

# PRELIMINARY DEVELOPMENT PLAN FOR LEGACY RIDGE MIXED USE

## IN THE CITY OF LEE'S SUMMIT JACKSON COUNTY, MISSOURI

Sheet List Table	
Sheet Number	Sheet Title
C0.0	PROJECT INFORMATION
C1.0	ZONING PLAN
C1.1	OVERALL PLAN
C1.2	PHASING PLAN
C2.0	SINGLE FAMILY 50' LOTS PLAT
C2.1	SINGLE FAMILY 62' LOTS PLAT
C2.2	SINGLE FAMILY 40' LOTS PLAT
C2.3	SINGLE FAMILY GRADING PLAN
C2.4	SINGLE FAMILY UTILITY PLAN
C2.5	SINGLE FAMILY 50' LOTS LANDSCAPE PLAN
C2.6	SINGLE FAMILY 62' LOTS LANDSCAPE PLAN
C2.7	SINGLE FAMILY 40' LOTS LANDSCAPE PLAN
C3.0	ACTIVE ADULT SITE PLAN
C3.1	ACTIVE ADULT GRADING PLAN
C3.2	ACTIVE ADULT UTILITY PLAN
C3.3	ACTIVE ADULT LANDSCAPE PLAN
C4.0	TOWNHOME SITE PLAN
C4.1	TOWNHOME GRADING PLAN
C4.2	TOWNHOME UTILITY PLAN
C4.3	TOWNHOME LANDSCAPE PLAN
C5.0	COMMERCIAL SITE PLAN
C5.1	COMMERCIAL GRADING PLAN
C5.2	COMMERCIAL UTILITY PLAN
C5.3	COMMERCIAL LANDSCAPE PLAN

PREPARED BY:

SCHLAGEL &amp; ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

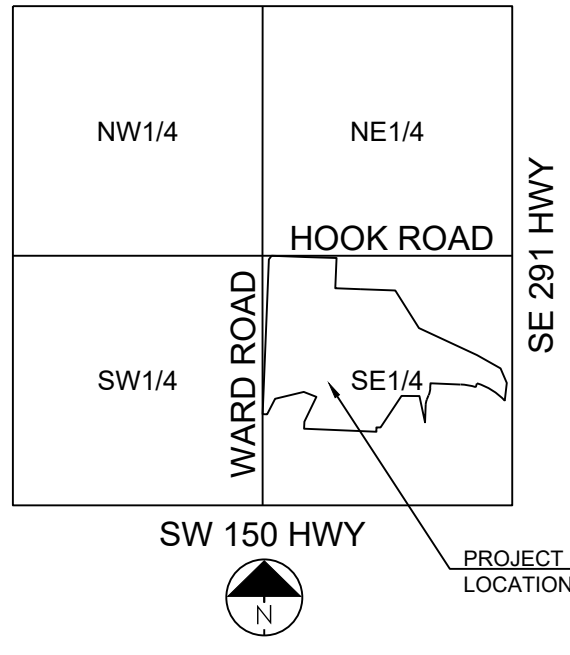
DRAWN BY:	CITY COMMENTS	DESCRIPTION
###	11-11-2025	CITY COMMENTS
###	12-9-2025	CITY COMMENTS
###		
DATE PREPARED:		
10-9-2025		
PROJ. NUMBER:		
25-018		

## PROJECT INFORMATION

SHEET  
C0.0

**LEGEND:**

- A/E - ACCESS EASEMENT
- BC - BACK OF CURB
- B/B - BACK TO BACK
- BM - BENCHMARK
- BL or B.L. - BUILDING LINE
- CO - CLEANOUT
- TJB - TELEPHONE JUNCTION BOX
- C&G - CURB AND GUTTER
- D/E - DRAINAGE EASEMENT
- E/E - ELECTRICAL EASEMENT
- EL - ELEVATION
- FL - FLOW LINE
- G/E - GAS LINE EASEMENT
- HDPE - HIGH-DENSITY POLYETHYLENE
- L/E - LANDSCAPE EASEMENT
- MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
- PVC - POLYVINYL CHLORIDE
- P/L - PROPERTY LINE
- PUB/E - PUBLIC EASEMENT
- RCP - REINFORCED CONCRETE PIPE
- ROW or R/W - RIGHT-OF-WAY
- S/E - SANITARY SEWER EASEMENT
- SL - SERVICE LINE
- SW - SIDEWALK
- TE - TOP ELEVATION
- U/E - UTILITY EASEMENT
- WE - WATER SURFACE ELEVATION
- W/E - WATERLINE EASEMENT



SECTION 20-47-31

## LOCATION MAP

SCALE 1" = 2000'

**UTILITY CONTACTS:**

MISSOURI DEPARTMENT OF  
TRANSPORTATION (MODOT)

Steve Holloway  
600 NE Colbern Road  
Lee's Summit, MO 64086  
(816) 607-2186

SPIRE

Brent Jones  
3025 SE Clover Drive  
Lee's Summit, MO 64082  
(816) 399-0663  
brent.jones@spireenergy.

## EVERGY

Philip Ingram  
1300 SE Hamblin Road  
Lee's Summit, MO 64081  
Office: (816) 347-347-4339  
philip.ingram@evergy.com

## CITY OF LEES SUMMIT PUBLIC WORKS

Michael Park  
220 SE Green Street  
Lee's Summit, MO 64063  
(816) 969-1800

## AT&amp;T

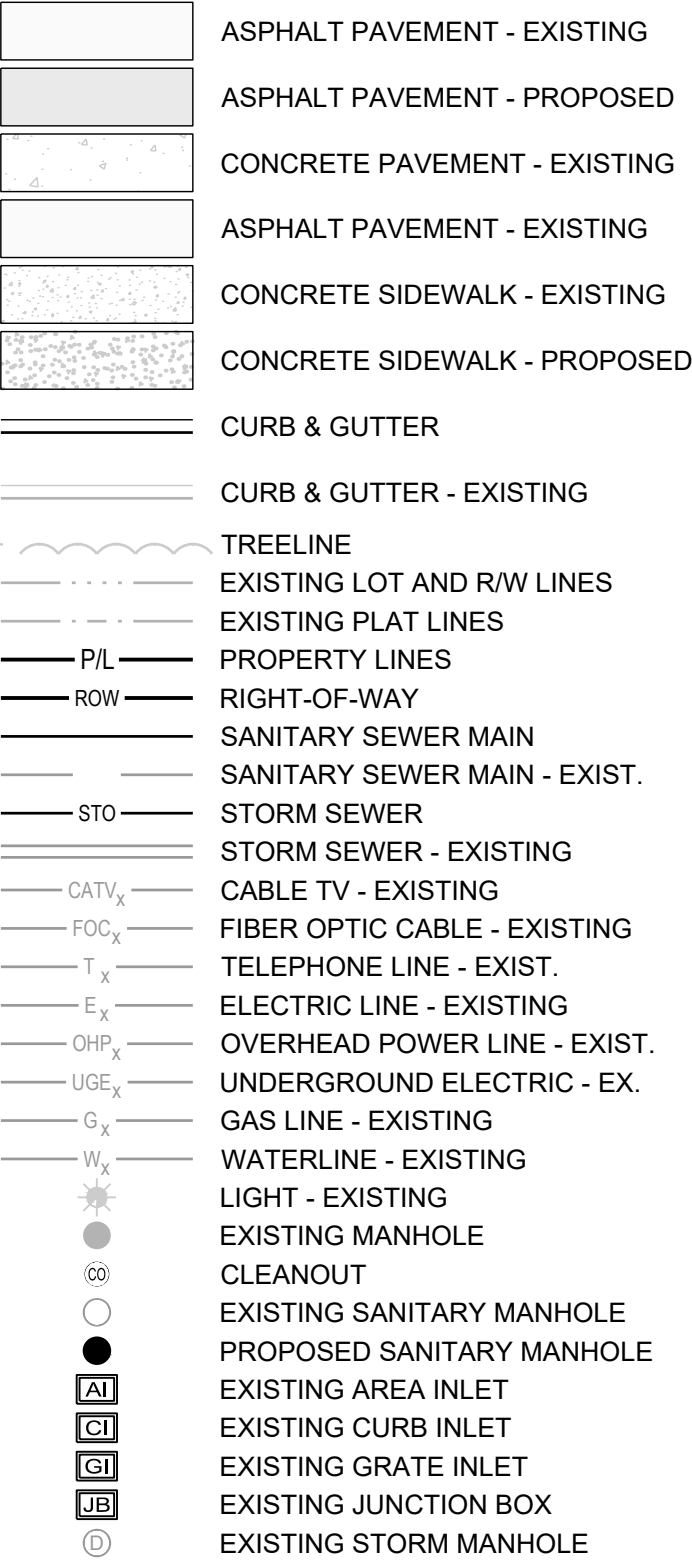
Mark Manion or Marty Loper  
500 E. 8th Street, Room 370  
Kansas City, MO 64106  
(816) 275-2341 or (816) 275-1550

## COMCAST CABLE

John Meadows  
4700 Little Blue Parkway  
Independence, MO 64051  
(816) 795-2257

## CITY OF LEE'S SUMMIT WATER UTILITIES

Jeff Thorn  
1200 SE Hamblen Road  
Lee's Summit, MO 64081  
(816) 969-1900



GENERAL NOTES:

- Subject property is shown to be located in zone X (no screen), other areas, "areas of minimal flood hazard," as shown on flood insurance rate map 2809C5-0533g effective January 2017.
- B. Building setbacks, lot coverage, site area information, and utility information is from alta survey maps prepared by Continental, Inc dated 3/11/2015 provided by and used with approval of the owner.
- C. Topography from City of Lee's summit GIS
- D. Based on the geologic data on Missouri department of natural resources web site there are no known wells on the site.
- E. An easement or license will granted to the city of lee's summit, missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and/or structures for electric power access to the site. The city may also install water, sewer, storm drainage, telephone, cable, television, or any other necessary public utility or services, any of all them, upon, over, under those areas outlined or designated upon this plan as "utility easement" or "UE" or within any street or thoroughfare dedicated to public travel.
- F. The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
- G. Parking lanes and/or setbacks shall be established as shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
- H. All construction must comply with the most recent adopted city code, ordinances, and design standards.
- I. All existing buildings and improvements shall conform to the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
- J. All parking lots shall have C-G-1 curb as required by code.
- K. All drives and parking to be asphalt unless otherwise noted on the plat.
- L. All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on this plan.
- M. All accessible paths shall comply with the ADA requirements.
- N. All lighting along public streets that the City standard street lights and shall comply with the following standards:
- O. All lighting along private streets shall be installed at least 10 feet from any parking stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located, or screened so that light is directed away from and no light source is visible from a public street, a residentially-zoned area, or a residential use.
- P. All lighting along private streets shall be installed at least 10 feet from any parking stalls of the UDO. All parking lot with 11 or more parking stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public street, a residential use, or a residential use.
- Q. All public infrastructure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
- R. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards.
- S. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during fire fighting operations shall be addressed in the final development plans submitted for review and approval.
- T. IFC 903.3.7 - Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as otherwise specified by the fire code official.
- U. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- V. D105.1 Where required, Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the term "vertical distance" means the vertical distance measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater
- W. IFC 503.2.3.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed height clearance of not less than 14 feet (4267 mm) for vehicles carrying loads exceeding 14,000 pounds (6350 kg).
- X. IFC 503.2.3.2 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- Y. IFC 503.2.3.3 - Fire apparatus access roads shall be paved with concrete or asphalt having a minimum thickness of 28 feet (7925 mm) exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- Z. IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where the structure or area is occupied by persons who are prohibited from entering, the fire code official shall cause a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official 506.1.1 Locks An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock shall be permitted for use on gates or similar barriers.
- AA. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

GENERAL GRADING NOTES:

1. Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topography information has been completed or provided by the developer.
2. All proposed construction shall be consistent with the final development plan and permit plans.
3. Earthwork calculations are not part of the preliminary development plan services provided by the engineer.
4. All borrowings or geotechnical investigations have been completed or provided by the developer.
5. Recommend a geotechnical engineer review all earthwork activity to make sure recommendations in geotechnical report are followed.
6. All placement of curb and gutter and pavement, geotechnical engineer must approve subgrade in written form to the owner and project engineer.
7. All utility installations under paved areas must be compacted as per the recommendations of the engineer, placement of subgrade and compacted.
8. All construction shall comply with the city technical specifications.
9. The entire project shall be left in a mowable condition. All disturbed areas shall be seeded as required by the engineer. All disturbed areas shall be seeded with the public street right-of-way shall be seeded in compliance with the city of technical specifications and municipal code.
10. The contractor shall provide for positive drainage away from buildings and sidewalks at all times.
11. All disturbed areas shall be seeded with the same seed as the property corners disturbed or paved by grading activities shall be reset by a professional land surveyor licensed in the state of Missouri, and contractor to expense.
12. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
  - 13. a. Turf Areas - 2.5% Minimum, 4% IV Maximum
  - 14. b. Paved Areas - 1.2% Minimum, 5% Maximum
  - 15. c. A.D.A. parking stalls shall not be sloped greater than 2% in any direction and constructed per A.D.A.
16. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per the City of Lee's Summit standard plan.
17. All disturbed areas in the right-of-way shall be seeded.

