  
COMPLETE CONSTRUCTION - [ JAN 2021 ]
2. CONSTRUCTION SEQUENCE:
  - A. ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.
  - B. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE
  - C. CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
  - D. CLEAR AND GRUB THE REMAINING SITE.
  - E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
  - F. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
  - G. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 96,932 SF (2.225± AC.)  
DISTURBED AREA = 98,540 S.F. (2.26± AC.)

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LEGEND	
SILT FENCE	
LIMITS OF DISTURBANCE	
INLET PROTECTION	
EROSION CONTROL MATTING	



**Catalyst**  
DESIGN GROUP

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(615) 866-2110 | WWW.CATALYST-DC.COM

**DIALYSIS CLINIC, INC..**  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061

CONSTRUCTION DRAWINGS

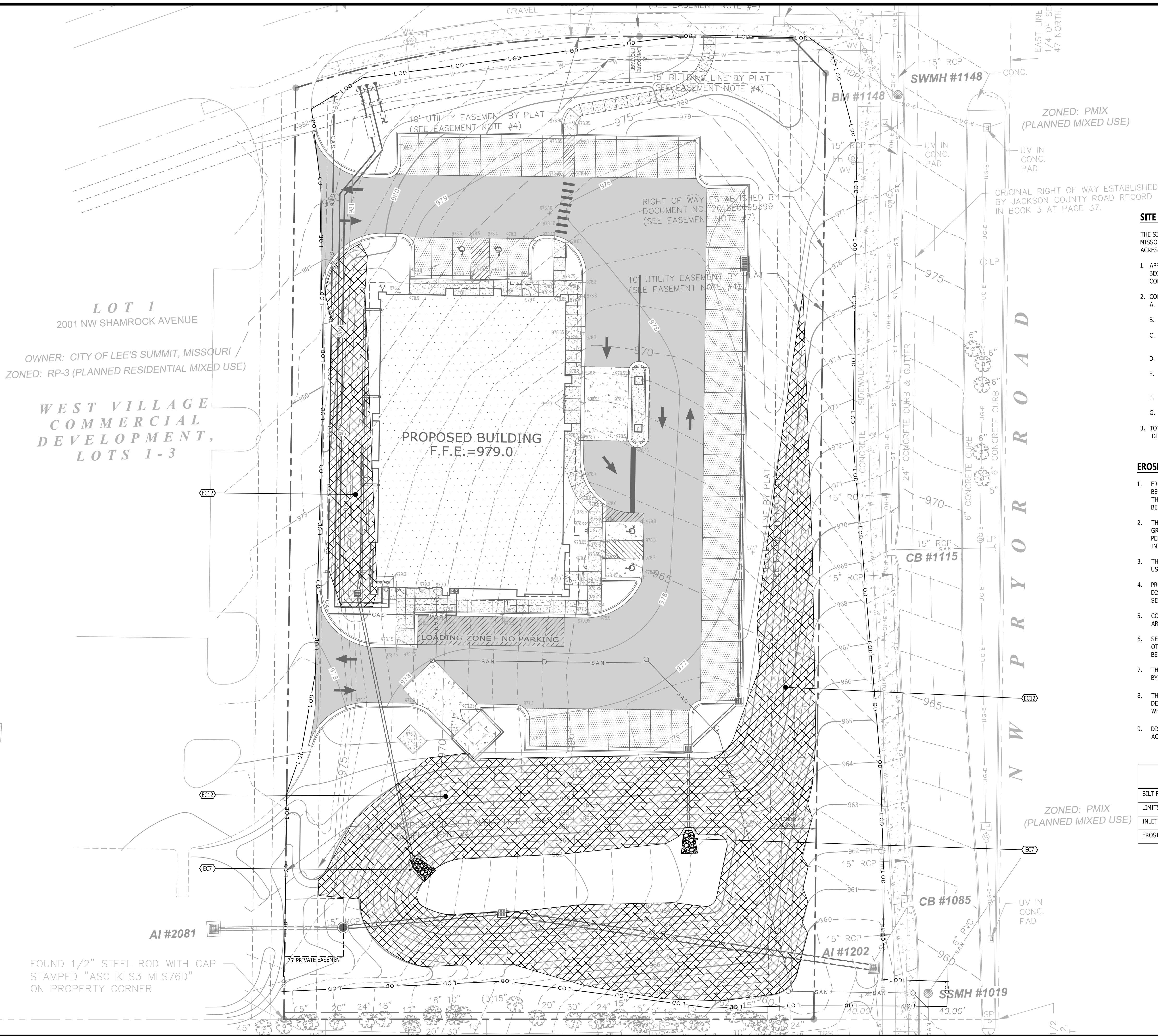
**DCI - LEE'S SUMMIT**

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

[illegible]

DRAWING TITLE	
INTERMEDIATE EROSION CONTROL PLAN	
PROJECT NUMBER	20180111
DRAWING NUMBER	
C3.1	

P:\2018\20180111\Wing\Construction\20180111\_C3-0\_ERO.dwg-FINAL EROSION CONTROL PLAN Sep 06, 2019 ehil



EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC7	OUTLET PROTECTION	5 / C3.3
EC12	GEOTEXTILE MATTING	6 / C3.3

**SITE DESCRIPTION AND NOTES:**

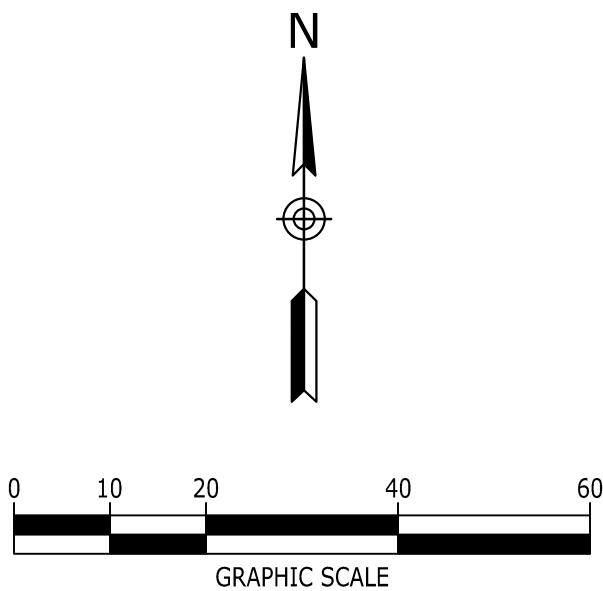
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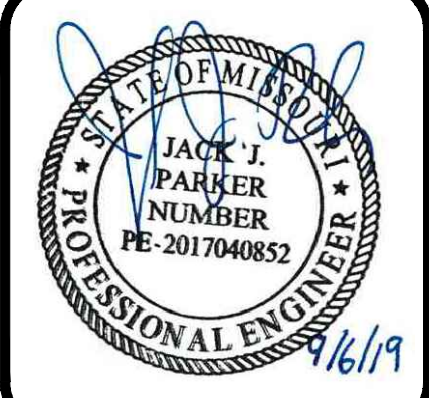
**EROSION CONTROL NOTES:**

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LEGEND	
SILT FENCE	SF
LIMITS OF DISTURBANCE	LOD
INLET PROTECTION	IP
EROSION CONTROL MATTING	EC12



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NASHVILLE, TN 37203  
615.327.3061



CONSTRUCTION DRAWINGS  
**DCI - LEE'S SUMMIT**  
2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

NO.	DATE	DESCRIPTION

DRAWING TITLE  
**FINAL EROSION CONTROL PLAN**

PROJECT NUMBER  
20180111

DRAWING NUMBER  
**C3.2**





**LOT 1**  
2001 NW SHAMROCK AVENUE

OWNER: CITY OF LEE'S SUMMIT, MISSOURI  
ZONED: RP-3 (PLANNED RESIDENTIAL MIXED USE)

**WEST VILLAGE  
COMMERCIAL  
DEVELOPMENT,  
LOTS 1-3**

FOUND 1/2" STEEL ROD WITH CAP  
STAMPED "ASC KLS3 MLS76D"  
ON PROPERTY CORNER

**AI #2081**

**PROPOSED BUILDING**  
F.F.E. = 979.0

LOADING ZONE - NO PARKING

ZONED: PMIX  
(PLANNED MIXED USE)

**N W P R Y O R O A D**

GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1A	SINGLE CURB INLET	7 / C7.1
G1B	DOUBLE CURB INLET	5 / C7.3
G2	CATCH BASIN	6 / C7.2
G3	JUNCTION MANHOLE	1, 2, 4 / C7.3
G5	CLEANOUT	8 / C7.1
G6	POND OUTLET STRUCTURE	3 / C7.3
G7	EXTENDED DRY DETENTION POND	-
G8	CONCRETE HEADWALL - WINGED	6 / C7.3
G9	OUTLET PROTECTION	5 / C3.3
G11	BUILDING DOWNSPOUT CONNECTION	10 / C7.1
G12	DETENTION POND EMERGENCY SPILLWAY	-

STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRATE
A1	POND OUTLET	966.20
A2	JUNCTION MANHOLE	971.20
B1	HEADWALL	NA
B2	CATCH BASIN	976.50
B3	CLEANOUT	976.80
B4	CLEANOUT	977.10
B5	CLEANOUT	977.80
B6	CLEANOUT	978.00
C1	HEADWALL	NA
C2	SINGLE CURB INLET	975.80
C3	SINGLE CURB INLET	975.80
C4	DOUBLE CURB INLET	977.60
EX AI #2081	EXISTING POND OUTLET	973.94
EX AL#1202	EXISTING CATCH BASIN	959.95
RF1	ROOF CONNECTION	NA
RF2	ROOF CONNECTION	NA
RF3	ROOF CONNECTION	NA
RF4	ROOF CONNECTION	NA

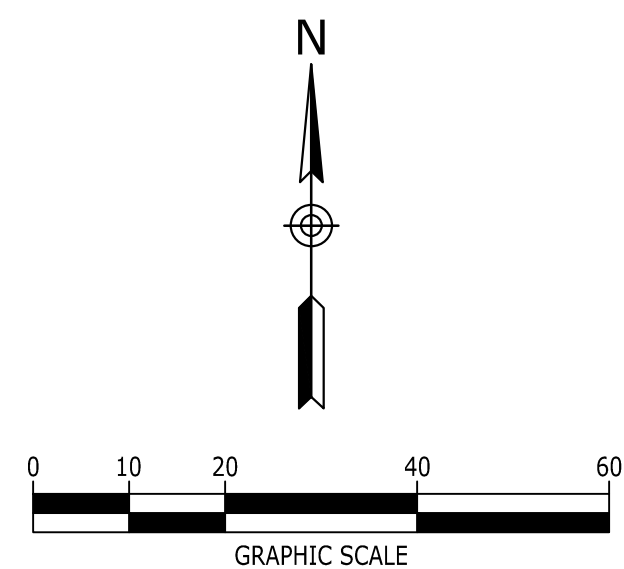
PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
A1	958.00	EX AL#1202	948.85	5.61%	24"	163	RCP
A2	966.58	A1	958.20	12.13%	15"	69	RCP
B2	972.63	B1	963.50	7.76%	12"	118	HDPE
B3	972.93	B2	972.83	1.04%	10"	10	HDPE
B4	973.30	B3	972.93	0.98%	10"	38	HDPE
B5	973.69	B4	973.30	1.02%	10"	38	HDPE
B6	974.06	B5	973.69	0.98%	10"	38	HDPE
C2	969.00	C1	963.50	15.89%	12"	35	HDPE
C3	971.30	C2	969.20	6.99%	12"	30	HDPE
C4	973.50	C3	971.50	1.05%	12"	190	HDPE
EX AI #2081	967.09	A2	966.58	0.91%	15"	56	RCP
RF1	974.25	B3	974.00	5.00%	10"	5	HDPE
RF2	974.25	B4	974.00	3.57%	10"	7	HDPE
RF3	974.25	B5	973.69	8.00%	10"	7	HDPE
RF4	974.25	B6	974.06	2.71%	10"	7	HDPE

**STORM WATER LEGEND**  
**CB #1170**  
TOP ELEVATION = 980.66  
FIL NORTH 15" RCP = 975.46  
FIL SOUTHEAST 15" HDPE = 974.81  
**CB #1206**  
TOP ELEVATION = 981.70  
FIL SOUTH 15" RCP = 976.20  
FIL EAST = 976.70  
(UNKNOWN PIPE SIZE & TYPE)  
TCB = 980.76  
**CB #1173**  
TOP ELEVATION = 980.74  
FIL SOUTH 15" RCP = 976.04  
**CB #1115**  
TOP ELEVATION = 968.97  
FIL NORTH 15" RCP = 964.47  
FIL SOUTH 15" RCP = 963.62  
FIL EAST 15" RCP = 963.97  
TCB = 968.01  
**AI #1202**  
TOP ELEVATION = 959.95  
FIL NORTHEAST 15" RCP = 952.24  
FIL SOUTH 24" RCP = 948.65  
TCB = 958.57  
**CB #1085**  
TOP ELEVATION = 961.05  
FIL NORTH 15" RCP = 954.50  
FIL SOUTHWEST 15" RCP = 954.30  
TCB = 960.10  
**AI #2081**  
TOP ELEVATION = 973.94  
FIL EAST 15" RCP = 967.09  
**SWMH #1148**  
TOP ELEVATION = 978.52  
FIL NORTH 15" RCP = 972.38  
FIL SOUTH 15" RCP = 972.28  
FIL NORTHWEST 15" HDPE = 974.04

**SEWER LEGEND**  
**SSMH #1019**  
TOP ELEVATION = 959.22  
FIL NORTHEAST 6" PVC = 947.82  
FIL SOUTH 6" PVC = 947.67

**BENCHMARK LEGEND**  
**BM #1148**  
TOP ELEVATION RIM OF SWMH = 978.52  
DATUM = NAVD88

LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	
PROPOSED CONTOUR ELEV.	
DRAINAGE STRUCTURE	



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STATE OF MISSOURI  
JACK F. PARKER  
PROFESSIONAL ENGINEER  
PE-2017040852  
9/6/19

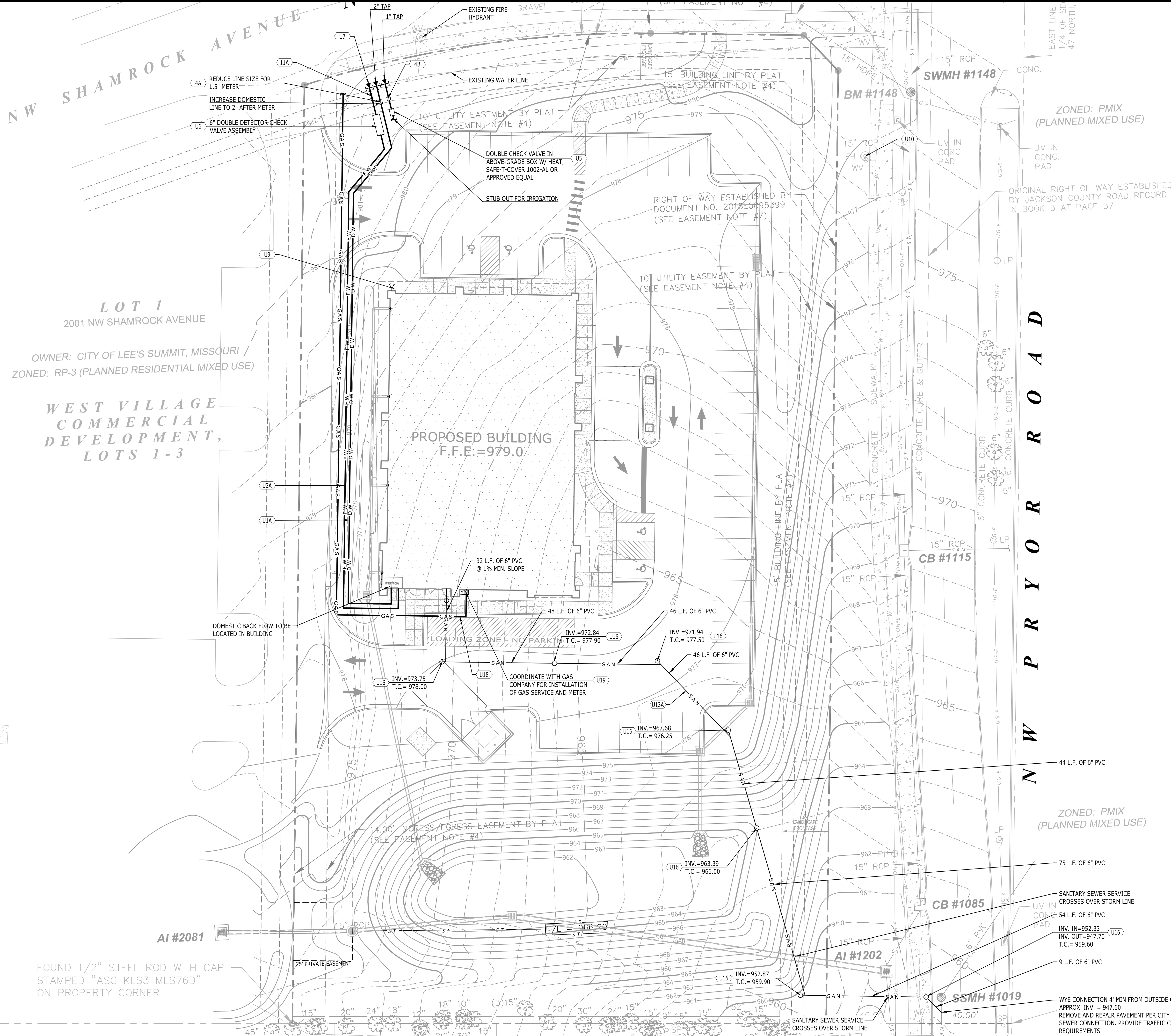
CONSTRUCTION DRAWINGS  
**DCI - LEE'S SUMMIT**  
2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

DRAWING TITLE  
**GRADING & DRAINAGE PLAN**

PROJECT NUMBER  
20180111

DRAWING NUMBER  
**C5.0**

P:\2018\20180111.dwg Construction\20180111\_C6-0\_UTIdwg-C6.0 UTILITY PLAN Sep 06, 2019 ehll

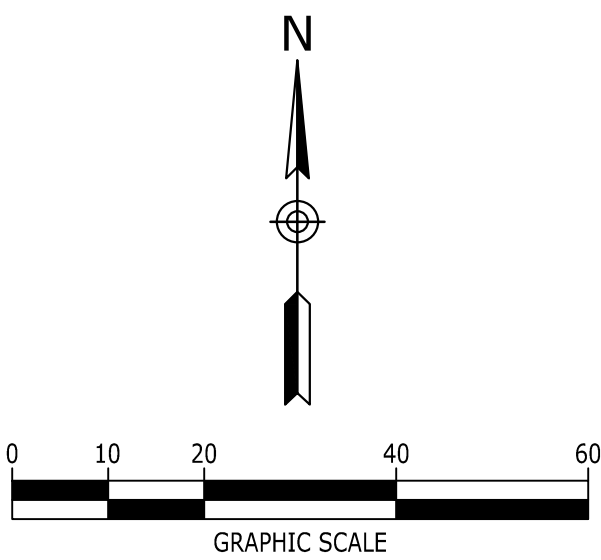


UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1A	WATER LINE (1.5")	.
U2A	FIRE LINE (6")	.
U3A	IRRIGATION LINE (1")	.
U4A	WATER METER (1.5")	.
U4B	WATER METER (1")	.
U5	DOUBLE CHECK VALVE	4 / C7.1
U6	DOUBLE DETECTOR CHECK VALVE ASSEMBLY (6")	5 / C7.2
U7	WATER BLOCKING/KICKERS	5 / C7.1
U9	FIRE DEPARTMENT CONNECTION	.
U11A	WATER VALVE (6")	.
U13A	SANITARY SEWER LINE (6")	.
U16	SANITARY SEWER CLEANOUT	8 / C7.1
U18	NATURAL GAS LINE	.
U19	NATURAL GAS METER	.

LEGEND	
DOMESTIC WATER SERVICE	W
FIRE SERVICE	F
GAS LINE	GAS
THRUST BLOCK	
CLEANOUT ON SANITARY SEWER LINE	
PROPOSED FIRE HYDRANT	
UNDERGROUND ELECTRIC	UGE

NOTE:  
REDUCED PRESSURE BACKFLOW PREVENTORS FOR THE DOMESTIC SERVICE SHALL BE LOCATED INSIDE THE BUILDINGS SEE PLUMBING PLANS.

NOTE:  
CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF THE DUCT SYSTEM AND PAD MOUNTED EQUIPMENT LOCATIONS PER NES REQUIREMENTS PRIOR TO ENERGIZING THE SITE.



**Catalyst**  
DESIGN GROUP

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CONSTRUCTION DRAWINGS  
**DCI - LEE'S SUMMIT**  
2001 NW SHAMROCK AVENUE  
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JACKSON COUNTY

DRAWING TITLE	UTILITY PLAN
PROJECT NUMBER	20180111
DRAWING NUMBER	C6.0

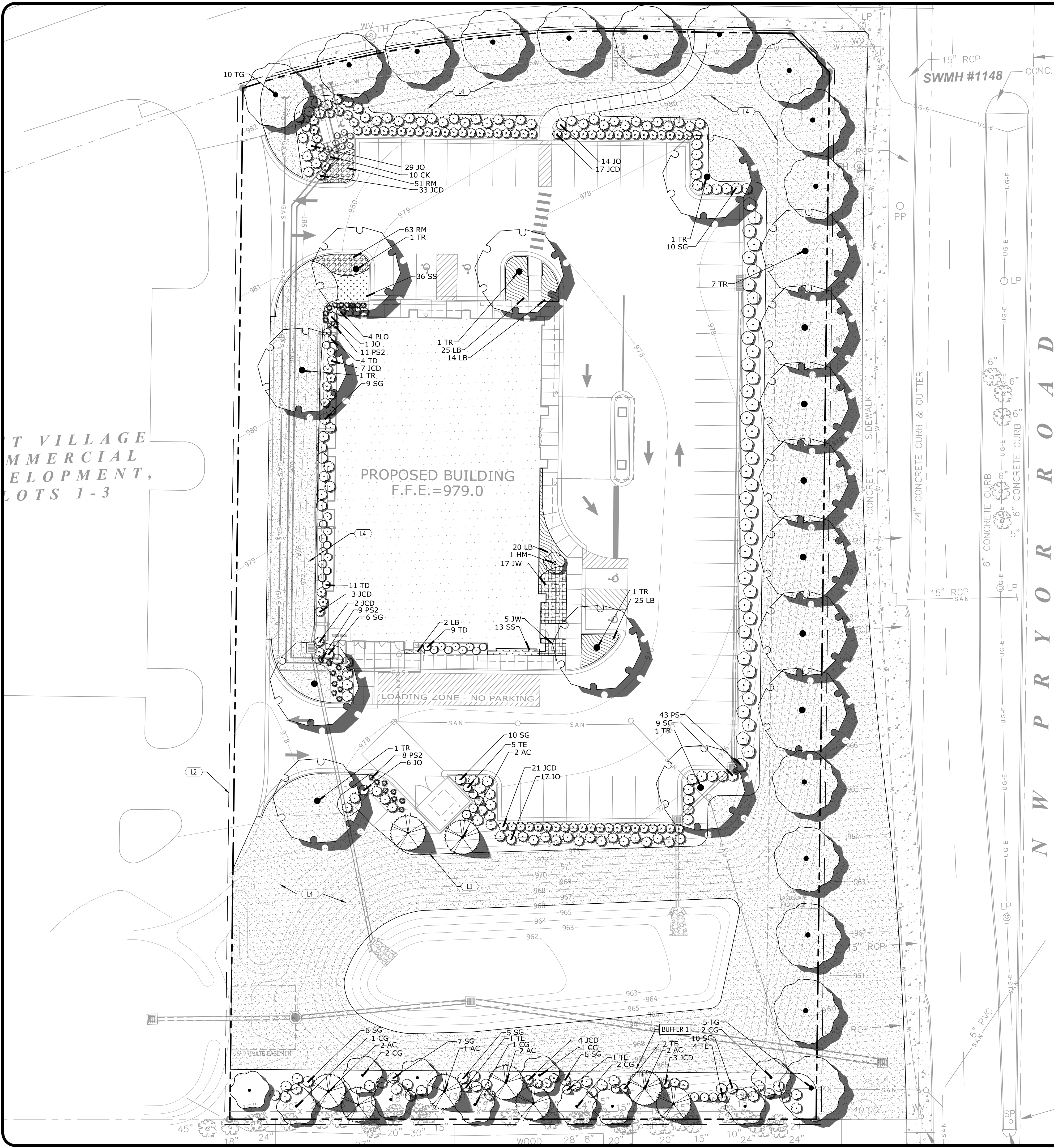








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LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	3/L2.0
L2	IRRIGATION LIMITS	-
L3	AREA TO BE SEEDED	-
L4	AREA TO BE SODDED	-
L5	AREA TO BE 4"-6" RIVER ROCK	-

LANDSCAPE DATA

OVERALL SITE ACERAGE: 2.225  
PARCEL ID: 62-240-99-04-00-0-00-000  
ZONING.: PMIX - PLANNED MIXED USE DISTRICT

SITE LANDSCAPE CALCULATIONS

OVERALL SITE REQUIREMENTS:	
REQUIRED LANDSCAPE COVERAGE (15%):	334 AC
PROVIDED LANDSCAPE COVERAGE:	97 AC
REQUIRED TREES (1 PER 5,000 SF OF LOT AREA):	20
PROVIDED TREES:	64
REQUIRED SHRUBS (1 PER 2,500 SF OF LOT AREA):	39
PROVIDED SHRUBS:	340
FRONTAGE REQUIREMENTS:	
LENGTH:	616 LF
REQUIRED FRONTAGE (STREET) TREES (1 PER 30 LF):	21
PROVIDED FRONTAGE (STREET) TREES:	22
REQUIRED FRONTAGE SHRUBS (1 PER 20 LF):	31
PROVIDED FRONTAGE SHRUBS:	93
PARKING SCREEN REQUIREMENTS:	
LENGTH:	504 LF
REQUIRED SHRUBS (12 SHRUBS / 40 LF):	152
PROVIDED SHRUBS:	177

BUFFER CALCULATIONS

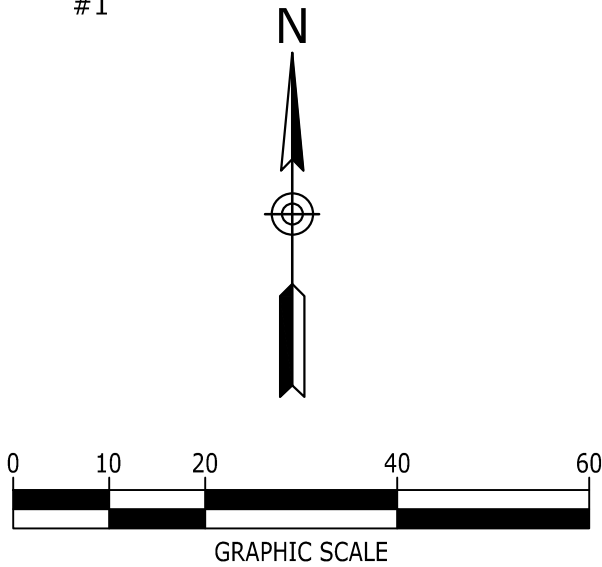
BUFFER 1 - "A" BUFFER - HIGH IMPACT:	
AREA:	8,080 SF
REQUIRED SHADE TREES (1 / 500 SF):	1616
REQUIRED ORNAMENTAL TREES (1 / 750 SF):	1077
REQUIRED EVERGREEN TREES (1 / 300 SF):	2693
REQUIRED SHRUBS (1 / 200 SF):	4040
REQUIRED FENCE:	
PROVIDED SHADE TREES:	23 (EXISTING)
PROVIDED ORNAMENTAL TREES:	11
PROVIDED EVERGREEN TREES:	27
PROVIDED SHRUBS:	41
PROVIDED 6' HIGH PRIVACY FENCE:	

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
AC	9	Abies concolor / White Fir	B&B	3"	8-10'	4-5'
CG	11	Cornus mas 'Golden Glory' / Golden Glory Cornelian Cherry	B&B	3"	8-9'	4-5'
HM	1	Heptacodium miconioides / Seven Sons Flower	B&B	3"	6-8'	6-7'
TE	13	Thuja occidentalis 'Emerald' / Emerald Arborvitae	B&B	2"	6-7'	2-3'
TR	15	Tilia americana 'Redmond' / Redmond American Linden	B&B	3"	12-14'	6-7'
TG	15	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	3"	12-14'	6-7'
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
CK	10	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#3		15-18"	15-18"
JCD	90	Juniperus communis depressa 'Aurea' / Yellow Dwarf Juniper	#3		12"	21-24"
JO	67	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	#5		24-27"	27-30"
PS2	28	Panicum virgatum 'Shenandoah' / Switch Grass	#1		15-18"	15-18"
PLO	4	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	#7		30"	36"
PS	43	Prunus laurocerasus 'Schipkaensis' / Schipka Laurel	#7		30-36"	18-24"
SG	79	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	#3		24-30"	24-30"
TD	24	Taxus x media 'Densiformis' / Dense Yew	#5		18-24"	18-24"
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	SPREAD
JW	25	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	#3			42" o.c.
LB	89	Liriope muscari 'Big Blue' / Big Blue Lilyturf	#1			30" o.c.
RM	114	Rudbeckia missouriensis / Missouri Coneflower	#1			18" o.c.
SS	49	Schizachyrium scoparium 'The Blues' / Little Bluestem	#1			24" o.c.

SEED / SOD SCHEDULE

	FESCUE SOD
--	------------



**Catalyst**  
DESIGN GROUP

5016 CENTENNIAL BLVD., SUITE 200, NASHVILLE, TN 37209  
(615) 865-2510 | WWW.CATALYST-DC.COM

DIALYSIS CLINIC, INC.  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061

STATE OF MISSOURI  
LANDSCAPE ARCHITECT  
09/06/2019

CONSTRUCTION DRAWINGS  
**DCI - LEE'S SUMMIT**  
2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

DRAWING TITLE  
**LANDSCAPE PLAN**

PROJECT NUMBER  
20180111

DRAWING NUMBER  
**L1.0**

1. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY ANDERSON SURVEY COMPANY DATED 06/03/2019. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 4" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS
7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSEY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
16. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SLUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
23. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (2) 5# 10-10-10 FERTILIZER PER 1000 SQ. FT. If azaleas, rhododendrons or PERIS are USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
24. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

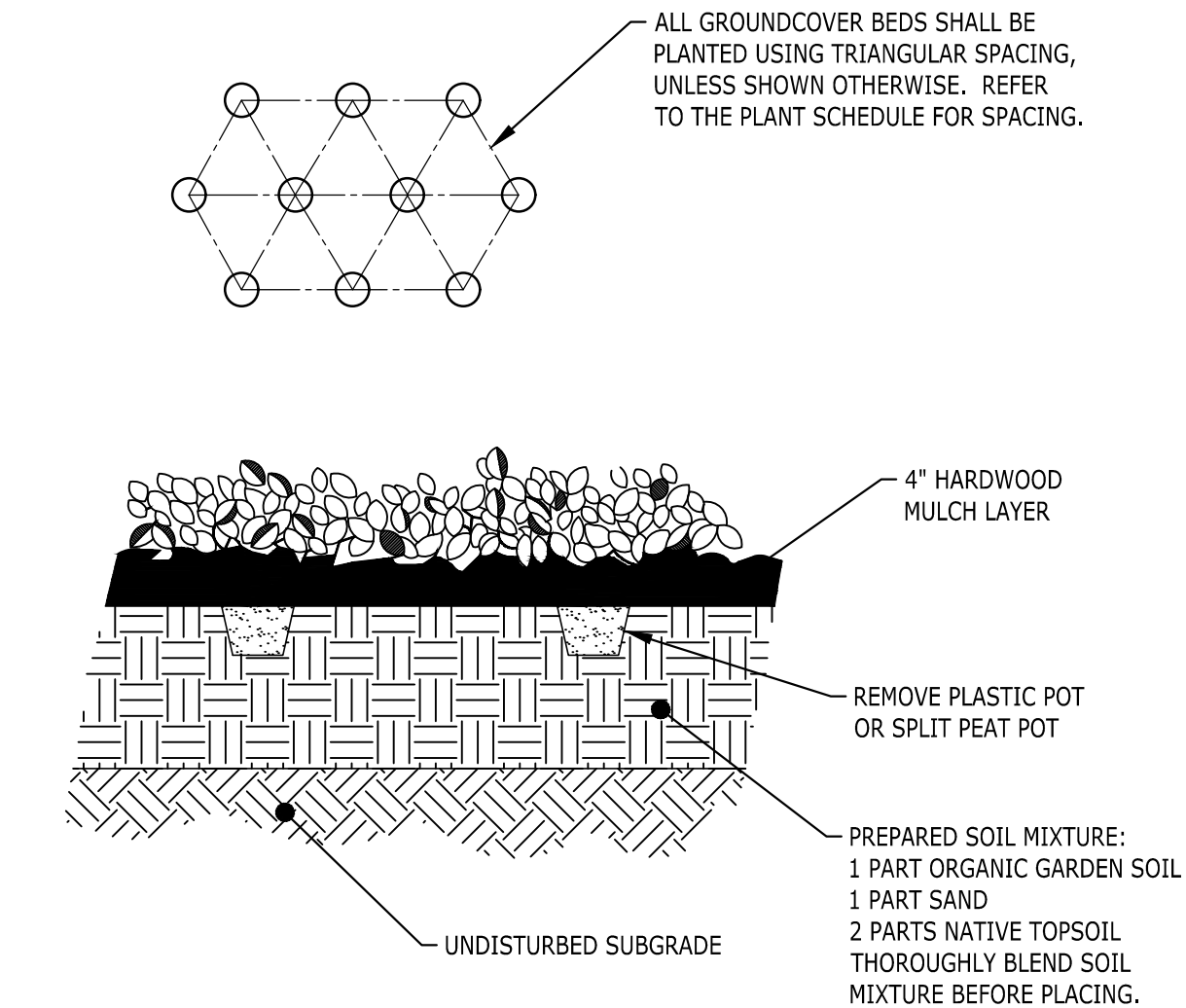
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NOT TO SCALE

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**RESERVED**  
NOT TO SCALE

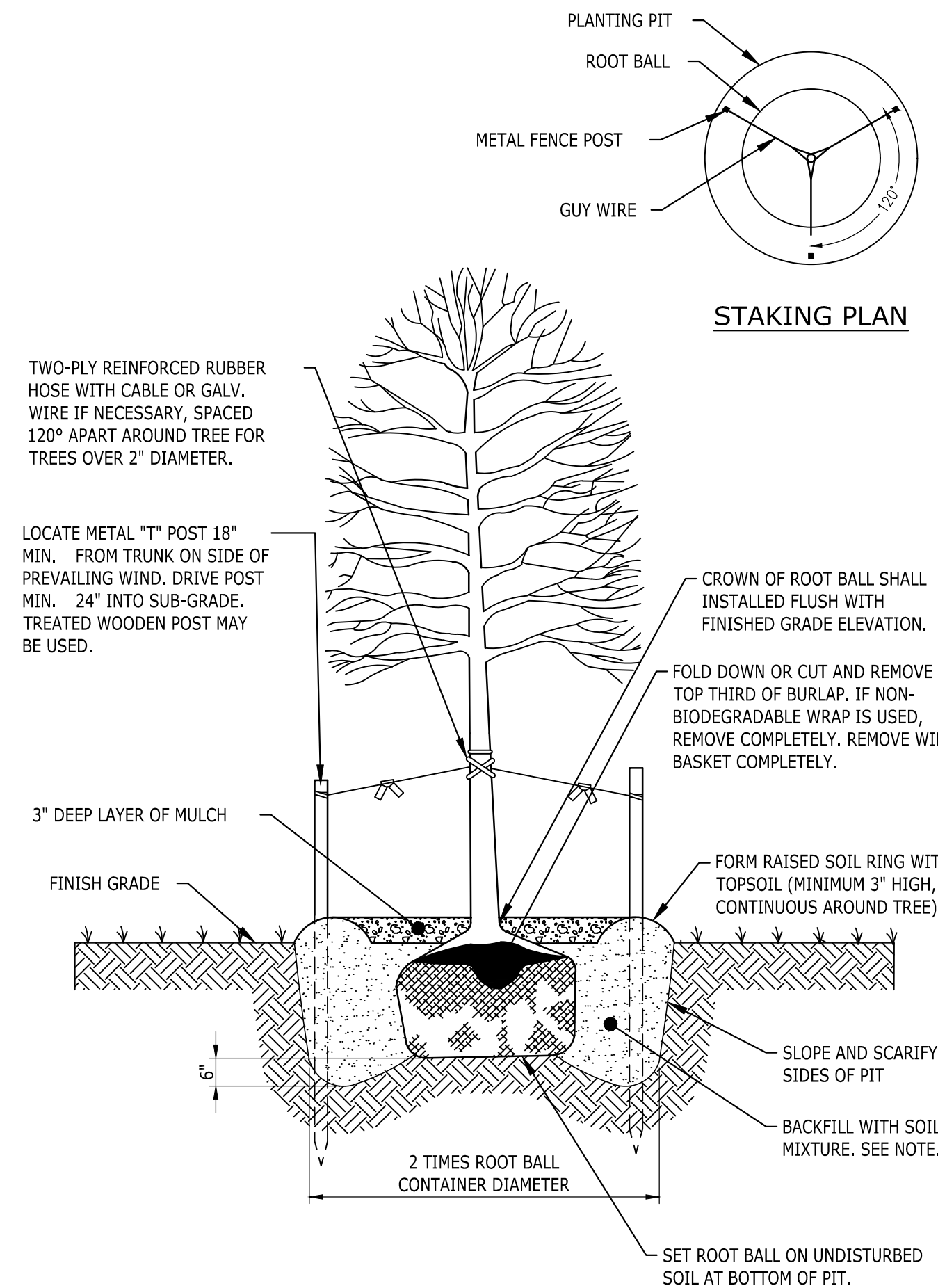
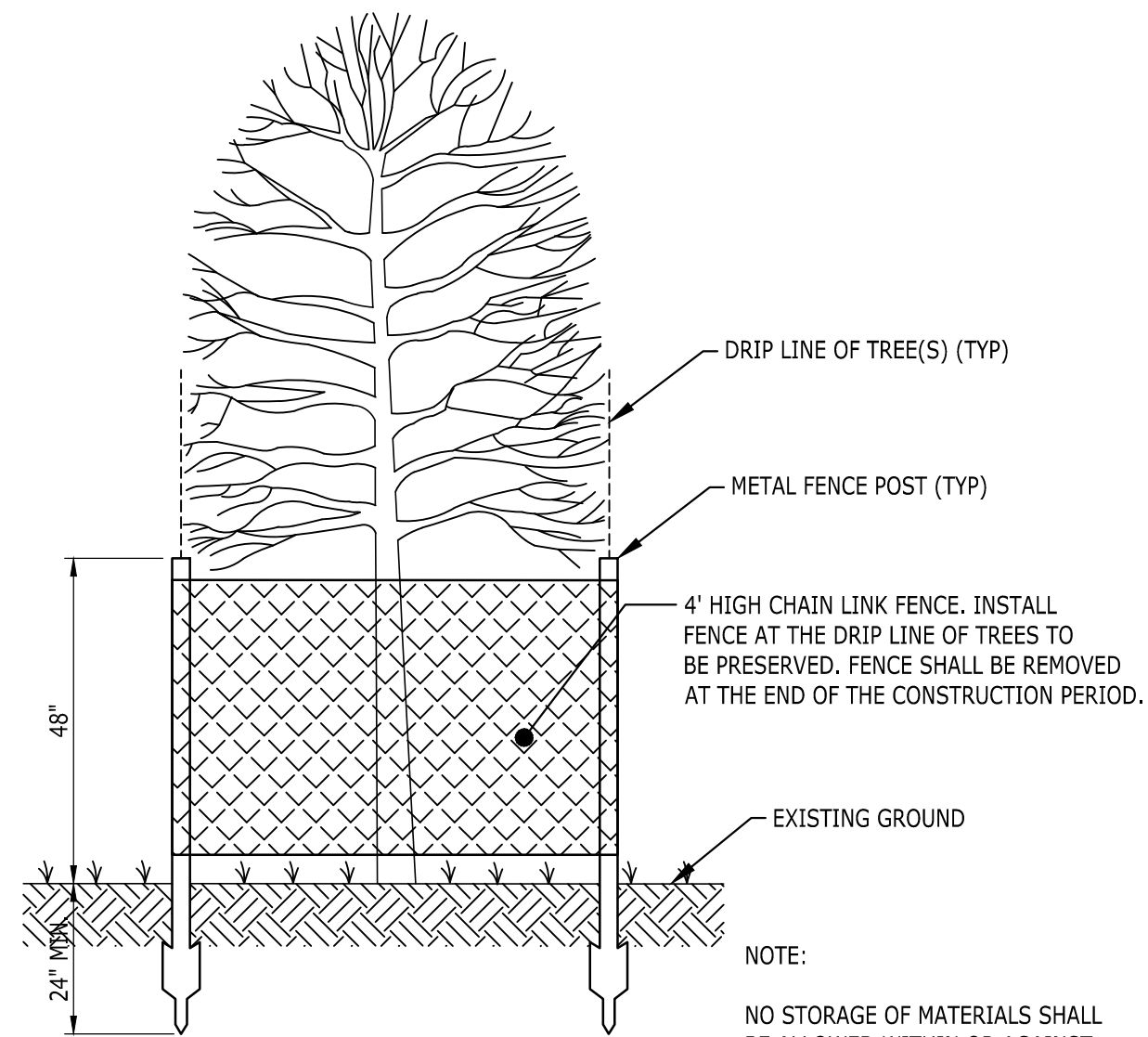
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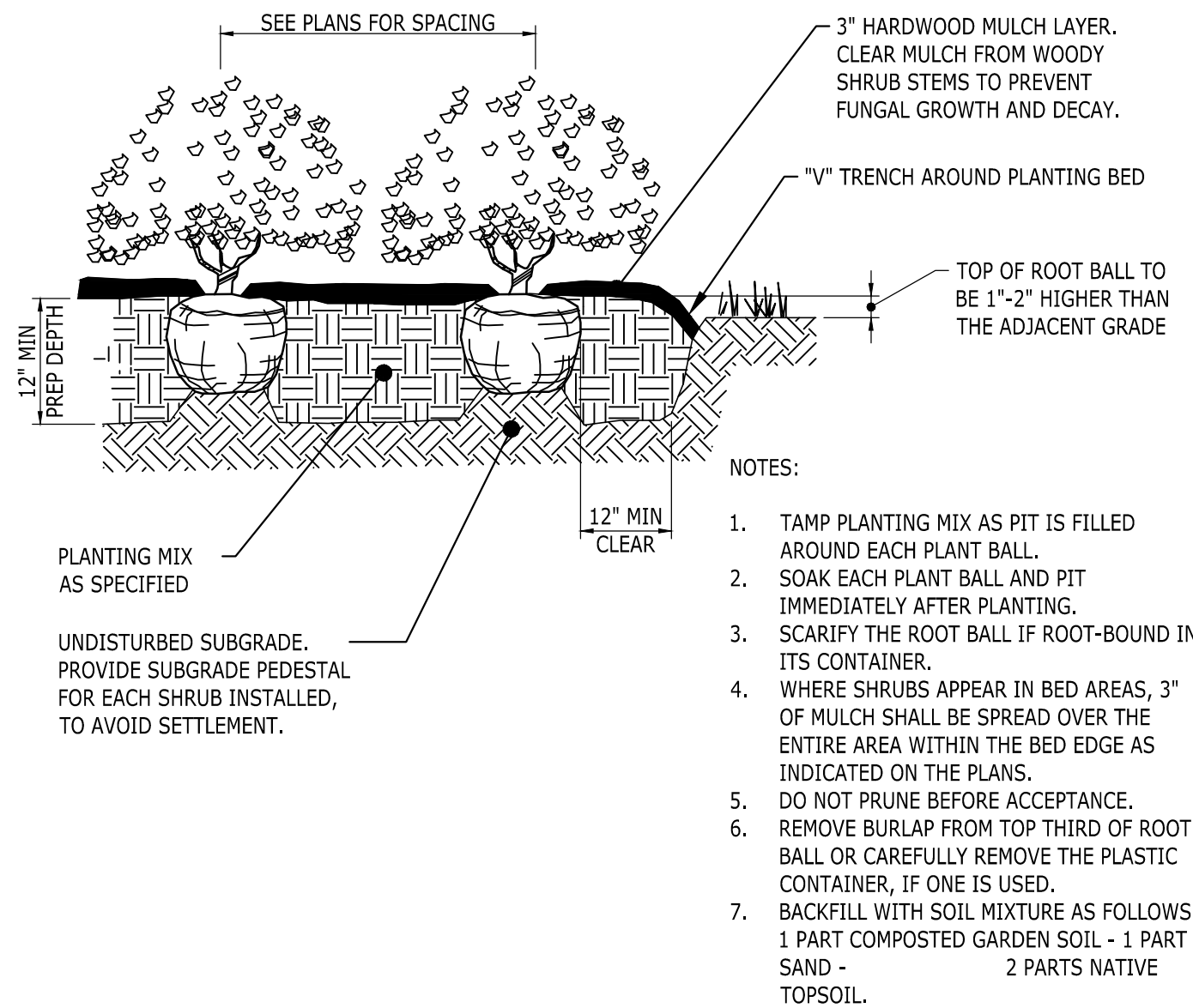
NO SCALE

## NO SCALI



1. TREE STAKING IS NOT PREFERRED BUT TO BE USED AS A LAST RESORT ON WINDY SITES. INSTALL TWO OF THE THREE STAKES AND GUY WIRES ON THE UPHILL SIDE OF THE TREE.
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
3. WATER THOROUGHLY AFTER INSTALLATION.
4. REMOVE GUY WIRES AND TIES AFTER 6 MONTHS OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
5. TREE SHALL STAND PLUMB.
6. SOIL MIX: 1 PART ORGANIC MATERIAL, 1 PART SAND AND 2 PARTS TOPSOIL.
7. REMOVE ALL TAGS, ROPE, AND CONTAINERS. APPLY TREE WRAP STARTING AT THE BOTTOM AND CONTINUE TO FIRST BRANCH.
8. CLEAN TRUNK TO HEIGHT SPECIFIED AND PAINT WOUNDS WITH APPROVED DRESSING COMPOUND.

NO SCALE



NO SCALE



**DIALYSIS CLINIC, INC.**  
1633 CHURCH STREET, STE 500  
NASHVILLE, TN 37203  
615.327.3061



CONSTRUCTION DRAWINGS

2001 NW SHAMROCK AVENUE  
LEE'S SUMMIT, MISSOURI, 64081  
JACKSON COUNTY

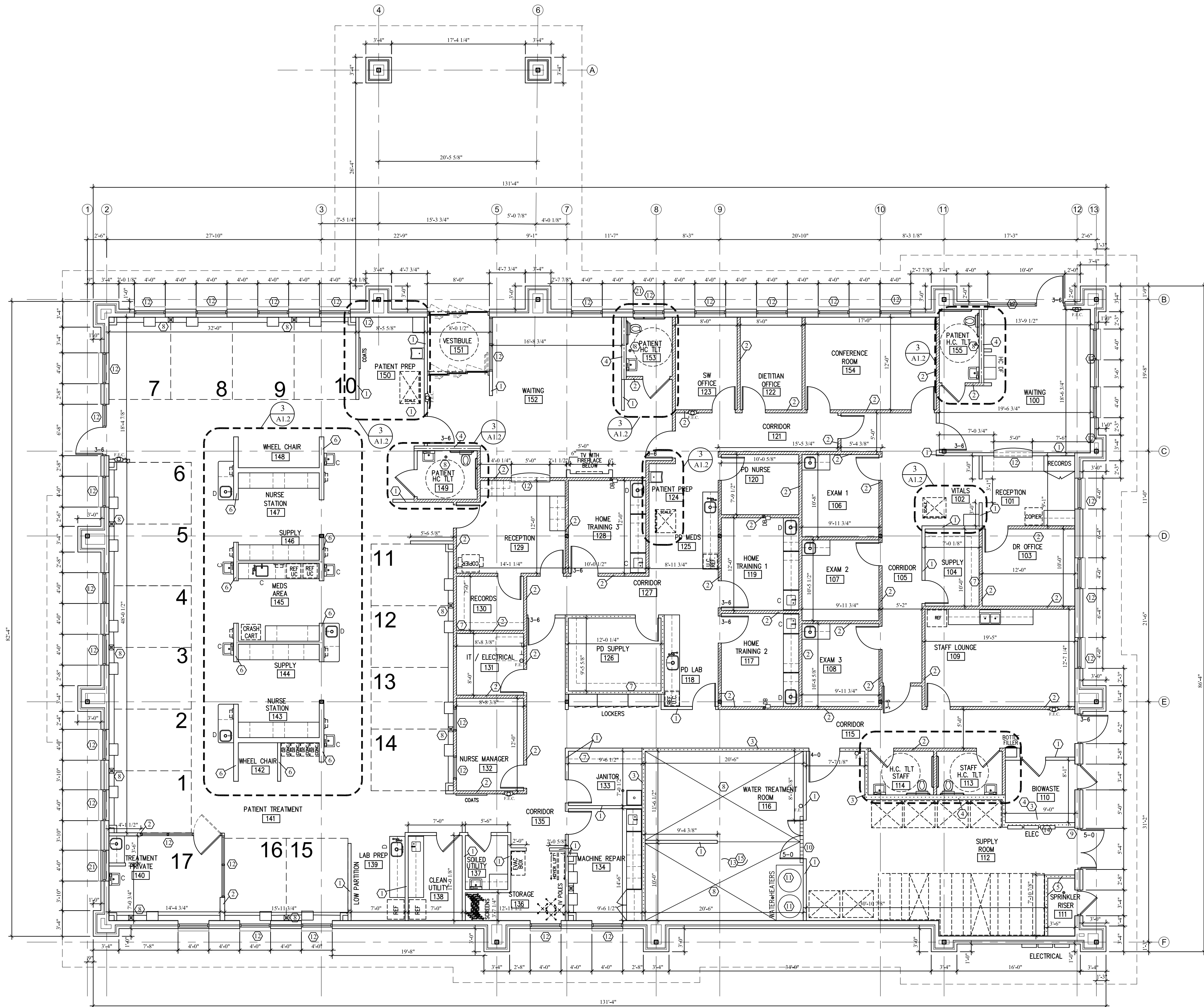
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## LANDSCAPE DETAILS

PROJECT NUMBER  
20180111

DRAWING NUMBER

## L2.0



FLOOR PLAN

SCALE: 1/8" = 1'-0" 5

- ① TYPE I PARTITION SEE DETAIL 8/G1.0 TYPE I -
- ② TYPE II PARTITION SEE DETAIL 8/G1.0 TYPE II -
- ③ TYPE III SMOKE TIGHT RATED WALL SEE DETAIL 7/G1.0 TYPE III -
- ④ TYPE IV PARTITION (6" STUD WALL) SEE DETAIL 6/G1.0 TYPE IV -
- ⑤ TYPE V ONE HOUR RATED WALL SEE DETAIL 5/G1.0 TYPE V -
- ⑥ 3'-6" HIGH 6" METAL STUD TYPE I PARTITION
- ⑦ PROVIDE WOOD SHELVING WHERE INDICATED.
- ⑧ PROVIDE FLOOR DRAINS AND FLOOR SINKS AS REQUIRED. SEE PLUMBING DRAWINGS.
- ⑨ PROVIDE STEEL THRESHOLD AT RECEIVING AND SHIPPING
- ⑩ PROVIDE TRENCH DRAIN AT DOOR OF WATER TREATMENT ROOM. SEE DETAIL 10/A7.7
- ⑪ WATER HEATER LOCATION, PROVIDE 6' x 3' x 4" CONCRETE PAD
- ⑫ SEE SHEET A8.1 FOR WINDOWS DETAILS
- ⑬ PROVIDE PURPLE BD AND PLYWOOD AROUND WALLS IN WATER TREATMENT ROOM
- ⑭ RECESSED MOUNTED ELECTRICAL PANEL LOCATION, SEE ELECTRICAL DRAWINGS
- ⑮ SLOPE WATER TREATMENT FLOOR 1/4" PER 1'-0" TOWARD DRAIN.
- ⑯ ROOF HATCH ACCESS AND LADDER LOCATION. SEE DETAIL A1.3. WALLS TO DECK
- ⑰ PROVIDE UP AND DOWN VERTICAL CHASE FOR PROCESS PIPING
- ⑱ WRAP COLUMN IN GYP. BOARD WHERE INDICATED.
- ⑲ PROVIDE THICKENED WALL FOR RO PROCESS PIPING
- ⑳ PROVIDE DRAIN IN WALL IN HOME TRAINING ROOMS
- ㉑ WINDOW TO BE SPANDREL. SEE A4.0, A4.1, A8.0, A8.1

NOTES TO SHEET

3

2

Date / Issue

JULY 25, 2019  
PLANNING REVIEW  
AUGUST 23, 2019  
PLANNING REVIEW 2

**DCi**  
LEE'S SUMMIT FACILITY  
2001 NW SHAMROCK RD  
LEE'S SUMMIT, MISSOURI 64081

**RANDALL DOVER**  
ARCHITECT  
4121 HILLSBORO ROAD • SUITE 303 • MARSHVILLE, TN 37218 • (615) 261-3306

Project Number  
18045.0

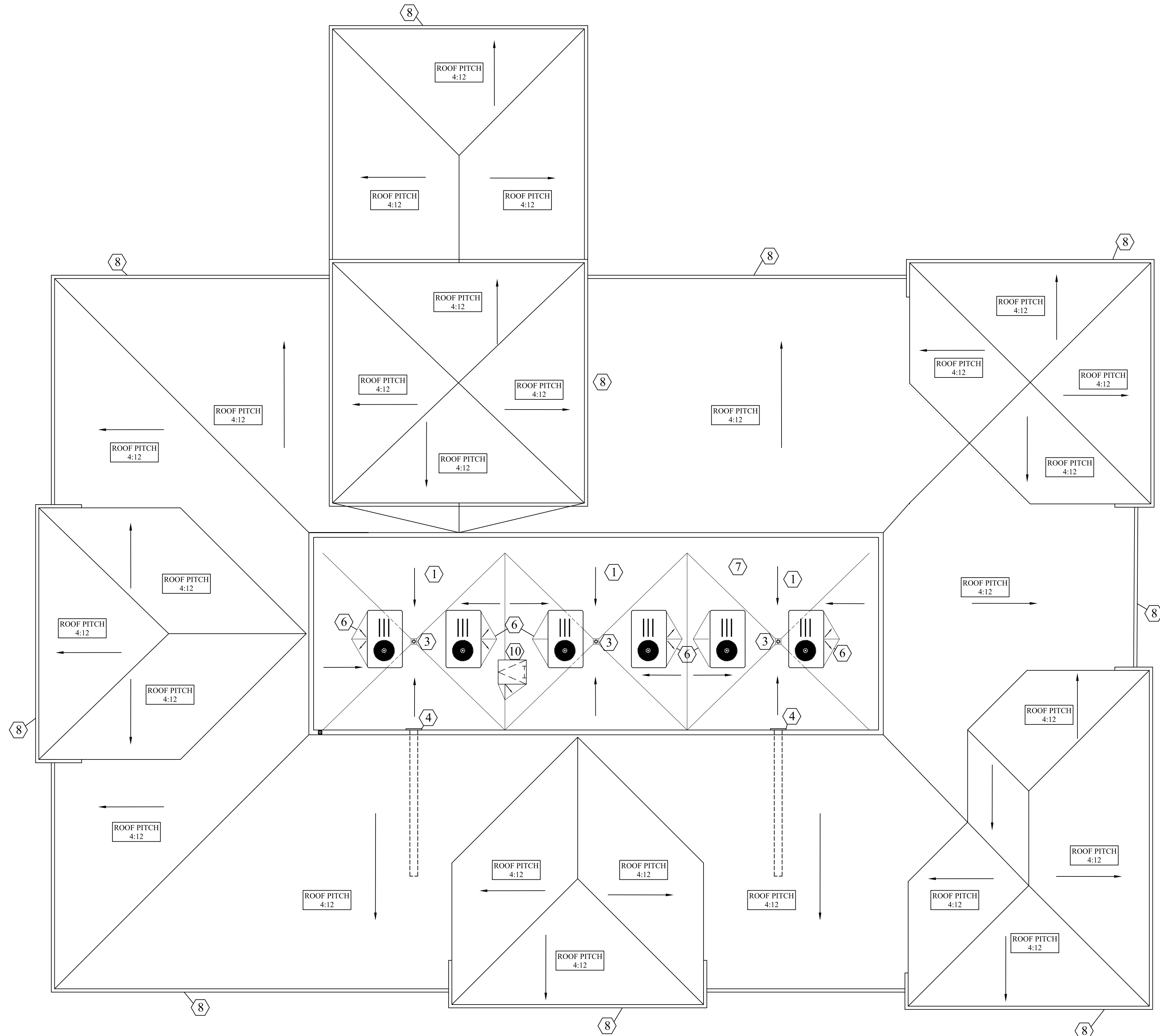
Sheet Title

FLOOR PLAN

Sheet Number

A1.0

1



FLOOR PLAN

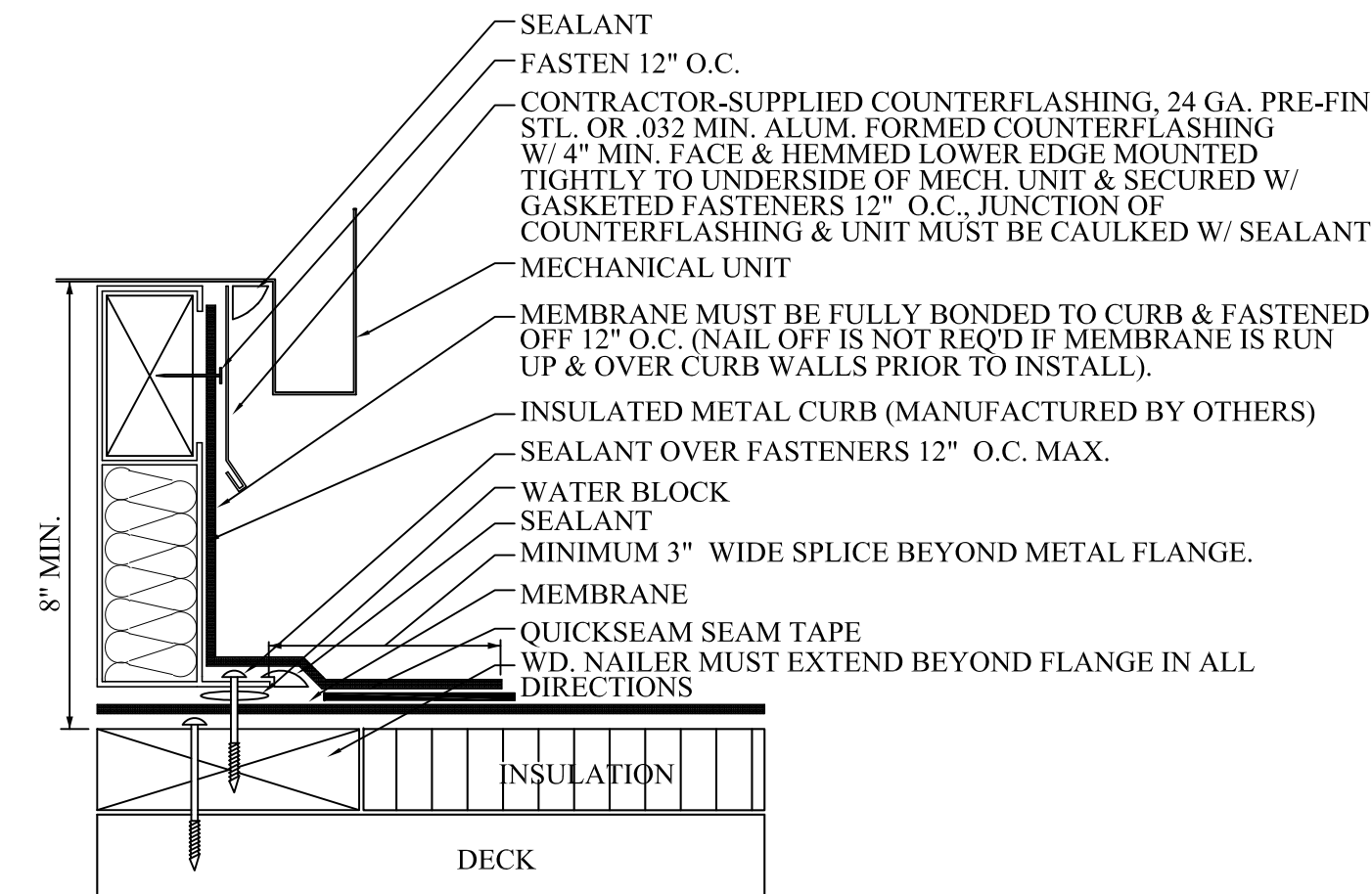
1/8" = 1'-0"

5

- ① R-30 TAPER INSULATION, SLOPE 1/4" PER FOOT (MINIMUM)
- ② — INDICATES DIRECTION OF DOWNWARD SLOPE AND FLOW OF WATER
- ③ PROVIDE ROOF DRAIN. SEE DETAIL 6/A6.1
- ④ PROVIDE 3" X 8" OVERFLOW SCUPPER. REFERENCE SHEET A6.1 FOR DETAILS
- ⑤ GENERAL CONTRACTOR IS TO DIRECT ROOFING CONTRACTOR TO INSTALL FLASHING AT ALL ROOF PENETRATIONS, AS PER ROOF MANUFACTURER'S STANDARD DETAILS
- ⑥ PROVIDE CRICKETS AT ALL CURBS AND PENETRATIONS, AS REQUIRED, TO DIVERT WATER AWAY FROM ALL OBSTRUCTIONS. SLOPE 1/2" PER FOOT.
- ⑦ REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR EXACT LOCATION OF FANS, MECHANICAL UNITS, VENTS, DOWNSPOUTS, ETC AND OTHER ROOF PENETRATIONS NOT SHOWN ON THE ROOF PLAN
- ⑧ PROVIDE 5" METAL GUTTER AND DOWNSPOUTS, TYP.
- ⑨ PROVIDE RIDGE VENT FOR PROPER VENTILATION OF ATTIC SPACE
- ⑩ ROOF ACCESS LADDER AND HATCH, SEE 1/A3.0 FOR HATCH DETAIL

NOTES TO SHEET

3

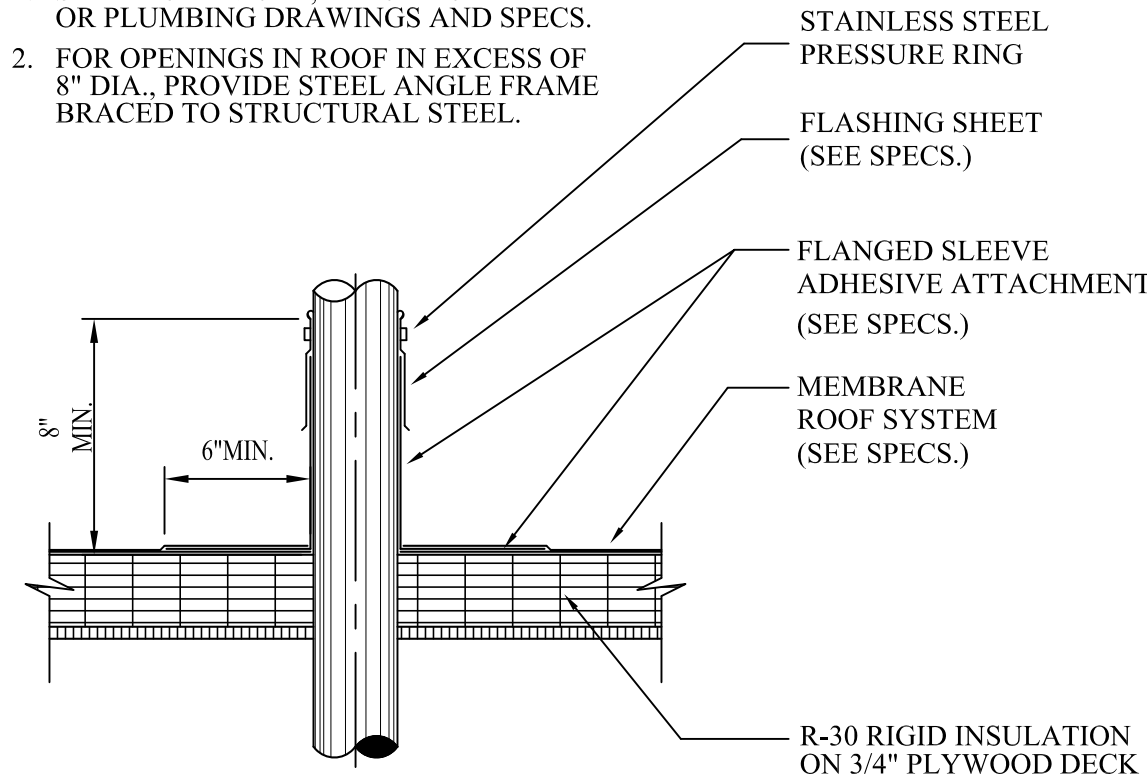


ROOF MOUNTED MECH UNIT CURB DETAIL

N.T.S. 3

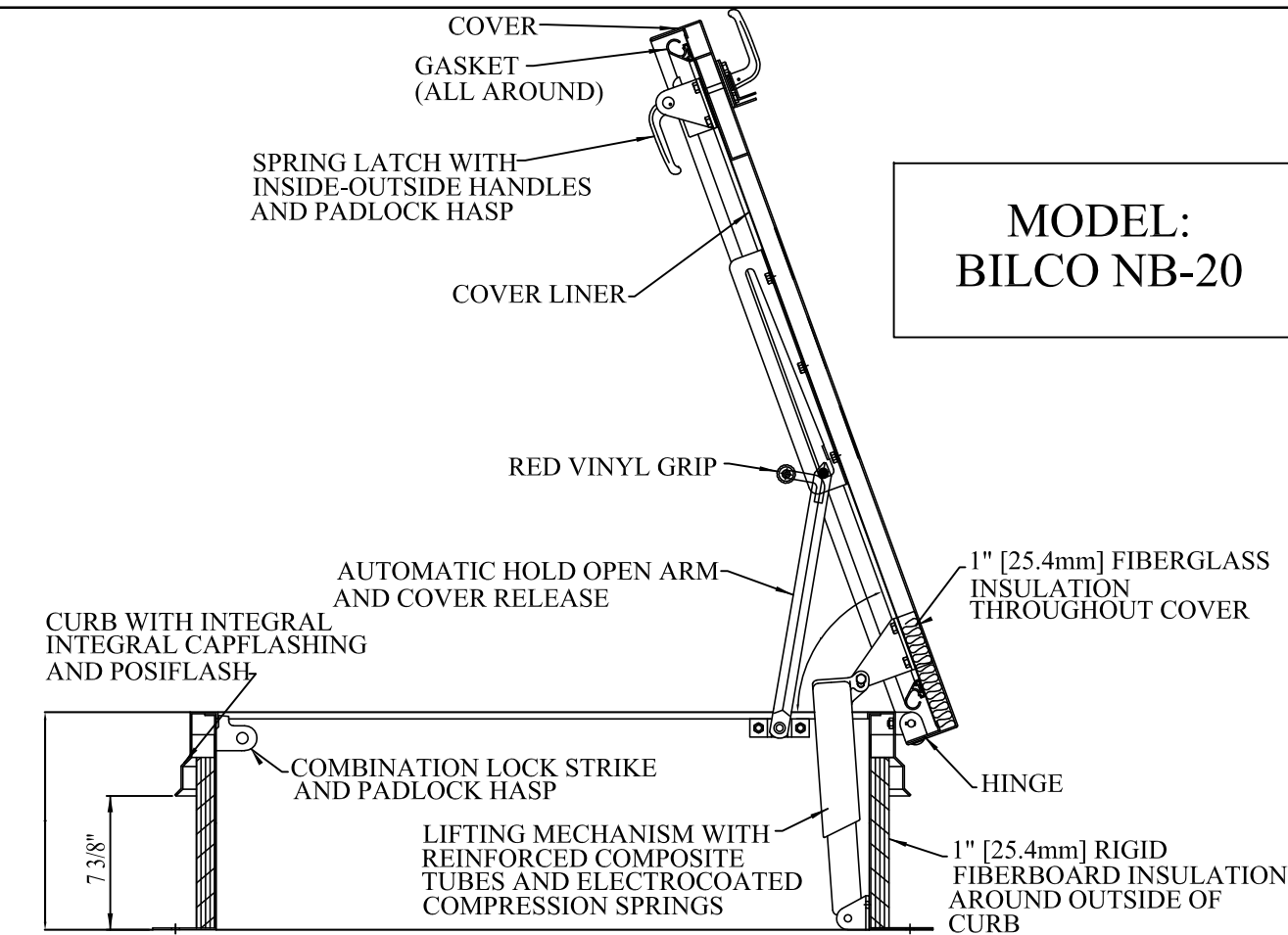
NOTES:

- 1. SEE MECHANICAL, ELECTRICAL OR PLUMBING DRAWINGS AND SPECS.
- 2. FOR OPENINGS IN ROOF IN EXCESS OF 8" DIA., PROVIDE STEEL ANGLE FRAME BRACED TO STRUCTURAL STEEL.



TUBULAR PENETRATION DETAIL

N.T.S. 2



ROOF HATCH DETAIL

N.T.S. 1

Date / Issue

JULY 25, 2019  
PLANNING REVIEW  
AUGUST 23, 2019  
PLANNING REVIEW 2

**DCi**  
LEE'S SUMMIT FACILITY  
2001 NW SHAMROCK RD  
LEE'S SUMMIT, MISSOURI 64081

**RANDALL DOVER**  
ARCHITECT  
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Project Number  
18045.0

Sheet Title  
ROOF PLAN

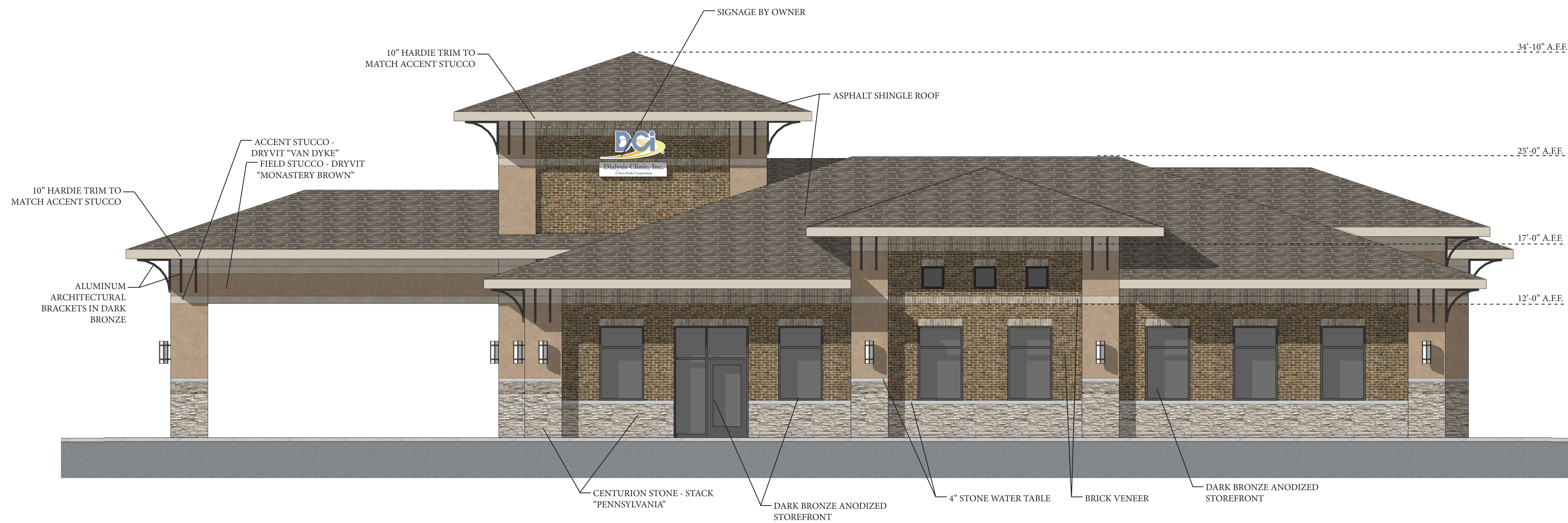
Sheet Number

A3.0



EAST ELEVATION - PRYOR ROAD

N.T.S. 3

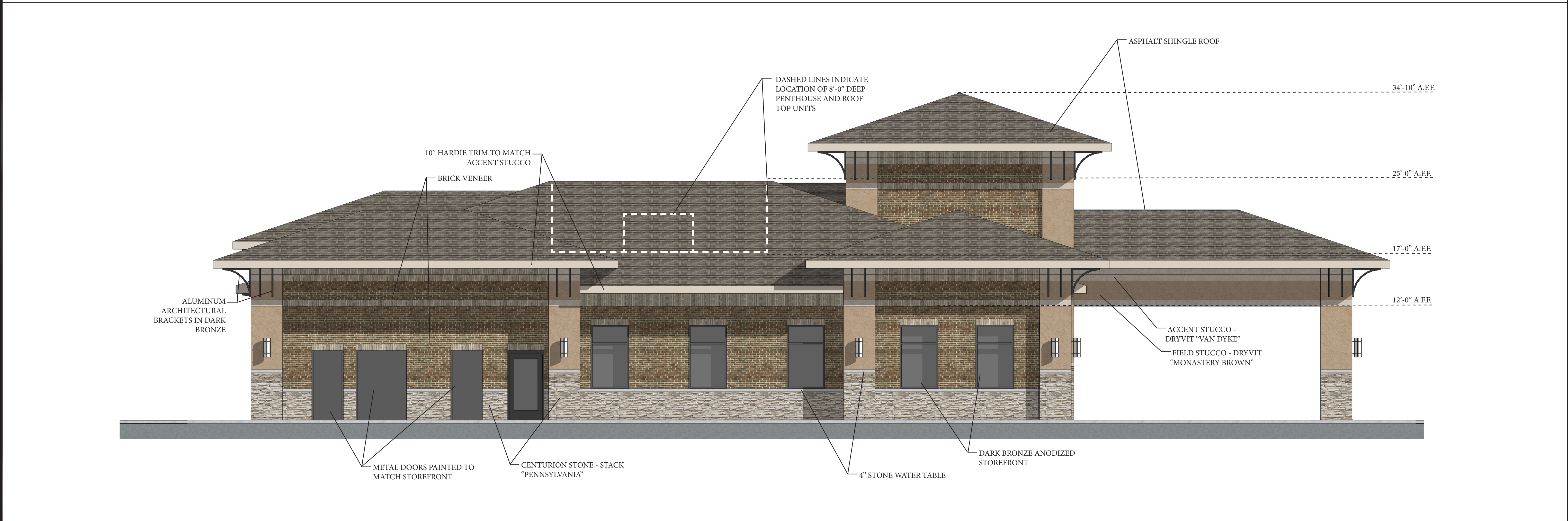


NORTH ELEVATION - SHAMROCK DRIVE

N.T.S. 1



WEST ELEVATION N.T.S. 3



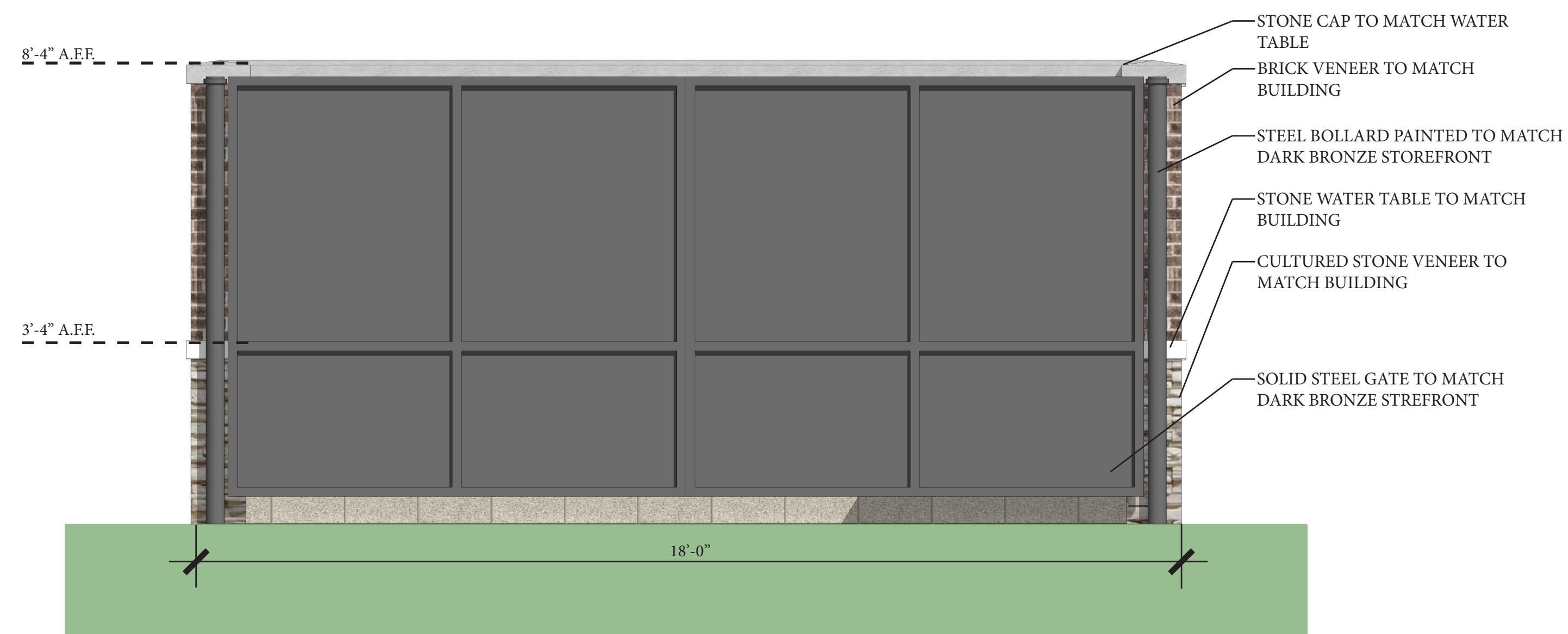
SOUTH ELEVATION N.T.S. 1

Date / Issue  
AUGUST 23, 2019  
PLANNING REVIEW

**DCI**  
LEE'S SUMMIT FACILITY  
2001 NW SHAMROCK RD  
LEE'S SUMMIT, MISSOURI 64081

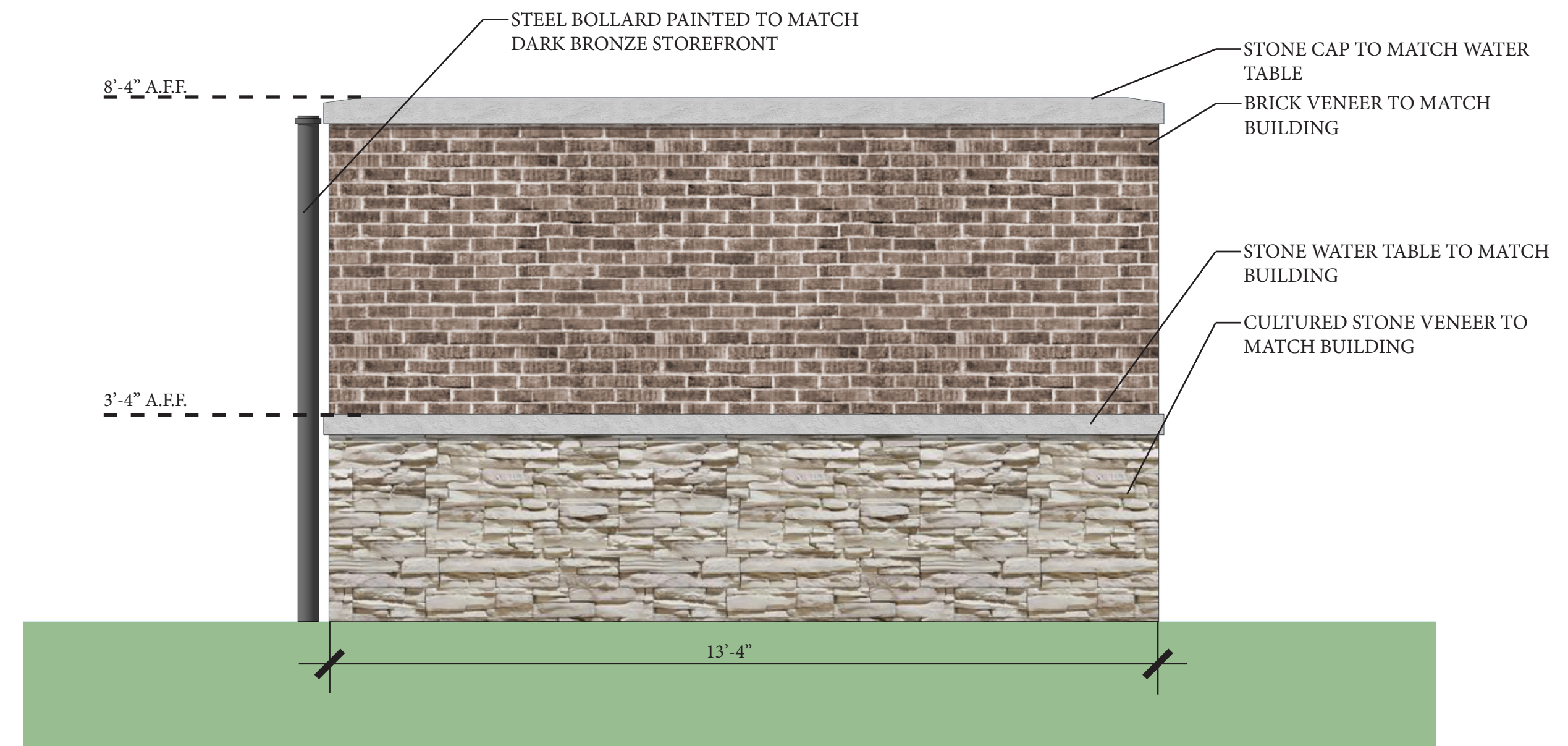
**RANDALL DOVER**  
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Project Number  
18045.0  
Sheet Title  
RENDERED  
ELEVATIONS  
Sheet Number  
A4.1



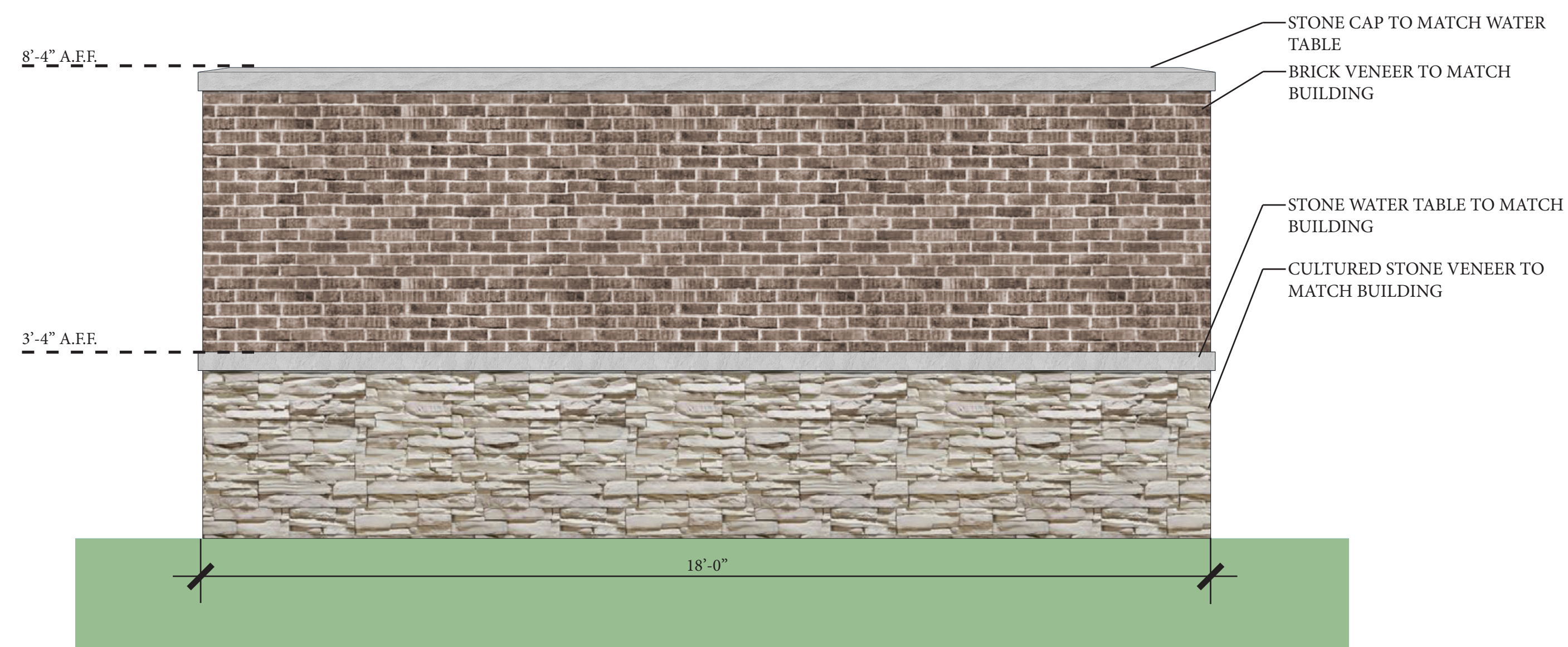
DUMPSTER ENCLOSURE TYPICAL FRONT ELEVATION