**GENERAL UTILITY NOTES:**

1. Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
2. Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing former location and elevations from asbuilts provided by the Little Blue River Sewer District. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
3. The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
4. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
5. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
6. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
7. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
8. All construction shall comply with the city technical specifications.
9. The contractor is responsible for protection of all property corners. any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.
10. All public infrastructure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
11. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.

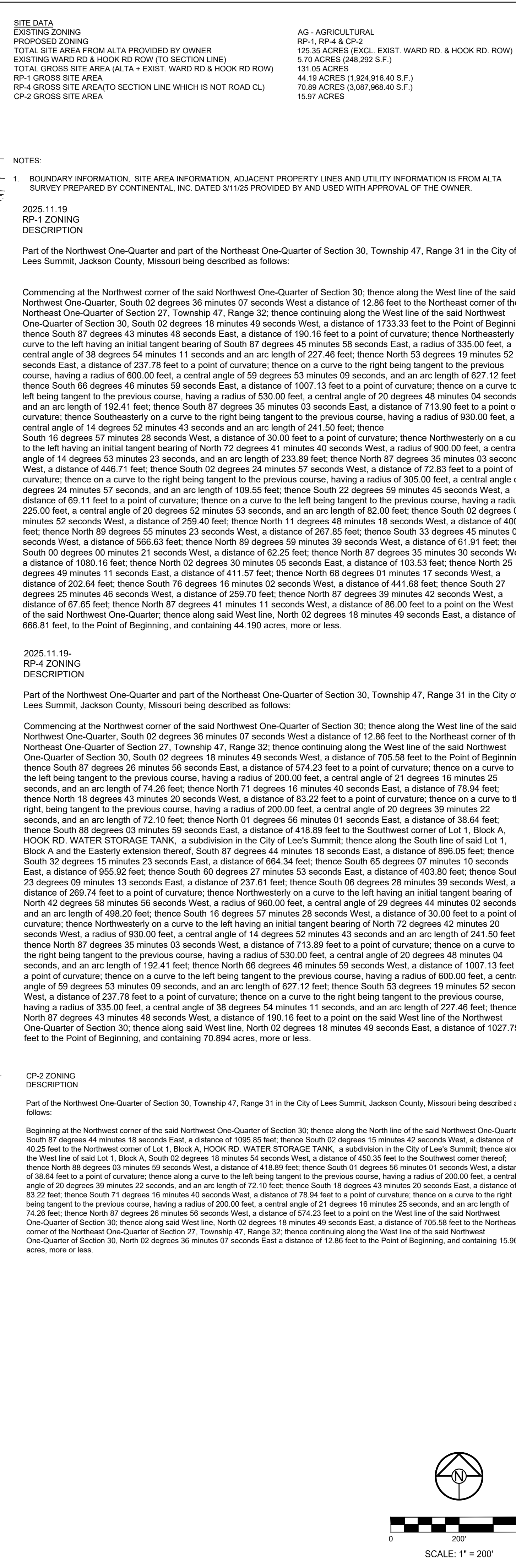
**OWNER:**

PROPERTY RESERVE INC.  
PO BOX 511196  
SALT LAKE CITY, UT 84151-1196

**DEVELOPER:** \_\_\_\_\_

**GRIFFIN RILEY PROPERTY GROUP**  
**21 SE 29TH TERRACE**  
**LEE'S SUMMIT, MO 64082**  
**p (816) 366-7900**  
**JAKE@GRIFFINRILEY.COM**





<div style="display: flex; align-items: center;"> <div> <p><b>SCHLAGEL</b></p> <p>ENGINEERS, PLANNERS, SURVEYORS, LANDSCAPE ARCHITECTS</p> <p>14920 West 107th Street • Lenexa, Kansas 66215            (913) 492-5158 • Fax: (913) 492-9400            WWW.SCHLAGELASSOCIATES.COM</p> </div> </div>	PREPARED BY:																												
	SCHLAGEL & ASSOCIATES, P.A.																												
<p><b>LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN</b></p> <p><b>WARD ROAD AND HOOK ROAD LEE'S SUMMIT, MISSOURI</b></p>																													
<p><b>ZONING PLAN</b></p>																													
SHEET <div style="font-size: 2em; font-weight: bold;">C1.0</div>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">DRAWN BY:</th> <th style="width: 20%;">REVISION DATE</th> <th style="width: 60%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>SCH</td> <td>11-11-2025</td> <td>CITY COMMENTS</td> </tr> <tr> <td></td> <td></td> <td>CITY COMMENTS</td> </tr> <tr> <td>CHECKED BY:</td> <td>12-5-2025</td> <td></td> </tr> <tr> <td>SCH</td> <td></td> <td></td> </tr> <tr> <td>DATE PREPARED:</td> <td></td> <td></td> </tr> <tr> <td>10-9-2025</td> <td></td> <td></td> </tr> <tr> <td>PROJ. NUMBER</td> <td></td> <td></td> </tr> <tr> <td>25-019</td> <td></td> <td></td> </tr> </tbody> </table>		DRAWN BY:	REVISION DATE	DESCRIPTION	SCH	11-11-2025	CITY COMMENTS			CITY COMMENTS	CHECKED BY:	12-5-2025		SCH			DATE PREPARED:			10-9-2025			PROJ. NUMBER			25-019		
DRAWN BY:	REVISION DATE	DESCRIPTION																											
SCH	11-11-2025	CITY COMMENTS																											
		CITY COMMENTS																											
CHECKED BY:	12-5-2025																												
SCH																													
DATE PREPARED:																													
10-9-2025																													
PROJ. NUMBER																													
25-019																													





**SITE DATA**  
EXISTING ZONING  
PROPOSED ZONING  
TOTAL SITE AREA FROM ALTA PROVIDED BY OWNER  
EXISTING WARD RD & HOOK RD ROW (TO SECTION LINE)  
TOTAL GROSS SITE AREA (ALTA + EXIST. WARD RD & HOOK RD ROW)  
RP-1 GROSS SITE AREA  
RP-4 GROSS SITE AREA (TO SECTION LINE WHICH IS NOT ROAD CL)  
CP-2 GROSS SITE AREA

AG - AGRICULTURAL  
RP-1, RP-4 & CP-2  
125.35 ACRES (EXCL. EXIST. WARD RD. & HOOK RD. ROW)  
5.70 ACRES (248,292 S.F.)  
131.05 ACRES  
44.19 ACRES (1,924,916.40 S.F.)  
70.89 ACRES (3,087,968.40 S.F.)  
15.97 ACRES

**PROJECT DATA (Sec. 6.030, Table 6-2)**  
RP-1 PROPOSED PROPOSED NUMBER OF LOTS/UNITS  
RP-4 SINGLE FAMILY DETACHED PROPOSED NUMBER OF LOTS/UNITS  
RP-4 SINGLE FAMILY ATTACHED (TOWNHOMES) PROPOSED NUMBER OF UNITS  
RP-4 MULTIFAMILY PROPOSED NUMBER OF UNITS  
TOTAL NUMBER OF UNITS  
RESIDENTIAL DENSITY

124 LOTS  
73 LOTS  
241 UNITS  
300 UNITS (SEPARATE APPLICATION)  
738 UNITS  
SEE DETAIL PLANS

- NOTES:**
- Subject property is shown to be located in Zone X (no screen), other area, "areas of minimal flood hazard", as shown on flood insurance rate map 29095C0532G effective January 20, 2017.
  - Boundary information, site area information, adjacent property lines and utility information is from alta survey prepared by Continental, Inc. dated 3/11/25 provided by and used with approval of the owner.
  - Topography from city of Lee's Summit gis.
  - An easement or license will be granted to the City of Lee's Summit, Missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, conduits and/or structures for, pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "utility easement" or "U/E" or within any street or thoroughfare dedicated to public use.
  - The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
  - Building lines (BL) or setback lines will be established as shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
  - All construction must comply with the most recent adopted City code, ordinances, and design standards.
  - All drives and parking to be asphalt unless otherwise noted on the plan.
  - All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on this plan.
  - All accessible parking shall comply with the ADA requirements.
  - Parking lot design must meet the UDO Article 8 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
  - All public infrastructure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
  - The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
  - All parking lots shall have C&G-1 curb as required by code.
  - Individual trash service will be provided for each residential unit/building.
  - Based on the geologic data on Missouri department of natural resources web site there are no known wells on the site.

- All lighting for public streets shall be the City standard street lights and shall comply with the lighting standards contained within Article 8 of the UDO.
- All private lighting shall comply with the requirements of the UDO Article 8. All parking lot with 11 or more open stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public street (except lights for parking along a street), a residentially-zoned area, or a residential use.
- All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.
- IFC 903.3.7 - Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch 316 type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
- IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
- IFC 503.2.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).
- IFC 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or

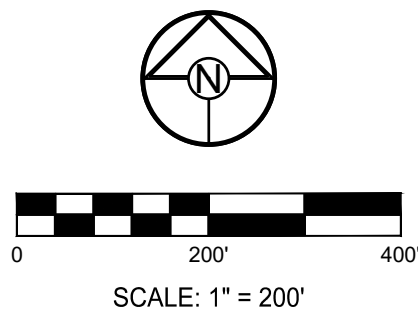
fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official 506.1.1 Locks. An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.

23. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

- LEGEND:**
- FOUND 1/2" REBAR WITH KSLS 54 CAP UNLESS OTHERWISE NOTED
  - FOUND MONUMENT AS NOTED
  - SET 1/2" REBAR W/LS-54 CAP UNLESS OTHERWISE NOTED
  - R/W - RIGHT-OF-WAY
  - BL - BUILDING LINE
  - LNA - LIMITS OF NO ACCESS
  - L/S - LANDSCAPE AREA
  - D/E - DRAINAGE EASEMENT
  - R/W - RIGHT-OF-WAY
  - S/W - SIDEWALK
  - S/E - SANITARY SEWER EASEMENT
  - E/E - ELECTRICAL EASEMENT
  - W/E - WATERLINE EASEMENT
  - U/E - UTILITY EASEMENT
  - U.V. - UTILITY VAULT
  - B/B - BACK TO BACK OF CURB
  - CURB & GUTTER
  - EXISTING LOT AND PROPERTY LINES
  - EXISTING PLAT AND R/W LINES
  - FENCE - ROD IRON
  - E<sub>1</sub> - ELECTRIC LINE
  - FOC<sub>1</sub> - FIBER OPTIC CABLE
  - G<sub>1</sub> - GAS LINE
  - OHP<sub>1</sub> - OVERHEAD POWER LINE
  - SAN<sub>1</sub> - SANITARY SEWER MAIN
  - WATERLINE
  - EXISTING MANHOLE
  - LIGHT OVERHEAD
  - POWER PEDESTAL
  - TELEPHONE PEDESTAL
  - CABLE PEDESTAL
  - FIRE HYDRANT
  - WATER METER
  - WATER VALVE
  - GAS VALVE

**OWNER:**  
PROPERTY RESERVE INC.  
PO BOX 511196  
SALT LAKE CITY, UT 84151-1196

**DEVELOPER:**  
GRIFFIN RILEY PROPERTY GROUP  
21 SE 29TH TERRACE  
LEE'S SUMMIT, MO 64082  
p (816) 366-7900  
JAKE@GRIFFINRILEY.COM



LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS

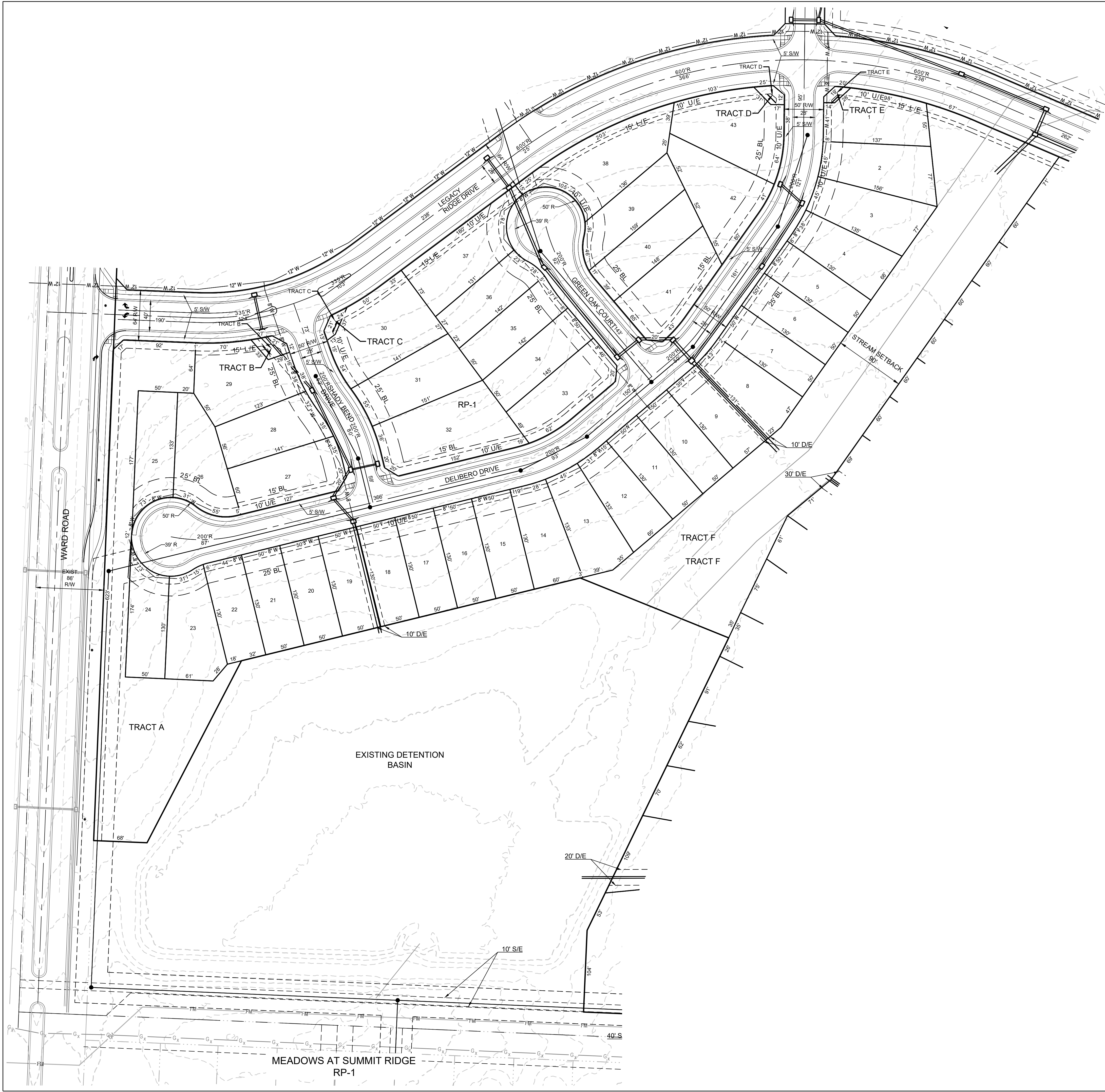
OVERALL PLAN

SHEET  
**C1.1**









SITE DATA  
EXISTING ZONING  
PROPOSED ZONING  
APPROXIMATE PLAT GROSS SITE AREA  
APPROXIMATE WARD RD ROW AREA  
APPROXIMATE PLAT NET SITE AREA (EXCL. ADJ. ARTERIAL ROW)  
DENSITY ALLOWED BY UDO SEC 6.030 TABLE 6-2  
DENSITY PROPOSED USING GROSS AREA (LOT QNTY/GROSS SITE AREA)  
DENSITY PROPOSED USING NET AREA (LOT QNTY/NET SITE AREA)

AG - AGRICULTURAL  
RP-1  
14.23 AC +/-  
1.32 AC +/-  
12.91 AC +/-  
ESTABLISHED WITH ZONING APPROVAL  
3.02 DU/AC  
3.33 DU/AC

LOT DATA  
MINIMUM LOT WIDTH PROPOSED  
MINIMUM LOT DEPTH PROPOSED  
LOT QUANTITY PROPOSED  
MINIMUM LOT SIZE ALLOWED BY UDO  
MINIMUM LOT SIZE PROPOSED

50 FEET  
120 FEET  
43 LOTS  
ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL  
6,000 S.F.

SETBACK DATA  
MINIMUM SETBACKS PER UDO SEC 6.040 TABLE 6-3  
FRONT SETBACK PROPOSED  
INTERIOR SIDE SETBACK PROPOSED  
STREET SIDE SETBACK PROPOSED  
REAR SETBACK PROPOSED

ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL  
25 FT.  
5 FT.  
15 FT.  
20 FT.

- MODIFICATION REQUEST
1. REDUCTION IN LOT WIDTH TO ALLOW A 50' WIDE LOT.
  2. REDUCTION IN LOT SIZE TO ALLOW A 6,500 S.F. LOT SIZE
  - 3.

- TRACT NOTES:
1. TRACT A & F TO BE OWNED BY THE HOMES ASSOCIATION AND IS USED FOR OPEN SPACE AND STORMWATER BMPS.
  2. TRACTS B-E TO BE OWNED BY THE HOA & USED FOR ENTRY MONUMENT SIGNAGE.

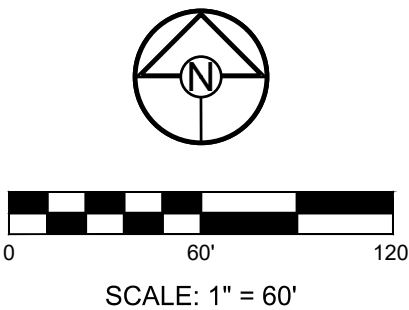
LOT #	AREA (SF)
1	8,116.35
2	8,623.32
3	8,571.47
4	7,490.37
5	6,503.62
6	6,502.57
7	6,501.52
8	7,582.05
9	6,826.35
10	6,500.00
11	6,500.00
12	7,285.93
13	7,998.97
14	7,208.35
15	6,511.63
16	6,511.96
17	6,512.28
18	6,512.61
19	6,512.94
20	6,513.26

LOT #	AREA (SF)
21	6,513.59
22	6,513.29
23	8,604.99
24	7,018.70
25	7,164.39
26	8,479.00
27	9,041.45
28	7,993.92
29	10,455.54
30	11,979.14
31	9,206.44
32	13,584.02
33	8,492.35
34	7,163.73
35	7,051.79
36	6,829.35
37	10,222.63
38	12,623.97
39	7,570.55
40	7,693.12

LOT #	AREA (SF)
41	9,536.18
42	10,198.61
43	11,592.46
TRACT A	43,076.48
TRACT B	853.55
TRACT C	508.28
TRACT D	581.24
TRACT E	404.74
TRACT F	81,650.74

LEGEND:

- FOUND 1/2" REBAR WITH KSL S 54 CAP UNLESS OTHERWISE NOTED
- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR W/LS-54 CAP UNLESS OTHERWISE NOTED
- R/W - RIGHT-OF-WAY
- BL - BUILDING LINE
- LNA - LIMITS OF NO ACCESS
- U/S - LANDSCAPE AREA
- D/E - DRAINAGE EASEMENT
- R/W - RIGHT-OF-WAY
- SW - SIDEWALK
- S/E - SANITARY SEWER EASEMENT
- E/E - ELECTRICAL EASEMENT
- W/E - WATERLINE EASEMENT
- U/E - UTILITY EASEMENT
- U.V. - UTILITY VAULT
- B/B - BACK TO BACK OF CURB
- CURB & GUTTER
- EXISTING LOT AND PROPERTY LINES
- EXISTING PLAT AND R/W LINES
- FENCE - ROD IRON
- E<sub>x</sub> - ELECTRIC LINE
- FOC<sub>x</sub> - FIBER OPTIC CABLE
- G<sub>x</sub> - GAS LINE
- OH<sub>x</sub> - OVERHEAD POWER LINE
- SAN<sub>x</sub> - SANITARY SEWER MAIN
- W<sub>x</sub> - WATERLINE
- EXISTING MANHOLE
- ☼ LIGHT OVERHEAD
- P - POWER PEDESTAL
- T - TELEPHONE PEDESTAL
- C - CABLE PEDESTAL
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- GAS VALVE



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		

DRAWN BY: SCH  
CHECKED BY: SCH  
DATE PREPARED: 10-9-2025  
PROJ. NUMBER: 25-019

SINGLE FAMILY  
50' LOTS PLAT

SHEET  
**C2.0**



SITE DATA  
EXISTING ZONING  
PROPOSED ZONING  
APPROXIMATE PLAT GROSS SITE AREA  
DENSITY ALLOWED BY UDO SEC 6.030 TABLE 6-2  
DENSITY PROPOSED USING GROSS AREA (LOT QNTY/GROSS SITE AREA)

AG - AGRICULTURAL  
RP-1  
25.93 AC +/-  
ESTABLISHED WITH ZONING APPROVAL  
3.12 DU/AC

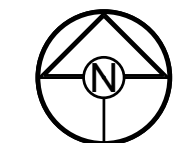
LOT DATA  
MINIMUM LOT WIDTH PROPOSED  
MINIMUM LOT DEPTH PROPOSED  
60' WIDE LOT QUANTITY  
62' WIDE LOT QUANTITY  
MINIMUM LOT SIZE ALLOWED BY UDO SEC 6.030 TABLE 6-2  
MINIMUM LOT SIZE PROPOSED