N.T.S. 11



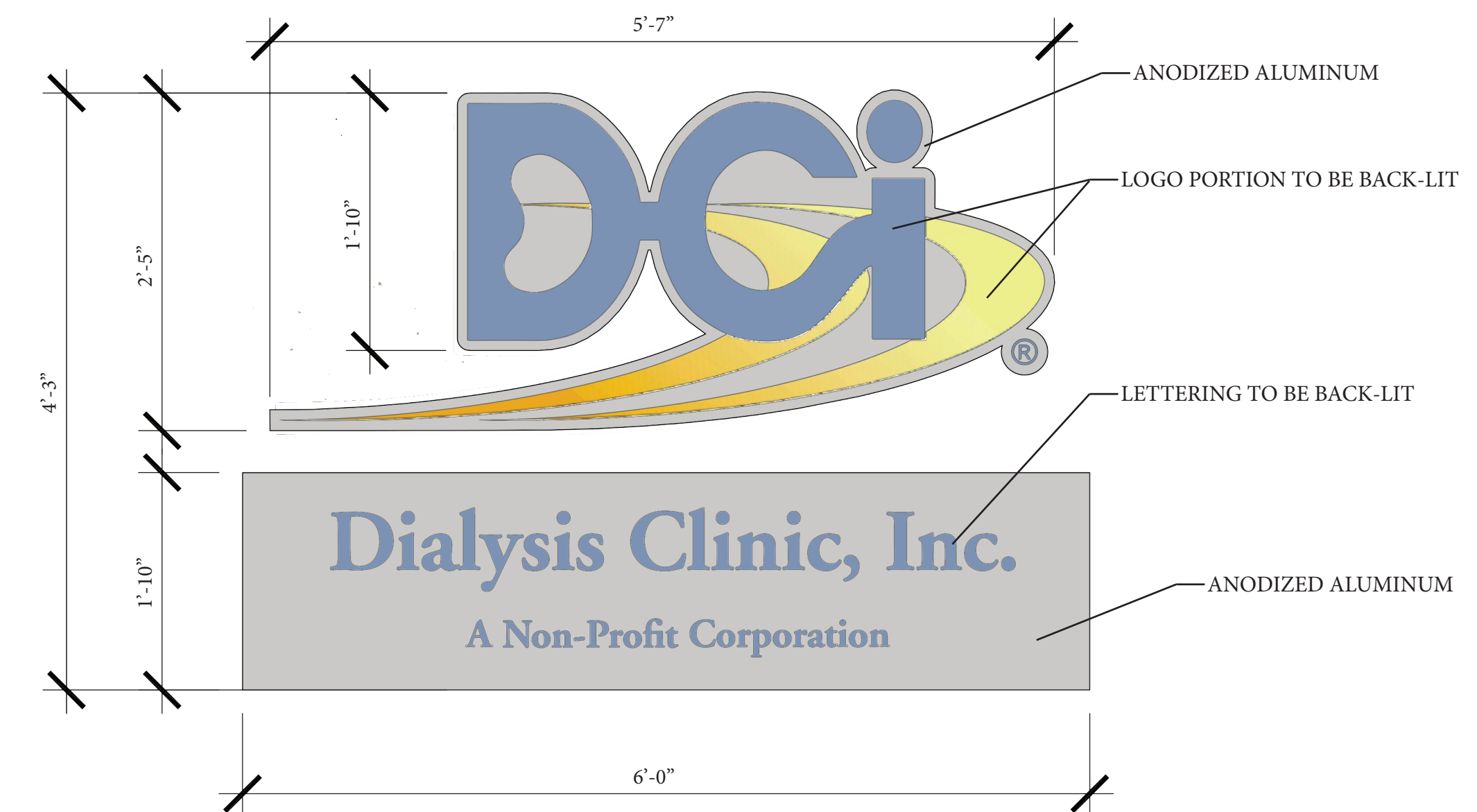
DUMPSTER ENCLOSURE TYPICAL SIDE ELEVATION

N.T.S. 3



DUMPSTER ENCLOSURE TYPICAL REAR ELEVATION

N.T.S. 9



## SIGNAGE DIMENSIONS

N.T.S. 1

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LEE'S SUMMIT, MISSOURI 64081

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Project Number  
18045.0  
Sheet Title  
RENDERED  
PERSPECTIVES  
Sheet Number  
A4.3



VIEW FROM INTERSECTION OF PRYOR AND SHAMROCK

N.T.S. 3



PERSPECTIVE VIEW FROM SOUTHEAST OF SITE

N.T.S. 9



AERIAL ISOMETRIC VIEW

N.T.S. 1

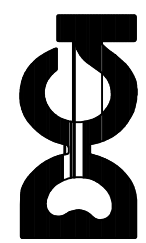
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6901 Lenox Village Dr.  
Suite 108  
Nashville, Tennessee 37211  
ph: 615.309.9926

Date / Issue

AUGUST 23, 2019  
PLANNING REVIEW



LEE'S SUMMIT FACILITY  
PRYOR ROAD & SHAMROCK AVE  
LEE'S SUMMIT, MISSOURI 64081

RANDALL DOVER  
ARCHITECT

4121 HILLSBORO ROAD • SUITE 303 • NASHVILLE, TN 37216 • (615) 261-3388



Project Number  
19-351

Sheet Title

SITE PHOTOMETRICS

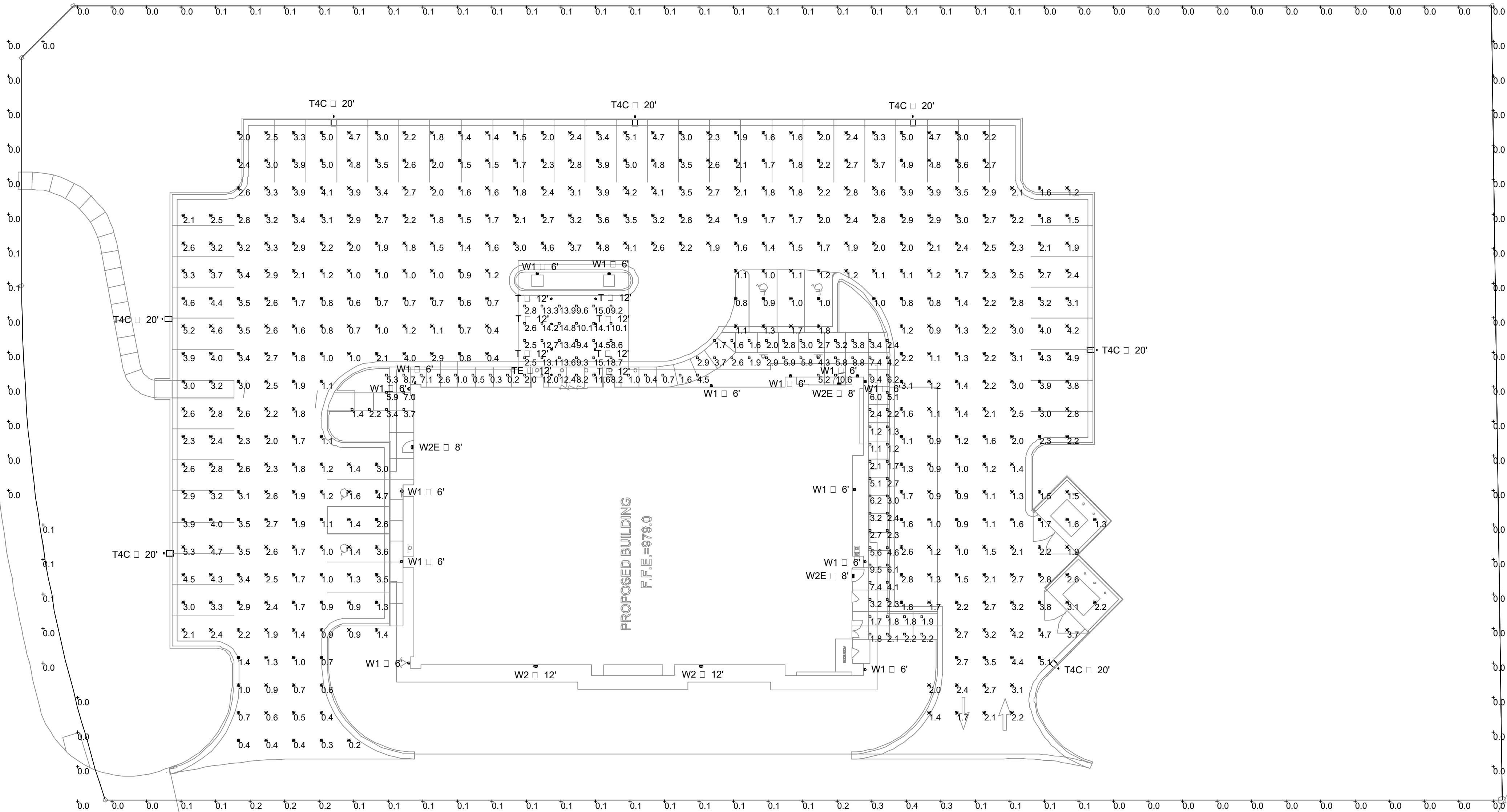
Sheet Number

E1.1

AVENUE

SHAMROCK

NW



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Wattage
	T	7	Litonia Lighting	LDN6 27/15 LW6AR LD	6IN LDN WALLWASH, 2700K, 1500LM, CLEAR, MATTE DIFFUSE REFLECTOR	17.06
	TE	1	Litonia Lighting	LDN6 27/15 LW6AR LD	6IN LDN WALLWASH, 2700K, 1500LM, CLEAR, MATTE DIFFUSE REFLECTOR	17.06
	W1	14	VISA LIGHTING	OW1297	WALL MOUNT RECTANGULAR 48" VERTICAL	38
	W2E	3	Litonia Lighting	DSXW1 LED 10C 350 40K ASYDF MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE ASYDF OPTIC, 4000K, □ 350mA	13.3
	T4	7	Litonia Lighting	DSX1 LED P3 40K T4M MVOLT HS	DSX1 LED P3 40K T4M MVOLT with outside shield	102
	W2	2	Litonia Lighting	DSXW1 LED 10C 350 40K ASYDF MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE ASYDF OPTIC, 4000K, □ 350mA	13.3

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking/Drive		2.3 fc	5.3 fc	0.2 fc	26.5:1	11.5:1
Property Line		0.1 fc	0.4 fc	0.0 fc	N/A	N/A
Sidewalk/Courtyard		5.4 fc	15.1 fc	0.2 fc	75.5:1	27.0:1

#### GENERAL NOTES:

- SITE POLE LIGHTING SHALL 20FT.
- CONTRACTOR SHALL REFER TO ALL LOCAL CODES AND ORDINANCES FOR ANY ADDITIONAL SITE LIGHTING REQUIREMENTS.

#### SITE PHOTOMETRICS

10' 0' 20' 40'



**PL2019-246 – PRELIMINARY DEVELOPMENT PLAN**  
**DCI Lee's Summit, 2001 NW Shamrock Ave**  
**Dialysis Clinic, Inc., applicant**



## Packet Information

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**File #:** BILL NO. 19-244, **Version:** 2

---

An Ordinance approving a rezoning from Districts AG, RP-1, CP-2, PI and PMIX to AZ for approximately 553.633 acres located at 2751 NE Douglas St, Lee's Summit Airport in accordance with the provisions of Chapter 33, The Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri.

(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

Proposed City Council Motion:

I move for adoption of an Ordinance approving a rezoning from districts AG, RP-1, CP-2, PI and PMIX to AZ for approximately 553.633 acres located at 2751 NE Douglas ST, Lee's Summit Airport in accordance with the provisions of Chapter 33, The Unified Development Ordinance of Lee's Summit Code of Ordinances, for the City of Lee's Summit, Missouri

Bob Hartnett, PLA, Deputy Director of Public Works/Administration

Josh Johnson, AICP, Assistant Director of Plan Services

## BILL NO. 19-244

---

AN ORDINANCE APPROVING A REZONING FROM DISTRICTS AG, RP-1, CP-2, PI AND PMIX TO AZ FOR APPROXIMATELY 553.633 ACRES LOCATED AT 2751 NE DOUGLAS ST, LEE'S SUMMIT AIRPORT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-255 submitted by City of Lee's Summit, MO, requesting approval of a rezoning from AG, RP-1, CP-2, PI and PMIX TO AZ on land located at 2751 NE Douglas ST was referred to the Planning Commission to hold a public hearing; and

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning by the City following public hearings by the Planning Commission and City Council, and

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the rezoning on October 10, 2019 and rendered a report to the City Council recommending that the rezoning be approved; and

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 5, 2019, and rendered a decision to approve the rezoning for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning is hereby approved on the following described property:

*DESCRIPTION: ALL OF LOT 2, CROSSROADS OF LEE'S SUMMIT, LOTS 1 AND 2; ALL OF LOTS 1 AND 2, HAGAN HEIGHTS; ALL OF TRACT A, LAKEWOOD BUSINESS CENTER ON I-470 PLAT N; ALL OF LOT 45B5, LAKEWOOD BUSINESS CENTER ON I-470, LOTS 45B5, 45B6 AND 45B7; ALL OF LOT 10B, REPLAT NO. 1 OF LAKEWOOD BUSINESS CENTER ON I-470 PLAT G; ALL OF LOT 45B3-1, REPLAT NO. 1 OF LAKEWOOD BUSINESS CENTER ON I-470 PLAT H; THAT PART OF LOTS 4, 5, 6, 7, AND 12, FIELDS FARM; AND THAT PART OF SECTIONS 17, 18, 19, 20, 29, AND 30, ALL IN TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING MORE PARTICULARLY DESCRIBED AS FOLLOW: COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 18; THENCE SOUTH 87°-20'-26" EAST ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 667.98 FEET; THENCE NORTH 1°-55'-36" EAST, A DISTANCE OF 20.00 FEET TO THE NORTH RIGHT OF WAY LINE OF OLD STROTHER ROAD, AS NOW ESTABLISHED, AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING NORTH 1°-55'-36" EAST, A DISTANCE OF 793.16 FEET TO THE SOUTH RIGHT OF WAY LINE OF STROTHER ROAD AS ESTABLISHED BY DOCUMENT NO. 2014E0018251; THENCE ALONG A CURVE TO THE RIGHT, THIS AND THE FOLLOWING COURSES ALONG SAID SOUTH RIGHT OF WAY LINE OF STROTHER ROAD, HAVING AN INITIAL TANGENT BEARING OF SOUTH 83°-27'-02" EAST, A RADIUS OF 1450.00 FEET, A CENTRAL ANGLE OF 12°-21'-37", AND AN ARC LENGTH OF 312.81 FEET; THENCE SOUTH 71°-05'-25" EAST, A DISTANCE OF 186.12 FEET; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1550.00 FEET, A*

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CENTRAL ANGLE OF 33°-59'-41", AND AN ARC LENGTH OF 919.65 FEET; THENCE NORTH 74°-54'-54" EAST, A DISTANCE OF 100.00 FEET; THENCE ALONG A CURVE TO THE RIGHT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1450.00 FEET, A CENTRAL ANGLE OF 35°-40'-59", AND AN ARC LENGTH OF 903.04 FEET; THENCE, DEPARTING SAID SOUTH RIGHT OF WAY LINE, SOUTH 11°-50'-08" WEST, A DISTANCE OF 655.09 FEET; THENCE SOUTH 88°-21'-43" EAST, A DISTANCE OF 746.97 FEET TO THE WEST RIGHT OF WAY LINE OF HAGAN ROAD AS ESTABLISHED BY INSTRUMENT NO. 2014E0018251; THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH 2°-18'-55" EAST, A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 14°-38'-14", AND AN ARC LENGTH OF 97.10 FEET TO THE NORTH LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE SOUTH 88°-21'-47" EAST ALONG SAID NORTH LINE, A DISTANCE OF 235.63 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE SOUTH 2°-03'-41" WEST ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 20, A DISTANCE OF 269.08 FEET; THENCE NORTH 30°-56'-03" WEST, A DISTANCE OF 36.66 FEET TO THE WEST RIGHT OF WAY LINE OF HAGAN ROAD, AS ESTABLISHED BY JACKSON COUNTY ROAD RECORD BOOK 5, PAGE 489; THENCE SOUTH 2°-03'-20" WEST ALONG LAST SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 2412.44 FEET TO THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE SOUTH 88°-22'-06" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 19.71 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 20; THENCE SOUTH 1°-54'-01" WEST ALONG SAID EAST LINE, A DISTANCE OF 647.65 FEET TO THE NORTHWEST CORNER OF TRACT A, LAKEWOOD BUSINESS CENTER ON I-470 PLAT N; THENCE SOUTH 66°-41'-55" EAST ALONG THE NORTHEAST LINE OF SAID TRACT A, A DISTANCE OF 1482.21 FEET (PLAT=1482.34 FEET) TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 1°-58'-05" WEST ALONG THE EAST LINE OF SAID TRACT A, A DISTANCE OF 5.13 FEET TO THE NORTHWEST CORNER OF LOT 10A, REPLAT NO. 1 OF LAKEWOOD BUSINESS CENTER ON I-470 PLAT G; THENCE SOUTH 23°-10'-00" WEST ALONG THE EAST LINE OF SAID TRACT A AND THE WEST LINE OF SAID LOT 10A, A DISTANCE OF 25.86 FEET (PLAT=26.43 FEET) TO THE SOUTHWEST CORNER OF SAID LOT 10A; THENCE SOUTH 66°-39'-26" EAST ALONG THE SOUTH LINE OF SAID LOT 10A, A DISTANCE OF 847.58 FEET (PLAT=847.49 FEET) TO THE SOUTHEAST CORNER THEREOF, SAID POINT BEING ON THE WEST RIGHT OF WAY LINE OF INDEPENDENCE AVENUE AS ESTABLISHED BY DOCUMENT NO. I-884792 IN BOOK I-1868 AT PAGE 812; THENCE SOUTH 10°-26'-35" WEST ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 586.68 FEET; THENCE, CONTINUING ALONG SAID RIGHT OF WAY LINE AND THE EASTERLY LINE OF LOT 45B5, LAKEWOOD BUSINESS CENTER ON I-470, LOTS 45B5, 45B6 AND 45B7, ALONG A CURVE TO THE RIGHT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 220.00 FEET, A CENTRAL ANGLE OF 80°-49'-00", AND AN ARC LENGTH OF 310.31 FEET; THENCE NORTH 89°-16'-45" WEST CONTINUING ALONG SAID RIGHT OF WAY LINE AND THE SOUTH LINE OF SAID LOT 45B5, A DISTANCE OF 12.88 FEET (PLAT=11.53 FEET) TO THE SOUTHERNMOST CORNER OF SAID LOT 45B5; THENCE NORTH 23°-30'-30" EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOT 45B5, A DISTANCE OF 70.98 FEET (PLAT=70.85 FEET) TO THE EASTERLY CORNER OF THE SOUTHWEST LINE THEREOF; THENCE NORTH 66°-29'-41" WEST ALONG THE SOUTHWEST LINE OF SAID LOT 45B5, A DISTANCE OF 346.79 FEET TO THE NORTHWEST CORNER OF LOT 45B6; THENCE NORTH 66°-52'-36" WEST, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT

## BILL NO. 19-244

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45B5, A DISTANCE OF 243.77 FEET (PLAT=244.37 FEET) TO THE SOUTHWEST CORNER OF SAID LOT 45B5 AND THE EAST LINE OF LOT 45B3-3, REPLAT NO. 1 OF LAKEWOOD BUSINESS CENTER ON I-470 PLAT H; THENCE NORTH  $1^{\circ}51'13''$  EAST ALONG THE EAST LINE OF 45B3-3, A DISTANCE OF 0.57 FEET TO THE NORTHEAST CORNER OF SAID LOT 45B3-3; THENCE NORTH  $66^{\circ}41'28''$  WEST ALONG THE SOUTHWEST LINE OF SAID LOT 45B3-1, A DISTANCE OF 1418.82 FEET (PLAT=1418.71 FEET) TO THE SOUTHWEST CORNER THEREOF AND THE EAST LINE OF LOT 2, CROSSROADS OF LEE'S SUMMIT, LOTS 1 AND 2; THENCE SOUTH  $1^{\circ}54'01''$  WEST, THIS AND THE FOLLOWING COURSES ALONG THE EASTERLY LINES OF SAID LOT 2, A DISTANCE OF 1170.00 FEET; THENCE SOUTH  $1^{\circ}36'04''$  WEST, A DISTANCE OF 80.36 FEET (PLAT=80.21 FEET); THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH  $51^{\circ}00'28''$  WEST, A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF  $10^{\circ}21'40''$ , AND AN ARC LENGTH OF 59.68 FEET (PLAT=59.75 FEET); THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH  $49^{\circ}29'14''$  WEST, A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF  $46^{\circ}25'53''$ , AND AN ARC LENGTH OF 222.86 FEET; THENCE SOUTH  $84^{\circ}05'34''$  WEST, A DISTANCE OF 200.00 FEET; THENCE ALONG A CURVE TO THE RIGHT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 997.62 FEET (PLAT=1000.00 FEET), A CENTRAL ANGLE OF  $12^{\circ}27'57''$ , AND AN ARC LENGTH OF 217.05 FEET (PLAT=217.14 FEET); THENCE SOUTH  $16^{\circ}39'09''$  WEST, A DISTANCE OF 192.99 FEET; THENCE SOUTH  $8^{\circ}10'52''$  WEST, A DISTANCE OF 80.33 FEET; THENCE SOUTH  $11^{\circ}58'56''$  EAST, A DISTANCE OF 161.93 FEET; THENCE SOUTH  $34^{\circ}27'36''$  EAST, A DISTANCE OF 38.50 FEET; THENCE SOUTH  $13^{\circ}00'28''$  WEST, A DISTANCE OF 128.94 FEET; THENCE SOUTH  $8^{\circ}15'23''$  EAST, A DISTANCE OF 216.99 FEET; THENCE SOUTH  $6^{\circ}27'45''$  WEST, A DISTANCE OF 132.45 FEET; THENCE SOUTH  $35^{\circ}55'21''$  EAST, A DISTANCE OF 72.72 FEET; THENCE SOUTH  $57^{\circ}06'52''$  EAST, A DISTANCE OF 169.55 FEET; THENCE SOUTH  $88^{\circ}14'48''$  EAST, A DISTANCE OF 262.71 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH  $18^{\circ}08'10''$  WEST, A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF  $16^{\circ}29'43''$ , AND AN ARC LENGTH OF 95.01 FEET; THENCE SOUTH  $1^{\circ}37'33''$  WEST, A DISTANCE OF 57.53 FEET (PLAT=57.99 FEET) TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH  $88^{\circ}15'22''$  WEST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 751.45 FEET; THENCE SOUTH  $1^{\circ}36'01''$  WEST, A DISTANCE OF 1280.64 FEET TO THE NORTH RIGHT OF WAY LINE OF COLBERN ROAD AS ESTABLISHED BY DOCUMENT NO. 271760 IN BOOK 556 AT PAGE 43; THENCE NORTH  $88^{\circ}13'18''$  WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 344.87 FEET TO THE SOUTHEAST CORNER OF LOT 6, FIELDS FARM; THENCE NORTH  $88^{\circ}06'45''$  WEST ALONG THE SOUTH LINE OF SAID LOT 6 AND SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 1252.54 FEET; THENCE NORTH  $43^{\circ}19'35''$  WEST, A DISTANCE OF 35.38 FEET TO THE EAST RIGHT OF WAY LINE OF NORTHEAST DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NO. 271761, BOOK 555, PAGE 66; THENCE NORTH  $1^{\circ}27'43''$  EAST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 1259.84 FEET TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 30; THENCE NORTH  $1^{\circ}29'12''$  EAST CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 80.00 FEET TO THE SOUTHWEST CORNER OF DOUGLAS CORPORATE CENTER - LOT 5, A SUBDIVISION IN SAID CITY, COUNTY, AND STATE; THENCE SOUTH  $87^{\circ}55'08''$  EAST ALONG THE SOUTH LINE OF SAID SUBDIVISION, A DISTANCE OF 131.20 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE NORTH  $9^{\circ}19'31''$  EAST ALONG THE EAST LINE OF LAST SAID SUBDIVISION AND THE EAST

## **BILL NO. 19-244**

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LINE OF DOUGLAS CORPORATE CENTER - LOT 4, A SUBDIVISION IN SAID CITY, COUNTY, AND STATE, A DISTANCE OF 1252.04 FEET TO THE SOUTHEAST CORNER OF DOUGLAS CORPORATE CENTER - LOT 3, A SUBDIVISION IN SAID CITY, COUNTY, AND STATE; THENCE NORTH 2°-00'-51" EAST ALONG THE EAST LINE OF LAST SAID SUBDIVISION, DOUGLAS CORPORATE CENTER - LOT 2, AND DOUGLAS CORPORATE CENTER - LOT 1, BOTH SUBDIVISIONS IN SAID CITY, COUNTY, AND STATE, A DISTANCE OF 1327.29 FEET TO THE NORTHEAST CORNER OF DOUGLAS CORPORATE CENTER - LOT 1; THENCE NORTH 88°-19'-19" WEST ALONG THE NORTH LINE OF LAST SAID SUBDIVISION, A DISTANCE OF 14.10 FEET TO THE SOUTHEAST CORNER OF HAGAN FARM, LOTS 1 AND 2, A SUBDIVISION IN SAID CITY, COUNTY, AND STATE; THENCE NORTH 2°-15'-47" EAST ALONG THE EAST LINE OF LAST SAID SUBDIVISION, A DISTANCE OF 329.47 FEET (PLAT=330.00 FEET) TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 88°-19'-18" WEST ALONG THE NORTH LINE OF LAST SAID SUBDIVISION, A DISTANCE OF 299.71 FEET TO SAID EAST RIGHT OF WAY LINE OF NORTHEAST DOUGLAS STREET; THENCE NORTH 2°-18'-47" EAST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 1007.11 FEET TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 19; THENCE NORTH 87°-52'-27" WEST ALONG SAID 1/4 SECTION LINE, A DISTANCE OF 63.00 FEET TO THE WEST RIGHT OF WAY LINE OF SAID NORTHEAST DOUGLAS STREET; THENCE SOUTH 2°-18'-47" WEST ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 303.38 FEET; THENCE NORTH 87°-52'-23" WEST, A DISTANCE OF 17.00 FEET TO THE NORTHEAST CORNER OF LOT 1, HAGAN HEIGHTS; THENCE SOUTH 2°-18'-47" WEST ALONG THE EAST LINE OF LOTS 1 AND 2, HAGAN HEIGHTS, A DISTANCE OF 273.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE NORTH 87°-52'-23" WEST ALONG THE SOUTH LINE OF SAID LOT 2 AND ITS WESTERLY PROJECTION, A DISTANCE OF 879.35 FEET; THENCE NORTH 2°-18'-47" EAST, A DISTANCE OF 173.00 FEET TO THE SOUTHWEST CORNER OF LOT 1, HAGAN HEIGHTS; THENCE NORTH 2°-43'-55" EAST ALONG THE WEST LINE OF SAID LOT 1 AND ITS NORTHERLY PROJECTION, A DISTANCE OF 403.38 FEET TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 19; THENCE SOUTH 87°-52'-27" EAST ALONG SAID 1/4 SECTION LINE, A DISTANCE OF 322.61 FEET; THENCE NORTH 23°-18'-03" EAST, A DISTANCE OF 506.53 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 27°-10'-29" WEST, A RADIUS OF 1250.00 FEET, A CENTRAL ANGLE OF 40°-33'-01", AND AN ARC LENGTH OF 884.67 FEET; THENCE NORTH 13°-22'-56" EAST, A DISTANCE OF 214.78 FEET; THENCE ALONG A CURVE TO THE LEFT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1150.00 FEET, A CENTRAL ANGLE OF 10°-54'-30", AND AN ARC LENGTH OF 218.94 FEET; THENCE NORTH 2°-28'-26" EAST, A DISTANCE OF 931.55 FEET TO SAID NORTH RIGHT OF WAY LINE OF OLD STROTHER ROAD; THENCE NORTH 87°-20'-30" WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 145.74 FEET TO THE POINT OF BEGINNING.

### **LOT 2**

THAT PART OF LOTS 7 AND 12, FIELDS FARM, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE SOUTH 1°-27'-56" WEST ALONG THE EAST LINE OF SAID 1/4 SECTION, A DISTANCE OF 40.00 FEET TO THE SOUTH RIGHT OF WAY LINE OF COLBERN ROAD AS ESTABLISHED BY DOCUMENT NO.

## **BILL NO. 19-244**

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271760 IN BOOK 556 AT PAGE 43 AND THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 88°-06'-51" WEST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 1140.16 FEET TO THE EAST RIGHT OF WAY LINE OF DOUGLAS ROAD AS NOW ESTABLISHED; THENCE SOUTH 48°-45'-47" WEST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 105.25 FEET; THENCE SOUTH 1°-37'-49" WEST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 150.00 FEET TO THE NORTH RIGHT OF WAY LINE OF INTERSTATE 470 HIGHWAY AS ESTABLISHED BY DOCUMENT NO. I-53740 IN BOOK I-158 AT PAGE 1988; THENCE SOUTH 42°-16'-29" EAST, THIS AND THE FOLLOWING COURSES ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 189.09 FEET; THENCE SOUTH 78°-20'-53" EAST, A DISTANCE OF 741.78 FEET; THENCE NORTH 87°-57'-41" EAST, A DISTANCE OF 800.00 FEET; THENCE SOUTH 89°-10'-34" EAST, A DISTANCE OF 200.25 FEET; THENCE NORTH 87°-57'-41" EAST, A DISTANCE OF 17.62 FEET; THENCE NORTH 1°-41'-13" EAST DEPARTING SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 424.95 FEET TO SAID SOUTH RIGHT OF WAY LINE OF COLBERN ROAD; THENCE NORTH 88°-13'-03" WEST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 660.89 FEET TO THE POINT OF BEGINNING..

### **LOT 3**

THAT PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHEAST 1/4; THENCE SOUTH 88°-42'-12" EAST ALONG THE SOUTH LINE OF SAID 1/4 SECTION, A DISTANCE OF 1107.27 FEET TO THE EAST RIGHT OF WAY LINE OF INTERSTATE 470 HIGHWAY AS ESTABLISHED BY DOCUMENT NO. I-26482; THENCE NORTH 6°-44'-47" EAST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 260.82 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING NORTH 6°-44'-47" EAST ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 84.78 FEET; THENCE SOUTH 83°-14'-59" EAST, CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 124.35 FEET TO THE WEST RIGHT OF WAY LINE OF RICE ROAD AS ESTABLISHED BY DOCUMENT NO. 653842; THENCE SOUTH 1°-35'-02" WEST ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 141.52 FEET; THENCE NORTH 60°-58'-17" WEST, A DISTANCE OF 148.15 FEET TO THE POINT OF BEGINNING.

SECTION 2. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 3. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 4. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

**BILL NO. 19-244**

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PASSED by the City Council of the City of Lee's Summit, Missouri, this \_\_\_\_ day of \_\_\_\_\_, 2019.

ATTEST:

\_\_\_\_\_  
Mayor *William A. Baird*

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this \_\_\_\_ day of \_\_\_\_\_, 2019.

ATTEST:

\_\_\_\_\_  
Mayor *William A. Baird*

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney *Brian W. Head*



**LEE'S SUMMIT**  
**MISSOURI**  
Development Services Department

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## Development Services Staff Report

<b>File Number</b>	PL2019-255 – REZONING from AG, RP-1, CP-2, PI and PMIX to AZ
<b>File Name</b>	Lee's Summit Airport
<b>Applicant</b>	City of Lee's Summit
<b>Property Address</b>	2751 NE Douglas St
<b>Planning Commission Date</b>	October 10, 2019
<b>Heard by</b>	Planning Commission and City Council
<b>Analyst</b>	C. Shannon McGuire, Planner
<b>Checked By</b>	Hector Soto, Jr., AICP, Planning Manager and Kent Monter, PE, Development Engineering Manager

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### Public Notification

Pre-application held: Spring of 2019  
Neighborhood meeting conducted: September 16, 2019  
Newspaper notification published on: September 21, 2019  
Radius notices mailed to properties within 300 feet on: September 18, 2019  
Site posted notice on: September 20, 2019

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### Table of Contents

1 Project Data and Facts	2
2. Land Use	2
4. Unified Development Ordinance (UDO)	3
5. Comprehensive Plan	3
6. Analysis	4
7. Recommended Conditions of Approval	5

### Attachments

1. Rezoning Exhibit, date stamped September 9, 2019 –1 page
2. Location Map

## 1. Project Data and Facts

Project Data	
Applicant/Status	City of Lee's Summit/owner
Applicant's Representative	Bob Hartnett, PLA, Deputy Director of Public Works/Administration
Location of Property	2751 NE Douglas St
Size of Property	553.633 Acres
Zoning (Existing)	AG (Agricultural District) RP-1 (Planned Single-Family Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District) PMIX (Planned Mixed Use District)
Zoning (Proposed)	AZ (Airport Zone)
Comprehensive Plan Designation	Airport Runway Protection Zone
Procedure	The Planning Commission makes a recommendation to the City Council on the proposed rezoning. The City Council takes final action on the rezoning in the form of an ordinance.  <b>Duration of Validity:</b> There is no expiration to an approval for rezoning.

Current Land Use
Airport operations

Description of Applicant's Request
The applicant is seeking to rezone from AG, RP-1, CP-2, PI and PMIX to AZ.

## 2. Land Use

Description and Character of Surrounding Area
The property is located at 2751 NE Douglas St. The property uses on the west include industrial, commercial, multifamily and vacant/undeveloped agricultural land. Properties to the south include commercial uses and undeveloped vacant ground. Undeveloped agricultural land is located to the north. West of the property the uses includes large lot single-family homes, industrial, and undeveloped agricultural, commercial and multifamily ground.

### Adjacent Land Uses and Zoning

North:	AG (Agricultural)
South:	CP-2 (Planned Community Commercial District)

<b>East:</b>	AG (Agricultural District) RP-4 (Planned Apartment Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District)
<b>West:</b>	AG (Agricultural District) R-1 (Single-Family Residential District) RP-4 (Planned Apartment Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District)

**Site Characteristics**

The property is the home to the Lee's Summit Municipal Airport and is an air traffic gateway to the Kansas City metropolitan area. The airport has two runways and operates seven days a week. Runway 18-36 is 5,501 ft. in length and 100 ft. wide. Runway 11-29 is 4,000 ft. in length and 75 ft. wide. The airport property currently consists of approximately 44 lots.

**Special Considerations**

This site is an existing airport with operations seven days a week.

### 3. Project Proposal

**Setbacks**

<b>Yard</b>	<b>Proposed</b>	<b>Required</b>
Front	20'	20'
Side	10'	10'
Rear	20'	20'

### 4. Unified Development Ordinance (UDO)

<b>Section</b>	<b>Description</b>
2.240, 2.250	Rezoning
4.230	AZ (Airport Zone)

### 5. Comprehensive Plan

Focus Areas	Goals, Objectives & Policies
Overall Area Land Use	Objective 1.1 Objective 1.3 Objective 1.4
Economic Development	Objective 2.1 Objective 2.2

## 6. Analysis

### Background

The applicant proposes to rezone the existing airport to the recently established AZ (Airport Zone) zoning district. Established in 2016, the AZ district was an effort to incorporate the city airport and adjoining developable properties to provide for selective commercial and industrial uses that complement the airport.

### History

- March 10, 2016 – The City Council approved UDO Amendment # 55 establishing the AZ (Airport Zone) zoning district (Appl. #PL2015-209) by Ordinance No. 7831.

### Compatibility

The proposed rezoning will not negatively impact the character of the neighborhood. The proposed AZ (Airport Zone) is consistent with the existing use of the property and is in substantial compliance with the Comprehensive Plan.

### Adverse Impacts

The airport use of the property will not detrimentally affect the appropriate use of neighboring property. The airport is designed, located and will operate so that the public health, safety and welfare will be protected.

### Public Services

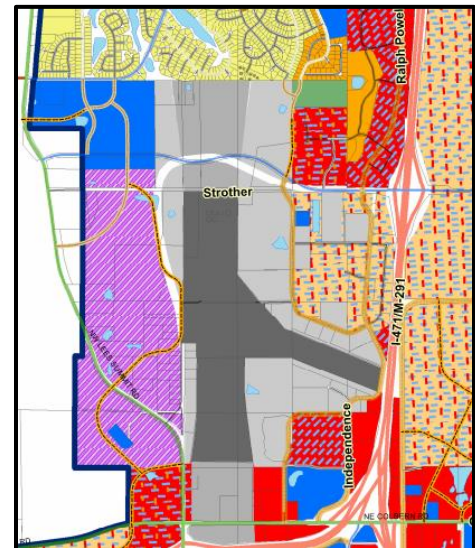
Existing public facilities and services are available and adequate to meet the demand for the facility and services generated by the use.

The proposed use will not impede the normal and orderly development and improvement of the surrounding property.

### Unified Development Ordinance

#### **Rezoning and Comprehensive Plan.**

The subject 553.633 acres is currently zoned a mix of AG (Agricultural District), RP-1 (Planned Single-Family Residential District), CP-2 (Planned Community Commercial District), PI (Planned Industrial District) and PMIX (Planned Mixed Use District). The 2005 Lee's Summit



Comprehensive Plan shows the subject area as Airport and Runway Protection Zone. The applicant proposes to rezone the property to AZ (Airport Zone) to clean up the existing zoning.

**Recommendation**

The application meets the requirements of the UDO and/or the Design and Construction Manual (DCM).



Runway Protection Zone

Airport

## **7. Recommended Conditions of Approval**

### **Standard Conditions of Approval**

There are no standard or site specific conditions of approval.

## The City of Lee's Summit

### Action Letter - Draft

### Planning Commission

Thursday, October 10, 2019

5:00 PM

City Council Chambers

City Hall

220 SE Green Street

Lee's Summit, MO 64063

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#### Call to Order

#### Roll Call

**Present:** 7 - Board Member Mark Kitchens  
Board Member Carla Dial  
Chairperson Jason Norbury  
Vice Chair Donnie Funk  
Board Member Terry Trafton  
Board Member Jeff Sims  
Board Member Dana Arth

**Absent:** 2 - Board Member John Lovell  
Board Member Jake Loveless

#### Approval of Agenda

Chairperson Norbury announced that would be a few adjustments to the agenda. Items 2, 3, and 6, Items PL2019-261, PL2019-255, and PL2019-257, all pertaining to the Lee's Summit Airport, would be heard at the same time. Motions would be made and voted on for each item separately. He asked for a motion to approve.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this agenda be approved as amended. The motion carried unanimously.

#### Public Comments

There were no public comments presented at the meeting.

#### Approval of Consent Agenda

[TMP-1386](#) Appl. #PL2019-296 - SIGN APPLICATION - Raintree Village monument sign, 3803 SW Ward Rd; Royal Signs & Graphics, applicant

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

[2019-3072](#) Minutes of the September 26, 2019, Planning Commission meeting

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that the minutes be approved. The motion carried unanimously.

#### Public Hearings

[2019-3078](#) Appl. #PL2019-261 - VACATION OF RIGHT-OF-WAY - unused right-of-way on

Lee's Summit Airport property, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury opened the hearing for agenda items 2 and 3 at 5:10 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Bob Hartnett, deputy director of the Public Works Department, gave his business address as Lee's Summit City Hall at 220 SE Green Street. The City had purchased the Airport in 1977, and had acquired about 40 additional properties since then. These properties carried the original zoning; so the Airport had land zoned for residential, commercial and industrial uses. These agenda items were primarily for clean-up, including vacation of some rights-of-way involving Strother, Hagan, Leinweber and Douglas roads. These rights-of-way were no longer necessary. The rezoning application was a request to change this zoning mixture to all AZ (Airport) zoning. Regarding the final plan (agenda item 6), would reorganize these 40 lots into three lots.

Mr. Hartnett added that Mr. Andy Boding, of the consulting engineering firm of Crawford, Murphy and Tilly (CMT) and Mr. Jim Anderson of Anderson Survey were present and could answer questions.

Mr. Shannon McGuire entered into the record Exhibit (A), list of exhibits 1-12 for Application PL2019-255 and list of exhibits 1-12 for Application PL2019-261. He confirmed that the Airport property currently consisted of 44 different lots, with a mixture of AG, RP-1, CP-2, PI and PMIX zoning designations. The City proposed to change these to the AZ Airport zoning district established in 2006. It had been established to incorporate the City airport with adjoining developable properties in order to provide for selected commercial and industrial uses that would be compatible with the airport use. Additionally, several unused rights-of-way crossed over the property, as indicated on the displayed aerial map, one of them crossing a runway. Vacating these rights-of-way was necessary for replatting the existing 44 parcels into four lots.

The proposed rezoning and right-of-way vacations would not impact the surrounding neighborhood, and the proposed AZ zoning was consistent with the entire property's use. It was substantially consistent with the Comprehensive Plan, as well as meeting the requirements of the UDO and the Design and Construction Manual. . An overhead copper cable was within the Leinweber Road right-of-way, and a Condition of Approval for this application indicated a general utility easement. The second of two Conditions of Approval was the standard requirement for recording the vacation of the right-of-way.

Following Mr. McGuire's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony. Seeing one, he opened the hearing for any Commissioners' questions for the applicant or staff.

Chairperson Norbury asked Mr. McGuire if it was correct that the rezoning would have no functional impact on the Airport's operations. Mr. McGuire confirmed that it was.

Chairperson Norbury asked if there were any further questions for the applicant or staff. As there were none, he closed the public hearing at 5:10 p.m. and asked for discussion among the Commission members, or for a motion. He asked that the two applications be voted on in two separate motions.

Mr. Funk asked what would be done with Item 6, which addressed the final plat. Chairperson Norbury answered that this item would be heard next.

Mr. Funk made a motion to recommend approval of Application PL2019-261, Vacation of Right-Of Way: unused right-of-way on Lee's Summit Airport property, 2751 NE Douglas St.; City of Lee's Summit, applicant; subject to staff's letter of October 4, 2019 specifically

Conditions of Approval 1 and 2. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3077](#)

Appl. #PL2019-255 - REZONING from AG, RP-1, CP-2, PI and PMIX to AZ - Lee's Summit Airport, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury asked for a motion on Application PL2019-255.