60 FEET  
125 FEET  
24 LOTS  
57 LOTS  
ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL  
7,800 S.F.

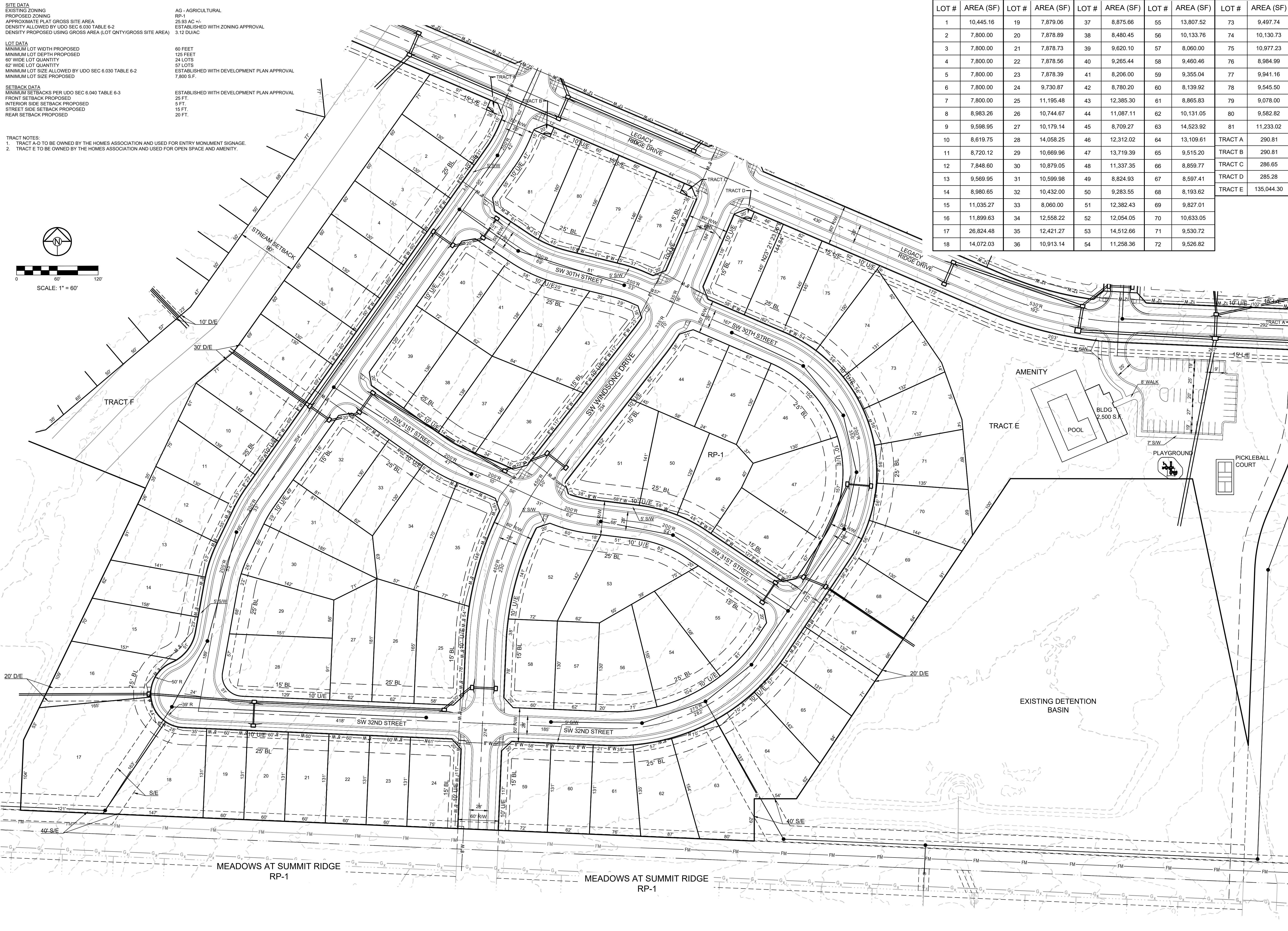
SETBACK DATA  
MINIMUM SETBACKS PER UDO SEC 6.040 TABLE 6-3  
FRONT SETBACK PROPOSED  
INTERIOR SIDE SETBACK PROPOSED  
STREET SIDE SETBACK PROPOSED  
REAR SETBACK PROPOSED

ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL  
25 FT.  
5 FT.  
15 FT.  
20 FT.

TRACT NOTES:  
1. TRACT A-D TO BE OWNED BY THE HOMES ASSOCIATION AND USED FOR ENTRY MONUMENT SIGNAGE.  
2. TRACT E TO BE OWNED BY THE HOMES ASSOCIATION AND USED FOR OPEN SPACE AND AMENITY.



SCALE: 1" = 60'



LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
1	10,445.16	19	7,879.06	37	8,875.66	55	13,807.52	73	9,497.74
2	7,800.00	20	7,878.89	38	8,480.45	56	10,133.76	74	10,130.73
3	7,800.00	21	7,878.73	39	9,620.10	57	8,060.00	75	10,977.23
4	7,800.00	22	7,878.56	40	9,265.44	58	9,460.46	76	8,984.99
5	7,800.00	23	7,878.39	41	8,206.00	59	9,355.04	77	9,941.16
6	7,800.00	24	9,730.87	42	8,780.20	60	8,139.92	78	9,545.50
7	7,800.00	25	11,195.48	43	12,385.30	61	8,865.83	79	9,078.00
8	8,983.26	26	10,744.67	44	11,087.11	62	10,131.05	80	9,582.82
9	9,598.95	27	10,179.14	45	8,709.27	63	14,523.92	81	11,233.02
10	8,619.75	28	14,058.25	46	12,312.02	64	13,109.61	TRACT A	290.81
11	8,720.12	29	10,669.96	47	13,719.39	65	9,515.20	TRACT B	290.81
12	7,848.60	30	10,879.05	48	11,337.35	66	8,859.77	TRACT C	286.65
13	9,569.95	31	10,599.98	49	8,824.93	67	8,597.41	TRACT D	285.28
14	8,980.65	32	10,432.00	50	9,283.55	68	8,193.62	TRACT E	135,044.30
15	11,035.27	33	8,060.00	51	12,382.43	69	9,827.01		
16	11,899.63	34	12,558.22	52	12,054.05	70	10,633.05		
17	26,824.48	35	12,421.27	53	14,512.66	71	9,530.72		
18	14,072.03	36	10,913.14	54	11,258.36	72	9,526.82		

SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS

DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:
SCH	SCH	10-9-2025	25-019

SINGLE FAMILY  
62' LOTS PLAT

SHEET  
C2.1



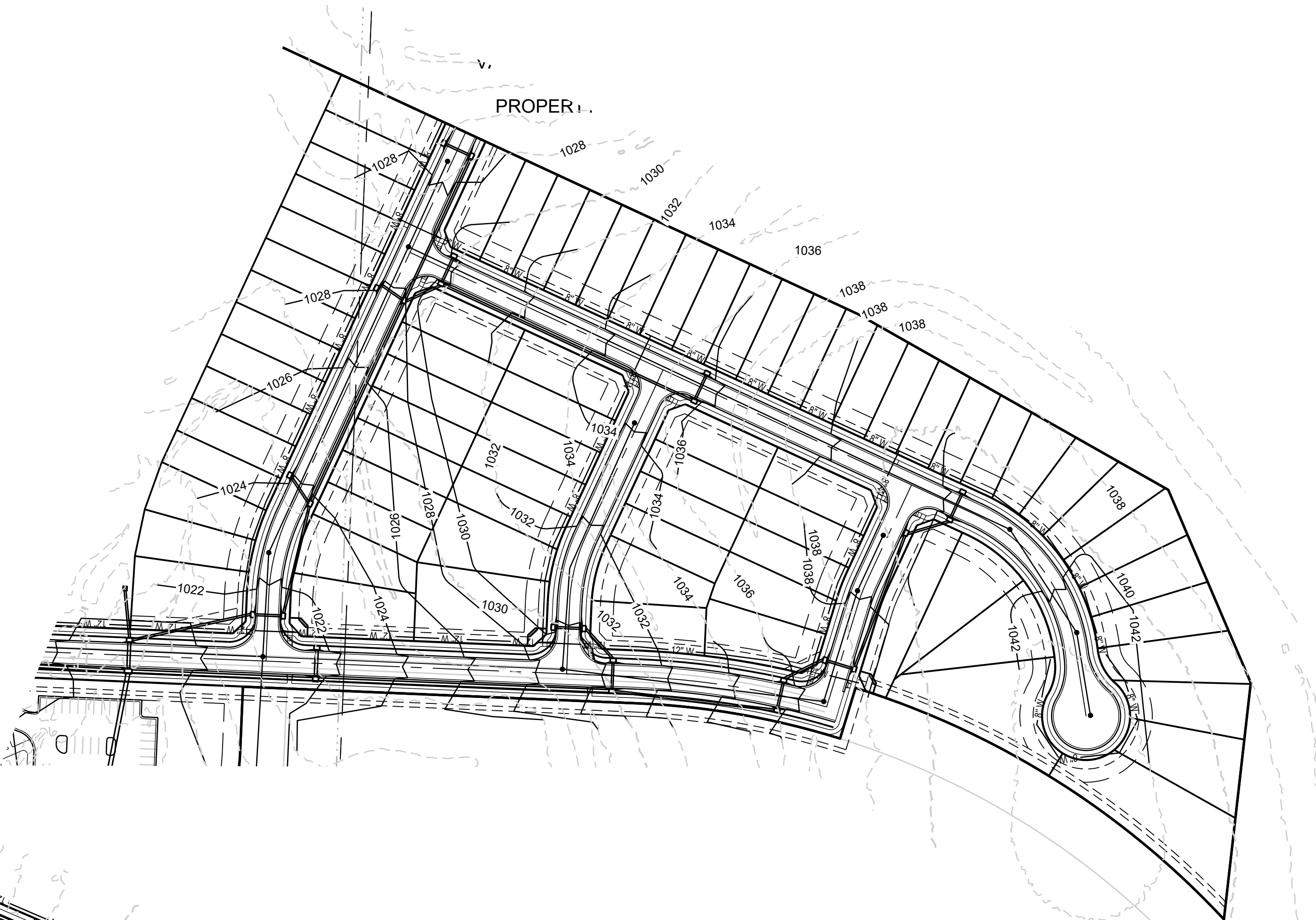
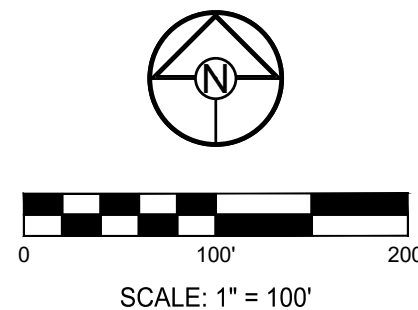




— 1023 — — — — EXISTING CONTOUR

———— 1023 ————— PROPOSED CONTOUR

1. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
2. PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.
3. EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.
4. NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
5. RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
6. PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
7. ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
8. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.
9. ENTIRE PROJECT SHALL BE LEFT IN A MOVABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SOODED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
10. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.