Mr. Funk made a motion to recommend approval of Application PL2019-255, Rezoning from AG, RP-1, CP-2, PI and PMIX to AZ; Lee's Summit Airport, 2751 NE Douglas St.; City of Lee's Summit, applicant. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3075](#)

Appl. #PL2019-233 - PRELIMINARY DEVELOPMENT PLAN - Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant

Chairperson Norbury opened the hearing at 5:13 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Ms. Tiffany Lehman stated that she was the civil engineer for this project. She described the subject property currently had a vacant restaurant building with asphalt coverage throughout the property. An access easement existed on the southeast side, leading down to SE 7th Terrace. The applicants planned to demolish the building and redevelop the property with a 2,600 square foot Wendy's restaurant. The project would include asphalt parking, concrete sidewalks, drive-through area, and a dumpster enclosure. The access easement would be redone, and they would install landscaping on the property.

Ms. Lehman displayed colored elevations, including the front (west side) of the building facing M-291 as well as the rear of the building, the south side of the building and the north side which included the drive-through.

Following Ms. Lehman's presentation, Chairperson Norbury asked for staff comments.

Mr. Soto entered Exhibit (A), list of exhibits 1-13 into the record. He confirmed that this was a redevelopment of an existing property. Displaying an aerial photo, he pointed out the locations of SE 7th Terrace and M-291 Highway. Lee's Summit High School was across the highway to the west, and the Missouri State Highway Patrol headquarters to the southwest. The QuikTrip store and HMM AutoSport were further south. A multi-tenant retail center were to the north and immediately to the east were some office/warehouse properties with industrial zoning. Some single-family residences and duplexes were further to the northeast.

The property had previously had restaurant use, most recently a 6,500 square foot sit-down restaurant but had been vacant for at least five years. The future user would be a 2,500 square foot drive-through restaurant. The proposed parking would be 37 spaces, two more than the 35 spaces required. The site had access at three points: the right-of-way from M-291

Highway, from SE Melody Lane and from SE 7th Terrace. At the northeast corner was a cross-access that went along the back of the retail building to Bayberry and its signaled access to M-291.

Mr. Soto noted that this redevelopment would be reducing impervious coverage on the site by about 17 percent: from 91 percent coverage to 74 percent. Referring to the colored elevations referenced earlier, he noted the building materials: brown or earth tone fiber cement panels, and the aluminum composite metal (ACM) panels in red and gray. These were similar to materials previously proposed and approved for churches and for some auto dealerships, as well as other materials and architecture along M-291. The elevations also showed a large amount of glass on the north and south sides. Staff's analysis concluded that the use was consistent with the Comprehensive Plan, with the M-291 corridor north of US 50 was primarily retail use. Restaurant use would be equally appropriate, and this long-vacant site was in an especially visible location.

Staff's only Condition of Approval was that the ACM panels proposed would be allowed as a conditional material, "as shown in the preliminary development plan date stamped September 9, 2019." The UDO allowed the panels, but after a review. This was a material that had become more common.

Following Mr. Soto's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, he then opened the hearing for Commissioners' questions for the applicant or staff.

Mr. Funk asked if Melody Lane would end at the property or continue to be a through street in front of the restaurant. Mr. Soto answered that there would still be continuous access, but the right-of-way did terminate at the north property line and extend into the private drive beyond that. 7th Street would remain, and be improved, and it had a cross-access easement with adjoining properties. On the displayed aerial map, he pointed out the drive behind the HMM building that gave access to 7th Terrace.

Mr. Kitchens noted that the drive-through traffic was immediately to the left of the entrance/exit off M-291. It had room for 2 or 3 cars. He asked if it could be a one-way corridor, as it would be easy for drivers from M-291 to cut through the drive-through traffic. It was a common problem with fast-food restaurants whose lots combined parking and drive-through traffic.

Ms. Lehman asserted that the applicant had worked with the City on this issue. Their stacking did allow for about nine cars from the order box out to the front. Wendy's corporate usually requested six. They wanted to keep the two-way traffic, as it allowed the most access throughout the site; and as the stacking for the drive-through was more than what was required, they did not anticipate any traffic obstruction in the front. Mr. Kitchens asked if the applicant had a waiting time limit for drive-through lines.

Mr. Park clarified that the M-291 access belonged to MoDOT. They had reviewed this plan and the traffic circulation, and the property did have room for stacking of 8 or 9 vehicles up to the menu board. Staff's preference was also for the drive to be two-way; and MoDOT had indicated that this access shared with Melody to the north would be changed. This would be after interchange improvements that would move the Blue Parkway signal to 7th Street, just to the south; and at that point MoDOT would probably move it north to the Melody Lane right-of-way. At present, they did not have a schedule for interchange improvements from MoDOT and so relied on the operator of the store to mitigate congestion by directing people around the perimeter before entering the drive-through line.

Mr. Sims remarked to Mr. Park that while he understood the concern with stacking and the drive-through, he was more concerned with left turns onto M-291. He acknowledged that it

was a MoDOT right-of-way, and asked if making this a right-in-right-out access had been considered. Mr. Park answered that MoDOT did have a safety concern about the left and crossover movements onto M-291. They were reserving the access management control for an interchange. They could not know what the extent and nature of the improvements would be at this point.

At Mr. Funk's request, Ms. Lehman pointed out this area was on the site plan, toward the back of the property. The plan showed a significant area for stacking in front of it.

Regarding the aluminum composite metal panels referred to earlier, Chairperson Norbury asked Mr. Soto if City staff had considered making it a conditional use since its use was becoming more common. Mr. Soto replied that they were.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:30 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk commended the applicant on Wendy's current designs, mentioning the store on Chipman as an example. He then made a motion to recommend approval of Application PL2019-233, Preliminary Development Plan: Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Recommendation Conditions of Approval 1 (site specific) and 2-11 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3076](#)

Appl. #PL2019-246 - PRELIMINARY DEVELOPMENT PLAN - DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant

Chairperson Norbury opened the hearing at 5:30 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Philip Pierson of the Callas Design Group, gave his address as 5016 Centennial Boulevard in Nashville, Tennessee. He was present representing Dialysis Clinic, Inc. They proposed to build a 10,400 square foot building for the clinic. The clinic would have 17 patient stations, a small suite for a doctor's office. Mr. Pierson emphasized that this was not a use that generated much noise or heavy traffic. Patients often stayed for several hours, so the clinic would have morning and afternoon shifts.

Following Mr. Pierson's presentation, Chairperson Norbury asked for staff comments.

Mr. McGuire entered Exhibit (A), list of exhibits 1-15 into the record. He first cited a correction to page 5 of staff's letter, with the site's use being "Mixed Use—John Knox Village." The subject property was on the southwest corner of NW Shamrock Avenue and NW Pryor Road and was about 2.25 acres. It was just west of the new fire station #3. It had been included in the conceptual plan approved by the City Council in September 2018 and so had required a preliminary development plan. The property was zoned PMIX, with the Comprehensive Plan identifying this area as "Mixed Use – John Knox Village." John Knox Village was to the east, and the Sterling Hills single-family subdivision was to the south. To the north was some undeveloped land kept for future commercial use.

Mr. McGuire displayed color elevations of the building, showing materials of masonry, EIFS,

brick and glass. The applicant asked for one modification, to the high-impact screening buffer required. They proposed a six-foot tall vinyl fence about three feet north of the south property line, and the required high-impact screen planted on the fence's north side instead of on both sides of the fence. With the fence three feet from the property line, and the required screening elements planted on the north side, the vegetation would be more accessible for maintenance.

The proposed development would not have any detrimental impact on the surrounding area, nor impede the development of surrounding properties. It would have an on-site stormwater detention system. The road network had enough capacity to handle the proposed use, so no road improvements were needed or required. The project met the requirements of both the UDO and the Design and Construction Manual.

Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, Chairperson Norbury then asked if the Commission had questions for the applicant or staff.

Chairperson asked if any City staff was working on the UDO's definition of a high-impact landscaping buffer. Mr. Soto replied that in most recent proposals the amount of landscaping met the UDO requirements; though not often stating where a required fence would be placed. Staff was working on some flexibility on this placement, to allow for different circumstances and conditions on different sites. Utility lines, for example, could often mandate modifications.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:35 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk made a motion to recommend approval of Application PL2019-246, Preliminary Development Plan: DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Conditions of Approval 1 (Site Specific) through 8 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

## Other Agenda Items

### [TMP-1388](#)

PL2019-257 - FINAL PLAT - Lee's Summit Airport, 2751 NE Douglas St; Anderson Survey Co., applicant

Chairperson Norbury opened the hearing at 5:12 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. McGuire remarked that usually this would be a Consent Agenda Item. However, due to the timing of the preliminary plat, the rezoning, and the rights-of-way vacations, it had been moved up. It was not possible to replat with the right-of-way. Consequently, there was no further presentation.

Chairperson Norbury asked for a motion for Application PL2019-257.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

Roundtable

**There were no Roundtable items at the meeting.**

Adjournment

**There being no further business, Chairperson Norbury adjourned the meeting at 5:42 P.M.**

For your convenience, Planning Commission agendas, as well as videos of Planning Commission meetings, may be viewed on the City's Legislative Information Center website at "[lsmo.legistar.com](http://lsmo.legistar.com)"

**CURRENT ZONING:**  
THE PROPERTY SHOWN HEREON CURRENTLY CONTAINS PORTIONS THAT LIE WITHIN THE FOLLOWING ZONES:  
AG - AGRICULTURAL

- AG - AGRICULTURAL

- CP-2 - PLANNED COMMUNITY COMMERCIAL
- PI - PLANNED INDUSTRIAL
- PMIX - PLANNED MIXED USE
- RP-1 - PLANNED SINGLE FAMILY RESIDENTIAL

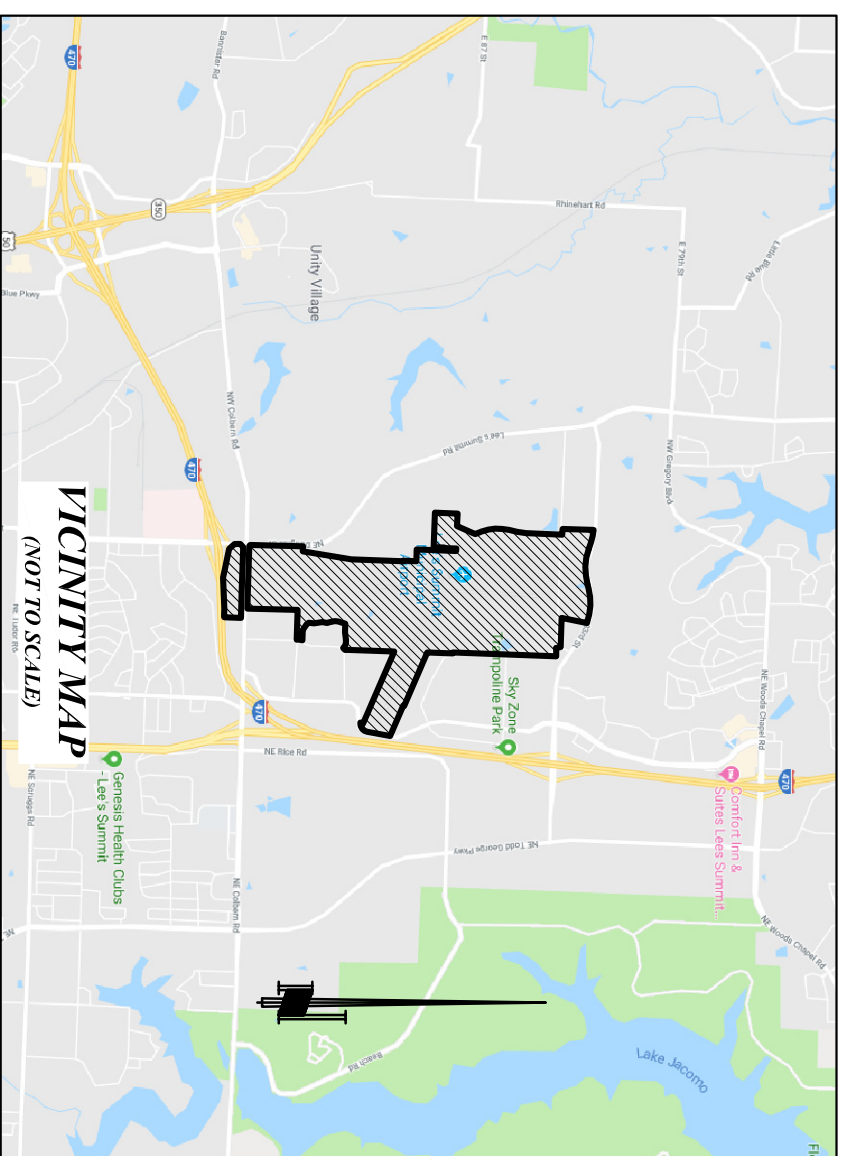
NOTE: THE ZONING INFORMATION SHOWN HEREON WAS TAKEN FROM THE CITY OF LEES SUMMIT WEBSITE

INTERACTIVE ZONING MAP  
(<https://www.aicgis.com/home/webmap/viewer.html?webmap=b228ffa7cefa41cd9ffa5d339811a9b66>)

AND THE OWNER, ADDRESS, AND LAND USE TYPE INFORMATION WAS TAKEN FROM THE COUNTY OF JACKSON WEBSITE PARCEL VIEWER  
(<http://jacksoncountymaps.arcgis.com/apps/webappviewer/index.html?id=1940c3fb3bac42a1bc35bad9be238c53>)

THE PROPOSED ZONING FOR THE PROPERTY SHOWN HEREON IS

- AZ - AIRPORT ZONE



DATE	REVISION	BY

# REZONING MAP

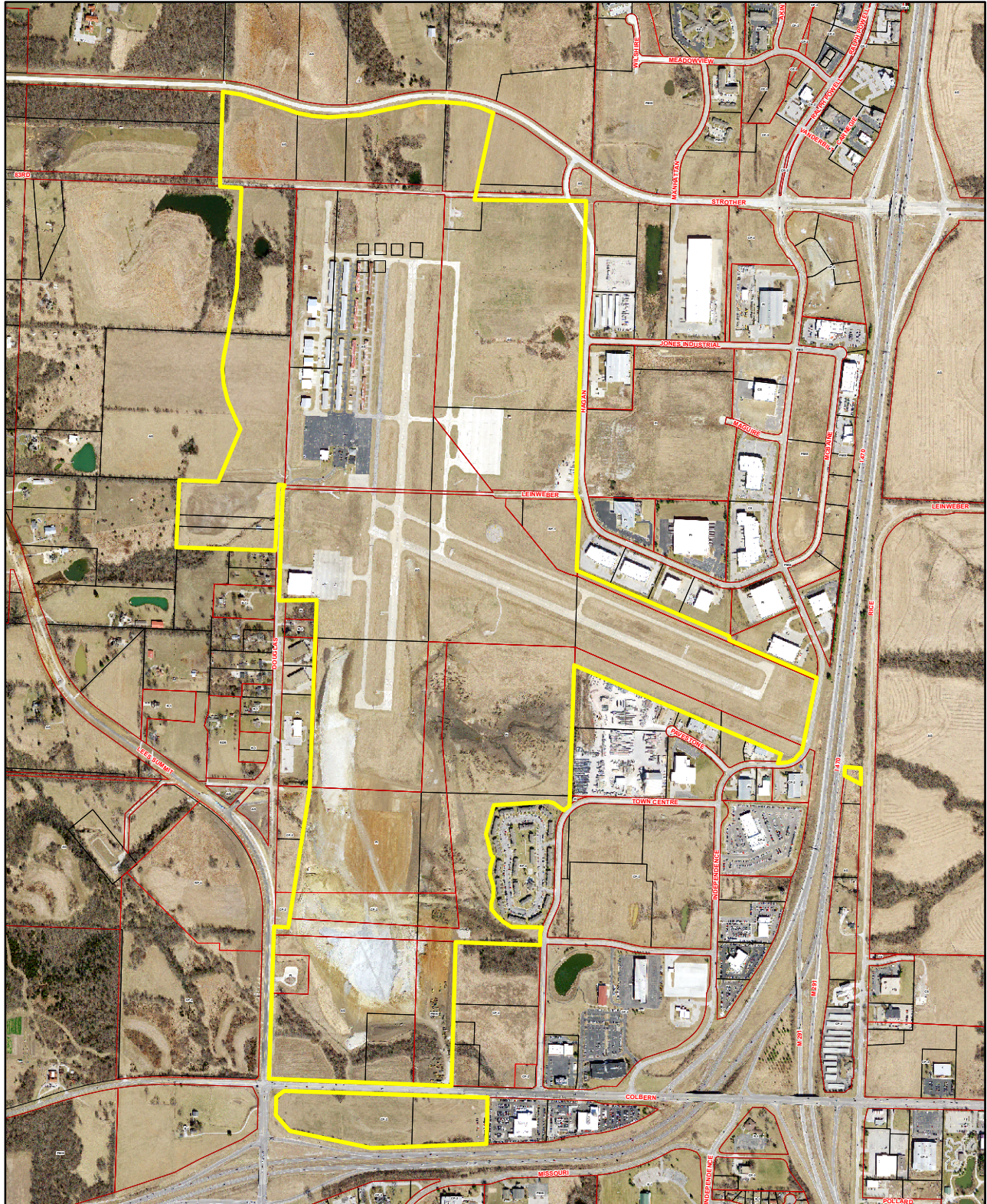
DATE: JULY 29, 2019  
FOR: CRAWFORD, MURPHY, & TILLY  
1627 MAIN STREET, SUITE 200  
KANSAS CITY, MISSOURI 64108

ATTN: ANDREW BODINE



(816) 246-5050

DRN. RJA	P.C.	CK.	APP.
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## Packet Information

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**File #:** BILL NO. 19-245, **Version:** 1

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An Ordinance vacating dedicated rights-of-way for a portions of NE Strother RD, NE Douglas RD, NE Hagan RD and NE Leinweber RD., located at 2751 NE Douglas ST, in the City of Lee's Summit, Missouri.

(Note: First reading by Council on November 5, 2019. Passed by unanimous vote.)

Proposed City Council Motion:

I move for adoption of an ordinance vacating dedicated rights-of-way for a portions of NE Strother RD, NE Douglas RD, NE Hagan RD and NE Leinweber RD., located at 2751 NE Douglas ST, in the City of Lee's Summit, Missouri

Josh Johnson, AICP, Assistant Director of Plan Services

Bob Hartnett, PLA, Deputy Director of Public Works/Administration

## **BILL NO. 19-245**

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AN ORDINANCE VACATING DEDICATED RIGHTS-OF-WAY FOR A PORTIONS OF NE STROTHER RD, NE DOUGLAS RD, NE HAGAN RD AND NE LEINWEBER RD., LOCATED AT 2751 NE DOUGLAS ST, IN THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, upon diligent inquiry and investigation, the City cannot locate the document(s) by which the right-of-way came to be dedicated to the City,

WHEREAS, Application #PL2018-261, submitted by the City of Lee's Summit, MO, requesting vacation of the rights-of-way, was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on October 10, 2019, and rendered a report to the City Council containing findings of fact and recommending that the requested vacation of rights-of-way be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on November 5, 2019, and rendered a decision to vacate said rights-of-way.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That the following described rights-of-way are hereby and herewith vacated:

*DESCRIPTION: STROTHER ROAD AND HAGAN ROAD RIGHT OF WAY VACATION:*

*THAT PART OF SECTIONS 17, 18, 19, AND 20, ALL IN TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 17; THENCE SOUTH 2°-10'-46" WEST ALONG THE WEST LINE OF SAID SECTION 20, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 87°-20'-26" WEST ALONG A LINE 20.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 18, A DISTANCE OF 1809.39 FEET; THENCE NORTH 2°-28'-26" EAST, A DISTANCE OF 40.00 FEET TO A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 18; THENCE SOUTH 87°-20'-26" EAST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 1809.07 FEET TO THE WEST LINE OF SAID SECTION 17; THENCE SOUTH 88°-21'-49" EAST ALONG A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17, A DISTANCE OF 1067.72 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH 13°-47'-59" EAST, A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 6°-21'-58", AND AN ARC DISTANCE OF 42.23 FEET TO A LINE THAT IS 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 20; THENCE NORTH 88°-21'-49" WEST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 1081.46 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 115,337 SQUARE FEET OR 2.648 ACRES, MORE OR LESS.*

AND

## **BILL NO. 19-245**

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THAT PART OF SECTIONS 17 AND 20, TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 17; THENCE NORTH 2°-10'-46" EAST ALONG THE WEST LINE OF SAID SECTION 17, A DISTANCE OF 20.00 FEET TO A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17; THENCE SOUTH 88°-21'-49" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 1130.41 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING SOUTH 88°-21'-49" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 179.20 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE NORTH 2°-05'-01" EAST ALONG SAID EAST LINE, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88°-21'-49" EAST ALONG A LINE THAT IS 30.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17, A DISTANCE OF 292.74 FEET TO THE SOUTHWEST RIGHT-OF-WAY LINE OF NEW STROTHER ROAD AS ESTABLISHED BY INSTRUMENT NO. 2012E0077748; THENCE SOUTHEAST ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH 66°-20'-36" EAST, A RADIUS OF 1100.00 FEET, A CENTRAL ANGLE OF 11°-00'-39", AND AN ARC DISTANCE OF 211.39 FEET TO THE SOUTHWEST RIGHT-OF-WAY LINE OF NEW STROTHER ROAD AS ESTABLISHED BY INSTRUMENT NO. 2012E0131436; THENCE NORTH 88°-21'-49" WEST ALONG A LINE THAT IS 30.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17, A DISTANCE OF 435.18 FEET; THENCE ALONG A CURVE TO THE LEFT BEING TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 90°-11'-01", AND AN ARC DISTANCE OF 47.22 FEET TO THE EAST RIGHT-OF-WAY LINE OF HAGAN ROAD AS ESTABLISHED BY DOCUMENT NO. I-884794; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT BEING TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 924.94 FEET, A CENTRAL ANGLE OF 5°-22'-59", AND AN ARC DISTANCE OF 86.90 FEET; THENCE SOUTH 3°-55'-29" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 101.10 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, ALONG A CURVE TO THE RIGHT BEING TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 1114.84 FEET, A CENTRAL ANGLE OF 5°-16'-39", AND AN ARC DISTANCE OF 102.69 FEET; THENCE SOUTH 1°-21'-11" WEST CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 105.61 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 0°-48'-32" EAST, A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 32°-35'-44", AND AN ARC DISTANCE OF 216.18 FEET; THENCE NORTH 31°-47'-12" WEST, A DISTANCE OF 16.30 FEET; THENCE NORTH 2°-03'-20" EAST, A DISTANCE OF 218.18 FEET TO A LINE THAT IS 20.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 88°-21'-49" WEST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 142.51 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 24°-31'-57" WEST, A RADIUS OF 320.00 FEET, A CENTRAL ANGLE OF 7°-44'-40", AND AN ARC DISTANCE OF 43.27 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 46,566 SQUARE FEET OR 1.069 ACRES, MORE OR LESS.

DESCRIPTION: LEINWEBER ROAD RIGHT OF WAY VACATION:

THAT PART OF LEINWEBER ROAD LYING BETWEEN THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF SECTION 19 AND THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF SECTION 20, TOWNSHIP 48 NORTH, RANGE 31 WEST.

DESCRIPTION: DOUGLAS STREET RIGHT OF WAY VACATION:

THAT PART OF DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NO. I-492376 IN BOOK I-1154 AT PAGE 1959 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE WEST 30.00 FEET OF THE EAST 1/2 OF THE NORTHEAST 1/4 SECTION 19, TOWNSHIP 48 NORTH, RANGE 31 WEST LYING SOUTH OF A LINE 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE

## **BILL NO. 19-245**

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OF SAIDEAST ½. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 79,290 SQUARE FEET, MORE OR LESS.

SECTION 2. That the following conditions of approval apply:

1. A general utility easement shall be retained over the entire length of the right-of-way to cover existing infrastructure located within the right-of-way along NE Leinweber Rd.

SECTION 3. That the City Clerk be and is hereby authorized and directed to acknowledge a copy of this ordinance and to record same in the Office of the Recorder of Deeds for the County in which the property is located.

SECTION 4. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney *Brian W. Head*



**LEE'S SUMMIT**  
MISSOURI  
Development Services Department

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## Development Services Staff Report

<b>File Number</b>	PL2019-261 – Vacation of Right-of-Way
<b>File Name</b>	Lee's Summit Airport
<b>Applicant</b>	City of Lee's Summit
<b>Property Address</b>	2751 NE Douglas St
<b>Planning Commission Date</b>	October 10, 2019
<b>Heard by</b>	Planning Commission and City Council
<b>Analyst</b>	C. Shannon McGuire, Planner
<b>Checked By</b>	Hector Soto, Jr., AICP, Planning Manager and Kent Monter, PE, Development Engineering Manager

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### Public Notification

Pre-application held: Spring of 2019  
Neighborhood meeting conducted: September 16, 2019  
Newspaper notification published on: September 21, 2019  
Radius notices mailed to properties within 300 feet on: September 18, 2019  
Site posted notice on: September 20, 2019

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### Attachments

Exhibits and Legal Descriptions, date stamped August 9, 2019 – 8 pages  
Location Map

## 1. Project Data and Facts

Project Data	
<b>Applicant/Status</b>	City of Lee's Summit/owner
<b>Applicant's Representative</b>	Bob Hartnett, PLA, Deputy Director of Public Works/Administration
<b>Location of Property</b>	2751 NE Douglas St
<b>Size of Property</b>	553.633 Acres
<b>Zoning</b>	AG (Agricultural District) RP-1 (Planned Single-Family Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District) PMIX (Planned Mixed Use District)
<b>Comprehensive Plan Designation</b>	Airport Runway Protection Zone
<b>Procedure</b>	<p>The Planning Commission holds a public hearing and makes a recommendation to the City Council on the proposed vacation of right-of-way. The City Council holds a public hearing and takes final action on the vacation of right-of-way application. All vacation of right-of-way applications shall be approved by ordinance.</p> <p>The vacation of right-of-way goes into effect upon City Council final action, unless otherwise stated in the approval, and does not expire.</p>

Current Land Use
Airport operations

Description of Applicant's Request
The applicant requests to vacate portions of rights-of-way located on NE Strother Rd, NE Douglas Rd, NE Hagan Rd and NE Leinweber Rd.

## 2. Land Use

Description and Character of Surrounding Area
The property is located at 2751 NE Douglas St. Adjoining property uses on the east include industrial, commercial, multifamily and vacant/undeveloped agricultural land. Properties to the south include commercial uses and undeveloped vacant ground. Undeveloped agricultural land is located to the north. West of the subject property the uses includes large lot single-family homes, industrial, and undeveloped agricultural, commercial and multifamily ground.

**Adjacent Land Uses and Zoning**

<b>North:</b>	AG (Agricultural)
<b>South:</b>	CP-2 (Planned Community Commercial District)
<b>East:</b>	AG (Agricultural District) RP-4 (Planned Apartment Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District)
<b>West:</b>	AG (Agricultural District) R-1 (Single-Family Residential District) RP-4 (Planned Apartment Residential District) CP-2 (Planned Community Commercial District) PI (Planned Industrial District)

**Site Characteristics**

The property is the home to the Lee's Summit Municipal Airport and is an air traffic gateway to the Kansas City metropolitan area. The airport has two runways and operates seven days a week. Runway 18-36 is 5,501 ft. in length and 100 ft. wide. Runway 11-29 is 4,000 ft. in length and 75 ft. wide. The airport property currently consists of approximately 44 lots.

**Special Considerations**

This site is an existing airport with operations seven days a week.

**3. Unified Development Ordinance (UDO)**

Section	Description
2.460, 2.470	Vacation of Right-of-way

**Unified Development Ordinance (UDO)**

Under existing conditions, the airport has unused rights-of-way that cross over the subject property. The applicant's purpose for the vacation of rights-of-way is one-step in the applicant's pursuit in cleaning up the existing plats and ultimately platting the existing 44 parcels in to 4 lots.

**4. Comprehensive Plan**

Focus Areas	Goals, Objectives & Policies
Overall Area Land Use	Objective 1.1 Objective 1.3
Economic Development	Objective 2.1 Objective 2.2

**Comprehensive Plan**

The proposed vacation of right-of-way does not compromise the ability to implement and/or achieve any policies, goals or objectives outlined in the Comprehensive Plan. In fact, the request is intended to improve the viability of the airport property. Adequate utility, pedestrian and vehicular access to the abutting properties is unaffected by the request to vacate the subject segments of right-of-way.

## **5. Analysis**

### **Background**

The applicant requests to vacate right-of-way located on NE Strother Rd, NE Douglas Rd, NE Hagan RD and NE Leinweber Rd. The proposed vacation of rights-of-way is one of the initial steps in the applicant's ultimate pursuit of rezoning the airport property into a single zoning district and plating the existing 44 parcels into 4 lots.

### **History**

- March 10, 2016 – The City Council approved UDO Amendment # 55 establishing the AZ (Airport Zone) zoning district (Appl. #PL2015-209) by Ordinance No. 7831.

### **Compatibility**

The proposed vacation of right-of-way is one of the initial steps in the applicant's ultimate pursuit of rezoning the airport property into a single zoning district and plating the existing 44 parcels in to 4 lots.

### **Adverse Impacts**

The proposed vacation of right-of-way will not negatively impact the use or aesthetics of any neighboring property, nor does it negatively impact the health, safety and welfare of the public. Adequate access to the surrounding lots is provided by the area's existing street network.

### **Public Services**

An overhead aerial copper cable exists within the right-of-way along NE Leinweber Rd. A condition of approval placed on this application is to retain a general utility easement to cover the existing infrastructure serving the area.

### **Recommendation**

With the conditions of approval below, the application meets the requirements of the UDO and Design and Construction Manual (DCM).

## **6. Recommended Conditions of Approval**

### **Site Specific**

1. A general utility easement shall be retained over the entire length of the right-of-way to cover existing infrastructure located within the right-of-way along NE Leinweber Rd.

### **Standard Conditions of Approval**

2. The ordinance approving the vacation of right-of-way shall be recorded with the Jackson County Recorder of Deeds office and a copy of the recorded document shall be returned to the Development Services Department.

## The City of Lee's Summit

### Action Letter - Draft

### Planning Commission

Thursday, October 10, 2019

5:00 PM

City Council Chambers

City Hall

220 SE Green Street

Lee's Summit, MO 64063

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#### Call to Order

#### Roll Call

**Present:** 7 - Board Member Mark Kitchens  
Board Member Carla Dial  
Chairperson Jason Norbury  
Vice Chair Donnie Funk  
Board Member Terry Trafton  
Board Member Jeff Sims  
Board Member Dana Arth

**Absent:** 2 - Board Member John Lovell  
Board Member Jake Loveless

#### Approval of Agenda

Chairperson Norbury announced that would be a few adjustments to the agenda. Items 2, 3, and 6, Items PL2019-261, PL2019-255, and PL2019-257, all pertaining to the Lee's Summit Airport, would be heard at the same time. Motions would be made and voted on for each item separately. He asked for a motion to approve.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this agenda be approved as amended. The motion carried unanimously.

#### Public Comments

There were no public comments presented at the meeting.

#### Approval of Consent Agenda

[TMP-1386](#) Appl. #PL2019-296 - SIGN APPLICATION - Raintree Village monument sign, 3803 SW Ward Rd; Royal Signs & Graphics, applicant

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

[2019-3072](#) Minutes of the September 26, 2019, Planning Commission meeting

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that the minutes be approved. The motion carried unanimously.

#### Public Hearings

[2019-3078](#) Appl. #PL2019-261 - VACATION OF RIGHT-OF-WAY - unused right-of-way on

Lee's Summit Airport property, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury opened the hearing for agenda items 2 and 3 at 5:10 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Bob Hartnett, deputy director of the Public Works Department, gave his business address as Lee's Summit City Hall at 220 SE Green Street. The City had purchased the Airport in 1977, and had acquired about 40 additional properties since then. These properties carried the original zoning; so the Airport had land zoned for residential, commercial and industrial uses. These agenda items were primarily for clean-up, including vacation of some rights-of-way involving Strother, Hagan, Leinweber and Douglas roads. These rights-of-way were no longer necessary. The rezoning application was a request to change this zoning mixture to all AZ (Airport) zoning. Regarding the final plan (agenda item 6), would reorganize these 40 lots into three lots.

Mr. Hartnett added that Mr. Andy Boding, of the consulting engineering firm of Crawford, Murphy and Tilly (CMT) and Mr. Jim Anderson of Anderson Survey were present and could answer questions.

Mr. Shannon McGuire entered into the record Exhibit (A), list of exhibits 1-12 for Application PL2019-255 and list of exhibits 1-12 for Application PL2019-261. He confirmed that the Airport property currently consisted of 44 different lots, with a mixture of AG, RP-1, CP-2, PI and PMIX zoning designations. The City proposed to change these to the AZ Airport zoning district established in 2006. It had been established to incorporate the City airport with adjoining developable properties in order to provide for selected commercial and industrial uses that would be compatible with the airport use. Additionally, several unused rights-of-way crossed over the property, as indicated on the displayed aerial map, one of them crossing a runway. Vacating these rights-of-way was necessary for replatting the existing 44 parcels into four lots.

The proposed rezoning and right-of-way vacations would not impact the surrounding neighborhood, and the proposed AZ zoning was consistent with the entire property's use. It was substantially consistent with the Comprehensive Plan, as well as meeting the requirements of the UDO and the Design and Construction Manual. . An overhead copper cable was within the Leinweber Road right-of-way, and a Condition of Approval for this application indicated a general utility easement. The second of two Conditions of Approval was the standard requirement for recording the vacation of the right-of-way.

Following Mr. McGuire's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony. Seeing one, he opened the hearing for any Commissioners' questions for the applicant or staff.

Chairperson Norbury asked Mr. McGuire if it was correct that the rezoning would have no functional impact on the Airport's operations. Mr. McGuire confirmed that it was.

Chairperson Norbury asked if there were any further questions for the applicant or staff. As there were none, he closed the public hearing at 5:10 p.m. and asked for discussion among the Commission members, or for a motion. He asked that the two applications be voted on in two separate motions.

Mr. Funk asked what would be done with Item 6, which addressed the final plat. Chairperson Norbury answered that this item would be heard next.

Mr. Funk made a motion to recommend approval of Application PL2019-261, Vacation of Right-Of Way: unused right-of-way on Lee's Summit Airport property, 2751 NE Douglas St.; City of Lee's Summit, applicant; subject to staff's letter of October 4, 2019 specifically

Conditions of Approval 1 and 2. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3077](#)

Appl. #PL2019-255 - REZONING from AG, RP-1, CP-2, PI and PMIX to AZ - Lee's Summit Airport, 2751 NE Douglas St; City of Lee's Summit, applicant

Chairperson Norbury asked for a motion on Application PL2019-255.

Mr. Funk made a motion to recommend approval of Application PL2019-255, Rezoning from AG, RP-1, CP-2, PI and PMIX to AZ; Lee's Summit Airport, 2751 NE Douglas St.; City of Lee's Summit, applicant. Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3075](#)

Appl. #PL2019-233 - PRELIMINARY DEVELOPMENT PLAN - Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant

Chairperson Norbury opened the hearing at 5:13 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Ms. Tiffany Lehman stated that she was the civil engineer for this project. She described the subject property currently had a vacant restaurant building with asphalt coverage throughout the property. An access easement existed on the southeast side, leading down to SE 7th Terrace. The applicants planned to demolish the building and redevelop the property with a 2,600 square foot Wendy's restaurant. The project would include asphalt parking, concrete sidewalks, drive-through area, and a dumpster enclosure. The access easement would be redone, and they would install landscaping on the property.

Ms. Lehman displayed colored elevations, including the front (west side) of the building facing M-291 as well as the rear of the building, the south side of the building and the north side which included the drive-through.

Following Ms. Lehman's presentation, Chairperson Norbury asked for staff comments.

Mr. Soto entered Exhibit (A), list of exhibits 1-13 into the record. He confirmed that this was a redevelopment of an existing property. Displaying an aerial photo, he pointed out the locations of SE 7th Terrace and M-291 Highway. Lee's Summit High School was across the highway to the west, and the Missouri State Highway Patrol headquarters to the southwest. The QuikTrip store and HMM AutoSport were further south. A multi-tenant retail center were to the north and immediately to the east were some office/warehouse properties with industrial zoning. Some single-family residences and duplexes were further to the northeast.

The property had previously had restaurant use, most recently a 6,500 square foot sit-down restaurant but had been vacant for at least five years. The future user would be a 2,500 square foot drive-through restaurant. The proposed parking would be 37 spaces, two more than the 35 spaces required. The site had access at three points: the right-of-way from M-291

Highway, from SE Melody Lane and from SE 7th Terrace. At the northeast corner was a cross-access that went along the back of the retail building to Bayberry and its signaled access to M-291.

Mr. Soto noted that this redevelopment would be reducing impervious coverage on the site by about 17 percent: from 91 percent coverage to 74 percent. Referring to the colored elevations referenced earlier, he noted the building materials: brown or earth tone fiber cement panels, and the aluminum composite metal (ACM) panels in red and gray. These were similar to materials previously proposed and approved for churches and for some auto dealerships, as well as other materials and architecture along M-291. The elevations also showed a large amount of glass on the north and south sides. Staff's analysis concluded that the use was consistent with the Comprehensive Plan, with the M-291 corridor north of US 50 was primarily retail use. Restaurant use would be equally appropriate, and this long-vacant site was in an especially visible location.

Staff's only Condition of Approval was that the ACM panels proposed would be allowed as a conditional material, "as shown in the preliminary development plan date stamped September 9, 2019." The UDO allowed the panels, but after a review. This was a material that had become more common.

Following Mr. Soto's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, he then opened the hearing for Commissioners' questions for the applicant or staff.

Mr. Funk asked if Melody Lane would end at the property or continue to be a through street in front of the restaurant. Mr. Soto answered that there would still be continuous access, but the right-of-way did terminate at the north property line and extend into the private drive beyond that. 7th Street would remain, and be improved, and it had a cross-access easement with adjoining properties. On the displayed aerial map, he pointed out the drive behind the HMM building that gave access to 7th Terrace.

Mr. Kitchens noted that the drive-through traffic was immediately to the left of the entrance/exit off M-291. It had room for 2 or 3 cars. He asked if it could be a one-way corridor, as it would be easy for drivers from M-291 to cut through the drive-through traffic. It was a common problem with fast-food restaurants whose lots combined parking and drive-through traffic.

Ms. Lehman asserted that the applicant had worked with the City on this issue. Their stacking did allow for about nine cars from the order box out to the front. Wendy's corporate usually requested six. They wanted to keep the two-way traffic, as it allowed the most access throughout the site; and as the stacking for the drive-through was more than what was required, they did not anticipate any traffic obstruction in the front. Mr. Kitchens asked if the applicant had a waiting time limit for drive-through lines.

Mr. Park clarified that the M-291 access belonged to MoDOT. They had reviewed this plan and the traffic circulation, and the property did have room for stacking of 8 or 9 vehicles up to the menu board. Staff's preference was also for the drive to be two-way; and MoDOT had indicated that this access shared with Melody to the north would be changed. This would be after interchange improvements that would move the Blue Parkway signal to 7th Street, just to the south; and at that point MoDOT would probably move it north to the Melody Lane right-of-way. At present, they did not have a schedule for interchange improvements from MoDOT and so relied on the operator of the store to mitigate congestion by directing people around the perimeter before entering the drive-through line.

Mr. Sims remarked to Mr. Park that while he understood the concern with stacking and the drive-through, he was more concerned with left turns onto M-291. He acknowledged that it

was a MoDOT right-of-way, and asked if making this a right-in-right-out access had been considered. Mr. Park answered that MoDOT did have a safety concern about the left and crossover movements onto M-291. They were reserving the access management control for an interchange. They could not know what the extent and nature of the improvements would be at this point.

At Mr. Funk's request, Ms. Lehman pointed out this area was on the site plan, toward the back of the property. The plan showed a significant area for stacking in front of it.

Regarding the aluminum composite metal panels referred to earlier, Chairperson Norbury asked Mr. Soto if City staff had considered making it a conditional use since its use was becoming more common. Mr. Soto replied that they were.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:30 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk commended the applicant on Wendy's current designs, mentioning the store on Chipman as an example. He then made a motion to recommend approval of Application PL2019-233, Preliminary Development Plan: Wendy's, 711 SE M-291 Hwy; NPC International, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Recommendation Conditions of Approval 1 (site specific) and 2-11 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

[2019-3076](#)

Appl. #PL2019-246 - PRELIMINARY DEVELOPMENT PLAN - DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant

Chairperson Norbury opened the hearing at 5:30 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Philip Pierson of the Callas Design Group, gave his address as 5016 Centennial Boulevard in Nashville, Tennessee. He was present representing Dialysis Clinic, Inc. They proposed to build a 10,400 square foot building for the clinic. The clinic would have 17 patient stations, a small suite for a doctor's office. Mr. Pierson emphasized that this was not a use that generated much noise or heavy traffic. Patients often stayed for several hours, so the clinic would have morning and afternoon shifts.

Following Mr. Pierson's presentation, Chairperson Norbury asked for staff comments.

Mr. McGuire entered Exhibit (A), list of exhibits 1-15 into the record. He first cited a correction to page 5 of staff's letter, with the site's use being "Mixed Use—John Knox Village." The subject property was on the southwest corner of NW Shamrock Avenue and NW Pryor Road and was about 2.25 acres. It was just west of the new fire station #3. It had been included in the conceptual plan approved by the City Council in September 2018 and so had required a preliminary development plan. The property was zoned PMIX, with the Comprehensive Plan identifying this area as "Mixed Use – John Knox Village." John Knox Village was to the east, and the Sterling Hills single-family subdivision was to the south. To the north was some undeveloped land kept for future commercial use.

Mr. McGuire displayed color elevations of the building, showing materials of masonry, EIFS,

brick and glass. The applicant asked for one modification, to the high-impact screening buffer required. They proposed a six-foot tall vinyl fence about three feet north of the south property line, and the required high-impact screen planted on the fence's north side instead of on both sides of the fence. With the fence three feet from the property line, and the required screening elements planted on the north side, the vegetation would be more accessible for maintenance.

The proposed development would not have any detrimental impact on the surrounding area, nor impede the development of surrounding properties. It would have an on-site stormwater detention system. The road network had enough capacity to handle the proposed use, so no road improvements were needed or required. The project met the requirements of both the UDO and the Design and Construction Manual.

Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, Chairperson Norbury then asked if the Commission had questions for the applicant or staff.

Chairperson asked if any City staff was working on the UDO's definition of a high-impact landscaping buffer. Mr. Soto replied that in most recent proposals the amount of landscaping met the UDO requirements; though not often stating where a required fence would be placed. Staff was working on some flexibility on this placement, to allow for different circumstances and conditions on different sites. Utility lines, for example, could often mandate modifications.

Chairperson Norbury asked if there were further questions for the applicant or staff. Hearing none, he closed the public hearing at 5:35 p.m. and asked for discussion among the Commission members, or for a motion.

Mr. Funk made a motion to recommend approval of Application PL2019-246, Preliminary Development Plan: DCI Lee's Summit, 2001 NW Shamrock Ave; Dialysis Clinic, Inc., applicant; subject to staff's letter of October 4, 2019, specifically Conditions of Approval 1 (Site Specific) through 8 (Standard Conditions of Approval). Mr. Sims seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be recommended for approval to the City Council - Regular Session, due back on 11/5/2019. The motion carried unanimously.

## Other Agenda Items

### [TMP-1388](#)

PL2019-257 - FINAL PLAT - Lee's Summit Airport, 2751 NE Douglas St; Anderson Survey Co., applicant

Chairperson Norbury opened the hearing at 5:12 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. McGuire remarked that usually this would be a Consent Agenda Item. However, due to the timing of the preliminary plat, the rezoning, and the rights-of-way vacations, it had been moved up. It was not possible to replat with the right-of-way. Consequently, there was no further presentation.

Chairperson Norbury asked for a motion for Application PL2019-257.

A motion was made by Vice Chair Funk, seconded by Board Member Sims, that this application be approved. The motion carried unanimously.

Roundtable

**There were no Roundtable items at the meeting.**

Adjournment

**There being no further business, Chairperson Norbury adjourned the meeting at 5:42 P.M.**

For your convenience, Planning Commission agendas, as well as videos of Planning Commission meetings, may be viewed on the City's Legislative Information Center website at "[lsmo.legistar.com](http://lsmo.legistar.com)"

# EXHIBIT "A"

PROJECT: LEE'S SUMMIT AIRPORT  
DATE: AUGUST 9, 2019  
STROTHER/HAGAN ROADS

**DESCRIPTION STROTHER ROAD AND HAGAN ROAD RIGHT OF WAY VACATION:**

THAT PART OF SECTIONS 17, 18, 19, AND 20, ALL IN TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 17; THENCE SOUTH 2°-10'-46" WEST ALONG THE WEST LINE OF SAID SECTION 20, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE NORTH 87°-20'-26" WEST ALONG A LINE 20.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 18, A DISTANCE OF 1809.39 FEET; THENCE NORTH 2°-28'-26" EAST, A DISTANCE OF 40.00 FEET TO A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 18; THENCE SOUTH 87°-20'-26" EAST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 1809.07 FEET TO THE WEST LINE OF SAID SECTION 17; THENCE SOUTH 88°-21'-49" EAST ALONG A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17, A DISTANCE OF 1067.72 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING AN INITIAL TANGENT BEARING OF SOUTH 13°-47'-59" EAST, A RADIUS OF 380.00 FEET, A CENTRAL ANGLE OF 6°-21'-58", AND AN ARC DISTANCE OF 42.23 FEET TO A LINE THAT IS 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 20; THENCE NORTH 88°-21'-49" WEST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 1081.46 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT CONTAINS 115,337 SQUARE FEET OR 2.648 ACRES, MORE OR LESS.

AND

THAT PART OF SECTIONS 17 AND 20, TOWNSHIP 48 NORTH, RANGE 31 WEST IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 17; THENCE NORTH 2°-10'-46" EAST ALONG THE WEST LINE OF SAID SECTION 17, A DISTANCE OF 20.00 FEET TO A LINE THAT IS 20.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17; THENCE SOUTH 88°-21'-49" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 1130.41 FEET TO THE POINT OF BEGINNING OF THE TRACT OF LAND TO BE HEREIN DESCRIBED; THENCE CONTINUING SOUTH 88°-21'-49" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 179.19 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 17;



THENCE NORTH 2°-05'-01" EAST ALONG SAID EAST LINE, A DISTANCE OF 10.00 FEET;  
THENCE SOUTH 88°-21'-49" EAST ALONG A LINE THAT IS 30.00 FEET NORTH OF AND  
PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17, A DISTANCE OF 292.74 FEET TO  
THE SOUTHWEST RIGHT-OF-WAY LINE OF NEW STROTHER ROAD AS ESTABLISHED BY  
INSTRUMENT NO. 2012E0077748; THENCE SOUTHEAST ALONG A CURVE TO THE LEFT  
HAVING AN INITIAL TANGENT BEARING OF SOUTH 66°-20'-36" EAST, A RADIUS OF  
1100.00 FEET, A CENTRAL ANGLE OF 11°-00'-39", AND AN ARC DISTANCE OF 211.39 FEET  
TO THE SOUTHWEST RIGHT-OF-WAY LINE OF NEW STROTHER ROAD AS ESTABLISHED  
BY INSTRUMENT NO. 2012E0131436; THENCE NORTH 88°-21'-49" WEST ALONG A LINE  
THAT IS 30.00 FEET SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION  
17, A DISTANCE OF 435.18 FEET; THENCE ALONG A CURVE TO THE LEFT BEING  
TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 30.00 FEET, A  
CENTRAL ANGLE OF 90°-11'-01", AND AN ARC DISTANCE OF 47.22 FEET TO THE EAST  
RIGHT-OF-WAY LINE OF HAGAN ROAD AS ESTABLISHED BY DOCUMENT NO. I-884794;  
THENCE ALONG SAID EAST RIGHT-OF-WAY LINE, ALONG A CURVE TO THE LEFT BEING  
TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 924.94 FEET, A  
CENTRAL ANGLE OF 5°-22'-59", AND AN ARC DISTANCE OF 86.90 FEET; THENCE SOUTH  
3°-55'-29" EAST CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF  
101.10 FEET; THENCE CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE, ALONG A  
CURVE TO THE RIGHT BEING TANGENT TO THE LAST DESCRIBED COURSE, HAVING A  
RADIUS OF 1114.84 FEET, A CENTRAL ANGLE OF 5°-16'-39", AND AN ARC DISTANCE OF  
102.69 FEET; THENCE SOUTH 1°-21'-11" WEST CONTINUING ALONG SAID EAST RIGHT OF  
WAY LINE, A DISTANCE OF 105.61 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO  
THE LEFT HAVING AN INITIAL TANGENT BEARING OF NORTH 0°-48'-32" EAST, A RADIUS  
OF 380.00 FEET, A CENTRAL ANGLE OF 32°-35'-44", AND AN ARC DISTANCE OF 216.18  
FEET; THENCE NORTH 31°-47'-12" WEST, A DISTANCE OF 16.30 FEET; THENCE NORTH 2°-  
03'-20" EAST, A DISTANCE OF 218.18 FEET TO A LINE THAT IS 20.00 FEET SOUTH OF AND  
PARALLEL WITH THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 88°-21'-49"  
WEST ALONG LAST SAID PARALLEL LINE, A DISTANCE OF 142.51 FEET; THENCE ALONG  
A CURVE TO THE RIGHT HAVING AN INITIAL TANGEN BEARING OF NORTH 24°-31'-57"  
WEST, A RADIUS OF 320.00 FEET, A CENTRAL ANGLE OF 7°-44'-40", AND AN ARC  
DISTANCE OF 43.27 FEET TO THE POINT OF BEGINNING. THE ABOVE DESCRIBED TRACT  
OF LAND CONTAINS 46,566 SQUARE FEET OR 1.069 ACRES, MORE OR LESS.



*James S. Anderson*  
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PHONE: (816) 246-5050

*8/9/19*



17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg

STROTHER ROAD

ROAD

EAST LINE OF THE WEST 1/2  
OF THE SOUTHWEST 1/4  
OF SECTION 17, TOWNSHIP 48  
NORTH, RANGE 31 WEST

S 210°46' W 20.00'

POINT OF COMMENCEMENT  
SOUTHWEST CORNER SECTION  
17, TOWNSHIP 48 NORTH,  
RANGE 31 WEST

POINT OF BEGINNING

S 88°21'49" E 179.19'

S 88°21'49" E 1130.41'

ITB=N 24°31'57" W R=320.00'  
Δ=7°44'40" L=43.27'

N 88°21'49" W 142.51'

N 20°3'20" E 218.18'

N 31°47'12" W 16.30'

ITB=N 0°48'32" E R=380.00'  
Δ=32°35'44" L=216.18'

N 20°5'01" E 10.00'

S 88°21'49" E 292.74'

INSTRUMENT NO. 2012E0077748

ITB=S 66°20'36" E R=1100.00'  
Δ=11°00'39" L=211.39'

INSTRUMENT NO. 2012E0131436

N 88°21'49" W 435.18'

R=30.00' Δ=90°11'01" L=47.22'

R=924.94' Δ=5°22'59" L=86.90'

RIGHT OF WAY ESTABLISHED BY DOC  
NO. 1-884794 BK 1-1868 PG 816

S 3°55'29" E 101.10'

R=1114.84' Δ=5°16'39" L=102.69'

S 1°21'11" W 105.61'

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

## EXHIBIT A

### CITY OF LEE'S SUMMIT

SCALE 1" = 500 FEET

500 250 0 500

SCALE IN FEET

PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT

200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063

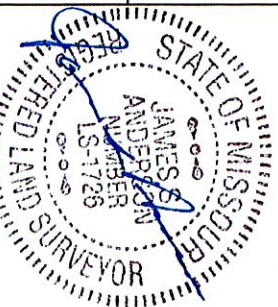
DATE: AUGUST 9, 2019



MISSOURI CERTIFICATE OF AUTHORITY, 000076

VACATED RIGHT OF WAY  
46,566 SQUARE FEET

JAMES S. ANDERSON,  
PLS #1726



17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg

STROTHER ROAD

CLOSURE ERROR:  
ERROR: 0.003'  
DISTANCE: 2,208.46'  
CLOSURE: 1:900,130

S 27°0'46" W 20.00'

POINT OF COMMENCEMENT  
SOUTHWEST CORNER SECTION  
17, TOWNSHIP 48 NORTH,  
RANGE 31 WEST

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

ROAD

S 88°21'49" E 179.19'

POINT OF BEGINNING

S 88°21'49" E 1130.41'

ITB=N 24°31'57" W R=320.00'  
Δ=7°44'40" L=43.27'

N 88°21'49" W 142.51'

N 2°03'20" E 218.18'

N 31°47'12" W 16.30'

ITB=N 0°48'32" E R=380.00'  
Δ=32°35'44" L=216.18'

EAST LINE OF THE WEST 1/2  
OF THE SOUTHWEST 1/4  
OF SECTION 17, TOWNSHIP 48  
NORTH, RANGE 31 WEST



N 2°05'01" E 10.00'

S 88°21'49" E 292.74'

INSTRUMENT NO. 2012E0077748  
ITB=S 66°20'36" E R=1100.00'  
Δ=11°00'39" L=211.39'

INSTRUMENT NO. 2012E0131436

N 88°21'49" W 435.18'

R=30.00' Δ=90°11'01" L=47.22'

R=924.94' Δ=5°22'59" L=86.90'

RIGHT OF WAY ESTABLISHED BY DOC  
NO. I-884794 BK I-1868 PG 816

S 3°55'29" E 101.10'

R=1114.84' Δ=5°16'39" L=102.69'

S 1°21'11" W 105.61'

## CLOSURE REPORT

### CITY OF LEE'S SUMMIT



MISSOURI CERTIFICATE OF AUTHORITY, 000076

**ANDERSON**  
SURVEY COMPANY  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
(816) 246-5050

SCALE 1" = 500 FEET

500 250 0 500

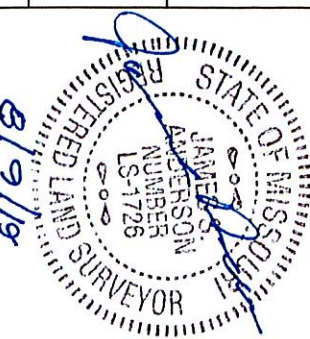
SCALE IN FEET

PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT  
200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
DATE: AUGUST, 2019



VACATED RIGHT OF WAY  
46,566 SQUARE FEET

JAMES S. ANDERSON,  
PLS #1726

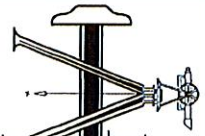


17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

## EXHIBIT A

### CITY OF LEE'S SUMMIT



**SURVEY COMPANY**  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
(816) 246-5050

MISSOURI CERTIFICATE OF AUTHORITY, 000076

STROTHER

ROAD

EAST LINE OF THE WEST 1/2  
OF THE SOUTHWEST 1/4  
OF SECTION 17, TOWNSHIP 48  
NORTH, RANGE 31 WEST

POINT OF COMMENCEMENT  
SOUTHWEST CORNER SECTION  
17, TOWNSHIP 48 NORTH,  
RANGE 31 WEST

POINT OF BEGINNING

N 2°28'26" E 40.00'

S 87°20'26" E 1809.07'

N 87°20'26" W 1809.39'

S 27°0'46" W 20.00'

S 88°21'49" E 1067.72'  
N 88°21'49" W 1081.46'  
ITB=S 13°47'59" E R=380.00'  
Δ=6°21'58" L=42.23'

SCALE 1" = 500 FEET

500 250 0 500

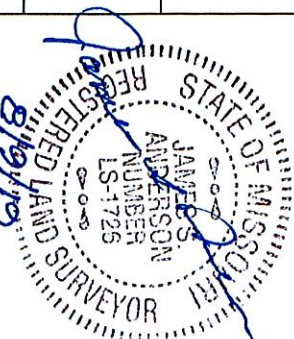
SCALE IN FEET

PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT  
200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
DATE: AUGUST 9, 2019



VACATED RIGHT OF WAY  
115,337 SQUARE FEET

JAMES S. ANDERSON,  
PLS #1726



17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg

STROTHER ROAD

POINT OF COMMENCEMENT  
SOUTHWEST CORNER SECTION  
17, TOWNSHIP 48 NORTH,  
RANGE 31 WEST

N 2°28'26" E 40.00'

S 87°20'26" E 1809.07'

N 87°20'26" W 1809.39'

S 27°0'46" W 20.00'

POINT OF BEGINNING

S 88°21'49" E 1067.72'  
N 88°21'49" W 1081.46'

ITB=S 13°47'59" E R=380.00'  
Δ=6°21'58" L=42.23'

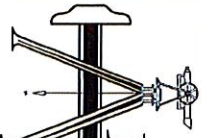
EAST LINE OF THE WEST 1/2  
OF THE SOUTHWEST 1/4  
OF SECTION 17, TOWNSHIP 48  
NORTH, RANGE 31 WEST

CLOSURE ERROR:  
ERROR: 0.003'  
DISTANCE: 5,849.87'  
CLOSURE: 1:1,949,957

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

## CLOSURE REPORT

### CITY OF LEE'S SUMMIT



**ANDERSON**  
SURVEY COMPANY  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
(816) 246-5050

MISSOURI CERTIFICATE OF AUTHORITY, 000076

SCALE 1" = 500 FEET



SCALE IN FEET

PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT  
200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
DATE: AUGUST 9, 2019



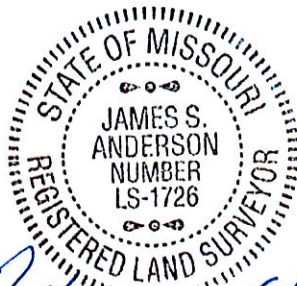
VACATED RIGHT OF WAY  
115,337 SQUARE FEET



# EXHIBIT "A"

PROJECT: LEE'S SUMMIT AIRPORT  
DATE: MAY 26, 2019  
DOUGLAS STREET

**DESCRIPTION: DOUGLAS STREET RIGHT OF WAY VACATION:**  
THAT PART OF DOUGLAS STREET AS ESTABLISHED BY DOCUMENT NO. I-492376 IN BOOK I-1154 AT PAGE 1959 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE WEST 30.00 FEET OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 48 NORTH, RANGE 31 WEST LYING SOUTH OF A LINE 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID EAST 1/2. THE ABOVE DESCRIBED TRACT OF LAND CONTAINS 79,290 SQUARE FEET, MORE OR LESS.



*James S. Anderson* 6/4/19

JAMES S. ANDERSON, PLS #1726  
ANDERSON SURVEY COMPANY  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
PHONE: (816) 246-5050



17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg



OLD STROTHER ROAD

NORTHEAST DOUGLAS STREET

RIGHT OF WAY ESTABLISHED  
BY DOCUMENT NO. I-492376  
BOOK I-1154, PAGE 1959

2642.94'

30.00'

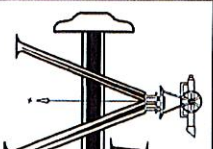
WEST LINE OF EAST 1/2 OF  
NORTHEAST 1/4 SECTION 19,  
TOWNSHIP 48 NORTH, RANGE  
31 WEST

SOUTHWEST CORNER OF EAST  
1/2 OF NORTHEAST 1/4  
SECTION 19, TOWNSHIP 48  
NORTH, RANGE 31 WEST

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

# EXHIBIT A

## CITY OF LEE'S SUMMIT



**ANDERSON**  
SURVEY COMPANY  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
(816) 246-5050

MISSOURI CERTIFICATE OF AUTHORITY, 000076

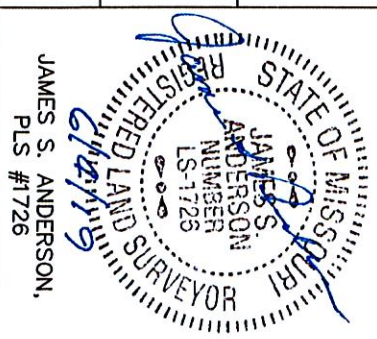
SCALE 1" = 500 FEET  
500 250 0 500

SCALE IN FEET

PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT  
200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
DATE: MAY 26, 2019



VACATED RIGHT OF WAY  
79,290 SQUARE FEET



JAMES S. ANDERSON,  
PLS #1726

# EXHIBIT "A"

PROJECT: LEE'S SUMMIT AIRPORT  
DATE: MAY 26, 2019  
LEINWEBER ROAD

**DESCRIPTION: LEINWEBER ROAD RIGHT OF WAY VACATION:**

THAT PART OF LEINWEBER ROAD LYING BETWEEN THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF SECTION 19 AND THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF SECTION 20, TOWNSHIP 48 NORTH, RANGE 31 WEST.



*James S. Anderson 6/4/19*

JAMES S. ANDERSON, PLS #1726  
ANDERSON SURVEY COMPANY  
1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
PHONE: (816) 246-5050



17, 18, 19, 20-48-31  
18-11-42364-1  
42364\_exhibits.dwg

WEST LINE OF EAST 1/2  
OF EAST 1/2 SECTION 19,  
TOWNSHIP 48 NORTH,  
RANGE 31 WEST

EAST LINE OF WEST 1/2  
OF WEST 1/2 SECTION 20,  
TOWNSHIP 48 NORTH,  
RANGE 31 WEST

SOUTH LINE OF NORTH 1/2  
OF EAST 1/2 OF EAST 1/2  
SECTION 19, TOWNSHIP 48  
NORTH, RANGE 31 WEST

SOUTH LINE OF NORTH 1/2  
OF WEST 1/2 OF WEST 1/2  
SECTION 20, TOWNSHIP 48  
NORTH, RANGE 31 WEST

THE BEARING SYSTEM SHOWN  
HEREON IS BASED UPON THE  
MISSOURI COORDINATE SYSTEM  
1983, WEST ZONE

## EXHIBIT A

### CITY OF LEE'S SUMMIT



1270 N.E. DELTA SCHOOL ROAD  
LEE'S SUMMIT, MISSOURI 64064  
(816) 246-5050  
MISSOURI CERTIFICATE OF AUTHORITY, 000076

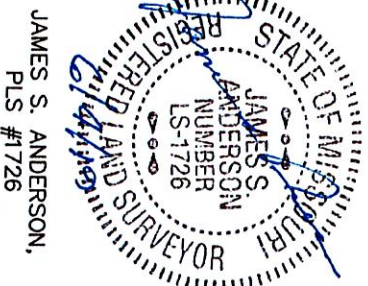
SCALE 1" = 500 FEET



SCALE IN FEET

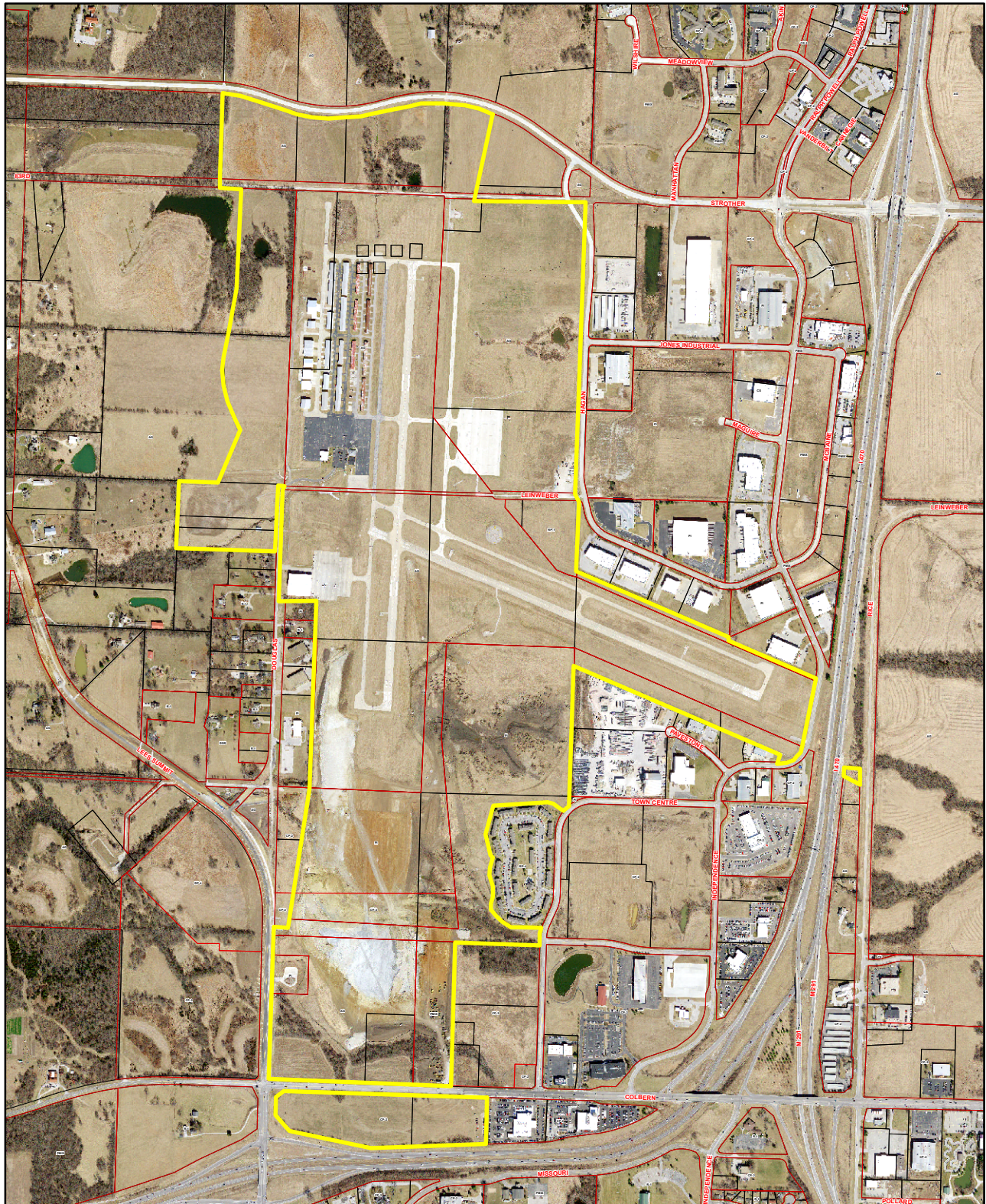
PROJECT NAME: LEE'S SUMMIT AIRPORT  
FOR: CITY OF LEE'S SUMMIT  
200 SOUTHEAST GREEN STREET  
LEE'S SUMMIT, MISSOURI 64063  
DATE: MAY 26, 2019

VACATED RIGHT OF WAY  
SQUARE FOOTAGE UNKNOWN



JAMES S. ANDERSON,  
PLS #1726

**Appl. #PL2019-261 – VACATION OF RIGHT-OF-WAY  
Unused right-of-way on Lee's Summit Airport property  
City of Lee's Summit, applicant**



## Packet Information

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**File #:** 2019-3121, **Version:** 1

---

Approval of the New Ownership Arrangement regarding Liquor Licenses G3 and S for Siki Japanese Restaraunt, 601 NW Blue Parkway, Lee's Summit, MO 64063.

**Key Issues:**

The approval of the New Ownership Arrangement regarding Liquor Licenses G3 and S for Siki Japanese Restaraunt, 601 NW Blue Parkway, Lee's Summit, MO 64063.

**Background:**

A background check was conducted on the managing officer and new owner with no negative information found.

**Staff Recommendations:**

The director of liquor control recommends the approval of the New Ownership Arrangement regarding Liquor Licenses G3 and S for Siki Japanese Restaraunt.

# Siki Japanese Restaurant

\* New Additional Partner (50%)



## CITY OF LEE'S SUMMIT, MISSOURI

### APPLICATION FOR BUSINESS LIQUOR LICENSE

Please mark ("x") which one of the following licenses you will need for a Lee's Summit, Missouri establishment. Sunday licenses are a separate application.

- ☐ A1 - Manufacturing, brewing malt liquor (\$300.00)
- ☐ A3 - Wholesale selling of malt liquor (\$75.00)
- ☐ B1 - Manufacturing 22% or less alcohol content intoxicating liquor (\$150.00)
- ☐ B2 - Manufacturing, distilling, blending intoxicating liquor of all kinds (\$300.00)
- ☐ B3 - Wholesale selling of 22% or less alcohol-content intoxicating liquor (\$150.00)
- ☐ B4 - Wholesale selling of intoxicating liquor of all kinds (\$375.00)
- ☐ C1 - General retail selling of malt liquors, or wine, or both, by the drink **and** in the original package (\$52.50)
- ☐ C2 - Hotel retail selling of malt liquor by the drink and in the original package \$52.50)
- ☐ C3 - Restaurant retail selling of malt liquor by the drink **and also** in the original package, **including Sunday sales** (\$75.00)
- ☐ D - Retail selling of malt liquor only in the original package, **including Sunday** (22.50)
- ☐ G1 - General retail selling of intoxicating liquor of all kinds by the drink **and** in the original package (\$450.00)
- ☐ G2 - Hotel retail selling of intoxicating liquor of all kinds by the drink **and also** in the original package (\$450.00)
- ☒ G3 - Restaurant retail selling of intoxicating liquor of all kinds by the drink **and** in the original package (\$450.00)
- ☐ H - Retail selling of intoxicating liquor of all kinds only in the original package (\$150.00)
- ☐ I - **Consuming** intoxicating liquor on premises not licensed to sell (C.O.L.) (\$90.00)
- ☐ J - Resort retail selling of intoxicating liquor by the drink (\$450.00)
- ☐ J (temp) - Resort temporary retail selling of intoxicating liquor by the drink (\$75.00 in addition to Type J)
- ☐ M - Caterer temporary location (7-day) for retail selling of intoxicating liquor by the drink (\$15.00/day)
- ☐ N - Caterer temporary location (50-day) for retail selling of intoxicating liquor by the drink (\$500.00)
- ☐ O - Caterer temporary location (unlimited) for retail selling of intoxicating liquor by the drink (\$1,000.00)
- ☐ P - Fourth of July temporary 7-day selling of wine and malt liquor by the drink (church, school, etc.) (\$150.00)
- ☐ Q - Temporary (7-day) picnic retail selling of intoxicating malt liquor by the drink (church, school, etc.) (\$15.00/day)
- ☐ R - Temporary (7-day) picnic retail selling of intoxicating liquor by the drink (\$37.50/day)
- ☒ S - **Sunday** license retail selling intoxicating liquor of all kinds (\$300.00 in addition to specific type)
- ☐ Tasting - yearly fee in addition to specific type (\$25.00)



5. Has any such license listed in question #4 ever been suspended or revoked? NO If so, please give complete details: NA
6. Have you ever made application for a liquor license that was denied by the City of Lee's Summit or by the licensing authority of any state, county or city? NO If so, please give complete details: NA
7. Have you or anyone interested either directly or indirectly in the premises to be licensed hereunder or the operation thereon ever been convicted of a felony? NO If so, please give complete details: NA
8. If not a corporation/LLC, give names and business addresses of employers for the past five years. (If self-employed, state nature of business and location.): NA
9. Is the proposed location within 300 feet of a church or school? NO
10. If existing business, from whom and when was the business purchased? CHANGE IN SHARES ONLY--NO CHANGE IN COMPANY NOR OFFICERS  
Effective date of possession:           . Name of mortgage holder, if any:             
NA
11. Will any distiller, wholesaler, wine maker, brewer, or supplier, or coin operated, commercial, manual or mechanical amusement devices or the employees, officers or agents thereof, have any financial interest in the retail business of the applicant for the sale of alcoholic beverages, or "C.O.L.", and will the applicant directly or indirectly borrow or accept from any such persons equipment, money, credit, or property of any kind except ordinary commercial credit for liquor sold? NO If so, please explain: NA
12. Will applicant either directly or indirectly borrow or accept from any person identified in #11 either equipment, money, credit or property of any kind except ordinary commercial credit for liquor sold? NO If so, please explain: NA

13. Will you at all times permit the entry of any officer or investigator who may have legal supervisory authority for the purpose of inspection or search; and will you permit the removal of all things and articles which may be in violation of the ordinances of Lee's Summit, Missouri, and the laws of the State of Missouri; and do you promise and agree not to violate any of the ordinances of Lee's Summit, Missouri, the laws of the State of Missouri, or the United States in the conduct of the business for which the license is sought? \_\_\_\_\_

**IF BUSINESS IS OWNED BY A CORPORATION, COMPLETE THIS SECTION:**

Name of corporation/LLC: QSL INC

State in which incorporated: MISSOURI Date of incorporation: 1/12/2016

If not a Missouri corporation/LLC, date authorized to do business in Missouri: \_\_\_\_\_

Full name, complete residential address, date of birth and Social Security Number of the President, Vice President, Treasurer and Secretary of the corporation (or Members of the LLC): \_\_\_\_\_

MEI FEN QUI PRESIDENT AND SECRETARY

If stock is not publicly held, give names and residential addresses of all stockholders who hold 10% or more of the capital stock: MEI FEN QUI 50% AND XIANGJIAO LIN 50%, ---NEW SHAREHOLDER ADDRESS IS

XXX I wish to have my home address, Date of Birth, and place of birth withheld from public disclosure (initials)

(County of Jackson)

SS

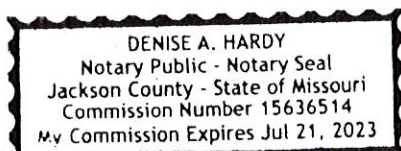
(State of Missouri)

I, MEI FEN QUI, being of lawful age and duly sworn upon my oath,  
(Print Applicant's Name)

do swear that the answers and information given in this application are true and complete to the best of my knowledge and belief.

[Signature]  
Applicant's Signature

Subscribed and sworn to before me this 18<sup>th</sup> day of October, 2019



My commission expires: 7.21.23

[Signature]  
Notary Public

**To Be Provided By Applicant:**

**1) The Applicant and/or Managing Officer (if different) shall provide:**

- a) Recent photograph;
- b) Copy of Missouri voter registration card;
- c) Copy of paid Missouri personal property tax receipt for year immediately preceding date of application
- d) Fingerprints (obtained at the Lee's Summit Police Department, Main Lobby, 10 NE Tudor Rd., Lee's Summit, MO). The Applicant and/or Managing Officer (if different) will be fingerprinted as will all officers, directors and any shareholder holding more than a ten percent (10%) interest in the business.

**2) Copy of Business License** (contact Treasury Department at 816-969-1139).

**3) Copy of Zoning Approval** (contact Planning & Development at 816-969-1600).

**4) If existing business location:**

- a) Copy of lease or mortgage showing Proof of Occupancy.
- b) Recent photographs of the interior and exterior of the premises to be licensed.

**5) For newly constructed or remodeled businesses:**

- a) Certificate of Occupancy Permit shall be obtained prior to the actual issuance of a city liquor license (contact Codes Administration at 816-969-1200).
- b) Complete description of the plans, specifications, and fixtures of the proposed place of business.

**6) Package Liquor Only:** Inventory Affidavit, notarized by the applicant, stating the type of business presently engaged in, or in conjunction with, which the license shall be used; **AND** stating that in his place of business the applicant has, and at all times keeps, a stock of goods having an invoice of at least \$1,000, exclusive of fixtures and intoxicating liquors.

**7) Appropriate license fee:** Make checks and money orders payable to the City of Lee's Summit.


**8) Estimated date of opening?** \_\_\_\_\_

---

**For Office Use Only:**

It is recommended this application be APPROVED / ~~DISAPPROVED~~ this 24th day of

October, 2017.

  
\_\_\_\_\_  
Director of Liquor Control

City Council Action: ☐ Approved ☐ Disapproved Date: \_\_\_\_\_



**APPLICATION FOR LIQUOR LICENSE**  
**TYPE "S" - SUNDAY RETAIL (\$300)**

**The following is to be completed by the owner or managing officer:**

Sole Owner & Operator ☐

Corporation ☒

Partnership ☐

Applicant's Name: MEI FEN QIU

Business Name: SIKI JAPANESE RESTAURANT Phone: 816-525-4877

Business Address: 601 NW BLUE PARKWAY Lee's Summit, MO

I, the undersigned, hereby make application to the City of Lee's Summit, Missouri, for a Type "S" liquor license in accordance with Chapter 4, "Alcoholic Beverages" Ordinance of the City of Lee's Summit, Missouri.

County of Jackson)

SS

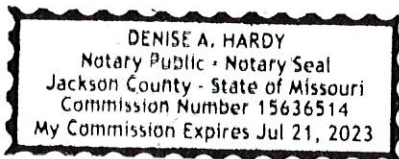
State of Missouri)

I, (please print) MEI FEN QIU, being of lawful age and duly sworn upon my oath, do swear that the answers and information given in this application are true and complete to the best of my knowledge and belief.

[Signature]  
Applicant's Signature

Subscribed and sworn to before me this 18<sup>th</sup> day of October 2019

My commission expires: 7.21.23



[Signature]  
Notary Public

It is recommended this application be APPROVED / ~~DISAPPROVED~~ this 24<sup>th</sup> day of October, 2019

[Signature]  
Director of Liquor Control

City Council Action: ☐ Approved ☐ Disapproved Date: \_\_\_\_\_

## Packet Information

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**File #:** 2019-3147, **Version:** 2

---

November 13, 2019 - Jaguars Softball Day

Issue/Request:

In honor of the Blue Springs South High School Softball Team winning the Missouri State Championship, Mayor Baird is proclaiming Wednesday, November 13, 2019 as Jaguars Softball Day.

Coaches and teammates from the Blue Springs South High School Softball Team

# PROCLAMATION



**WHEREAS**, invented in Chicago in 1887, softball has evolved into one of the most popular sports in America and other countries throughout the world; and,

**WHEREAS**, the Missouri State High School Activities Association (MSHSAA) promotes the value of participation, sportsmanship, team play, and personal excellence to develop citizens who make positive contributions to their community and support the democratic principles of our state and nation; and,

**WHEREAS**, the Blue Springs South High School Girls Softball Jaguar team is comprised of young, athletic women who enjoy sports and aspire to represent their school and classmates in the competitive field of softball; and,

**WHEREAS**, under the guidance of their coaches, Kristi Williams, Tracie Black, and Darin Wisner, the team worked diligently to hone their skills with their dedication to practice, hard work, and love of the game; and,

**WHEREAS**, the team's determination and athletic skill was rewarded by winning several district championships but most notably when the Blue Springs South Girls Softball team won the Missouri State Championship in both 2018 and 2019.

**NOW, THEREFORE**, I, Bill Baird, by virtue of the authority vested in me as Mayor of the City of Lee's Summit, do hereby proclaim November 13th, 2019, as

## JAGUARS SOFTBALL DAY

in Lee's Summit and invite our citizens to congratulate all team members and coaches of the team on their outstanding victories and to encourage all children in their pursuit of softball and other sport achievements.

**IN TESTIMONY WHEREOF**, I have hereunto set my hand and caused to be affixed the Great Seal of the City of Lee's Summit, Missouri, this 12th day of November 2019.

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**MAYOR WILLIAM A. BAIRD**

## Packet Information

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**File #:** 2019-3099, **Version:** 1

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Fire Department Community Risk Standard of Cover

Issue/Request:

Overview of LSFD 2019 Community Risk Standard of Cover Report which is a component of the Commission on Fire Accreditation International accreditation model.

Key Issues:

- ☐ History of Accreditation
- ☐ Current Status of Accreditation
- Annual Compliance Report (ACR) - Strategic Plan - Performance Data
- ☐ 2019 Community Risk Assessment Standards of Cover (SOC)
- ☐ Today and Into the Future

Mike Snider, Fire Chief

Dan Manley, Assistant Fire Chief

Darrel Clowes, Captain



# 2019 Accreditation Report

**LS** LEE'S SUMMIT  
MISSOURI

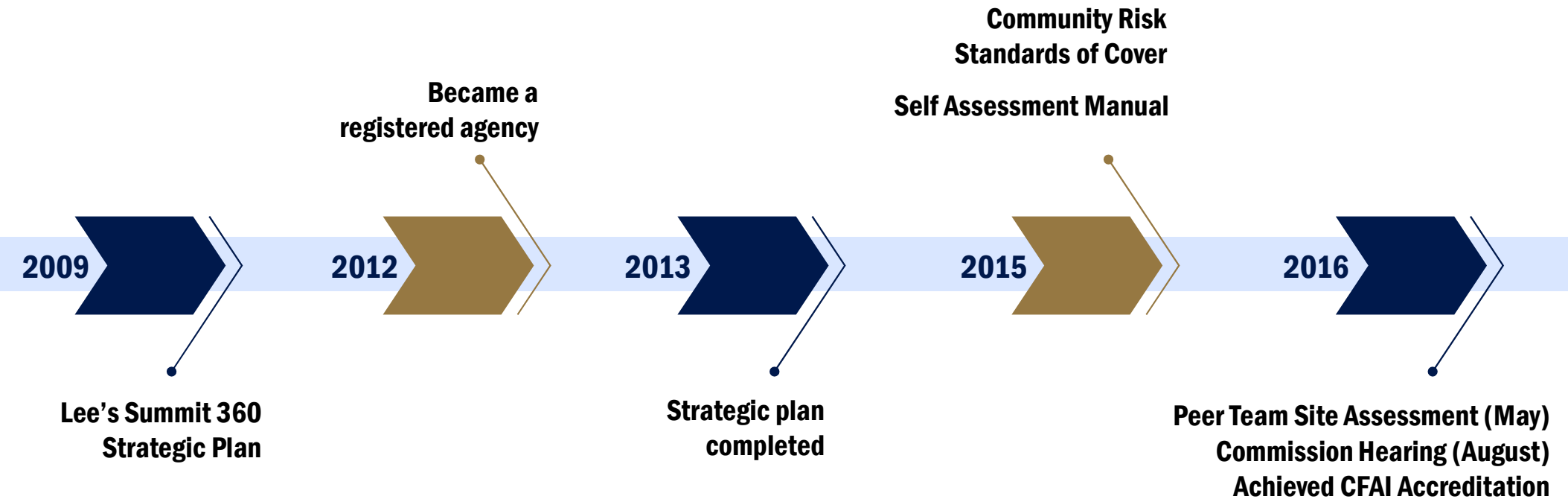


# **2019 AGENDA**

## **Progress of Accreditation**

- 01 Introduction of Key Staff**
- 02 History of Accreditation**
- 03 Current Status of Accreditation**
  - Annual Compliance Report (ACR) – Strategic Plan – Performance Data**
- 04 2019 Community Risk Assessment Standards of Cover (SOC)**
- 05 Today and Into the Future**

# HISTORY OF ACCREDITATION



# ACCREDITATION PROCESS

## Time and Hours Spent



**2,000 Hours**

**spent by agencies preparing the required accreditation documents**

**13,000 Hours**

**spent by agencies addressing things learned from the self-assessment**

**3 - 5 Years**

**time agencies take to work through the process to achieve accredited status.**

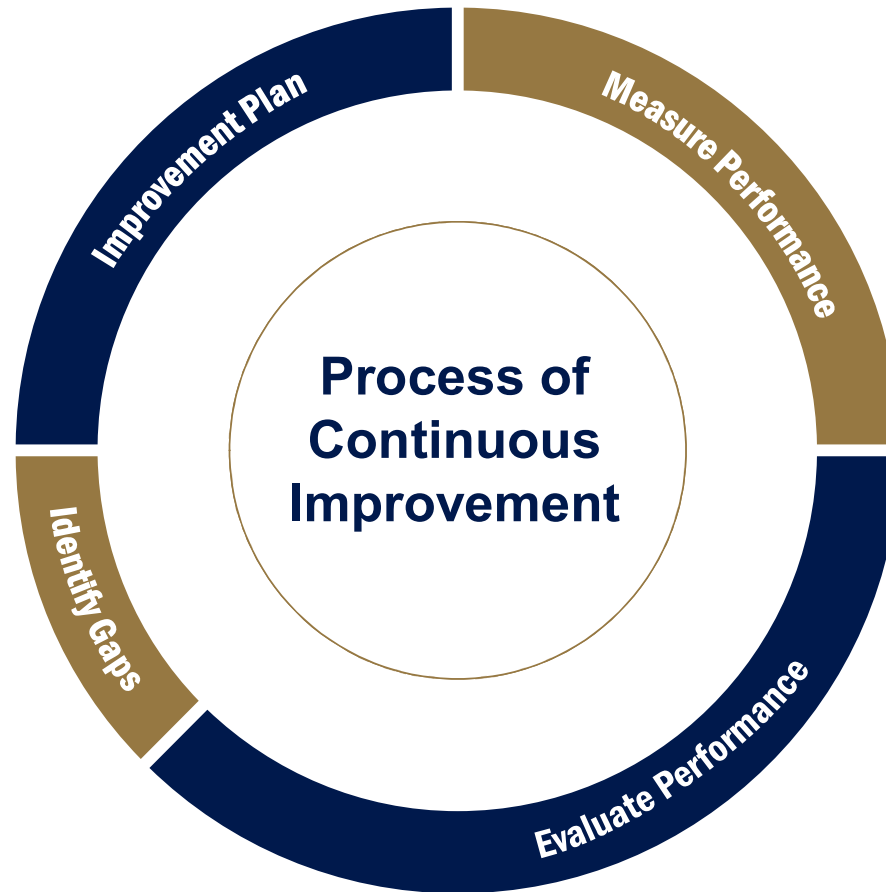
# INSURANCE SERVICES OFFICE (ISO)

**CLASS 2/2X**

**2017 Public Protection  
Classification (PPC) Survey**

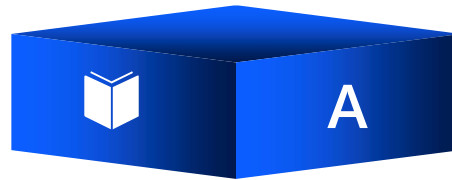
The department achieved a rating of “Class 2/2X” from a previous rating of “Class 3.” The rating includes the City of Greenwood and Unity Village.

# ACCOMPLISHMENTS

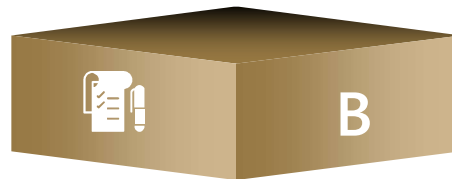


# ACCREDITATION UPDATE

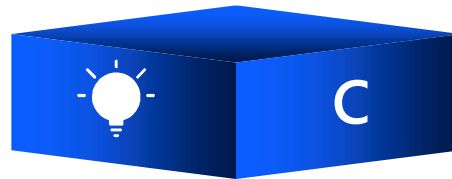
3 ½ Years Into 5-Year Cycle



Published a five-year Strategic Plan in March 2018.



Successfully completed three of four Annual Compliance Reports. Final report due July 2020.



Community Risk Assessment Standards of Cover completed in June 2019.



Self-Assessment Manual - three categories completed, seven remaining.

# COMMUNITY EXPECTATIONS



## **Expectation #1 in 2013**

“To provide fast emergency service in times of crisis. Quick emergency response meeting industry best practices.”



## **Expectation #1 in 2018**

“Fast and effective fire and emergency response...To arrive at any emergency in five minutes or less.”

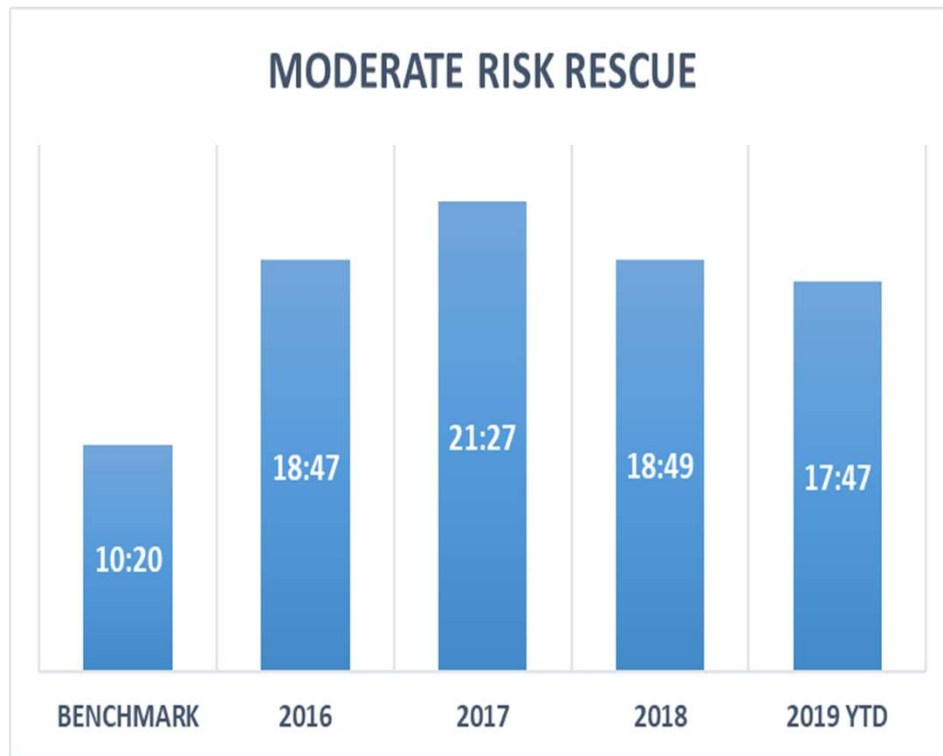
# COMMUNITY PRIORITIES

Documented in the 2018 Strategic Plan

PROGRAMS	RANKING	SCORE
Emergency Medical Services	1	335
Fire Suppression	2	305
Rescue – Basic and Technical	3	278
Hazardous Materials Mitigation	4	182
Domestic Preparedness Planning and Response	5	172
Community Risk Reduction	6	141
Public Fire and Life Safety Education	7	109
Fire Investigation	8	102

# RESPONSE PERFORMANCE DATA

## Moderate-Risk Rescue



### Units Assigned

- Two pumpers or trucks
- Two rescues
- One chief officer

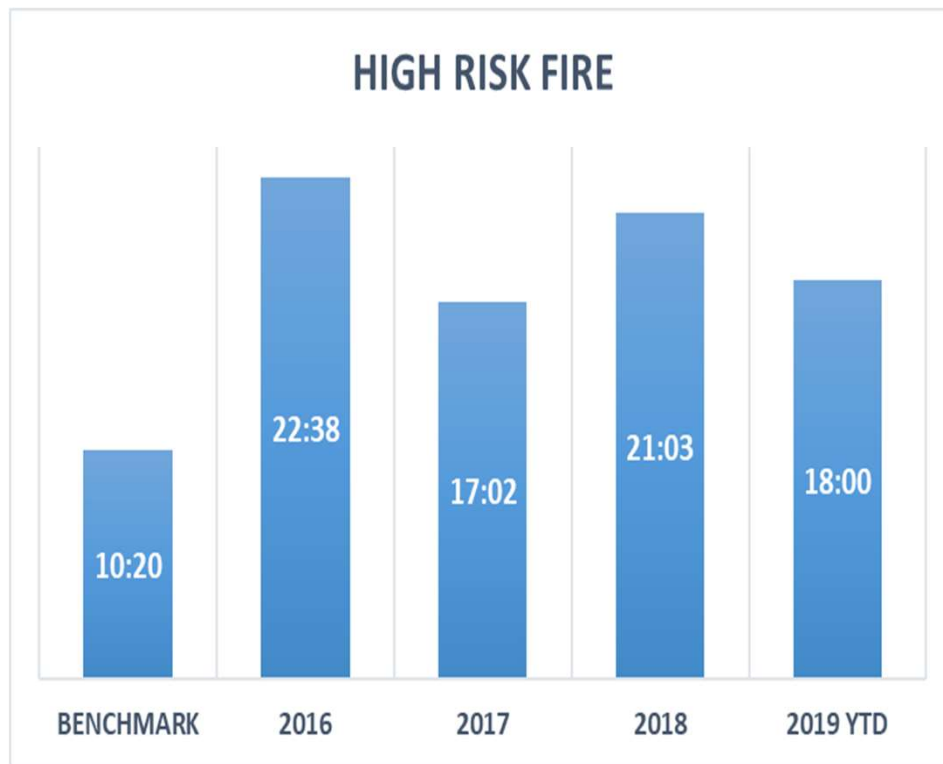
Total of 11 personnel assigned

### Category Includes

- Motor vehicle collisions (MVC) with extrication
- Motor vehicle collisions with one to four patients
- Vehicles into buildings

# RESPONSE PERFORMANCE DATA

## High-Risk Fire



### Units Assigned

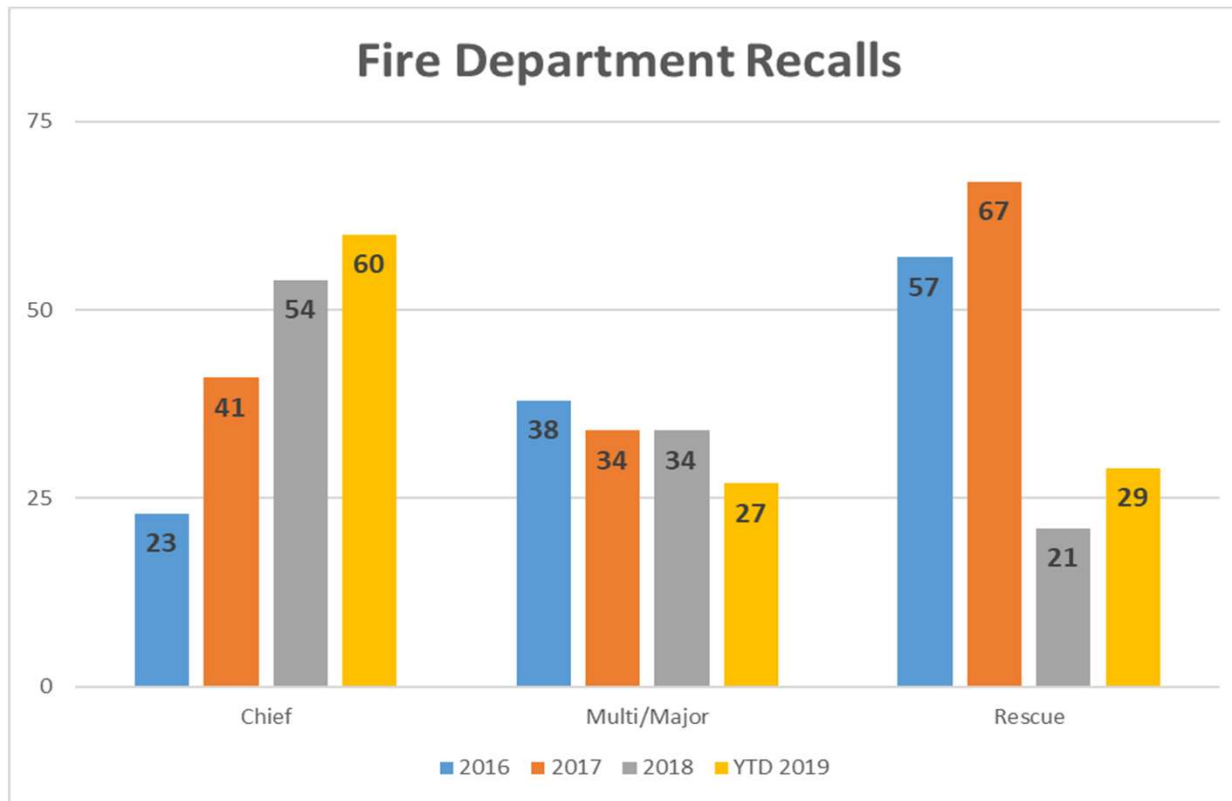
- Three pumpers
- One truck
- Two rescues
- Two chief officers

Total of 18 personnel assigned

### Category Includes

- Residential or commercial structure fires
- Aircraft emergencies

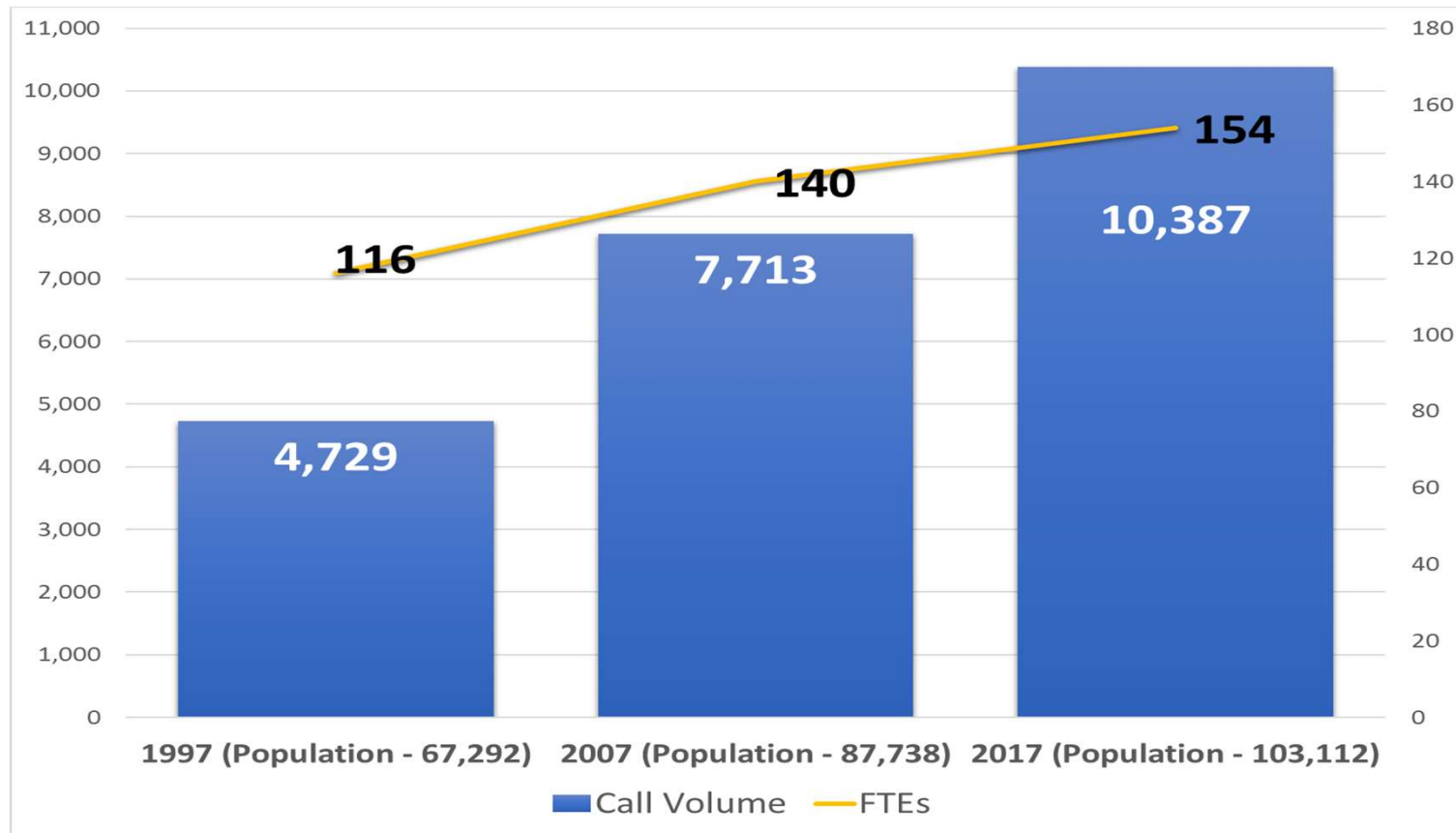
# RESOURCE MANAGEMENT CHALLENGES



## Types of Recalls

- Chief Recall – number of incidents when both Shift Chiefs are unavailable for a call
- Multi/Major Recall - fall below 2 pumpers and 1 rescue (ambulance)
- Rescue Recall – fall below 1 rescue (ambulance)

# OPERATIONAL STAFFING CHALLENGES



# ADMINISTRATIVE STAFFING CHALLENGES

CITY	SPAN OF CONTROL
Lawrence/Douglas County (KS)	1 to 12
Lee's Summit	1 to 11
Shawnee, KS*	1 to 11
Springfield, MO	1 to 9
Columbia, MO	1 to 8
Springdale, AR	1 to 8
Metro West (MO)	1 to 7
Lenexa, KS	1 to 7
Overland Park, KS	1 to 6
Central Jackson County (MO)	1 to 5
Olathe, KS	1 to 4

\*Approved for 3 additional staff in next fiscal year – current Admin staff is 6.



# RECOMMENDATIONS

## Documented in 2015 Standards of Cover

### IMMEDIATE TERM

within 12 months

**Automatic Vehicle Location  
(AVL)**

**Build Administration,  
Training, Support Services,  
Prevention,  
Communications &  
Operations Divisions to  
support City growth**

### NEAR TERM

within 2-5 years (2017 - 2020)

**Multiple company  
resources at Stations 1 & 3  
to address reliability  
challenges**

### LONG TERM

within 5-10 years (2020 - 2025)

**Station addition in northern area of the City**

**Station addition in the area of Bailey Rd. & 291 Highway**

**Possible station on the west side of the City**

**Operational staffing consistent with industry standard.  
Compliance with the National Fire Protection Association  
(NFPA) 1710: Standard for the Organization and Deployment  
of Fire Suppression Operations, Emergency Medical  
Operations & Special Operations to the Public by Career Fire  
Departments\***

**\*Supported by the National Institute for Standards & Technology (NIST)  
Field Experiments Study**



# 2019 STANDARDS OF COVER

## Immediate Term (within 12 months) Recommendations

- Work with community leaders to identify sustainable revenue streams to support expansion needs

- Explore external funding opportunities (grants)

- **Identify and formalize expansion triggers**

- **Strategic planning for reconstruction / relocation of Stations 4 & 5**

- **Add an additional ambulance upon completion of Station 3**

- If unable to add additional ambulance, explore alternatives, i.e. relocate a current ambulance

- Live fire training props to increase firefighter preparedness

- Investigate technology opportunities to enhance FD operations

- Investigate technology to support compliance monitoring

# 2019 STANDARDS OF COVER

## Near Term (within 2 - 5 years) Recommendations

- Evaluate Communication Study to ensure staffing is within the National Standards

- **Increase Administration staffing to efficiently and effectively manage community and department needs**

- **Construct an additional station in the northern portion of Fire District 4**

- Monitor call volume/response times for Station 1 and consider additional staffed resources

- Staff additional ladder truck to reduce ERF times

- If unable to staff additional ladder truck re-evaluate the positioning of Truck 7

- Actively participate in the comprehensive planning for the City

- Review the department's record management capabilities to determine if they meet current and future needs

- Evaluate current deployment model for EMS calls, considering strategies to reduce volume

# 2019 STANDARDS OF COVER

## Long Term (within 5 - 10 years) Recommendations

- Monitor and adjust staffing levels in Administration as necessary to ensure proper span of control

- Evaluate a staffing plan to meet NFPA 1710 standards

- Evaluate opportunity to build and staff an additional station in the Bailey Rd. and 291 Highway area

- Monitor areas of development

- Develop plans to address travel time issues identified for coverage areas that exceed NFPA 1710 response time recommendations



# QUESTIONS



# LEE'S SUMMIT MISSOURI



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## FIRE DEPARTMENT

### **2019 LSFD Community Risk Standard of Cover**

The Fire Department received its initial accreditation status in 2016, after beginning the process in 2012. Accreditation for the Fire Service is commissioned through the Commission of Fire Service Accreditation International (CFAI). The Department is currently at three and one-half years into the five year process to apply for continued accreditation status. The re-accreditation process includes completing a five year strategic plan, completing and continually updating a Community Risk Assessment/Standard of Cover (SOC), and complete the ten categories of the self-assessment manual.

The presentation this evening is to fulfill our requirement to present to the council our updated SOC that was completed mid-year 2019. The SOC updates our current response data, which enhances our ability to make decisions for our organization. The data also allows us to see if prior completed recommendations have made an improvement as expected. You will see as you look through the documents and the updated data sets that several areas have improved, for example low risk EMS responses have decreased below the established benchmark. The improvement in low risk EMS responses can be directly related to the additional staffing authorized for our sixth ambulance, as well as the implementation of closest unit response utilizing automated vehicle location.

While you will see improvements, you will also see that we continue to face operational challenges. An example of an operation challenge is high risk fire incidents (building fires). High risk fires have a bench mark of ten minutes and twenty seconds in regards to the appropriate workforce arriving on scene. In order to meet this established standard of ten minutes and twenty seconds we must have three pumpers, one ladder truck, two ambulances, and two chief officers (total of 18 personnel) on scene. You will see included in our updated recommendations opportunities to assist in meeting this standard.

In addition to recommendations to assists in meeting operational standards such as high risk fire incidents, you will also find updated immediate (within 12 months), near term (within 2-5 years), and long term (within 5-10 years) recommendations. Recommendations are across our entire organization and include items such as: staffing (administration and operations), technology, policy, and deployment models.

We look forward to providing you the updated SOC as well as outlining our recommendations to continuously improve.

# FACILITY NEEDS

LSFD FACILITY	YEAR CONSTRUCTED	AGE IN YEARS
Station 1 (HQ) Y	1976	43
Station 2	2011	8
Station 3 XYZ	1971 (New station under construction)	48
Station 4 YZ	1977 (Funding through 2019 Bond)	42
Station 5 YZ	1980 (Funding through 2019 Bond)	39
Station 6	1998	21
Station 7	2007	12
Future Northern Station	TBA	--
Future Southern Station	TBA	--

X - Indicates a replacement plan exists

Y - Indicates non ADA compliance

Z - Indicates gender needs

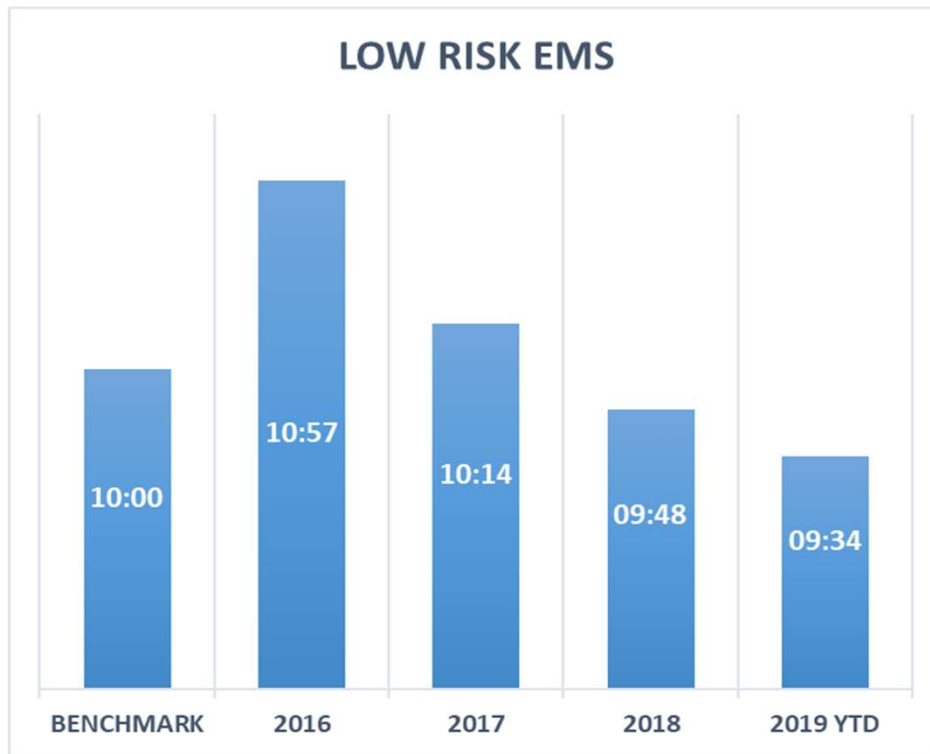
# RESPONSE BENCHMARKS

The Bull's-Eye 

Total Response Time (TRT) Benchmarks @ the 90 <sup>th</sup> percentile		
Based on NFPA 1710 Standard		
	EMS	Fire, Rescue and Haz-Mat
Call Handling	60 seconds	60 seconds
Turnout	60 seconds	80 seconds
Travel Time (1 <sup>st</sup> Unit) (Distribution)	4 minutes	4 minutes
ERF Travel Time (Concentration) -Includes 1 <sup>st</sup> arriving unit	8 minutes	8 minutes
Total Response Time (TRT)	10 minutes	10 minutes 20 seconds

# RESPONSE PERFORMANCE DATA

## Low-Risk EMS



### Units Assigned

- One pumper or truck
- One rescue

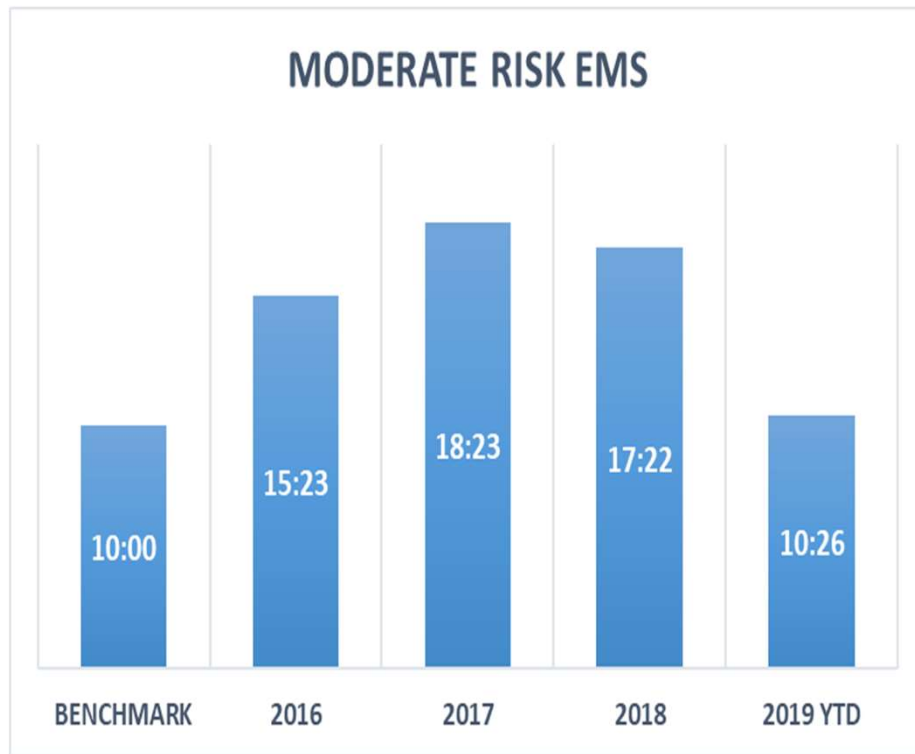
Total of five personnel assigned

### Category Includes

- Emergency EMS alarm – single patient
- Medical alarm

# RESPONSE PERFORMANCE DATA

## Moderate-Risk EMS



### Units Assigned

- One pumper or truck
- One rescue
- One chief officer

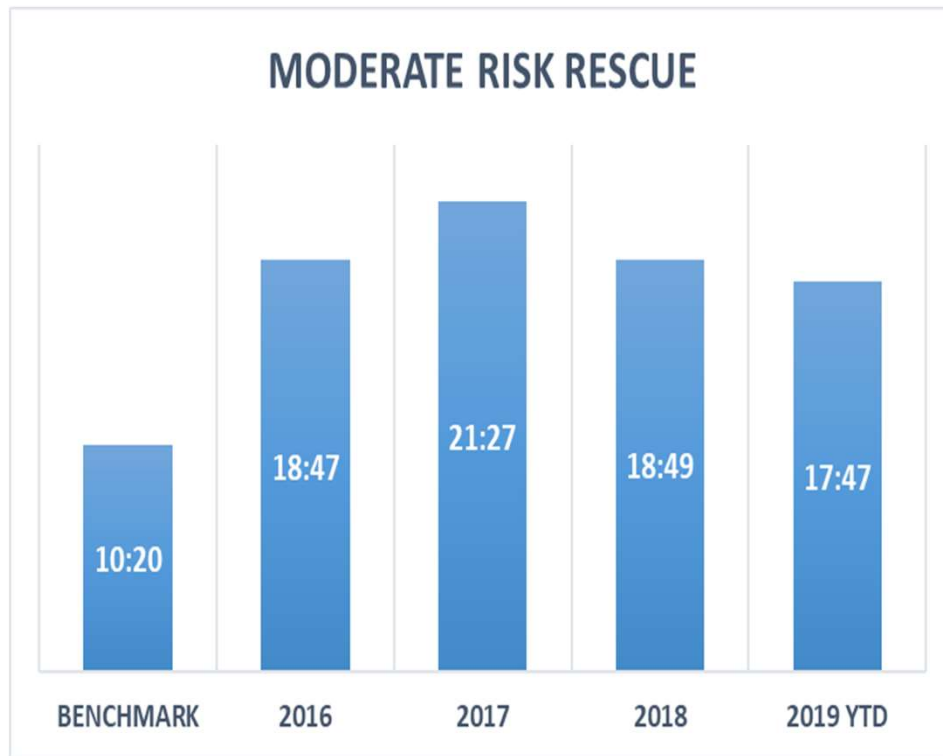
Total of six personnel assigned

### Category Includes

- Cardiac arrest
- Assist PD on SWAT/ESS operation

# RESPONSE PERFORMANCE DATA

## Moderate-Risk Rescue



### Units Assigned

- Two pumpers or trucks
- Two rescues
- One chief officer

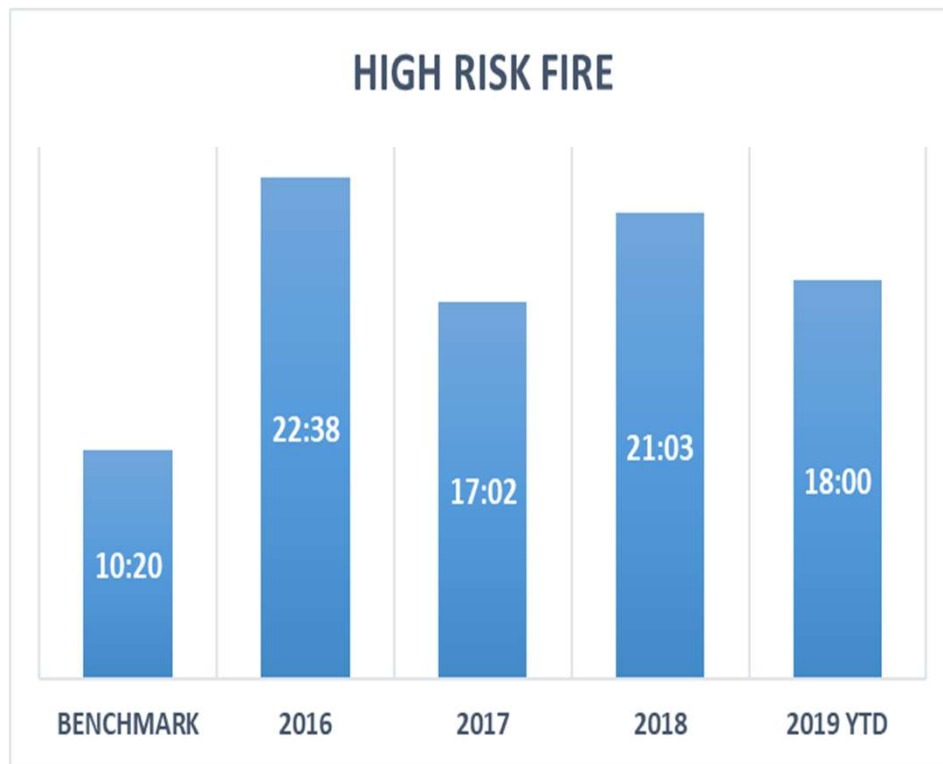
Total of 11 personnel assigned

### Category Includes

- Motor vehicle collisions (MVC) with extrication
- Motor vehicle collisions with one to four patients
- Vehicles into buildings

# RESPONSE PERFORMANCE DATA

## High-Risk Fire



### Units Assigned

- Three pumpers
- One truck
- Two rescues
- Two chief officers

Total of 18 personnel assigned

### Category Includes

- Residential or commercial structure fires
- Aircraft emergencies

# 2017 ISO PUBLIC PROTECTION

## Classification Report

- **Water Supply** 38.60 / 40 points
- **Emergency Communications Systems** 9.4 / 10 points
- **Community Efforts** 4.45 / 5.50 points
- **Fire Department** 33.85 / 50 points

“Divergence: Even the best fire department will be less than fully effective if it has an inadequate water supply. **Similarly, even a superior water supply will be less than fully effective if the fire department lacks the equipment, personnel or operational considerations to use the water. If the relative scores for fire department and water supply are different, ISO adjusts the total score downward to reflect the limiting effect of the less adequate item on the better one.**”

# 2017 CORRELATION

## Between ISO and CFAI

FIRS Feature	Earned Credit	Credit Available
<b>Emergency Communications</b>		
414. Credit for Emergency Reporting	2.40	3
422. Credit for Telecommunicators	4.00	4
432. Credit for Dispatch Circuits	3.00	3
<b>440. Credit for Emergency Communications</b>	<b>9.40</b>	<b>10</b>
<b>Fire Department</b>		
513. Credit for Engine Companies	5.94	6
523. Credit for Reserve Pumps	0.49	0.50
532. Credit for Pump Capacity	3.00	3
549. Credit for Ladder Service	0.86	4
553. Credit for Reserve Ladder and Service Trucks	0.17	0.50
561. Credit for Deployment Analysis	3.83	10
571. Credit for Company Personnel	9.56	15
581. Credit for Training	8.00	9
730. Credit for Operational Considerations	2.00	2
<b>590. Credit for Fire Department</b>	<b>33.85</b>	<b>50</b>
<b>Water Supply</b>		
616. Credit for Supply System	29.34	30
621. Credit for Hydrants	2.87	3
631. Credit for Inspection and Flow Testing	6.39	7
<b>640. Credit for Water Supply</b>	<b>38.60</b>	<b>40</b>
<b>Divergence</b>	<b>-5.76</b>	<b>--</b>
<b>1050. Community Risk Reduction</b>	<b>4.45</b>	<b>5.50</b>
<b>Total Credit</b>	<b>80.54</b>	<b>105.50</b>

### Challenges

- Fire Department (33.85/50)

Line 549 = 3.14 point deduction

Line 553 = 0.33 point deduction

Line 561 = 6.17 point deduction

Line 571 = 5.44 point deduction

- Divergence = 5.76 deduction

# 2018 STRATEGIC PLAN

- 63 External stakeholders
  - Community expectations and priorities
- 33 Internal stakeholders
  - Performed SWOT analysis and identified three to five-year plan of action for the department
- Mission statement, core values, vision statement

## Packet Information

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**File #:** 2019-3139, **Version:** 1

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Funding for current and future operational needs

Issue/Request:

Funding for current and future operational needs

Key Issues:

Rapid growth and changing expectations have highlighted new needs for the City of Lee's Summit to consider when making financial plans. During the FY20 Budget process, many of the operating departments communicated growing challenges in service delivery. To fully address these needs, departments prepared expansion requests to be considered for funding. In its current state, the City's revenue structure will not fully support the growing needs of the operating departments.

In addition to needs today, the City must also look to the future in an effort to prepare the community for continued success. The citizens strategic planning process has identified new critical success factors that will be important to address in the coming years. Success will likely require new financial resources and a financial commitment to make meaningful progress.

The purpose of this presentation is to explore ideas that will position the City to address challenges today and in the future.

Proposed City Council Motion:

N/A

Background:

Police Department Expansion Plans

Lee's Summit remains one of the safest cities in the metropolitan area. Residents repeatedly mention this safety as an important reason for their enjoyment of Lee's Summit as a place to live. The City also continues to grow at a rapid rate, particularly in retail and multi-family housing sectors. Unfortunately, such growth is often accompanied with increases in crime. Over the past three years, there have been small indicators of increases that provide red flags for concern. A planned effort to proactively curb potential increases is needed to maintain Lee's Summit's long-standing environment of safety and security for families, visitors, and businesses.

The Lee's Summit Police Department has developed a five-year plan for meeting these needs called the "LSPD Blueprint." Presentations of the Blueprint are pending for a July work session to Council. The plan addresses eight elements to meet the needs of growth in Lee's Summit:

1. Expand the Crime Reduction Team (CRT) program to proactively reduce crime and disorder and efficiently maintain the safety of Lee's Summit.

2. Provide a more significant presence throughout the City to foster community relationships, more efficiently distribute personnel and improve service to citizens.
3. Improve mental health and addiction services through the coordinated response of police resources and mental health professionals.
4. Improve post-incident investigative capabilities through improved technology and by meeting recognized manpower standards.
5. Improve response to critical incidents.
6. Improve police department training, administration, and fiscal efficiency systems.
7. Improve traffic safety by reducing vehicle crashes attributable to increasing roadway miles and population.
8. Meet growing demands for Animal Control services.

The plan calls for an expansion of 21 sworn and 6.5 (including one part time) civilian positions over a five-year period, along with capital and technology needs. The police department has been well-funded throughout recent budget cycles, but modern challenges are on the horizon requiring technology and manpower to assure safety. The Blueprint provides a means to proactively address these issues, assuring a safer Lee's Summit well beyond the five-year plan.

### Fire Department Expansion Plans

The Lee's Summit Fire Department (LSFD) provides fire suppression, emergency medical services, technical rescue, hazardous materials mitigation, fire prevention, public education, and disaster preparedness to the residents, businesses, and visitors to Lee's Summit, Missouri. LSFD is consistently working to achieve and/or maintain the highest level of professionalism and efficiency on behalf of those it serves.

LSFD Community Risk Standard of Cover is the blueprint for Fire Department

- A study of the risks and hazards within the community associated with fire department core programs.
- A description of the current capabilities and limitations of fire department resources to mitigate fire department incidents against consensus standard benchmark response time standards.
- Identified gaps are developed into strategic recommendations to enhance fire department services over a period of time.
- The SOC is a required component of all internationally accredited fire departments.

In the fire department's pursuit of best outcomes, time is the enemy when responding to emergencies. The impact of the incident is dependent on the response time for the fire department to stabilize the hazard or control the risk.

The Fire Department will be presenting update Standards of Cover Information at this Council meeting also. Attached is a brief overview of the recommendations from 2015 and the departments updated 2019 recommendations.

### Public Works Department Expansion Plans

Between FY2010 and FY2019, the basic infrastructure maintained and managed by Public Works increased as follows.

Pavement	+ 67 miles	+ 6.8%
Storm drain pipe	+ 21 miles	+ 8.6%
Storm drain structures	+ 1,386 each	+ 9.3%
Traffic signals	+ 11 each	+ 24.4%
City-owned streetlights	+ 1,141 each	+ 95.2%

Not accounted for in these figures are the additional curb & gutter (equal to the miles of pavement), sidewalk and/or

paths, pavement markings, various types of street signs and leased streetlights that are associated with all of these expansions.

During the same period, FY2010 to FY2019, the Public Works Department budget for general fund divisions (Engineering and Operations) has remained flat (approx. \$10.2-10.3 Million) and staffing levels have remained essentially the same. Maintenance priorities have shifted from year to year to balance budgets with the storm drainage system often receiving almost no funding for preventive maintenance. For several years, storm drainage maintenance has been reactive, mostly addressing emergencies. Very little preventive maintenance is done on the system. Construction of new projects adds to the maintenance demand.

#### Programs for expansion or addition

- Expanded transit services have recently been discussed and there appears to be more demand from citizens to provide fixed route service between Lee's Summit and transit centers in South KC and in Independence
- Eventually a central traffic operations/video management center will be appropriate to monitor and manage traffic and emergency issues remotely (similar to KC Scout), which should be a collaborative project with PD and FD
- Beautification is a high priority to a number of citizens and groups so landscaping and tree replacement programs may become necessary
- Growth in the number of capital projects across multiple departments (PW, WU, FD, PD) is planned over the next few years. Engineering staff is in the process of evaluating taking responsibility for managing the project management process for all capital projects in order to ensure consistency on all City projects. This change will definitely increase the need for engineers as project managers as well CIP construction inspectors and managers.

#### Information Technology Department Expansion Plans

Between FY2013 and FY2019, the basic IT infrastructure maintained and managed by Information Technology Services has increased as follows:

	FY 2013	FY2019	Change
Network IDs	+ 542	+ 969	+427 (78%)
Email Accounts	+ 542	+ 678	+ 136 (25%)
IP Phones Managed	+ 547	+ 670	+ 123 (22%)
Applications Managed	+130	+ 234	+ 104 (80%)
Devices Managed	+1281	+ 1636	+ 355 (28%)
Servers Managed	+ 116	+ 151	+ 35 (35%)

During this period, four new City facilities came online. Each of these new facilities expands the responsibilities of ITS staff. Not included in the list above is the impact of the expanded network, network equipment, and increased number of remote locations to service.

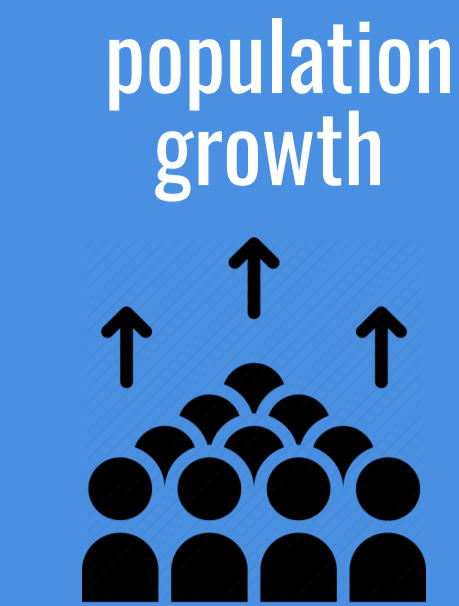
During the same period, FY2013 to FY2019, Information Technology Service Department was able to add 2 new positions (1.9 net FTE) these new positions were added because there were gaps in maintaining core ITS responsibilities, functions that were necessary to address, but were not at the time. These additions did not increase the capacity to meet the increasing demands on our services.

The growth in demand for IT projects has increased every year over the last eight years. Each year there are an increasing number of requests for applications, and additional ways to update and modernize their services. As more of these requests are approved, there are increased demands on ITS for the support of these new tools and processes. To address these increases in demand for services, ITS has requested two positions in the last three budgets.

Programs for expansion or addition

- **Staff:** ITS has identified staff expansion as the key issue to address future demands. There have been two positions on the expansion list for the last three budget cycles. Those are still needed. In addition, we are estimating that a minimum of 3.25-4.25 additional FTE will be needed to meet current demands and demands in the next five to eight years. These positions would support each of the core functions of the organization: GIS, Applications, Operations, and Support Services.
- **Software and software maintenance:** The City regularly expands its software implementations. Both in number and complexity. What has not been done is funding for the known upgrades and replacements that will be upcoming. The Software License Enterprise Replacement Program (SLERP) was created as a reserve account for this purpose, but adequate funds have not been allocated to fully fund the program.
- **Workspace and fixtures need to be updated:** Many staff do not have cubical desks. There is very little space to grow, ITS does not have a conference room, and managers do not have the ability to have closed door meetings in their cubicles.
- **New infrastructure growth:** The City will need to fund increasing bandwidth and network capacity to support current and future technologies. New software is also needed to allow for expansion of enterprise collaboration and project management.