**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5150 • Fax: (913) 492-8400  
[WWW.SCHLAGELASSOCIATES.COM](http://WWW.SCHLAGELASSOCIATES.COM)

PREPARED BY:

SCHLAGEL &amp; ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		
9		

SINGLE FAMILY  
GRADING PLAN

SHEET

# C2.3



LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI














DRAWN BY:		REVISION DATE	DESCRIPTION
SCH	1	11-11-2025	CITY COMMENTS
	2	12-9-2025	CITY COMMENTS
CHECKED BY:	3	4	
SCH	5	6	
DATE PREPARED:	7	8	
10-9-2025	9	10	
PROJ. NUMBER	11	12	
25-019	13	14	

SINGLE FAMILY  
UTILITY PLAN

SHEET

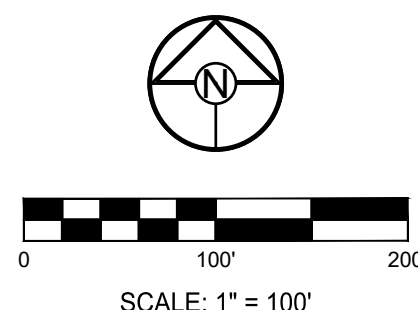
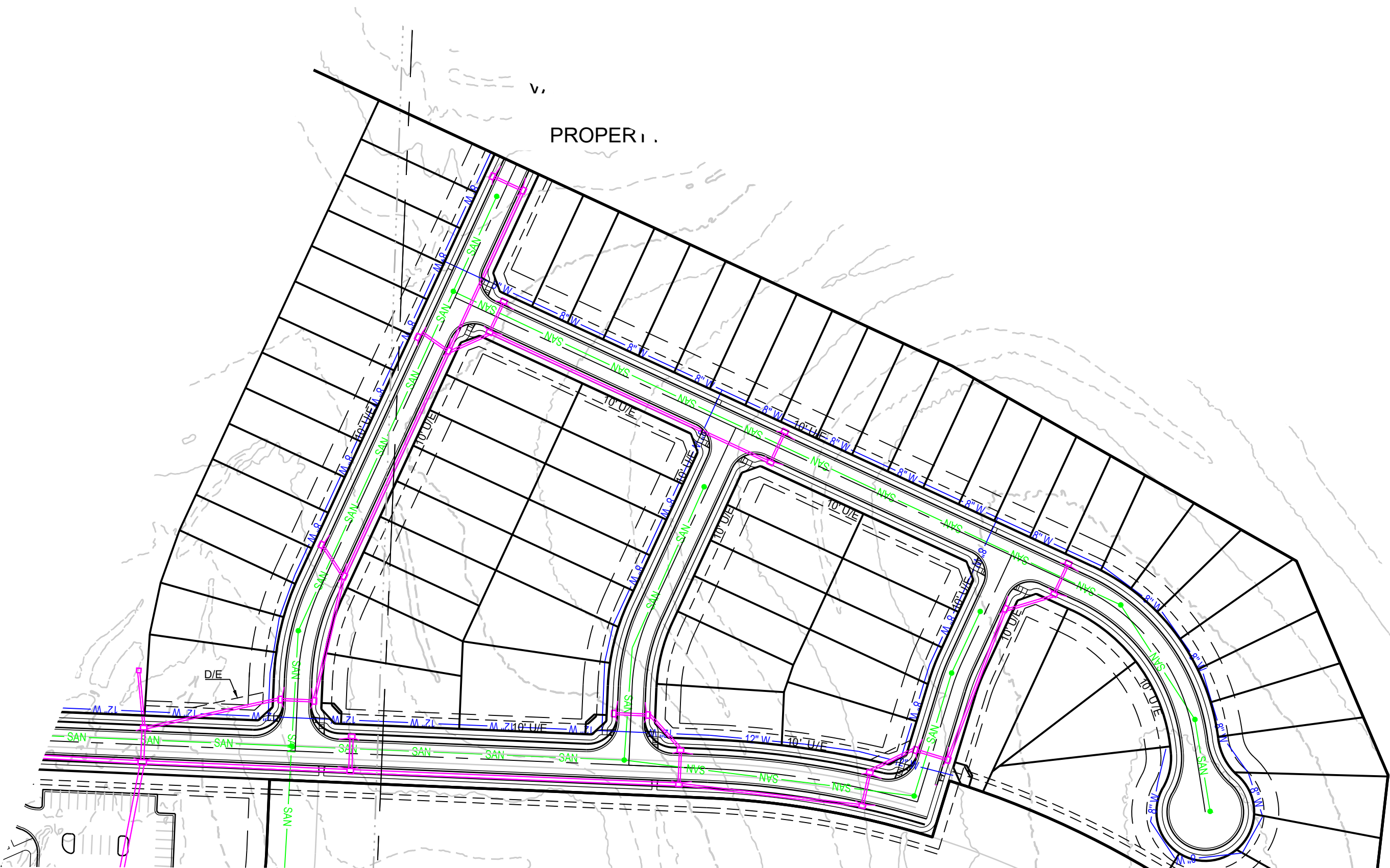
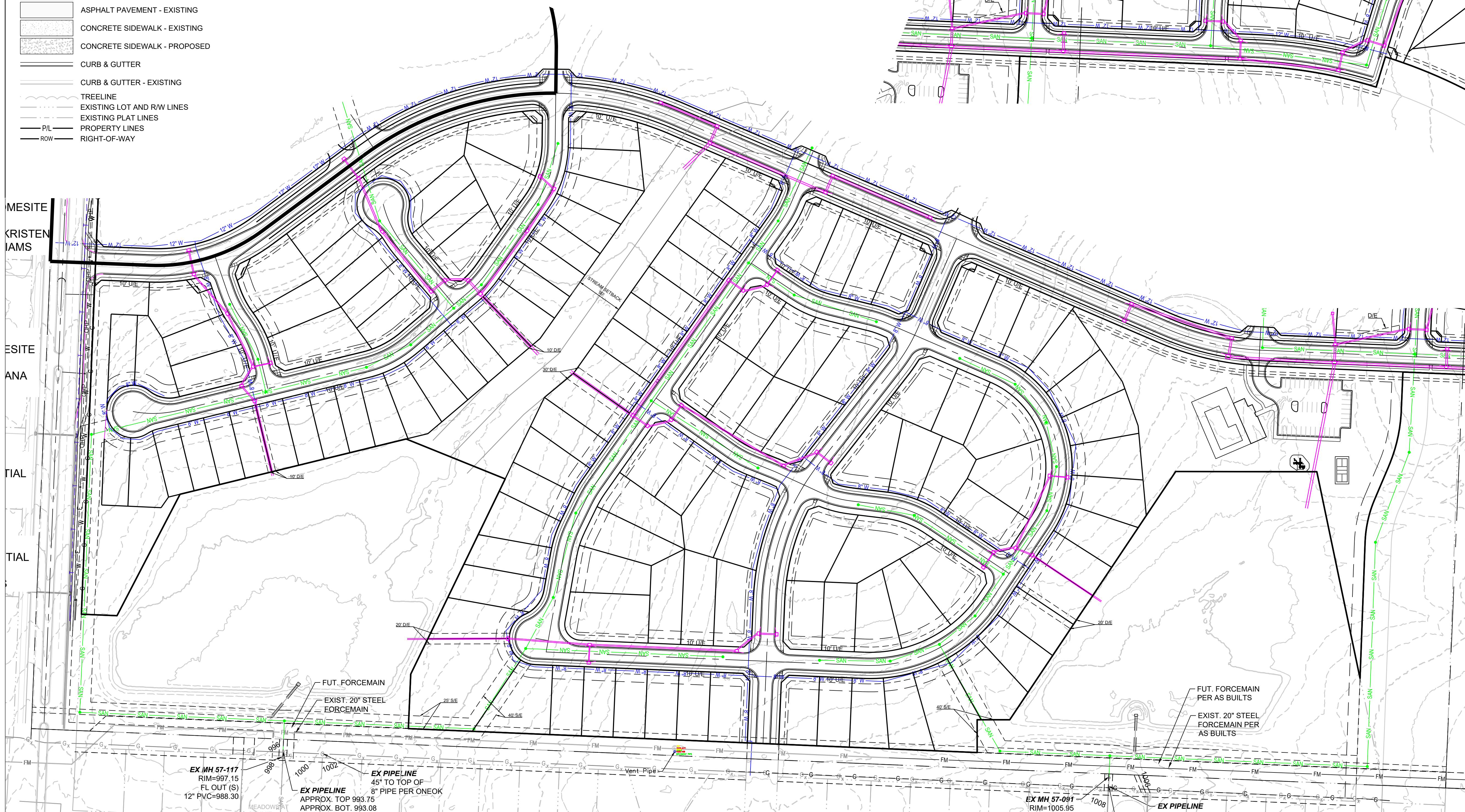
## C2.4

**LEGEND:**

- |   |   |                                     |
|---|---|-------------------------------------|
| A/E   | - | ACCESS EASEMENT                     |
| BC  | - | BACK OF CURB                        |
| B/B   | - | BACK TO BACK                        |
| BM  | - | BENCHMARK                           |
| BL or B.L.  | - | BUILDING LINE                       |
| CO  | - | CLEANOUT                            |
| TJB   | - | TELEPHONE JUNCTION BOX              |
| C&G   | - | CURB AND GUTTER                     |
| D/E   | - | DRAINAGE EASEMENT                   |
| E/E   | - | ELECTRICAL EASEMENT                 |
| EL  | - | ELEVATION                           |
| FL  | - | FLOW LINE                           |
| G/E   | - | GAS LINE EASEMENT                   |
| HDPE  | - | HIGH-DENSITY POLYETHYLENE           |
| L/E   | - | LANDSCAPE EASEMENT                  |
| MSFE  | - | MINIMUM SERVICEABLE FLOOR ELEVATION |
| PVC   | - | POLYVINYL CHLORIDE                  |
| P/L   | - | PROPERTY LINE                       |
| PUB/E   | - | PUBLIC EASEMENT                     |
| RCP   | - | REINFORCED CONCRETE PIPE            |
| ROW or R/W  | - | RIGHT-OF-WAY                        |
| S/E   | - | SANITARY SEWER EASEMENT             |
| SL  | - | SERVICE LINE                        |
| S/W   | - | SIDEWALK                            |
| TE  | - | TOP ELEVATION                       |
| U/E   | - | UTILITY EASEMENT                    |
| WSE   | - | WATER SURFACE ELEVATION             |
| W/E   | - | WATERLINE EASEMENT                  |
|  | - | ASPHALT PAVEMENT - EXISTING         |
|  | - | ASPHALT PAVEMENT - PROPOSED         |
|  | - | CONCRETE PAVEMENT - EXISTING        |
|  | - | ASPHALT PAVEMENT - EXISTING         |
|  | - | CONCRETE SIDEWALK - EXISTING        |
|  | - | CONCRETE SIDEWALK - PROPOSED        |
|  | - | CURB & GUTTER                       |
|  | - | CURB & GUTTER - EXISTING            |
|  | - | TREELINE                            |
|  | - | EXISTING LOT AND R/W LINES          |
|  | - | EXISTING PLAT LINES                 |
|  | - | PROPERTY LINES                      |
|  | - | RIGHT-OF-WAY                        |