Stephen Arbo, City Manager



1970s

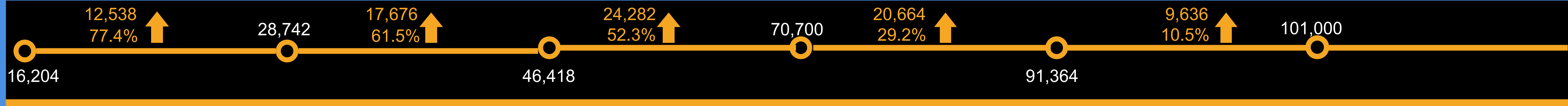
1980s

1990s

2000s

2010s

2020s



- sewer system
- water supply
- transportation
- parks & rec system
- police station
- fire dept support

continued into 1990s

- sales tax leakage
- stormwater
- poor highway access
- need design standards
- transportation impact
- demand for cultural arts
- downtown vitality

- stormwater
- curbs
- police presence
- employee compensation
- fire/EMS
- demand for cultural arts

continued into 2020s

- balanced economic development
- strong neighborhoods with housing choices
- cultural and recreational activities
- inclusive community engagement
- community health and well-being
- collaborative relations w/ education partners
- proactive infrastructure development

Ignite! Your ideas. Our future.

Lee's Summit: 21st Century

GO bond: Quality '88

- 3/8 cent sales tax for park improvements
- 1/2 cent sales tax for transportation
- GO bonds for:
  - ✓ police/court facility
  - ✓ fire station #6
- water tap fee
- sewer connection fee
- 1/2 cent sales tax for capital improvements
- hotel/motel tax
- transportation excise tax
- adoption of charter

- Summit Woods TIF
- I-470 & Chapel Ridge TIF
- access management policy
- downtown master plan
- adoption of UDO
- adoption of design standards
- 1/4 of 1% sales tax for parks
- 1/2 cent sales tax for capital improvements renewed
- amendments to the charter
- GO bonds for:
  - ✓ maintenance/street facility
  - ✓ downtown improvements
  - ✓ new city hall
  - ✓ stormwater improvements
  - ✓ public safety - fire station & animal control
  - ✓ sidewalk rehab
  - ✓ connectivity program
  - ✓ salt dome

Lee's Summit 360

- increase compensation program
- increase police districts from 7 to 10
- added 2 ambulances, 9 staff at fire station #6
- GO bonds for public safety:
  - ✓ emergency services radio
  - ✓ police facility improvements
  - ✓ indoor firearm training
  - ✓ emergency services radio equipment & connectivity
  - ✓ fire station #3
  - ✓ equipment & apparatus
- GO bonds for:
  - ✓ public infrastructure (curbs, sidewalks)
  - ✓ 291/50 hwy improvements
- parks 1/4 cent & capital improvements 1/2 cent sales taxes (cont. 15 yrs)
- downtown cultural arts center & Legacy Park amphitheater
- economic development policy

## **Challenge of Today:**

**More resources are necessary to meet community needs and expectations in areas such as public safety, employee and public infrastructure, quality of life, and accreditation standards.**

## **Challenge for the future:**

**Change is certain. We get the opportunity to choose the direction of our path. Future challenges will include quality of growth and its impact on our community. We will still need to focus on meeting current service delivery standards and a commitment to continual improvement.**

## **Steps forward:**

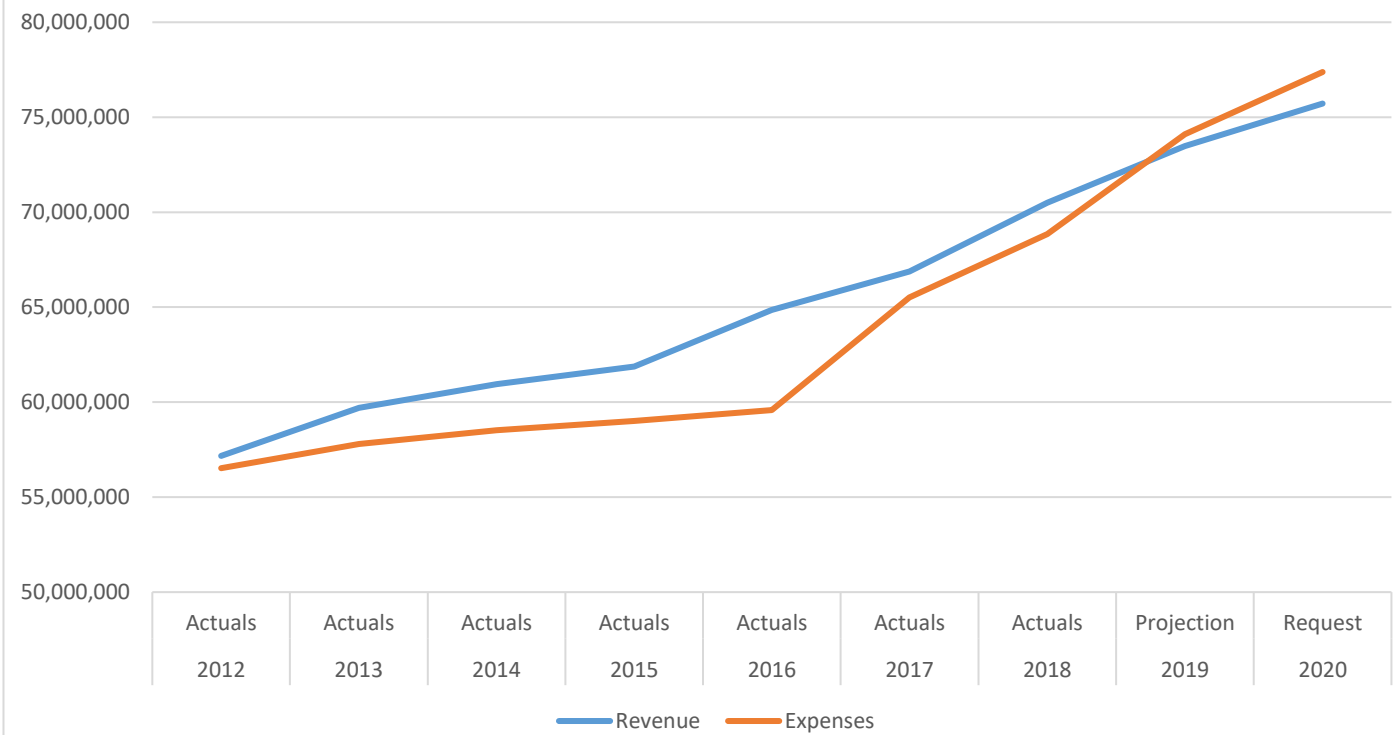
- **Modernize revenue structure**
  - **Use Tax**
  - **Technology Revenues**
- **Establish Long-Term Operations Strategy**
- **Set funding priorities to align with strategy**
- **Identify growth impact and create new contribution modes such as Public Safety infrastructure**
- **Consider new revenue structure that supports long term sustainability**

Previously Unfunded Department Expansion Requests					
Fund	Department	Type	Description	FY19 Cost	Recurring Cost
General Fund	Fire	Personnel	Battalion Chief, EMS	\$110,989	\$108,647
General Fund	Fire	Personnel	Captain of Training (2nd FTE)	\$81,036	\$76,469
General Fund	Fire	Personnel	EMS Assistant Chief	\$109,638	\$104,829
General Fund	Fire	Personnel	Captain of Prevention	\$87,552	\$85,710
General Fund	Fire	Personnel	Battalion Chief of Support Services	\$110,989	\$108,647
General Fund	ITS	Personnel	Applications Analyst	\$84,478	\$80,478
General Fund	ITS	Personnel	System Administrator	\$86,398	\$80,478
General Fund	Police	Personnel	Lead Detention Officer (reclassification)	\$7,326	\$7,326
General Fund	Police	Personnel	Police Officer (Traffic Enforcement)	\$68,453	\$60,830
General Fund	Police	Personnel	Animal Control Officer	\$58,141	\$58,141
Total				\$614,326	\$590,257
Cost to General Fund				\$614,326	\$590,257

FY20 Department Expansion Requests					
Fund	Department	Type	Description	FY20 Cost	Recurring Cost
General Fund	Administration-Cultural Arts	General	Cultural Arts programming expansion	\$25,189	\$25,189
General Fund	Development Services	Capital	Vehicle upgrade from 2-wheel to 4-wheel drive (x2)	\$6,446	\$200
General Fund	Development Services	Personnel	GIS Technician	\$72,125	\$70,525
General Fund	Development Services	Personnel	Data Analyst	\$73,490	\$71,540
General Fund	Finance	Personnel	Procurement Contract Compliance Officer	\$84,466	\$84,466
General Fund	Fire	Capital	AeroClave (x2)	\$29,000	\$0
General Fund	Fire	Capital	Lucas devices (x5)	\$76,250	\$9,725
General Fund	Fire	Capital	National Fire Operations Reporting System (NFORS)	\$5,000	\$8,000
General Fund	Fire	Capital	Rescue 3 apparatus, equipment, and supplies	\$437,884	\$56,260
General Fund	Fire	Capital	Staff cars (x3)	\$78,000	\$6,543
General Fund	Fire	Capital	Training and burn props	\$1,000,000	\$0
General Fund	Fire	Personnel	Deputy Chief	\$133,988	\$131,146
General Fund	Fire	Personnel	Firefighter Paramedic (x9)	\$633,772	\$603,109
General Fund	ITS	Capital	WhatsUp Gold license expansion	\$15,375	\$0
General Fund	ITS	Capital	Backup uninterruptible power supply (UPS)	\$7,262	\$0
General Fund	Police	Capital	Crime Scene Van	\$10,500	-\$3,100
General Fund	Police	Personnel	Shelter Attendant-Animal Control	\$56,419	\$56,419
General Fund	Police	Personnel	CIU Detective (x2)	\$138,740	\$123,939
General Fund	Police	Personnel	Communication Specialist (x2)	\$128,050	\$128,050
General Fund	PW Engineering	Personnel	Right-of-Way Coordinator (reclassification)	\$6,997	\$6,997
General Fund	PW Operations	Capital	F-150 Truck	\$25,000	\$1,816
General Fund	PW Operations	Capital	Envirosight Quickview Camera	\$20,000	\$0
General Fund	PW Operations	Personnel	Assistant Manager of PW Operations (reclassification)	\$37,681	\$37,681
General Fund	PW Operations	Personnel	PWO Contract Manager (reclassification)	\$0	\$0
Total				\$3,101,634	\$1,418,505
Cost to General Fund				\$3,101,634	\$1,418,505

Totals for Previously Unfunded and FY20 Department Expansion Requests					
Total				\$3,715,960	\$2,008,762
Cost to General Fund				\$3,715,960	\$2,008,762

GF Revenues and Expenditures



# Police Department Measurables

Measure	CY 2016	CY 2017	CY 2018
Property Crime/1000	17.05	16.70	21.39
Violent Crime/1000	1.08	1.17	1.20
Calls for Service	65,235	71,459	71,702
Traffic Crashes	1,685	2,030	2,098

# RECOMMENDATIONS

## Documented in 2015 Standards of Cover

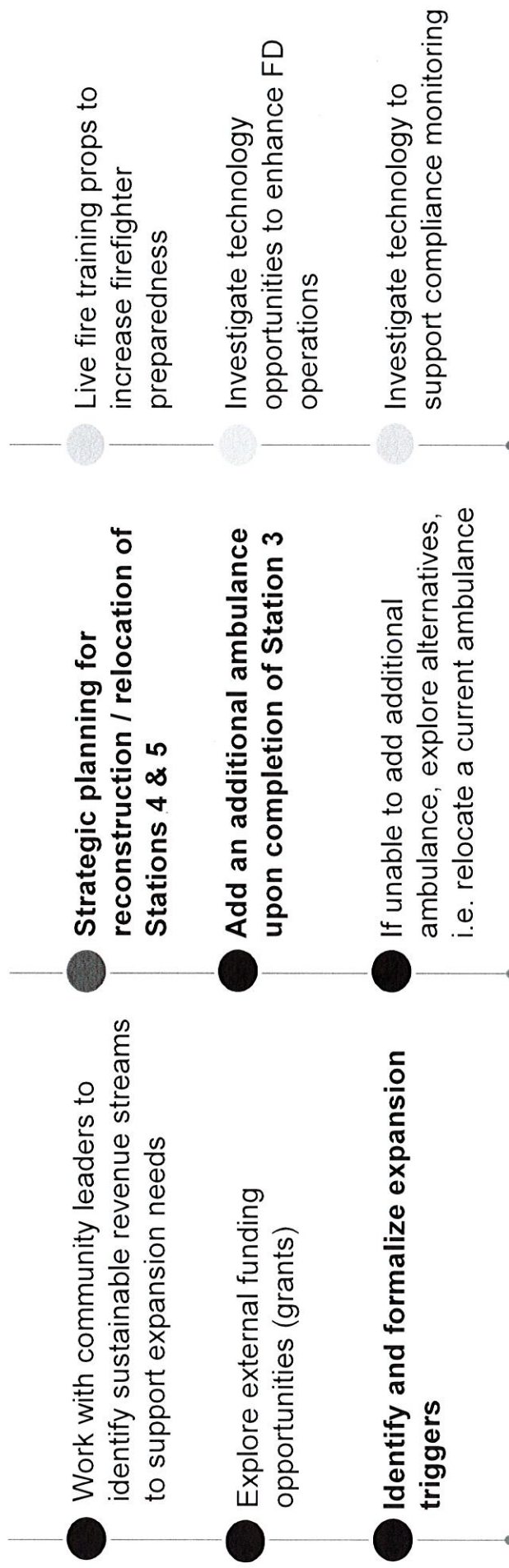
IMMEDIATE TERM within 12 months	NEAR TERM within 2-5 years (2017 - 2020)	LONG TERM within 5-10 years (2020 - 2025)
<div>Automatic Vehicle Location (AVL)</div> <div>Build Administration, Training, Support Services, Prevention, Communications &amp; Operations Divisions to support City growth</div>	<div>Multiple company resources at Stations 1 &amp; 3 to address reliability challenges</div>	<div>Station addition in northern area of the City</div> <div>Station addition in the area of Bailey Rd. &amp; 291 Highway</div> <div>Possible station on the west side of the City</div> <div>Operational staffing consistent with industry standard. Compliance with the National Fire Protection Association (NFPA) 1710: Standard for the Organization and Deployment of Fire Suppression Operations, Emergency Medical Operations &amp; Special Operations to the Public by Career Fire Departments*</div>

\*Supported by the National Institute for Standards & Technology (NIST) Field Experiments Study



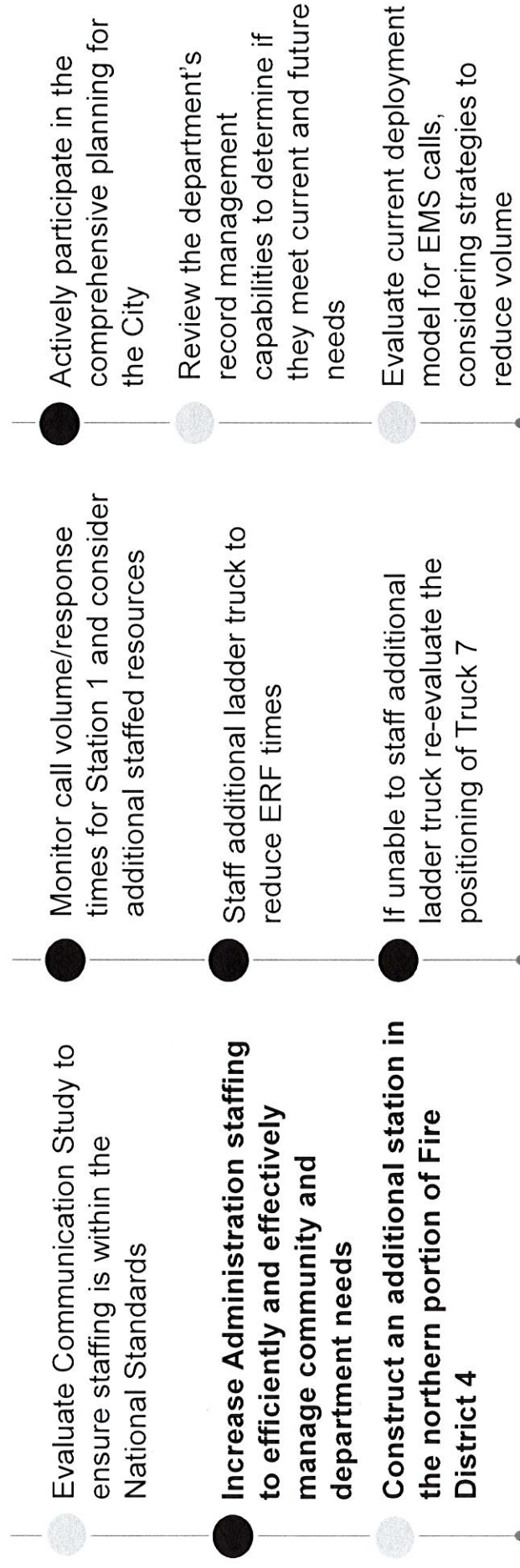
# 2019 STANDARDS OF COVER

## Immediate Term (within 12 months) Recommendations



# 2019 STANDARDS OF COVER

## Near Term (within 2 - 5 years) Recommendations



# 2019 STANDARDS OF COVER

## Long Term (within 5 - 10 years) Recommendations

● Monitor and adjust staffing levels in Administration as necessary to ensure proper span of control

● Evaluate a staffing plan to meet NFPA 1710 standards

● Evaluate opportunity to build and staff an additional station in the Bailey Rd. and 291 Highway area

● Monitor areas of development

● Develop plans to address travel time issues identified for coverage areas that exceed NFPA 1710 response time recommendations

# 10-year Growth in Public Infrastructure

Item	FY2010	FY2019	Change
Pavement	984 Lane Miles	1,051 Lane Miles	+ 67 lane miles
Storm drain pipe	245 miles	267 miles	+ 21 miles
Storm drain structures	14,947	16,333	+ 1,386
Traffic Signals	45	56	+ 11
Street lights	1,198	2,339	+ 1,141

# 7-year Growth in IT

Item	FY2013	FY2019	Change
Network IDs	542	969	+ 427 (78%)
Email Accounts	542	678	+ 136 (25%)
IP Phones Managed	547	670	+ 123 (22%)
Devices Managed	1281	1636	+ 355 (28%)
Servers Managed	116	151	+ 35 (30%)
Applications Managed	130	234	+ 104 (80%)

## Packet Information

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**File #:** 2019-3126, **Version:** 1

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Presentation and Discussion - Land Clearance for Redevelopment Authority Policy

Issue/Request:

Staff will be providing a brief presentation highlighting a variety of economic development tools afforded through the Land Clearance for Redevelopment Authority (LCRA) statutes and reviewing various approaches that have been taken when considering LCRA requests pertaining to Certificate of Qualification for Real Property Tax Abatements.

Since the reactivation of the LCRA various projects have sought and been approved for abatement on the incremental increase in value of redevelopment projects. Given the different nature of these projects, the conditions of approval for the projects have varied. Staff will be seeking feedback from the Mayor and City Council on further refining or creating policy language that will guide decision making for current/existing and future LCRA projects.

Key Issues:

Since the reactivation of the LCRA in 2009, the LCRA has considered and Council approved a total of 13 projects through the issuance of Certificate of Qualification for Real Property Tax Abatement. Three of these projects were considered and approved prior to the adoption of the Economic Development Incentive Policy in 2015 and four projects considered before the creation and implementation of the LCRA evaluation criteria (LCRA spreadsheet evaluation tool).

Over time the LCRA has refined the manner in which proposed projects are evaluated and considered and at this time one project which was previously approved is requesting further consideration and amendment to the approved abatement. Prior to considering this project request, it was felt that it would be beneficial to have a general policy discussion prior to considering a specific project request.

Proposed City Council Motion:

No motion necessary - staff is seeking feedback and guidance to create or further refine policy for LCRA project considerations.

Background:

LCRA was reactivated in 2009

Economic Development Incentive Policy was adopted in 2015

LCRA evaluation criteria was fully implemented shortly after the adoption of the Economic Development Incentive Policy

Mark Dunning, Assistant City Manager

David Bushek, Chief Counsel of Econ. Dev. & Planning



# **Land Clearance for Redevelopment Authority Policy Discussion**

Staff Presentation to City Council

November 12, 2019



**LEE'S SUMMIT**  
MISSOURI



*Yours Truly*

# Presentation

1. ED Tools Generally
2. LCRA Tools
3. LCRA Policy Issues
4. Next Steps



# **ED Benefits to Development**

**“How do incentives benefit development?”**

- 1. Pay Less Taxes**
- 2. Provide Reimbursement**
- 3. Enhance Goodwill**

# **ED Functions**

## **“How does the incentive work?”**

### **1. Tax Redirection**

- Tax Increment Financing (TIF) under Chapter 99

### **2. Tax Abatement**

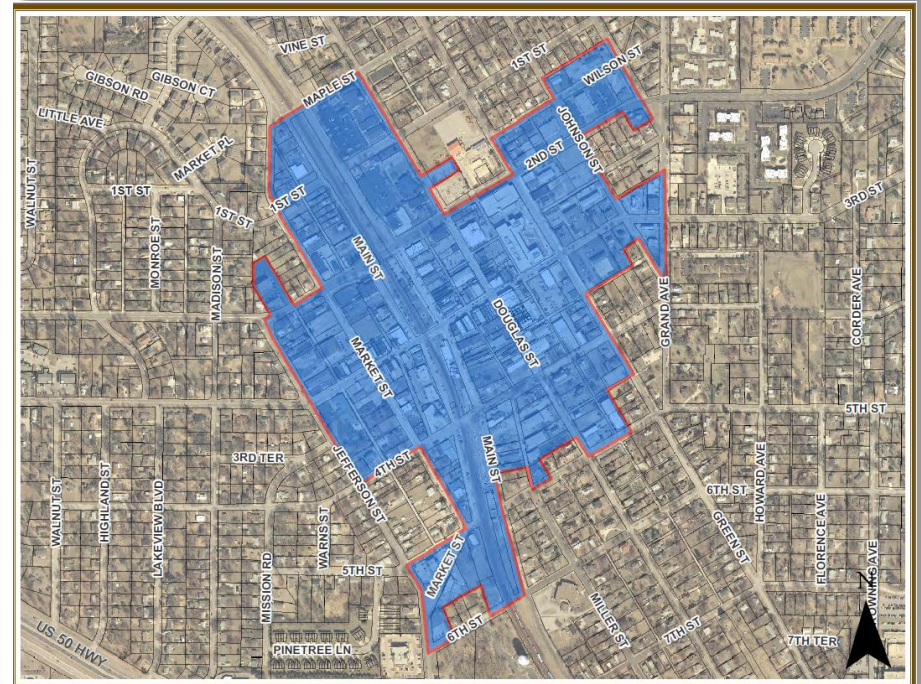
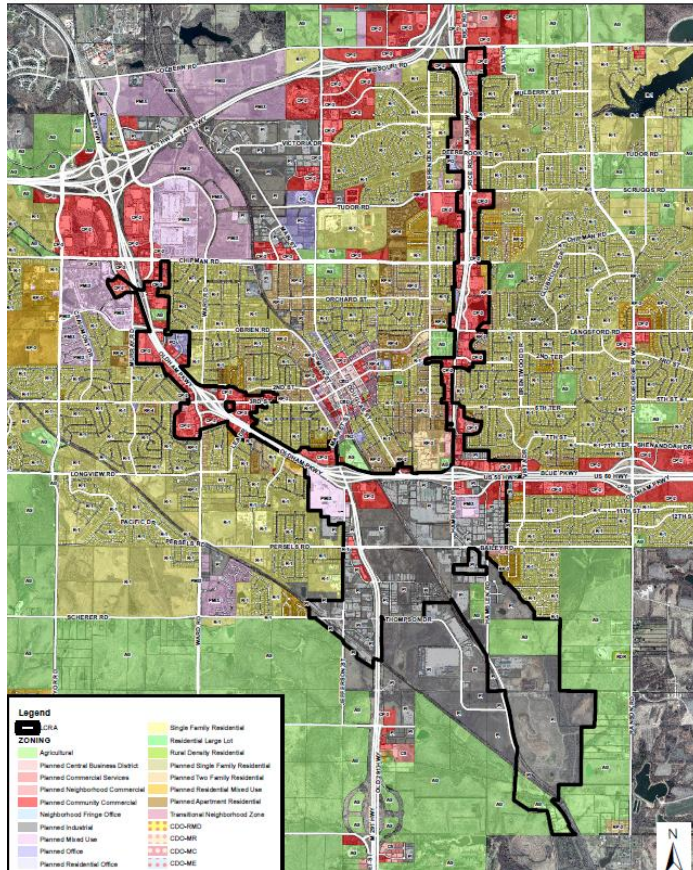
- Chapter 100 Industrial/Commercial Development Plan
- Chapter 353 Redevelopment Corporations
- LCRA under Chapter 99

### **3. New Taxes / Assessments**

- Community Improvement District (CID)
- Transportation Development District (TDD)
- Neighborhood Improvement District (NID)

# Most Common Incentive Tools

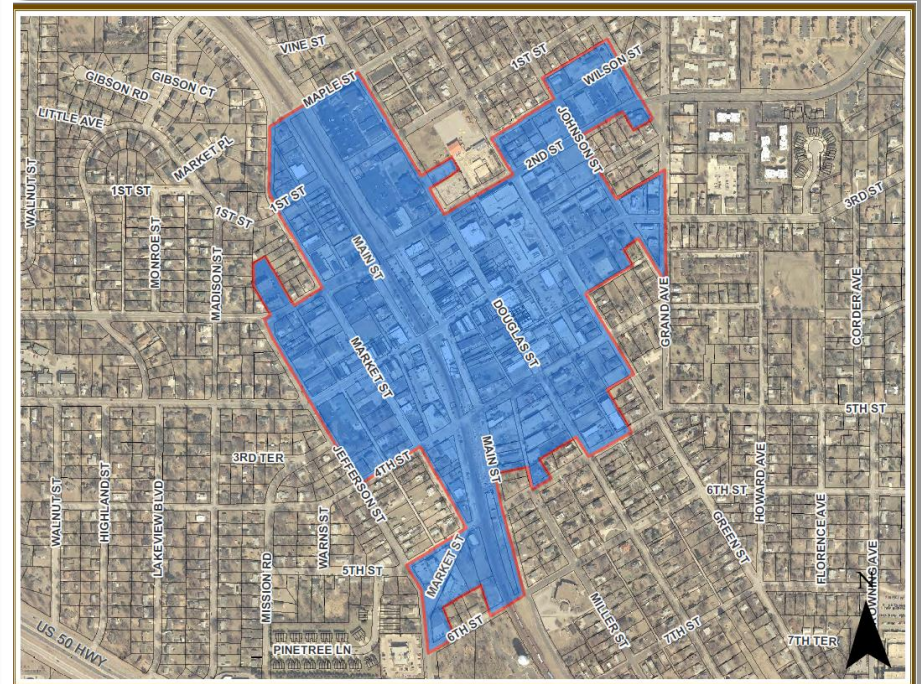
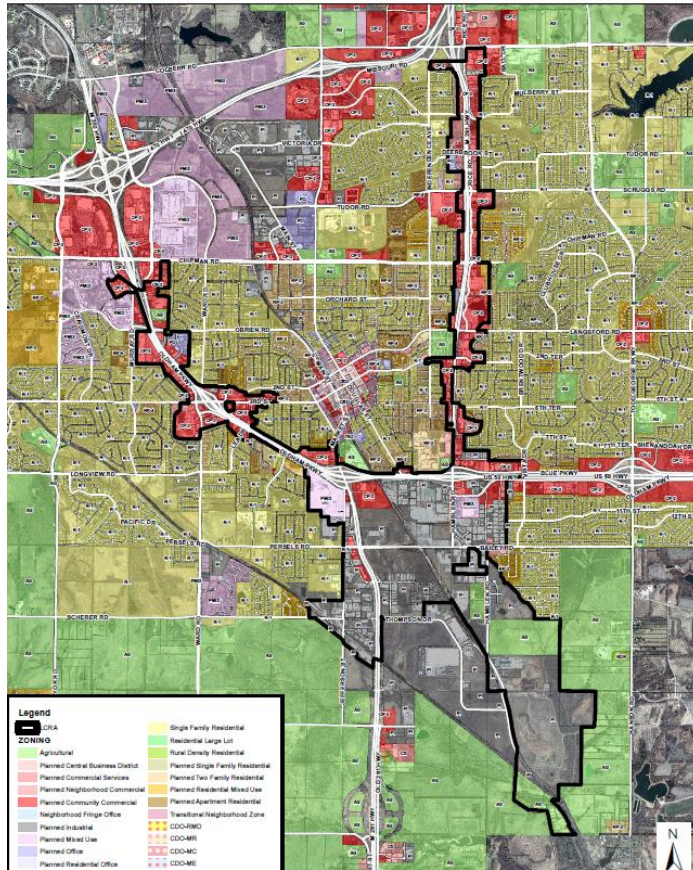
	Real Property Tax Abatement	Personal Property Tax Abatement	Sales Tax Exemption	New Sales Tax	New Property Tax	Special Assessment	Reimbursement to Developer
TIF							✓
Chapter 100 Plan	✓	✓	✓				
353 Redev. Corp.	✓						
LCRA	✓	✓	✓				
CID				✓	✓	✓	✓
TDD				✓	✓	✓	✓
NID						✓	✓
SBD					✓		✓



## 2. LCRA TOOLS

# **LCRA Incentive Tools**

- 1. Certificate of Qualification for Real Property Tax Abatement**
  - Maximum 10 years
- 2. Sales & Use Tax Exemption on Construction Materials**
  - During Construction Period
- 3. Redevelopment Plan for Extended Tax Abatement**
  - Maximum 25 years
- 4. Tailored Incentive Package**
- 5. Targeted Incentive Areas**



# 3. LCRA POLICY ISSUES

# Policy Issue: Amending Prior Incentive

Issue: Developer seeks to amend an existing LCRA tax abatement to change the measurement of abatement. Should this be allowed?

## Two Approaches Used:

- “Calendar Year” Approach – abatement lasts for a set number of years (ex. 5 years at 50%)
- “Targeted Amount” Approach – abatement lasts until a designated dollar amount has been abated (ex. abatement lasts until \$185,000 has been abated)

# Policy Consideration – LCRA History

Project & Address:	Abatement	ED Policy	LCRA Spreadsheet	Conditions
Licata Flowers - 207 SE 3rd St.	100% abatement on commercial for 10 years	No	No	Abating commercial aspects only - no opportunity for renewal
Stanley - 308 SE Douglas St.	100% abatement for 5 years	No	No	Constructed in accordance with PDP - no opportunity for renewal
Grider Orthodontics - 101 SW 3rd St.	100% abatement for 9 years and 27% abatement 10th year	No	No	Abatement not to exceed \$141k, PDP, Qualifying Expenses, no opportunity for renewal
JCI Industries - 1161 SE Hamblen Rd.	100% abatement for 7 years and 79% abatement 8th year	Yes	Yes	Abatement not to exceed \$307,144, FDP, terminate abatement earlier of targeted abatement value or 10 years, no opportunity for renewal, performance standards for job creation
HT Solutions - 1440 SE Broadway Dr.	100% abatement for 10 years with 25% Pilot Payment for an overall 75% abatement	Yes	Yes	\$2M investment, FDP, no opportunity for renewal, 25% PILOT, performance standards for job creation
Primary Eye Care - 508 SE M-291 Hwy.	100% abatement for 5 years	Yes	Yes	FDP, no opportunity for renewal, no transfer or conveyance unless approved
3rd Street Social - 123 SE 3rd St.	100% abatement for 5 years	Yes	Yes	Conformance with plans, no opportunity for renewal, abatement not transferable upon sale or change in use
Minsky's Pizza - 1251 NE Rice Rd.	100% abatement for 5 years	Yes	Yes	FDP, no opportunity for renewal, no transfer or conveyance unless approved
Bridgespace - 210 SW Market St.	100% abatement for 10 years	Yes	Yes	FDP, no opportunity for renewal, no transfer or conveyance unless approved, change of use triggers reconsideration of abatement, performance standards for business license creation
Coleman Equipment - 4101 NE Lakewood Way	100% abatement for 5 years	Yes	Yes	PDP/FDP, no opportunity for renewal
Mar Building Solutions - 1455 SE Broadway Dr.	100% abatement for 5 years	Yes	Yes	FDP, verify minimum investment, performance standards for job creation, change in use triggers reconsideration of abatement
Higdon Construction - 1450 SE Broadway Dr.	100% abatement for 5 years	Yes	Yes	FDP, verify minimum investment, performance standards for sales tax generation, change in use triggers reconsideration of abatement
Aristocrat Motors - 704 SE Oldham Ct.	100% abatement for 5 years	Yes	Yes	PDP/FDP, ownership or change in use triggers reconsideration of abatement



# Policy Issue: Amending Prior Incentive

## What is the City Council's preferred approach going forward?

- “Calendar Year” Approach – abatement lasts for a set number of years (ex. 5 years at 50%)
- “Targeted Amount” Approach – abatement lasts until a designated dollar amount has been abated (ex. abatement lasts until \$185,000 has been abated)

# LCRA Policy Framework

**“Most favorable consideration shall be given to projects that....”**

## Possible Criteria

- Amount of Abatement
- Duration of Abatement
- Blight Clearance/Tax Stabilization and other public benefits
- Sustainable or “Green” Development
- Statement of need (“But for” test)
- Size of Project / Total Investment
- Amount of bank loans vs. Developer equity invested
- New job creation
- Job retention
- Public Improvements
- Targeted Industries and Businesses

# LCRA Policy Framework

**“Most favorable consideration shall be given to projects that....”**

## Possible Criteria

- Amount of Abatement – “...abate no more than 50% of property taxes.”
- Duration of Abatement – “... the abatement lasts no more than 10 years.”
- Blight Clearance / Tax Base Stabilization or other public value – “...reduces or eliminates undesirable conditions and calls for service” or “generates net new taxes to Lee’s Summit (sales, personal, real, lodging, franchise).”
- Sustainable or “Green” Development – “...incorporates sustainable or ‘green’ construction materials or features (renewable energy, conservation).”
- Statement of need (“But for” test) – (1) “...would not be undertaken by the developer without the requested incentive.” (2) “...provide enhanced features and amenities and generate a higher quality of development if the incentive is provided.”

# LCRA Policy Framework

**“Most favorable consideration shall be given to projects that....”**

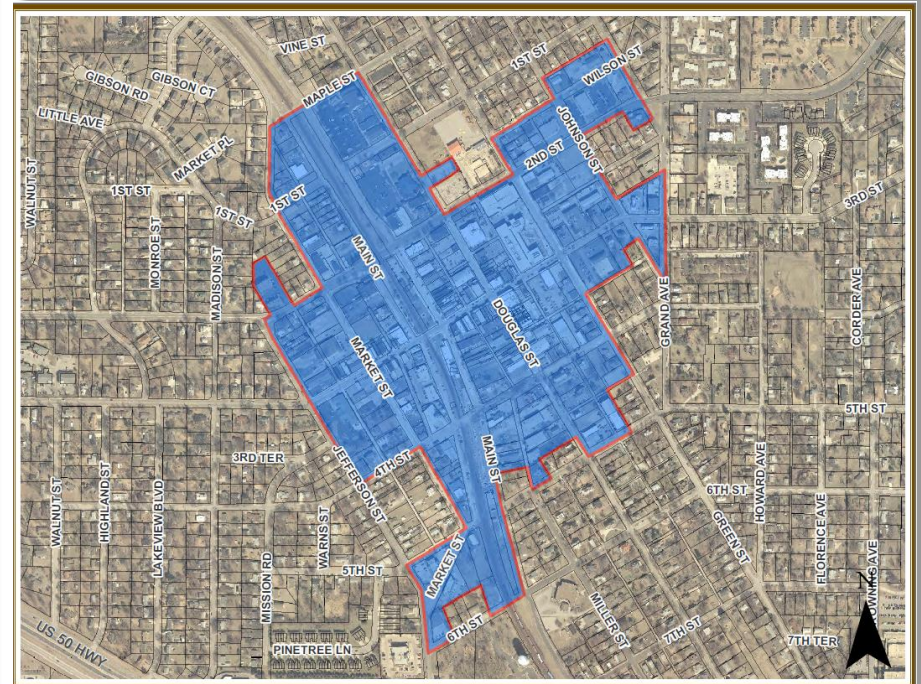
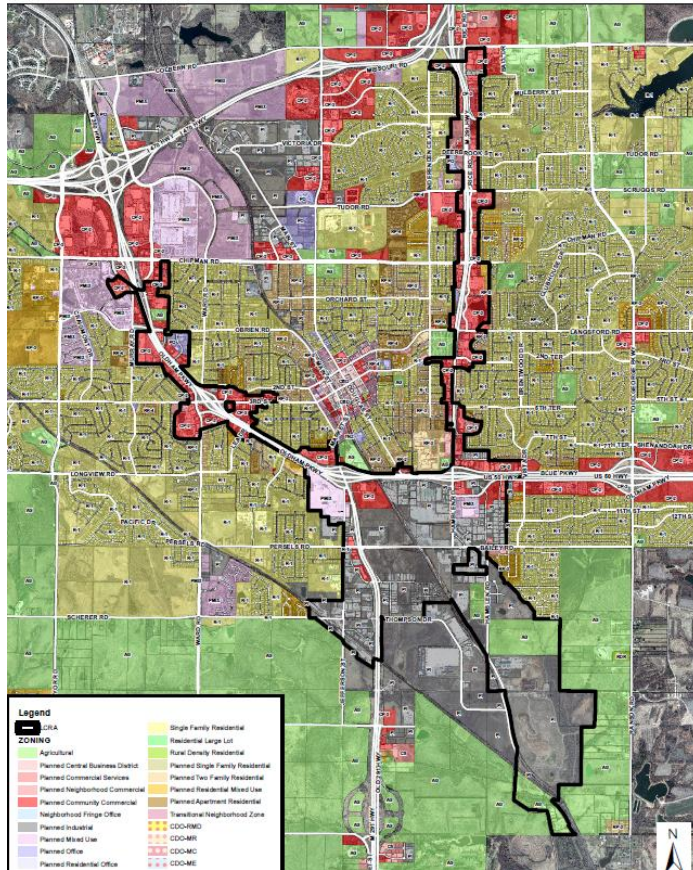
## Possible Criteria

- Size of Project / Total Investment – “...invest at least 50% of the original project cost in the proposed expansion.”
- Amount of bank loans vs. Developer equity invested – “...have at least 15% of the project costs funded by Developer equity.”
- New job creation – “...create new jobs that exceed the ‘quality jobs’ annual income.”
- Job retention – “...retain an existing business in Lee’s Summit instead of leaving for another community.”
- Public Improvements – “...facilitate the construction of new public improvements that benefit the entire community.”
- Targeted Industries and Businesses – “...facilitate one of the ‘Targeted Industries and Businesses’ to develop in Lee’s Summit.”

# Other LCRA Policy Issues

**Other issues or concerns to address?**

**Other goals to achieve?**



## 4. NEXT STEPS

LCRA Abatement History - November 12, 2019				
Project & Address:	Abatement	ED Policy	LCRA Spreadsheet	Conditions
Licata Flowers - 207 SE 3rd St.	100% abatement on commercial for 10 years	No	No	Abating commercial aspects only - no opportunity for renewal
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Higdon Construction - 1450 SE Broadway Dr.	100% abatement for 5 years	Yes	Yes	FDP, verify minimum investment, performance standards for sales tax generation, change in use triggers reconsideration of abatement

## Packet Information

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**File #:** RES. NO. 19-15, **Version:** 1

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A Resolution authorizing the offering for sale of General Obligation Bonds for the benefit of the City of Lee's Summit, Missouri.

Issue/Request:

The City received voter approval in a Special Election on August 6, 2019 to issue up to \$19,475,000 in bonds for the purpose of acquiring land, making certain improvements, and acquiring equipment for public safety purposes including (a) the acquisition, construction, furnishing and equipping of a new fire station and the purchase of associated apparatus to replace Fire Station No. 4, (b) the acquisition, construction, furnishing and equipping of a new fire station to replace Fire Station No. 5, (c) the acquisition and installation of new police automobile video systems and police body-worn camera systems, (d) renovations and improvements to enhance facility security, public access, customer service and operational efficiency in the Police and Courts Municipal Building and (e) purchasing and installing new infrastructure to renovate, improve and upgrade the City's wireless and fiber optic communications network among City Hall and other City facilities.

This resolution authorizes the initial marketing phase of issuing a portion of those bonds. The initial debt offering has been set at \$9 million to cover the following included items:

Network Infrastructure	\$975,000.00
Police In-car video and body cameras	\$1,000,000.00
Police and Court Facility renovations	\$5,500,000.00
Fire Apparatus	\$1,500,000.00
Station 5 property acquisition initial costs	\$25,000.00

These bonds will be structured with a maturity schedule designed to maintain the City's debt tax levy at it's current level of \$ .4697 per \$100.00 assessed valuation. The remaining debt authorization amount of \$10,475,000 will be issued at a later time as needed for the authorized purposes.

The Resolution also gives the City the option to issues the bonds through either a competitive public sale or private placement. This enables the City to get the best price when it sells the bonds.

Proposed Motion:

I move for the adoption of a Resolution authorizing the offering for sale of General Obligation bonds for the benefit of the City of Lee's Summit, Missouri.

Bette Wordelman, Finance Director

## **RESOLUTION NO. 19-15**

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### **A RESOLUTION AUTHORIZING THE OFFERING FOR SALE OF GENERAL OBLIGATION BONDS FOR THE BENEFIT OF THE CITY OF LEE'S SUMMIT, MISSOURI**

WHEREAS, pursuant to the provisions of the laws of the State of Missouri, the voters of the City of Lee's Summit, Missouri (the "City") on August 6, 2019, approved the issuance of \$19,475,000 of general obligation bonds for the purposes of purpose of acquiring land, making certain improvements and acquiring equipment for public safety purposes including (a) the acquisition, construction, furnishing and equipping of a new fire station and the purchase of associated apparatus to replace Fire Station No. 4, (b) the acquisition, construction, furnishing and equipping of a new fire station to replace Fire Station No. 5, (c) the acquisition and installation of new police automobile video systems and police body-worn camera systems, (d) renovations and improvements to enhance facility security, public access, customer service and operational efficiency in the Police and Courts Municipal Building and (e) purchasing and installing new infrastructure to renovate, improve and upgrade the City's wireless and fiber optic communications network among City Hall and other City facilities (the "Projects").

WHEREAS, the City has selected the firm of Gilmore & Bell, P.C., as bond counsel ("Bond Counsel"), and Columbia Capital Management, LLC, as financial advisor (the "Financial Advisor"), for a series of general obligation bonds in the approximate principal amount of \$9,000,000 (the "Bonds") for the purpose of financing a portion of the costs of the Projects.

WHEREAS, the City desires to authorize the offering for sale of the Bonds pursuant to either a competitive public sale or a private placement and to authorize the Financial Advisor, Bond Counsel and officers of the City to proceed with the preparation, review and distribution of documents for said sale.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, AS FOLLOWS:

SECTION 1. The Financial Advisor, Bond Counsel and officers of the City are hereby authorized to proceed with preparation of a notice of sale (the "Notice of Sale"), a preliminary official statement (the "Preliminary Official Statement") and a final official statement (the "final Official Statement") to provide for the competitive public sale of the Bonds or other documents desirable to provide for a private placement of the Bonds. Upon completion of the preparation and review of the Notice of Sale and the Preliminary Official Statement or other documents desirable to provide for a private placement of the Bonds, the Financial Advisor is hereby authorized to proceed with the offering for sale of the Bonds. The final terms of the Bonds shall be determined and approved by subsequent ordinance of the City Council of the City.

SECTION 2. The City Council hereby authorizes the execution of the final Official Statement by the Mayor, the City Manager, the Assistant City Manager, the Finance Director, or other appropriate officers of the City with such changes and additions thereto as such officers or officials shall deem necessary or appropriate, such officer's or official's signature thereon being conclusive evidence of such officer's or official's and the City's approval thereof. The City Council hereby consents to the use and public distribution by the Financial Advisor of the Notice of Sale, the Preliminary Official Statement and the final Official Statement in connection with the competitive public sale of the Bonds.

## RESOLUTION NO. 19-15

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SECTION 3. For the purpose of enabling the successful bidder on the Bonds (the "Purchaser") to comply with the requirements of Rule 15c2-12(b)(1) of the Securities and Exchange Commission, the Mayor, the City Manager, the Assistant City Manager, the Finance Director or other appropriate officers and officials of the City are hereby authorized, if requested, (i) to provide the Purchaser a letter or certification to the effect that the City deems the information contained in the Preliminary Official Statement to be "final" as of its date, except for the omission of such information as is permitted by Rule 15c2-12(b)(1), and (ii) to take such other actions or execute such other documents as such officers or officials in their reasonable judgment deem necessary to enable the Purchaser to comply with the requirements of such Rule.

SECTION 4. The City agrees to provide to the Purchaser within seven business days of the date of the agreement to purchase the Bonds or within sufficient time to accompany any confirmation that requests payment from any customer of the Purchaser, whichever is earlier, an electronic copy of the final Official Statement to enable the Purchaser to comply with the requirements of Rule 15c2-12(b)(4) of the Securities and Exchange Commission and with the requirements of Rule G-32 of the Municipal Securities Rulemaking Board.

SECTION 5. The Mayor, the City Manager, the Assistant City Manager, the Finance Director and other officers and representatives of the City, and the Financial Advisor and Bond Counsel are hereby authorized and directed to take such other action as may be necessary to carry out the competitive public sale of the Bonds.

SECTION 6. This Resolution shall be in full force and effect from the date of its approval.

PASSED and ADOPTED by the City Council for the City of Lee's Summit, Missouri, this \_\_\_\_ day of \_\_\_\_\_, 2019.

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Mayor *William A. Baird*

ATTEST:

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City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

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City Attorney *Brian W. Head*

**NOTICE OF SPECIAL ELECTION  
CITY OF LEE'S SUMMIT, MISSOURI  
TUESDAY, AUGUST 6, 2019**

**Notice is hereby given to the registered qualified voters of the City of Lee's Summit, Missouri, that the City Council of said City has called a Special Election to be held on Tuesday, August 6, 2019. The polls will be open from 6 a.m. until 7 p.m.**

**The Jackson County Board of Election Commissioners will conduct the election in that part of the City within Jackson County and Cass County.**

**The official ballot will be substantially in the following form:**


**SAMPLE BALLOT  
CITY OF LEE'S SUMMIT, MISSOURI  
SPECIAL ELECTION  
TUESDAY, AUGUST 6, 2019**

**QUESTION**

**Shall the City of Lee's Summit, Missouri, issue its general obligation bonds in the amount of \$19,475,000 for the purpose of acquiring land, making certain improvements and acquiring equipment for public safety purposes including (a) the acquisition, construction, furnishing and equipping of a new fire station and the purchase of associated apparatus to replace Fire Station No. 4, (b) the acquisition, construction, furnishing and equipping of a new fire station to replace Fire Station No. 5, (c) the acquisition and installation of new police automobile video systems and police body-worn camera systems, (d) renovations and improvements to enhance facility security, public access, customer service and operational efficiency in the Police and Courts Municipal Building and (e) purchasing and installing new infrastructure to renovate, improve and upgrade the City's wireless and fiber optic communications network among City Hall and other City facilities?**

**YES  
NO**

**JACKSON COUNTY and CASS COUNTY  
INSTRUCTIONS TO VOTERS**

Using blue or black ink, completely fill in the box next to the candidate or question response of your choice like this: 

Fill in the box completely. DO NOT MARK OUTSIDE OF THE BOX. VOTE BOTH SIDES OF BALLOT, IF APPLICABLE.

<u>Pct</u>	<u>Name</u>	<u>Address</u>
<b>JACKSON COUNTY PRAIRIE TOWNSHIP</b>		
2	Lee's Summit Branch Library	150 NW Oldham Pkwy
3,4	Lee's Summit City Hall	220 SE Green St
5	Gamber Center	4 SE Independence Ave
6,9	Summit Woods Baptist Church	2501 SE Shenandoah Dr
7	Pleasant Lea Elementary	700 SW Persels Rd
8,10,11	Summit Lakes Middle School	3500 SW Windemere Dr
12	Trailridge Elementary	3651 SW Windemere Dr
13,14	Lee's Summit Baptist Temple	2614 NW Chipman Rd
15	The Pavilion at John Knox Village	520 NW Murray Rd
16	Sun Valley Clubhouse	301 NW Craigmont Dr
17	Cedar Creek Elementary	2600 SW 3rd St
18	Longview Farm Elementary	1001 SW Longview Park Dr
19	Longview Community Center	3801 SW Longview Rd
20	Winterset Park Community Center	2505 SW Wintercreek Dr
21,22	First Presbyterian Church	1625 NW OBrien Rd
23	Hawthorn Hill Elementary	2801 SW Pryor Rd
24,25	Holy Spirit Catholic Church	1800 SW State Route 150
26	Blue River Church of Christ	221 NE Woods Chapel Rd
27	Voy Spears Jr Elementary	201 NE Anderson Dr
28,29	Woods Chapel Community of Christ	500 NE Woods Chapel Rd
30,31	Chapel Lakes Elementary	3701 NE Independence Ave
32	Delta Woods Middle School	4401 NE Lakewood Way
33	New Springs Community	1800 NE Independence Ave
34	St Matthew's Lutheran Church	700 NE Chipman Rd
35,36	Deerbrook Covenant Church	200 NE Tudor Rd
37	Colbern Road Library	1000 NE Colbern Rd
38	Underwood Elementary	1125 NE Colbern Rd
39	Richardson Elementary	800 NE Blackwell Rd

40,41,42	Lee's Summit Christian Church	800 NE Tudor Rd
43,45	Prairie View Elementary	501 SE Todd George Pkwy
44	Legacy Park Community Center	901 NE Bluestem Dr
46	Highland Park Elementary	400 SE Millstone Ave
47,48	Grace United Methodist Church	2400 SE US Highway 50

#### **SNI-A-BAR TOWNSHIP**

19	Chapel Hill Presbyterian Church	3108 SW US Hwy 40 Westbound
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(Only those who live within the City of Lee's Summit may vote in this city election.)

#### **CASS COUNTY BIG CREEK TOWNSHIP**

29*	Lake Winnebago City Hall	10 Winnebago Dr
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(\*Only those who live within the corporate borders of Lee's Summit may vote in the Lee's Summit Special Election.)

IN WITNESS WHEREOF, the Jackson County Board of Election Commissioners has caused its name to be hereunto signed and the official seal affixed this 28th day of May, 2019.

#### **JACKSON COUNTY BOARD OF ELECTION COMMISSIONERS**

Tammy L. Brown, Director  
Corey Dillon, Director  
Attest:  
Mary Ellen Miller, Secretary

Michael K. Whitehead, Chairman  
Mary Ellen Miller, Secretary  
Colleen M. Scott, Member  
Vernon E. Scoville, III, Member

#### **NOTICE OF ACCESSIBILITY**

**FURTHER NOTICE IS GIVEN** that, where a regular polling place has limited accessibility, a disabled or elderly voter may be provided an alternative means of casting his or her ballot. Such means may include reassignment to an accessible polling place, curbside voting, assisted voting or voting by absentee ballot. A voter may apply for an absentee ballot in person or by mail, or may have a relative or guardian apply in person on his or her behalf. If an absentee voter is disabled or incapacitated, the notary requirement is waived. In addition, voters requiring assistance may be assisted by a person of the voter's choice.

## Packet Information

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**File #:** BILL NO. 19-247, **Version:** 1

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An Ordinance authorizing the execution of an intergovernmental agreement for facilitation services for Ignite strategic plan implementation plan development by and between the City Of Lee's Summit, Missouri and KU Public Management Center in the amount of \$39,900.

Issue/Request:

The Council desired to create implementation plans for each of Ignite's 7 critical success factors using a collaborative process that harnesses the experience, talents, and ideas of Councilmembers, City Staff, Community Partners, and Citizens (C4). Seven C4 Implementation Teams have been created to achieve that objective. The KU Public Management Center (PMC) will provide critical professional facilitation services that ensures meaningful, open, participative process for each team that enables the production of quality implementation plans. Among other tasks, PMC will:

- Coordinate a Celebration Kickoff on November 25th
- Meet with Council and Staff for each team in preparation for the initial team meeting (Dec)
- Initiate two "distance" engagements for team members in December
- Facilitate 3 meetings for each team (one each month) to produce implementation plans Jan-Mar/Apr
- Coordinate Celebration Wrap Up (Spring)
- Assist with presentation of final implementation plans (Spring)

Proposed City Council Motion:

I move to for a second reading of an Ordinance authorizing the execution of an intergovernmental agreement for facilitation services for Ignite strategic plan implementation plan development by and between the City of Lee's Summit, Missouri and KU Public Management Center in the amount of \$39,900.

Background:

- On July 17, 2019, the City Council approved Resolution 19-12 adopting the City of Lee's Summit Community Strategic Plan (Ignite) Framework
- The Ignite Framework identified a community vision, organizational mission and values, partnership approach, and 7 critical success factors for future of the community
- The Council adopted this framework to guide their future policy direction, align City programs and resources, and encourage collaboration and a shared community focus with citizens and community partners
- KU Public Management Center has extensive, focused expertise in local government strategic planning, public engagement, and facilitation of collaborative decision making and can provide the best assistance to the City to facilitate the C4 groups in developing Ignite Implementation Plans.

Christal Weber, Assistant City Manager

Recommendation: [Enter Recommendation Here]

Committee Recommendation: [Enter Committee Recommendation text Here]



## **BILL NO. 19-247**

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AN ORDINANCE AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT FOR FACILITATION SERVICES FOR IGNITE STRATEGIC PLAN IMPLEMENTATION PLAN DEVELOPMENT BY AND BETWEEN THE CITY OF LEE'S SUMMIT, MISSOURI AND KU PUBLIC MANAGEMENT CENTER IN THE AMOUNT OF \$39,900.

WHEREAS, on July 17, 2019, the City Council approved Resolution No. 19-12 adopting the City of Lee's Summit Community Strategic Plan (Ignite) Framework; and,

WHEREAS, the Ignite Framework identified a community vision, organizational mission and values, partnership approach, and seven critical success factors for future of the community; and,

WHEREAS, the City Council adopted this framework to guide their future policy direction, align City programs and resources, and encourage collaboration and a shared community focus with citizens and community partners, and,

WHEREAS, the City Council desires to create implementation plans for each of Ignite's seven critical success factors using a collaborative process that harnesses the experience, talents, and ideas of Councilmembers, City Staff, Community Partners, and Citizens (C4); and,

WHEREAS, the Kansas University Public Management Center has extensive, focused expertise in local government strategic planning, public engagement, and facilitation of collaborative decision making and can provide the best assistance to the City to facilitate the C4 groups in developing Ignite Implementation Plans.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. The Intergovernmental Agreement which is attached as Exhibit A and incorporated herein by reference (the "Agreement"), is hereby approved and the Mayor is authorized and directed to execute an agreement that in substantially the same form as the attached Agreement.

SECTION 2. City officers and agents of the City are each hereby authorized and directed to take such action and execute such other documents, certificates and instruments as may be necessary or desirable to carry out and comply with the intent of this Ordinance and Intergovernmental Agreement

SECTION 3. This Ordinance shall be in full force and effect from and after its passage, adoption, and approval by the Mayor.

SECTION 4. Should any section, sentence, or clause of this Ordinance be declared invalid or unconstitutional, such declaration shall not affect the validity of the remaining sections, sentences or clauses.

**BILL NO. 19-247**

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PASSED by the City Council of the City of Lee's Summit, Missouri, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED by the Mayor of said city this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mayor *William A. Baird*

ATTEST:

\_\_\_\_\_  
City Clerk *Trisha Fowler Arcuri*

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney *Brian W. Head*

**INTERGOVERNMENTAL AGREEMENT  
BETWEEN  
THE CITY OF LEE'S SUMMIT  
AND  
THE UNIVERSITY OF KANSAS PUBLIC MANAGEMENT CENTER**

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THIS INTERGOVERNMENTAL AGREEMENT (this "Agreement") is entered into as of the Effective Date set forth below between the City of Lee's Summit, a Missouri municipal corporation (the "City"), and the University of Kansas, a public higher education institution and state agency in the State of Kansas, acting through its Public Management Center, (the "Consultant"). The City and the Consultant are sometimes referred to individually as the "Party" and collectively as the "Parties".

**RECITALS**

- A. In conjunction with the City's Community Strategic Plan ("Strategic Plan"), the City has established multiple committees comprising of City Councilmembers, City staff, community partners and citizens ("Implementation Committees") to develop an implementation plan for each of the critical success factors of the Strategic Plan.
- B. To assist the Implementation Committees, the City desires to hire an entity with experience in local government strategic planning, public engagement and facilitation of collaborative decision making to facilitate discussions with each Implementation Committee to assist in drafting their respective implementation plan (the "Services").
- C. The Consultant submitted a proposal to provide the Services (the "Proposal"), and the City desires to enter into an Agreement with the Consultant for the Services.

**AGREEMENT**

NOW, THEREFORE, in consideration of the foregoing recitals, which are incorporated herein by reference, the following mutual covenants and conditions, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and the Consultant hereby agree as follows:

1. **Term of Agreement.** This Agreement shall be effective as of the Effective Date set forth below and shall remain in full force and effect through October 31, 2020.
2. **Scope of Work.** Consultant shall provide the Services as set forth in the Scope of Work of Consultant's Proposal, attached hereto as Exhibit A and incorporated herein by reference.
3. **Compensation.** The City shall pay Consultant an amount not to exceed \$39,900.00 for the Services set forth in the Consultant's Proposal, attached hereto as Exhibit A and incorporated herein by reference.
4. **Payments.** The City shall pay the Consultant a lump sum payment once the services are rendered in full to the City's reasonable satisfaction.
5. **Documents.** All documents, including any intellectual property rights thereto, prepared and submitted to the City pursuant to this Agreement shall be the property of the City.
6. **Consultant Personnel.** Consultant shall provide adequate, experienced personnel, capable of and devoted to the successful performance of the Services under this Agreement. Consultant agrees to assign specific individuals to key positions, and to only use the individuals specifically listed in Consultant's proposal. For the avoidance of doubt, Consultant further agrees that it shall not use or permit any of its students, volunteers, subcontractors or any other person for whom Consultant cannot accept liability for to provide the Services, provided that Consultant may use the Mid-America Regional Council (MARC) to provide the Services. Consultant agrees that, upon commencement of the Services to be performed under this Agreement, key personnel shall not be removed or replaced without prior written notice to the City. If key personnel are not available to

perform the Services for a continuous period exceeding thirty (30) calendar days, or are expected to devote substantially less effort to the Services than initially anticipated, Consultant shall immediately notify the City of same and shall, subject to the concurrence of the City, replace such personnel with personnel possessing substantially equal ability and qualifications.

7. Materials. Excepted as noted in the Proposal, the City will reproduce all necessary materials for each meeting, provide meeting space, AV equipment, and refreshments.

8. Performance Warranty. Consultant warrants that the Services rendered will conform to the requirements of this Agreement and with the care and skill ordinarily used by members of the same profession practicing under similar circumstances at the same time and in the same locality.

11. Limited Liability. As an agency of the State of Kansas, Consultant is a covered party under the Kansas Tort Claims Act (K.S.A. 75-6101 et seq.). In accordance with the Act, the State of Kansas has assumed liability for the negligent or wrongful acts or omissions of its employees and agents acting within the scope and course of their responsibilities on behalf of the state of Kansas. Liability for claims within the scope of the Act may not exceed \$500,000 per occurrence. Consultant agrees that claims for injury or damages which arise out of Consultant's performance of this Agreement and which are subject to the provisions of the Kansas Tort Claims Act may be process according to that Act. Consultant further agrees that City shall not be liable for damages resulting from the negligent or wrongful acts, errors, or omissions by Consultant or its employees.

13. Termination; Cancellation.

13.1 For City's Convenience. This Agreement is for the convenience of the City and, as such, may be terminated without cause after receipt by Consultant of written notice by the City. Upon termination for convenience, Consultant shall be paid for all undisputed services performed to the termination date.

13.2 For Cause. If either Party fails to perform any obligation pursuant to this Agreement and such Party fails to cure its nonperformance within thirty (30) calendar days after notice of nonperformance is given by the non-defaulting Party, such Party will be in default. In the event of such default, the non-defaulting Party may terminate this Agreement immediately for cause and will have all remedies that are available to it at law or in equity including, without limitation, the remedy of specific performance. If the nature of the defaulting Party's nonperformance is such that it cannot reasonably be cured within thirty (30) calendar days, then the defaulting Party will have such additional periods of time as may be reasonably necessary under the circumstances, provided the defaulting Party immediately (A) provides written notice to the non-defaulting Party and (B) commences to cure its nonperformance and thereafter diligently continues to completion the cure of its nonperformance. In no event shall any such cure period exceed ninety (90) calendar days. In the event of such termination for cause, payment shall be made by the City to the Consultant for the undisputed portion of its fee due as of the termination date.

13.3 Due to Work Stoppage. This Agreement may be terminated by the City upon thirty (30) days' written notice to Consultant in the event that the Services are permanently abandoned. In the event of such termination due to work stoppage, payment shall be made by the City to the Consultant for the undisputed portion of its fee due as of the termination date.

13.4 Gratuities. The City may, by written notice to the Consultant, cancel this Agreement if it is found by the City that gratuities, in the form of economic opportunity, future employment, entertainment, gifts or otherwise, were offered or given by the Consultant or any agent or representative of the Consultant to any officer, agent or employee of the City for the purpose of securing this Agreement. In the event this Agreement is canceled by the City pursuant to this provision, the City shall be entitled, in addition to any other rights and remedies, to recover and withhold from the Consultant an amount equal to 150% of the gratuity.

13.5 Agreement Subject to Appropriation. The City is obligated only to pay its obligations set forth in the Agreement as may lawfully be made from funds appropriated and budgeted for that purpose during the City's then current fiscal year. The City's obligations under this Agreement are current expenses subject to the "budget

law” and the unfettered legislative discretion of the City concerning budgeted purposes and appropriation of funds. Should the City elect not to appropriate and budget funds to pay its Agreement obligations, this Agreement shall be deemed terminated at the end of the then-current fiscal year term for which such funds were appropriated and budgeted for such purpose and the City shall be relieved of any subsequent obligation under this Agreement. The Parties agree that the City has no obligation or duty of good faith to budget or appropriate the payment of the City’s obligations set forth in this Agreement in any budget in any fiscal year other than the fiscal year in which the Agreement is executed and delivered. The City shall be the sole judge and authority in determining the availability of funds for its obligations under this Agreement. The City shall keep Consultant informed as to the availability of funds for this Agreement. The obligation of the City to make any payment pursuant to this Agreement is not a general obligation or indebtedness of the City. Consultant hereby waives any and all rights to bring any claim against the City from or relating in any way to the City's termination of this Agreement pursuant to this section.

13.6 Conflict of Interest. No salaried officer or employee of the City and no member of the City Council shall have a financial interest, direct or indirect, in this Agreement, and any violation of this provision renders the Agreement void. The parties shall comply with all federal conflict of interest statutes and regulations, and all applicable provisions of RSMo §§ 105.450, *et. seq.* Consultant covenants that it presently has no interest and shall not acquire any interest, direct or indirect, which would conflict in any manner or degree with the performance of Services to be performed under this Agreement. Consultant further covenants that in the performance of this Agreement no person having such interest shall be employed.

#### 14. Miscellaneous.

14.1 Independent Consultant. It is clearly understood that each Party will act in its individual capacity and not as an agent, employee, partner, joint venturer, or associate of the other. An employee or agent of one Party shall not be deemed or construed to be the employee or agent of the other for any purpose whatsoever. The Consultant acknowledges and agrees that the Services provided under this Agreement are being provided as an independent contractor, not as an employee or agent of the City. Consultant, its employees and subcontractors are not entitled to workers’ compensation benefits from the City. The City does not have the authority to supervise or control the actual work of Consultant, its employees or subcontractors. The Consultant, and not the City, shall determine the time of its performance of the services provided under this Agreement so long as Consultant meets the requirements of its agreed Scope of Work as set forth in Section 2 above and Exhibit A. Consultant is neither prohibited from entering into other contracts nor prohibited from practicing its profession elsewhere. City and Consultant do not intend to nor will they combine business operations under this Agreement.

#### 14.2 Applicable Law; Venue. Intentionally Omitted.

14.3 Laws and Regulations. Consultant shall comply with all federal, state, and local laws, regulations, and ordinances applicable to its performance under this Agreement, including but not limited to those specified in this Section. Consultant shall comply with the Americans with Disabilities Act (ADA) and shall hold the City harmless and indemnify City for any costs, including but not limited to, damages, attorney's fees, and staff time in any action or proceeding brought alleging violation of the ADA. Consultant shall not discriminate against any person on the basis of race, religion, color, age, sex, or national origin in the performance of this Agreement, and must comply with the terms and intent of Title VII of the Civil Rights Act of 1964, and P.L. 88-354 (1964). The Consultant shall not to participate in or cooperate with an international boycott, as defined in Section 999(b)(3) and (4) of the Internal Revenue Code of 1954, as amended, or engage in conduct declared to be unlawful by Missouri state law. The Consultant shall include similar requirements of all subcontractors in Agreements entered for performance of Consultant's obligations under this Agreement. Consultant shall keep fully informed and shall at all times during the performance of its duties under this Agreement ensure that it and any person for whom the Consultant is responsible abides by, and remains in compliance with, all rules, regulations, ordinances, statutes or laws affecting the Services, including, but not limited to, the following: (A) existing and future City and County ordinances and regulations; (B) existing and future State and Federal laws; and (C) existing and future Occupational Safety and Health Administration standards.

14.4 Amendments. This Agreement may be modified only by a written amendment signed by persons duly authorized to enter into contracts on behalf of the City and the Consultant.

14.5 Provisions Required by Law. Each and every provision of law and any clause required by law to be in the Agreement will be read and enforced as though it were included herein and, if through mistake or otherwise any such provision is not inserted, or is not correctly inserted, then upon the application of either Party, the Agreement will promptly be physically amended to make such insertion or correction.

14.6 Severability. The provisions of this Agreement are severable to the extent that any provision or application held to be invalid by a Court of competent jurisdiction shall not affect any other provision or application of the Agreement which may remain in effect without the invalid provision or application.

14.7 Entire Agreement; Interpretation; Parol Evidence. This Agreement represents the entire agreement of the Parties with respect to its subject matter, and all previous agreements, whether oral or written, entered into prior to this Agreement are hereby revoked and superseded by this Agreement. No representations, warranties, inducements or oral agreements have been made by any of the Parties except as expressly set forth herein, or in any other contemporaneous written agreement executed for the purposes of carrying out the provisions of this Agreement. This Agreement shall be construed and interpreted according to its plain meaning, and no presumption shall be deemed to apply in favor of, or against the Party drafting the Agreement. The Parties acknowledge and agree that each has had the opportunity to seek and utilize legal counsel in the drafting of, review of, and entry into this Agreement.

14.8 Assignment; Delegation. No right or interest in this Agreement shall be assigned or delegated by Consultant without prior, written permission of the City, signed by the City Administrator. Any attempted assignment or delegation by Consultant in violation of this provision shall be a breach of this Agreement by Consultant. The requirements of this Agreement are binding upon the heirs, executors, administrators, successors, and assigns of both Parties.

14.9 Subcontracts. As outlined in Consultant's proposal, the Mid-America Regional Council (MARC) will be a subcontractor for the Services. No additional subcontracts shall be entered into by the Consultant with any other Party to furnish any of the Services specified herein without the prior written and signed approval of the City. The Consultant is responsible for performance under this Agreement whether or not subcontractors are used. Failure to pay subcontractors in a timely manner pursuant to any subcontract shall be a material breach of this Agreement by Consultant.

14.10 Rights and Remedies. No provision in this Agreement shall be construed, expressly or by implication, as waiver by the City of any existing or future right and/or remedy available by law in the event of any claim of default or breach of this Agreement. The failure of the City to insist upon the strict performance of any term or condition of this Agreement or to exercise or delay the exercise of any right or remedy provided in this Agreement, or by law, or the City's acceptance of and payment for services, shall not release the Consultant from any responsibilities or obligations imposed by this Agreement or by law, and shall not be deemed a waiver of any right of the City to insist upon the strict performance of this Agreement.

14.11 Attorneys' Fees. In the event either Party brings any action for any relief, declaratory or otherwise, arising out of this Agreement or on account of any breach or default hereof, the prevailing Party shall be entitled to receive from the other Party reasonable attorneys' fees and reasonable costs and expenses, determined by the court sitting without a jury, which shall be deemed to have accrued on the commencement of such action and shall be enforced whether or not such action is prosecuted through judgment.

14.12 Liens. Intentionally Omitted.

14.13 Offset.

A. Offset for Damages. In addition to all other remedies at law or equity, the City may offset from any money due to the Consultant any amounts Consultant owes to the City for damages resulting from breach or deficiencies in performance or breach of any obligation under this Agreement.

B. Offset for Delinquent Fees or Taxes. Intentionally Omitted.

14.14 Notices and Requests. Any notice or other communication required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if (A) delivered to the Party at the address set forth below, (B) deposited in the U.S. Mail, registered or certified, return receipt requested, to the address set forth below or (C) given to a recognized and reputable overnight delivery service, to the address set forth below:

If to the City: City of Lee's Summit  
220 SE Green St  
Lee's Summit, Missouri 64063  
Attn: Steve Arbor, City Manager

With copy to: City of Lee's Summit  
220 SE Green St  
Lee's Summit, Missouri 64063  
Attn: City Attorney's Office

If to Consultant: University of Kansas  
Public Management Center  
1445 Jayhawk, Blvd, Wescoe 6030  
Lawrence, Kansas 66045  
Attn: Deb Miller, Director

or at such other address, and to the attention of such other person or officer, as any Party may designate in writing by notice duly given pursuant to this subsection. Notices shall be deemed received (A) when delivered to the Party, (B) three (3) business days after being placed in the U.S. Mail, properly addressed, with sufficient postage or (C) the following business day after being given to a recognized overnight delivery service, with the person giving the notice paying all required charges and instructing the delivery service to deliver on the following business day. If a copy of a notice is also given to a Party's counsel or other recipient, the provisions above governing the date on which a notice is deemed to have been received by a Party shall mean and refer to the date on which the Party, and not its counsel or other recipient to which a copy of the notice may be sent, is deemed to have received the notice.

14.15 Force Majeure. The Parties shall be excused from performance during the time and to the extent that they are prevented from obtaining, delivering, or performing by act of God, fire, strike, loss or shortage of transportation facilities, lock-out, commandeering of materials, products, plants or facilities by the government, when satisfactory evidence is presented to the City, provided that it is satisfactorily established that the non-performance is not due to the fault or neglect of the Party not performing.

14.16 Confidentiality of Records. The Consultant shall establish and maintain procedures and controls that are acceptable to the City for the purpose of ensuring that information contained in its records or obtained from the City or from others in carrying out its obligations under this Agreement shall not be used or disclosed by it, its agents, officers, or employees, except as required to perform Consultant's duties under this Agreement or as required by law. Persons requesting such information should be referred to the City. Consultant also agrees that any information pertaining to individual persons shall not be divulged other than to employees or officers of Consultant as needed for the performance of duties under this Agreement.

14.17 Intentionally Omitted.

14.18 Immigration Requirements. Pursuant to RSMo. § 285.530, if Agreement exceeds five thousand dollars (\$5,000.00), Consultant warrants and affirms to the City that (i) Consultant is enrolled and participates in a federal work authorization program with respect to the employees working in connection with the contracted services and (ii) Consultant does not knowingly employ any person who is an unauthorized alien in connection with the contracted services.

Consultant shall swear to and sign an affidavit declaring such affirmation, and provide the City with supporting documentation of its enrollment and participation in a federal work authorization program with respect to the

employees working in connection with this Agreement. The required documentation must be from the federal work authorization program provider (e.g. the electronic signature page from the E-Verify program's Memorandum of Understanding); a letter from Consultant reciting compliance is not sufficient.

14.19 Conflicting Terms. In the event of any inconsistency, conflict or ambiguity among the terms of this Agreement, the Scope of Work, any City-approved Purchase Order, the Fee Proposal, and the Consultant's Proposal, the documents shall govern in the order listed herein.

14.20 Non-Exclusive Agreement. This Agreement is entered into with the understanding and agreement that it is for the sole convenience of the City. The City reserves the right to obtain like goods and services from another source when necessary.

14.21 Prevailing Wages. Intentionally Omitted.

14.22 Time of the Essence. Time is of the essence in this Agreement. Unless otherwise specifically provided, any consent to delay in Consultant's performance of its obligation is applicable only to the particular transaction to which it relates, and is not applicable to any other obligation or transaction.

14.23 Signatory Authority. Each person signing this Agreement represents that such person has the requisite authority to execute this Agreement on behalf of the entity the person represents and that all necessary formalities have been met.

14.24 Electronic Signatures. The Parties agree that this Agreement may be signed in two or more counterparts and/or signed electronically, and all such counterparts together shall constitute one and the same agreement; such signatures shall bind the signing party in the same manner as if a handwritten signature had been delivered.

[SIGNATURES ON FOLLOWING PAGES]

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ ("Effective Date").

**CITY OF LEE'S SUMMIT**

\_\_\_\_\_  
William A. Baird, Mayor

**ATTEST:**

\_\_\_\_\_  
Trisha Fowler Arcuri, City Clerk

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Daniel R. White,  
Chief Counsel of Management and Operations

University of Kansas, acting through its Public Management  
Center

By \_\_\_\_\_

Print Name Debra Miller

Title \_\_\_\_\_

Date 11-8-2019

EXHIBIT A  
TO  
PROFESSIONAL SERVICES AGREEMENT  
BETWEEN  
THE CITY OF LEE'S SUMMIT  
AND  
University of Kansas, Public Management Center  
[Consultant's Proposal and Scope of Work]  
See following pages.

**City of Lee's Summit**

**Community Engagement Proposal**  
**for**  
**Strategic Plan Implementation**

**October 24, 2019**



*Public service lies at the heart of democracy.*

October 24, 2019

Steve Arbo  
City Manager  
220 Green St.  
Lee's Summit, MO 64063

Dear Mr. Arbo:

The KU Public Management Center (PMC) is pleased to provide this proposal to facilitate a community engagement process to develop an implementation plan for Lee's Summit new strategic plan.

As you will see from our proposal, we have the skills, qualifications and experience necessary to successfully work with your citizens, elected officials, staff and community partners.

I would be happy to provide additional information or answer any questions you might have about the PMC and/or our proposal. You may contact me at [patty.gentrup@ku.edu](mailto:patty.gentrup@ku.edu) or [816.217.9397](tel:816.217.9397).

Sincerely,

Patty Gentrup  
Consulting Services Program Manager  
KU Public Management Center  
School of Public Affairs and Administration

## Introduction of the Project Team

### **KU Public Management Center**

The University of Kansas Public Management Center (PMC) will be the lead consultant for this project. The PMC is the professional development division for KU's School of Public Affairs and Administration. Our staff of seven provides training and consulting services for skills enhancement for leaders, managers, staff, and teams and to support organizational development in public organizations. We have worked with hundreds of government entities at the local, state and federal levels.

- Our philosophy: Our work is rooted in the belief that public service and community engagement is at the heart of democracy. Rather than adapt general processes that can be used for any organization or community, we create experiences specifically designed to address the unique opportunities and challenges that are inherent in local government and the communities they serve.
- Our expertise: Our staff has backgrounds working as government practitioners, in public service organizations and/or serving as public officials. We bring this experience into each engagement, adapting content and the process as appropriate.
- Our approach: Our processes are highly interactive. We encourage individuals to bring their experiences with the topics into the conversation, allowing all participants to learn from one another and have voice. In this way we model the inclusive, supportive and collaborative approach that we see as crucial to confronting today's challenges.

### **Mid-America Regional Council**

MARC is the Metropolitan Planning Organization and association of city and county governments, serving the region's nine counties and 119 cities. MARC provides a forum for local governments to convene and define shared solutions to common challenges. The MARC office is conveniently located in the heart of the metropolitan region, within a 35-minute drive of Lee's Summit City Hall. Lee's Summit is an active member of MARC and has representatives on numerous regional committees.

For the services requested, MARC proposes to use resources of its Government Training Institute (GTI). GTI staff routinely support MARC in its responsibilities to prepare and adopt plans on behalf

of area local governments; public engagement and committee deliberations of technical and policy information is a fundamental part of the work of the agency.

One of GTI's most popular programs is the Successful Facilitation Certificate. The certificate program is designed to serve local government executives, department directors, and other managers who deal with elected officials and/or seek public participation. GTI practices what it teaches in the facilitation curriculum.

## Personnel

### **Patty Gentrup, Consulting Services Manager, KU PMC**

Patty will be the project manager and primary consultant for the duration of the engagement. She brings 25 years of experience with direct service to local government as well as a consultant to them. She is a skilled facilitator who is able to craft a process that allows all voices to be heard. Patty joined the PMC in January 2018. In that time, she has provided strategic planning services to the cities of Salina, Kansas; the Baldwin City (Kansas) Recreation Commission; and Raymore, Smithville, and Grandview in Missouri; the Kansas City Streetcar Authority, the Johnson County Library, and the Raymore-Peculiar School District. She has also conducted public engagement training for the Kansas City, Missouri Parks Department. Under previous employment, Patty provided strategic planning services to the Unified Government of Wyandotte County/Kansas City, Kansas; the cities of Mission, Eudora, Olathe, and Wamego; and numerous programs associated with the Mid-America Regional Council.

### **Lauren Palmer, Director, Local Government Services, MARC**

Lauren will be a lead facilitator for this engagement. She joined MARC in 2018 and serves at the Director of Local Government Services. She oversees the Government Training Institute and local government programs including the First Suburbs Coalition, CORE4, Managers Roundtable, KC Regional Purchasing Cooperative, and the regional shared services initiative. Lauren is an ICMA Credentialed Manager with 15 years of experience in local government management. Prior to MARC, she served as an assistant city manager in Independence, MO where she had oversight for parks & recreation, public works, community development, human resources, public health, public relations and legislative advocacy. She previously held positions as the city administrator in Parkville, MO and assistant city manager in Manhattan, KS. Lauren started her career with a management internship in the city manager's office in Des Moines, IA.

### **Noel Rasor, Assistant Director, KU PMC**

Noel Rasor has been with the Public Management Center since 2009 and serves as the assistant director. In her role, Noel directs the PMC's Emerging Leaders Academy, serves as part of the consulting team, and contributes to strategic initiatives at the Center. In the classroom she most

often teaches on topics related to communication skills, organizational change, and leveraging strengths in the workplace. Throughout her career, Noel's work has been in public service, with previous roles in the university and at the American Red Cross at the chapter and national levels. She has a bachelor's degree in American Culture from the University of Michigan, a masters in urban planning from KU, and she completed doctoral work at KU in American Studies to the level of ABD (all but dissertation).

**Jennifer Grogg, Communications Specialist, KU PMC**

Jennifer is responsible for coordinating communication and event activities, and running the six social media accounts for the KU Public Management Center and the School of Public Affairs. Jennifer will provide support for the project.

**Jacob Worth, Local Government Services Intern, MARC**

Jacob is in his first year as a graduate student in the prestigious University of Kansas Master of Public Administration program. He holds a bachelor's degree in political science from Colorado State University. Jacob completed an internship in the Colorado General Assembly with Representative Jim Wilson. He also interned in the Mesa County (CO) Clerk & Recorder's Office – Election Division and accurately maintained sensitive voter records. As a part-time intern in the Local Government Services division of MARC, Jacob assists with research and event support for various programs and projects.

In addition, we ask for the opportunity to discuss whether City support staff might occasionally be available to assist during the committee meetings with set up, participant check in and high level summaries.

## Project Understanding and Approach

Earlier this year, the City of Lee's Summit concluded its community strategic planning process with the adoption of *Ignite! Your Ideas. Our Future*. That process engaged the elected body and community in identifying seven critical success factors (those things that must go well to achieve the vision) and associated objectives.

The City desires to continue that work, once again engaging the community, in developing strategies and a timeline for initial implementation of the plan over the next two to three years. As such, the City has established committees for each of the critical success factors that comprise about 25 people- citizens, elected officials, community partners and staff.

The Public Management Center proposes a process that will comprise four phases as follows.

### **Phase 1: Project Kick Off**

To ensure a common understanding of the scope and the process to be used, the project team will facilitate a discussion with the city manager and key staff. The focus of the discussion will be to:

- Review the proposed process for the community engagement initiative;
- Discuss sources of additional material to be reviewed by the consultants;
- Identify stakeholders and the finalize the plans for engagement; and,
- Determine communication protocol.

In addition, separate kick-off meetings will be conducted with elected officials, staff and the consulting team to all parties share a common understanding of the issues related to each Critical Success Factor as well as the process to identify strategies and the associated timeline.

### **Phase 2: Community Engagement**

The PMC proposes the following comprehensive engagement process.

#### **Task 1: Community Celebration**

In recognition of the extensive work done to date, the City intends to begin this process with a session that will be part celebration of the process just ended and part initiation of the next phase.

We can work with staff regarding how to make this a celebratory event. However, based on conversations with the city manager, it is our understanding that Mayor Bill Baird will set the stage by thanking those who worked so hard on the strategic plan. He will outline the elements

of the plan, reinforce that it is the structure that will be used for the next phase of the process and outline that the next phase of the process will be to prioritize specific strategies and set a timeline for them.

It is suggested that the second half of the program be set aside for each of the seven committees to receive an orientation regarding the process. They will review the information related to their topic area as found in the community input and strategic planning reports, their meeting schedules, and the outcomes for each meeting.

#### Task 2: Critical Success Factor Committees

Because much of the orientation for the committees will have occurred during the community celebration, just three meetings will be necessary to achieve the City's desire for prioritized strategies and an associated schedule.

##### *Meeting 1:*

- Activities:
  - Review environmental scan, community input and strategic plan information *that pertains to their specific critical success factor.*
  - Using small group techniques, identify preliminary strategies to achieve the identified objectives
- Outcome: Initial set of strategies

##### *Meeting 2:*

- Activities:
  - Review initial strategies identified at Meeting 1
  - Determine what strategies had been overlooked and/or should also be considered
  - Prioritize strategies using polling technology so that that
- Outcome:
  - A preliminary understanding of which strategies are important to address

### *Meeting 3:*

Following the second meeting, the consultant team would intend to work in tandem with staff to do two things. First, refine the strategies identified in each of the critical success factor committees. Secondly, determine an appropriate timeline for implementation, considering how the strategies across the CSF fit together.

#### Activities:

- Review/approval for strategies and timeline

#### Outcome:

- Committee approval

### Task 3: Concluding Celebration

Just as the CSF Committees began the engagement process together, we recommend they come together again at the conclusion of the process. Such a gathering would allow each committee to see how their work fits in with the strategic plan as a whole. This could be either before or after a presentation to the City Council.

### Task 4: Social Media

The City of Lee's Summit has multiple platforms with which it communicates with its residents: website, Facebook, twitter, Instagram, and a blog, to name a few. It will be important to not only provide information to the community regarding this process but also to respond to their comments.

The City's Director of Creative Services has indicated that the consulting team can be given access to post appropriate information on the City's website. City staff will then identify appropriate channels to push out more information; they will also monitor and respond to social media comments as is necessary. The consulting team will be available to discuss issues that arise and formulate responses as necessary.

### **Phase 3: Report Development**

The Public Management Center will produce a digital report that outlines the process, the prioritized strategies and the timeline for implementation.

### **Phase 4: Final Presentation**

The implementation plan for *Ignite! Your Ideas. Our Future* will be formally presented to the City Council for its review.

## Timeline

Our team is prepared to complete this engagement by May 31, 2020.

We understand that the project will begin with the November 25 community celebration, that committee members have been told that meetings will be primarily on Thursdays with some possible Tuesday meetings, and that space is available to have two committee meetings per evening.

The schedule can be accomplished with committee meetings that begin either in December or in January. We would like to discuss the best approach with city staff, considering the following.

- Option 1: Committee meetings begin in December

While a possibility, this option poses some challenges. Project initiation meetings with elected officials, staff and the consulting team would need to be scheduled in November. In addition, three committee meetings would have to be accommodated on one December evening, considering the holiday schedule. Finally, December is a busy month and some participants have indicated that they might not be able to commit until after the first of the year.

- Option 2: Committee meetings begin in January 2020

Deferring the start of the process until after the first of the year allows sufficient time in November and December for project kick-off activities that include the community celebration and the project initiation meetings with elected officials, staff and the consulting team. It also alleviates the possible conflicts not only with multiple committee meetings on one evening but also participants' personal conflicts.

Should this option be selected, committee members could receive one or two communications in December to maintain their engagement and interest level between the November celebration and the January meetings.

## Fee

The all-inclusive fee for this engagement as outlined is \$39,900.

It assumes:

- Project initiation meetings with the city manager and with elected officials and staff representing each of the Critical Success Factor topics.
- Planning for and facilitation of the November community celebration.
- Preparation for, facilitation of and follow up to three meetings for each of the seven CSF committees for a total of 21 meetings.
- Meetings with staff to refine the strategies and timeline
- Production of a digital report
- Preparation for and facilitation of a concluding celebration
- Presentation of the final plan to the City Council
- Support of city staff in addressing social media inquiries
- The City will provide space for the meetings, copies of materials for each meeting and refreshments.