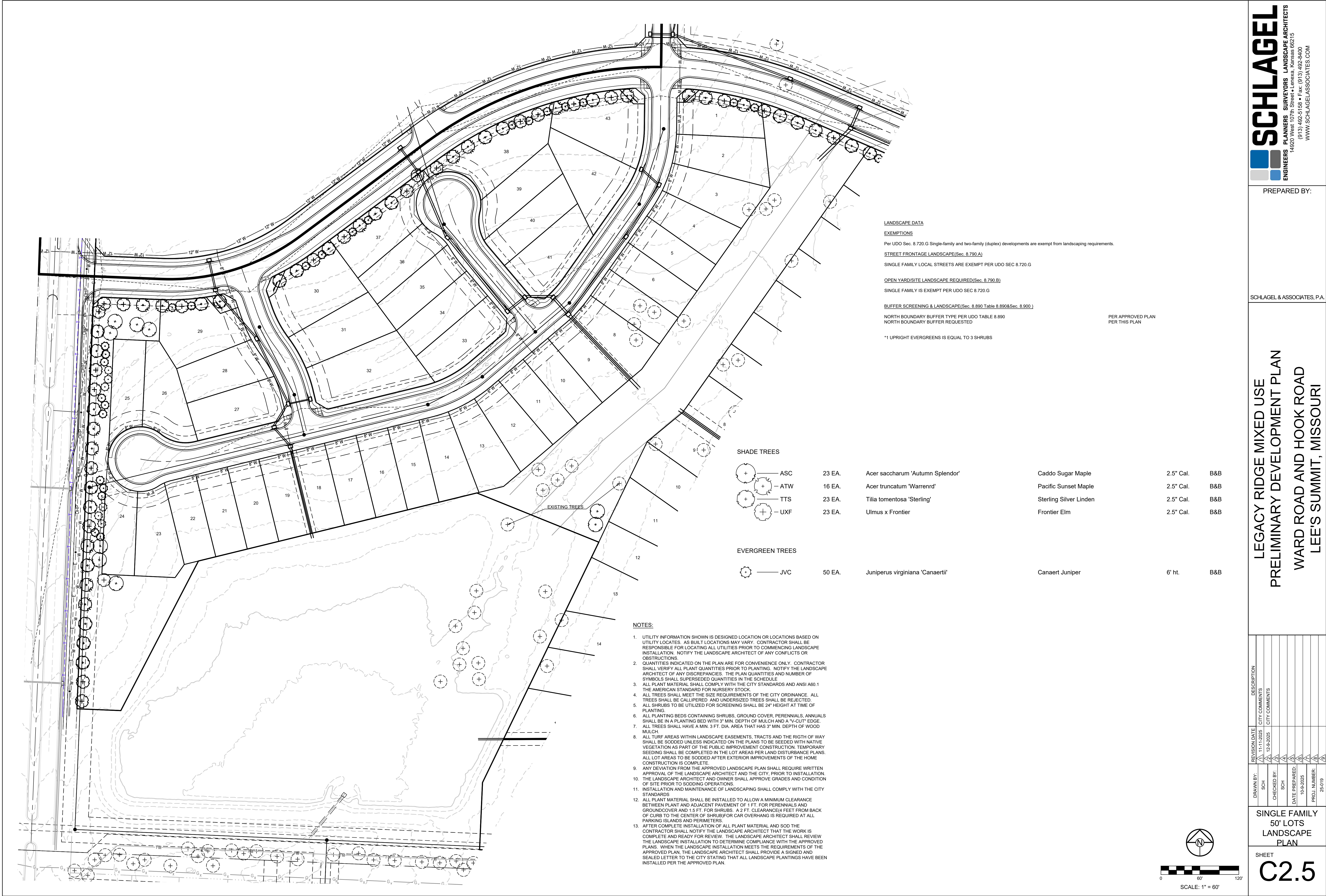
**GENERAL NOTES:**

1. Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
2. Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown will not be verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The Engineer is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing forcemain location and elevations from asbuilts provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
3. The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
4. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
5. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
6. All construction shall comply with the City technical specifications.
7. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines. Sanitary sewer sewer side laterals, as measured from edge to edge, if minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
8. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
9. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
10. The Contractor is responsible for protection of all property corners. Any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.





I:\PROJECTS\2025\25-019\3.0 design\3.0 DWG Plans\25-019 PDP SF LP.dwg, C2.5 SINGLE FAMILY 50' LOTS LANDSCAPE PLAN, 1:1



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
10-9-2025	DATE PREPARED
25-019	PROJ. NUMBER

SINGLE FAMILY  
50' LOTS  
LANDSCAPE  
PLAN

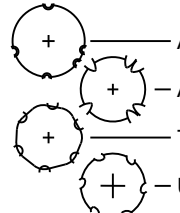
SHEET  
**C2.5**



NOTES:

1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALLIPEDED AND UNDERSIZED TREES SHALL BE REJECTED.
5. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
8. ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGH OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEEDED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODDED AFTER EXTERIOR IMPROVEMENTS OF THE HOME CONSTRUCTION IS COMPLETE.
9. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY, PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
11. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS
12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE(4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB)FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

SHADE TREES



36 EA. Acer saccharum 'Autumn Splendor'  
40 EA. Acer truncatum 'Warren'  
35 EA. Tilia tomentosa 'Sterling'  
47 EA. Ulmus x Frontier

Caddo Sugar Maple  
Pacific Sunset Maple  
Sterling Silver Linden  
Frontier Elm

2.5" Cal.  
2.5" Cal.  
2.5" Cal.  
2.5" Cal.

LANDSCAPE DATA

EXEMPTIONS

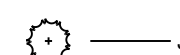
B&B Per UDO Sec. 8.720 G Single-family and two-family (duplex) developments are exempt from landscaping requirements.  
B&B STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)  
B&B SINGLE FAMILY LOCAL STREETS ARE EXEMPT PER UDO SEC 8.720 G  
B&B OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790 B)  
SINGLE FAMILY IS EXEMPT PER UDO SEC 8.720 G

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900 )

NORTH BOUNDARY BUFFER TYPE PER UDO TABLE 8.890  
NORTH BOUNDARY BUFFER REQUESTED  
\*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

PER APPROVED PLAN  
PER THIS PLAN

EVERGREEN TREES

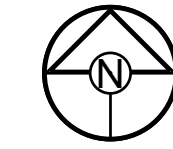
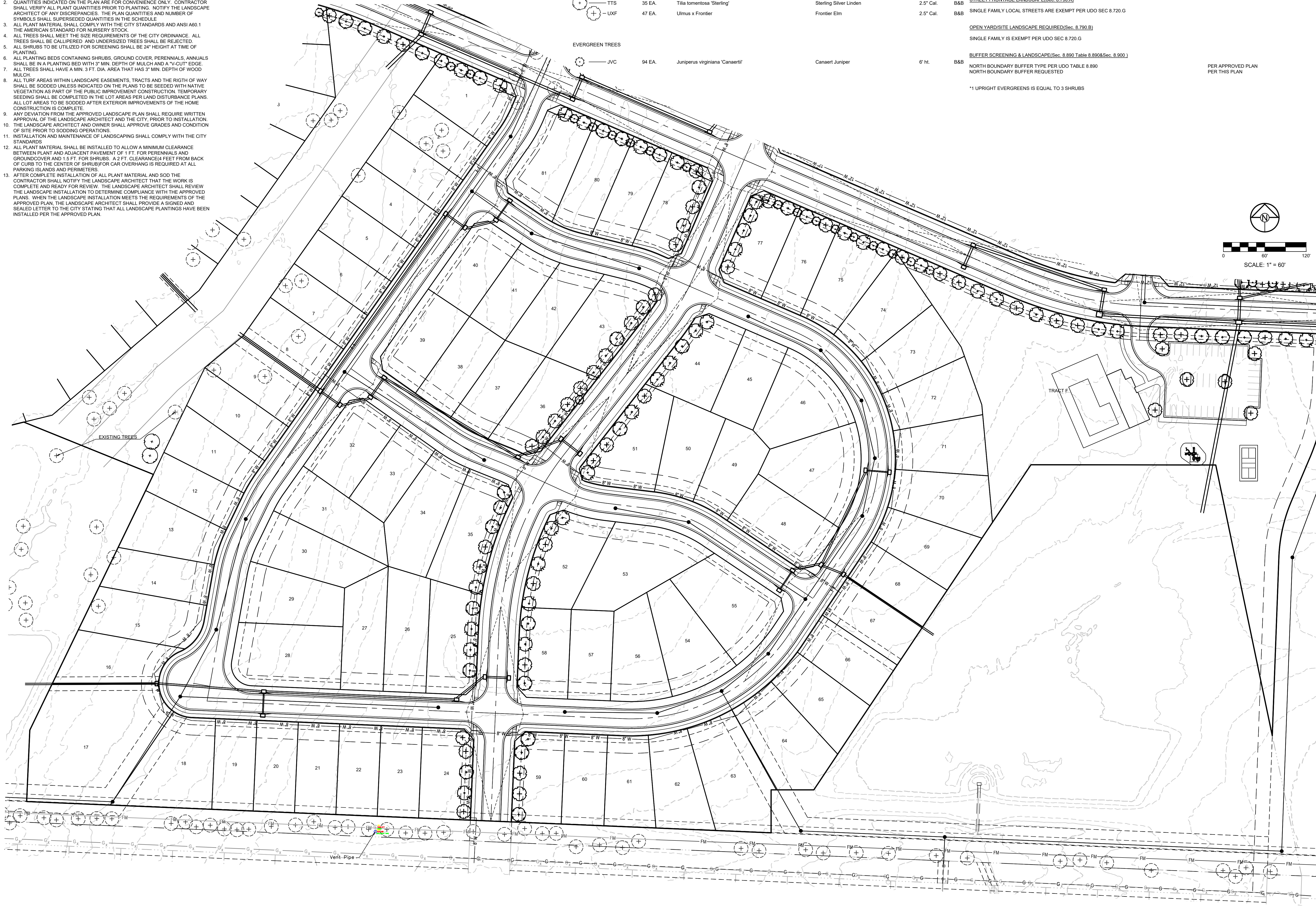


94 EA. Juniperus virginiana 'Canaertii'

Canaert Juniper

6' ht.

B&B



0 60' 120'  
SCALE: 1" = 60'

**SCHLAGEL**  
ENGINEERS, PLANNERS, SURVEYORS, LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION	DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: SCH  
CHECKED BY: SCH  
DATE PREPARED: 10-9-2025  
PROJ. NUMBER: 25-019

SINGLE FAMILY  
62' LOTS  
LANDSCAPE  
PLAN

SHEET  
**C2.6**



LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

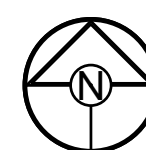
DRAWN BY:		REVISION DATE	DESCRIPTION
SCH	1	11-11-2025	CITY COMMENTS
	2	12-9-2025	CITY COMMENTS
CHECKED BY:	3		
	4		
SCH	5		
	6		
DATE PREPARED:	7		
	8		
10-9-2025	9		
	10		
PROJ. NUMBER	11		
	12		
25-019	13		
	14		

SINGLE FAMILY  
40' LOTS  
LANDSCAPE  
PLAN

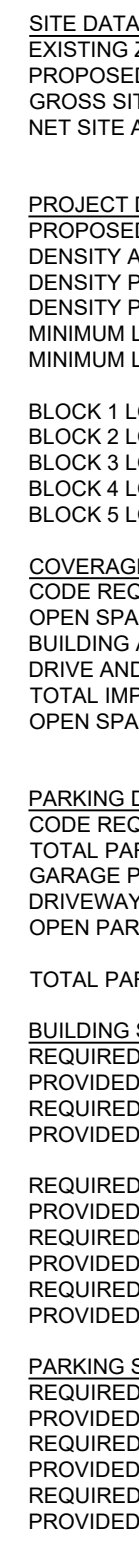
SHEET

## C2.7

1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL PLACE ALL PLANT MATERIALS IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE
3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI #60.1 AND AMERICAN STANDARD SPECIFICATIONS.
4. ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
5. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. AREA THAT HAS A 3" V-CUT EDGE. ALL TREES SHALL HAVE A MIN. 3" FT. DIA. AREA THAT HAS A 3" MIN. DEPTH OF WOOD MULCH.
7. ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGHT OF WAY SHALL BE SOODED UNLESS INDICATED ON THE PLANS TO BE SEEDED WITH NATIVE BERMUDA GRASS PARCEL TO PARCEL. ALL TURF AREAS TO BE SOODED. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SOODED AFTER EXTERIOR IMPROVEMENTS OF THE HOME ARE COMPLETED.
8. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY, PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF THE LOT PRIOR TO SOODED.
9. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS
10. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1' FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2' FT. CLEARANCE/FEET FROM BACK OF CURB TO THE CENTER OF SHRUB OR CAR OVERHANG IS REQUIRED AT ALL LOCATIONS.
11. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOO THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW.
12. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED CERTIFICATE TO THE OWNER THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.







BUILDING TYPE	
TYPE	COUNT
A	5
B	10
C	12
D	6

AG - AGRICULTURAL  
RP-4  
26.26 ACRES (1,143,992.92 S.F.)  
19.63 ACRES (855,158.86 S.F.) (EXCL. PUBLIC ROW)

PROJECT DATA(Sec. 6.030, Table 6-2)  
PROPOSED NUMBER UNITS  
DENSITY ALLOWED PER CODE  
DENSITY PROPOSED INCL. PUBLIC R  
DENSITY PROPOSED EXCL. PUBLIC F  
MINIMUM LOT SIZE PER CODE  
MINIMUM LOT SIZE PROPOSED

132 UNITS  
10 DU/AC  
5.03 DU/AC  
6.72 DU/AC  
3,500 S.F. PER UNIT  
5,545.36 S.F. PER UNIT (BLOCK 4)

6,461.18 S.F. PER UNIT  
6,418.49 S.F. PER UNIT  
6,799.45 S.F. PER UNIT  
5,545.36 S.F. PER UNIT  
6,604.20 S.F. PER UNIT

COVERED AND OPEN SPACE DATA  
CODE REQUIREMENT (Sec. 8.050)  
OPEN SPACE REQUIRED BY CODE (10%) 26.26 AC. GROSS AREA X.1  
BUILDING AREA  
DRIVE AND PARKING AREA  
TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)  
OPEN SPACE AREA

10% OF TOTAL LAND AREA  
114,399.29 S.F.  
247,921.87 S.F.  
76,935.8 S.F.(EXCL. PUBLIC STREETS  
324,857.67 S.F.  
530,301.19 S.F.

**PARKING DATA**  
**CODE REQUIREMENT(Sec. 8.530. - Vehicle)**  
**TOTAL PARKING REQUIRED PER CODE**  
**GARAGE PARKING PROVIDED**  
**DRIVEWAY SPACES PROVIDED**  
**OPEN PARKING SPACES PROVIDED**

2 PER UNIT  
264 SPACES(132 GARAGE MIN  
264 GARAGE SPACES  
264 SPACES  
61 SPACES (INCL. 2 ADA)  
  
589 SPACES

BUILDING SETBACKS(Sec. 6.040 Table  
REQUIRED FRONT YARD MAJOR STR  
PROVIDED FRONT YARD MAJOR STR  
REQUIRED FRONT YARD FROM OTH  
PROVIDED FRONT YARD FROM OTH

50 FT.  
N/A  
20 FT. 25 FT GARAGE  
20 FT. 25 FT. GARAGE

REQUIRED SIDE YARD SETBACK FROM LOT LINE  
PROVIDED SIDE YARD SETACK FROM LOT LINE  
REQUIRED SEPARATION BETWEEN BUILDINGS  
PROVIDED SEPARATION BETWEEN BUILDINGS  
REQUIRED REAR YARD SETBACK  
PROVIDED REAR YARD SETBACK

10 FT.  
10 FT.  
20 FT.  
20 FT. FOR CLOSEST  
20 FT.  
20 FT.

PARKING SETBACKS (Sec. 8.620)  
REQUIRED FROM PUBLIC RIGHT OF WAY  
PROVIDED FROM PUBLIC RIGHT OF WAY  
REQUIRED FROM RESIDENTIAL USE  
PROVIDED FROM RESIDENTIAL USE  
REQUIRED FROM SIDE AND REAR PROPERTY  
PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.  
20 FT.  
20 FT.  
20 FT.  
20 FT.  
20 FT.

1. Subject property is shown to be located in Zone X (no screen), other area, "areas of minimal flood hazard", as shown on flood insurance rate map 2909C530532C effective January 10, 2017.
2. Boundary information, site area information, adjacent property lines and utilities information is from an as survey prepared by Continental, Inc. dated 3/11/15 provided and used with approval of the owner.
3. Topography from city of Lee's summit gis.
4. An easement or license will be granted to City of Lee's Summit, Missouri to locate, construct, maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and or structures for, pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable, or any other necessary public utility or services, any of all or part of, over, under, or under those areas outlined or designated upon this plat as "utility easement" or "UIE" or within any street or thoroughfare dedicated to public use.
5. The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions and instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
6. Building lines (BL) or setback lines will be established as shown on the plat and no building shall be constructed or located in violation of the BL and street right-of-way.
7. All construction must comply with the most recent adopted City code, ordinances, and design standards.
8. All drives and parking to be asphalt unless otherwise noted on the plan.
9. All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on the plan.
10. All accessible parking shall comply with the ADA requirements.
11. Parties to this deed are hereby certifying that Article 8 of the plat is the private drive that must meet public street design standards per the Design and Construction Manual Section 5200.
12. All public infrastructure shall require the submittal of separate engineering plans (separate from the plat) for the following:
  - The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
  - All parking lots shall have CG+ curb as required by code.
  - Individual trash service shall be provided in accordance with the City codes and standards.
20. Based on the geologic data on Missouri Department of natural resources web site there are no known wells on the site.
21. City of Lee's Summit shall be the City standard street lights and shall comply with the lighting standards contained within Article 8 of the UDO.
51. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety of the occupants of buildings, and the safety of emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.
52. IFC 503.3.7 - Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch 1/2" size fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
53. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
54. Where required, Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the highest roof surface of a flat roof.
55. IFC 503.2.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet (3962 mm).
56. IFC 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
57. D105-2.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
58. IFC 508.1 - Where a building or within a structure or area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1052 and shall be located in accordance with the requirements of the fire code official.506.1.1 Locks An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
59. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.



LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION	REVISION DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		
9		

## ACTIVE ADULT SITE PLAN

SHEET  
C3.0





GRADING LEGEND:

- 1023 --- EXISTING CONTOUR  
--- 1023 --- PROPOSED CONTOUR

GRADING NOTES:

- EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.
- EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.
- NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SEEDED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

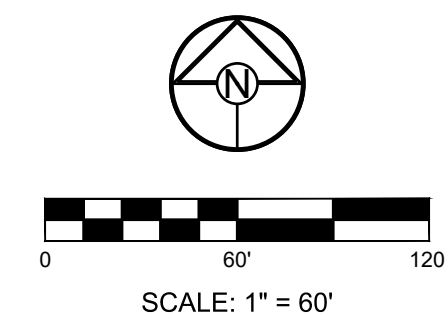
SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

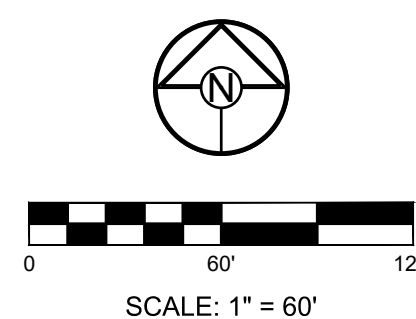
REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
1-10-2026	CITY COMMENTS
2-10-2026	CITY COMMENTS
3-10-2026	CITY COMMENTS
4-10-2026	CITY COMMENTS
5-10-2026	CITY COMMENTS
6-10-2026	CITY COMMENTS
7-10-2026	CITY COMMENTS
8-10-2026	CITY COMMENTS
9-10-2026	CITY COMMENTS
10-10-2026	CITY COMMENTS
11-10-2026	CITY COMMENTS
12-10-2026	CITY COMMENTS

ACTIVE ADULT  
GRADING PLAN

SHEET  
**C3.1**







SHEET  
C3.2



i:\PROJECTS\2025\25-019\3.0 design\3.0 DWG Plans\25-019 PDP AATH-LP.dwg, C3.3 ACTIVE ADULT LANDSCAPE PLAN, 1:1



SHADE TREES					
	26 EA	Acer saccharum 'Autumn Splendor'	Caddo Sugar Maple	2.5' Cal.	B&B
	86 EA	Acer truncatum 'Warmer'	Pacific Sunset Maple	2.5' Cal.	B&B
	12 EA	Quercus robur 'Crimson Spire'	Crimson Spire Oak	2.5' Cal.	B&B
	4 EA	Quercus rubra	Red Oak	2.5' Cal.	B&B
	93 EA	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5' Cal.	B&B
	129 EA	Ulmus x Frontier	Frontier Elm	2.5' Cal.	B&B
ORNAMENTAL TREES					
	33 EA	Acer ginnale 'Flame'	Flame Amur Maple	2' Cal. & 8' ht.	B&B
	11 EA	Amelanchier canadensis	Shadblow Serviceberry	2' Cal. & 8' ht.	B&B
	41 EA	Betula nigra	River Birch	2' Cal. & 8' ht.	B&B
EVERGREEN TREES					
	19 EA	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
	156 EA	Juniperus virginiana 'Caneless'	Caneless Juniper	6' ht.	B&B
SHRUBS					
	98 EA	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal.	Cont.
	86 EA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant sumac	5 gal.	Cont.
	24 EA	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum	5 gal.	Cont.

LANDSCAPE DATA	
STREET FRONTAGE LANDSCAPE(Sec. 8.790.A)	
EAST WEST COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')(813.7'/30')	
EAST WEST COLLECTOR PUBLIC TREES PROVIDED	
EAST WEST COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(813.7'/20')	
EAST COLLECTOR PUBLIC STREET SHRUBS PROVIDED	
NORTH SOUTH COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')(1014.6'/30')	
NORTH SOUTH COLLECTOR PUBLIC TREES PROVIDED	
NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(1014.6'/20')	
NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS PROVIDED	
NORTH SOUTH LOCAL PUBLIC TREES REQUIRED (1 PER 30')(943.5'/30')	
NORTH SOUTH LOCAL PUBLIC TREES PROVIDED	
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(943.5'/20')	
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS PROVIDED	
INTERNAL DRIVE PUBLIC TREES REQUIRED (1 PER 30')(4,258.56'/30')	
INTERNAL DRIVE PUBLIC TREES PROVIDED	
INTERNAL DRIVE PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(4,258.56'/20')	
INTERNAL DRIVE PUBLIC STREET SHRUBS PROVIDED	
OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790.B)	
LOT AREA	
BUILDING AREA	
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(607,236.9/5000)	
TREES PROVIDED	
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(5000X2)	
SHRUBS PROVIDED	
PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)	
LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(11,484.94 x .05)	
LANDSCAPE AREA PROVIDED	
TREES REQUIRED	
TREES PROVIDED	
SCREENING REQUIRED	
SCREENING PROVIDED	
BUFFER SCREENING & LANDSCAPE(Sec. 8.890 & Sec. 8.900 )	
BUFFER LOCATION	
BUFFER LENGTH	
USE COMPARISON	
BUFFER REQUIRED	
BUFFER PROVIDED	
DEVIATION REQUESTED	
BUFFER WIDTH REQUIRED	
BUFFER OPTION SELECTED	
SHADE TREES REQUIRED (1/500 S.F.)(393.89X20/500)	
SHADE TREES PROPOSED	
ORNAMENTAL TREES REQUIRED (1/750 S.F.)(393.89X20/750)	
ORNAMENTAL TREES PROPOSED	
EVERGREEN TREES REQUIRED (1/300 S.F.)(393.89X20/300)	
EVERGREEN TREES PROPOSED	
SHRUBS REQUIRED (1/200 S.F.)(393.89X20/200)	
SHRUBS PROPOSED	
NORTH BOUNDARY	
393.89	
RP-4 ADJ TO CP-2	
H=HIGH IMPACT(FENCE + LOW IMPACT LANDSCAPE)	
M=MEDIUM IMPACT(ADJ. USE ALSO HAS BUFFER M)	
USE M BUFFER AND NO FENCE SING ADJ. USE ALSO HAS M BUFFER	
AND IS PART OF THIS PROJECT	
20 FEET	
SCREEN A	
16 SHADE TREES	
16 SHADE TREES	
11 ORNAMENTAL TREES	
11 ORNAMENTAL TREES	
27 EVERGREEN TREES	
41 EVERGREEN TREES (SEE NOTE BELOW FOR SHRUBS)	
40 SHRUBS	
14 EVERGREEN TREES INSTEAD OF SHRUBS	

- NOTES:
- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY, CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
  - QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
  - ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
  - ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
  - ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
  - ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
  - ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGHT OF WAY SHALL BE SODED UNLESS INDICATED ON THE PLANS TO BE SEEDDED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODED AFTER ALL BUILDING, PARKING AND OTHER SITE IMPROVEMENTS ARE COMPLETED.
  - ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA, PRIOR TO INSTALLATION.
  - THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
  - INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
  - ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE FEET FROM BACK OF CURB TO THE CENTER OF SHRUB/FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
  - AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE

PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD

LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
12-9-2025	SCH
12-9-2025	DATE PREPARED
12-9-2025	PROJ. NUMBER
25-019	

ACTIVE ADULT  
LANDSCAPE  
PLAN

SHEET  
C3.3





1. Subject property is shown to be located in Zone X (no screen), other areas "areas of minimal flood hazard", as shown on flood insurance rate map 29995C0332 effective 1/1/12.
2. Boundary information, site area information, adjacent property lines and utility information is from altas survey prepared by Continental, Inc. dated 3/11/12s provided by and used with approval of the owner.
3. Topography from city of Chicago.
4. An easement or license will be granted to the City of Lee's Summit, Missouri to locate, construct and maintain, or, to authorize the location, construction and maintenance of, a sewer, storm water, water, gas, electric, telephone, cable, public utility, water, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "utility easements" or "CE" - City of Lee's Summit, Missouri, as provided above, and
5. The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds for the County of Harrison, Missouri, as provided above, and which will become a part of the dedication of the plat.
6. Building lines (B) or setback lines will be established as shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
7. All construction must comply with the most recent adopted City codes, ordinances, and design standards.
8. Please note that parking lot design must meet the UDO Article 12 requirements and the City of Lee's Summit must public street design standards per the Design and Construction Manual Section 5200.
9. All public infrastructure shall require the submittal of separate engineering plans to be stamped and signed by a Professional Engineer.
10. All public infrastructure shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
11. All parking lots shall have CG-1 curb as required by code.
12. All drives and parking spaces shall be asphalt paved and graded on the plan.
13. All drive aisles, driveways, and streets are dimensioned from back curb to back curb on this plan.
14. All accessible parking shall comply with the ADA requirements.
15. Individual trash service will be provided for each residential unbundling.
16. Based on the geologic data to Missouri department of natural resources web site there are no known wells on the site.
17. All parking shall comply with the requirements of the UDO Article 8. All lighting shall be the City standard street lights and shall comply with the lighting standards contained within Article 7 of the UDO. All parking lot with 11 or more parking stalls shall be screened by a light shield or light screen. The light shield or light screen shall be a public screened so that light is directed away from and no light source is visible from a public

**SITE DATA**  
**EXISTING ZONING**  
**PROPOSED ZONING**  
**GROSS SITE AREA**  
**NET SITE AREA (EXCL. ALL PUBLIC ROW)**

PROJECT DATA (Sec. 6.030, Table 6-2)  
 PROPOSED NUMBER FRONT GARAGE UNITS  
 PROPOSED NUMBER ALLEY GARAGE UNITS  
 TOTAL NUMBER OF UNITS  
 DENSITY ALLOWED PER CODE  
 DENSITY PROPOSED INCL. PUBLIC ROW  
 DENSITY PROPOSED EXCL. PUBLIC ROW  
 MINIMUM LOT SIZE PER UNIT PER CODE  
 MINIMUM LOT SIZE PER UNIT USING GROSS SITE AREA  
 MINIMUM LOT SIZE PER UNIT PROPOSED USING NET SITE AREA  
 MINIMUM LOT SIZE PER UNIT PROPOSED FOR SMALLEST LOT

COVERAGE AND OPEN SPACE DATA  
CODE REQUIREMENT (Sec. 8.050)  
OPEN SPACE REQUIRED BY CODE (10%)(13.43 AC. GROSS AREA X .1)  
BUILDING AREA  
DRIVE AREA (EXCL. PUBLIC STREETS)  
TOTAL IMPERVIOUS AREA (BUILDING, DRIVES, AND PARKING AREA)  
OPEN SPACE AREA

**PARKING DATA**  
**CODE REQUIREMENT(Sec. 8.530. - Vehicle parking Table 8-1)**  
**TOTAL PARKING REQUIRED PER CODE(109X2)**  
**GARAGE PARKING PROVIDED**  
**DRIVEWAY SPACES PROVIDED**  
**OPEN PARKING SPACES PROVIDED**  
**ON STREET PARKING PROVIDED**  
**TOTAL PARKING SPACES PROVIDED**

BUILDING SETBACKS(Sec. 6.040 Table 6-3)  
REQUIRED FRONT YARD MAJOR STREET  
PROVIDED FRONT YARD MAJOR STREET  
REQUIRED FRONT YARD FROM OTHER STREETS  
REQUIRED FRONT YARD FROM OTHER STREETS

REQUIRED SIDE YARD SETBACK FROM LOT LINE  
PROVIDED SIDE YARD SETACK FROM LOT LINE  
REQUIRED SEPARATION BETWEEN BUILDINGS  
PROVIDED SEPARATION BETWEEN BUILDINGS  
REQUIRED REAR YARD SETBACK  
PROVIDED REAR YARD SETBACK

PARKING SETBACKS(Sec. 8.620)  
REQUIRED FROM PUBLIC RIGHT OF WAY  
PROVIDED FROM PUBLIC RIGHT OF WAY  
REQUIRED FROM RESIDENTIAL USE  
PROVIDED FROM RESIDENTIAL USE  
REQUIRED FROM SIDE AND REAR PROPERTY  
PROVIDED FROM SIDE AND REAR PROPERTY

AG - AGRICULTURAL  
RP-4  
13.43 ACRES (584,917.64 S.F.)  
9.82 ACRES (427,866.69 S.F.)

65 UNITS  
44 UNITS  
109 UNITS  
10 DU/AC  
8.12 DU/AC  
11.1 DU/AC  
3,500 S.F. PER UNIT  
5,366.22 S.F. PER UNIT  
3,925.38 S.F.  
2,451.81 S.F. (LOT 27) MODIFICATION REQUESTED

10% OF TOTAL LAND AREA  
58,491.76 S.F.  
133,748.35 S.F.  
62,273.85 S.F.  
196,022.2 S.F.  
226,188.0703 S.F.

2 PER UNIT  
218 SPACES(109 GARAGE SPACES MIN)  
218 GARAGES  
130 SPACES  
12 SPACES  
30 SPACES  
368 SPACES

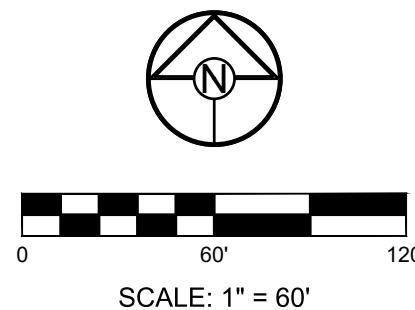
50 FT.  
N/A  
20 FT. 25 FT GARAGE  
20 FT. 25 FT. GARAGE

10 FT.  
10 FT.  
20 FT.  
20 FT. FOR CLOSEST  
20 FT.  
20 FT.

20 FT.  
20 FT.  
20 FT.  
20 FT.  
20 FT.  
20 FT.

MODIFICATION REQUESTED FOR LOTS 18-28 TO HAVE LESS LOT AREA PER UNIT DUE TO THE ALLEY PRODUCT.

LOT #	AREA (SF)	AREA PER UNIT(SF)
1	18,013.17	4,503.29
2	15,262.46	3,815.62
3	21,081.62	5,270.41
4	18,406.39	6,135.46
5	15,461.91	3,865.48
6	15,461.87	3,865.47
7	16,101.96	4,025.49
8	21,913.36	5,478.34
9	16,484.94	4,121.24
10	15,261.39	3,815.35
11	17,660.66	4,415.17
12	20,617.42	5,154.36
13	22,449.44	5,612.36
14	14,683.98	3,670.99
15	14,208.17	3,552.04
16	15,323.42	3,830.86
17	10,312.00	5,156.00
18	11,577.06	2,894.27
19	15,522.99	3,880.75
20	11,505.38	2,876.35
21	10,522.43	2,630.61
22	11,482.48	2,870.62
23	11,482.48	2,870.62
24	10,522.43	2,630.61
25	11,505.38	2,876.35
26	10,888.78	2,722.20
27	9,807.23	2,451.81
28	10,766.52	2,691.63
TRACT A	9,367.24	



LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

DRAWN BY:		REVISION DATE	DESCRIPTION
SCH	1	11-11-2025	CITY COMMENTS
	2	12-9-2025	CITY COMMENTS
	3		
SCH	4		
	5		
	6		
DATE PREPARED:			
10-9-2025			
PROJ. NUMBER:			
25-019			

# TOWNHOME SITE PLAN

SHEET

# C4.0

PREPARED BY:

SCHLAGEL &amp; ASSOCIATES, P.A.



I:\PROJECTS\2025\25-019\3.0 Design\3.0 DWG Plans\2.0 PDP\25-019 PDP TH GP.dwg C4.1 TOWNHOME GRADING PLAN, 1:1



GRADING LEGEND:

- 1023--- EXISTING CONTOUR  
---1023--- PROPOSED CONTOUR

GRADING NOTES:

- EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.
- EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.
- NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURBS AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.

SCHLAGEL

ENGINEERS

PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

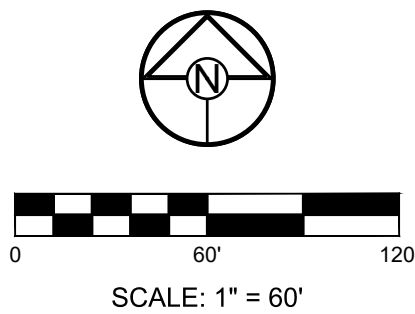
SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE:	DESCRIPTION
SCH	11-11-2025	CITY COMMENTS
CHECKED BY:	12-9-2025	CITY COMMENTS
SCH		
DATE PREPARED:		
10-9-2025		
PROJ. NUMBER:		
25-019		

TOWNHOME  
GRADING PLAN

SHEET  
C4.1





1. Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the Developer.
2. Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or it's representatives can neither warrant nor provide any assurance that the information is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing foreman location and elevations from asbuilts provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
3. The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
4. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
5. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
6. All construction shall comply with the City technical specifications.
7. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewers, storm sewers, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
8. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
9. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
10. The contractor is responsible for protection of all property corners, any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

## TOWNHOME UTILITY PLAN

## C4.2

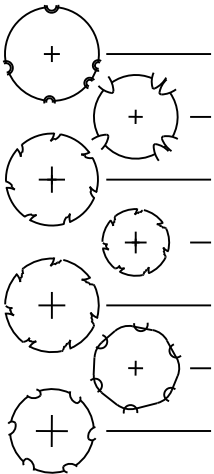




NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY, CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A80.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGHT OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEEDDED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODDED AFTER ALL BUILDING, PARKING AND OTHER SITE IMPROVEMENTS ARE COMPLETED.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

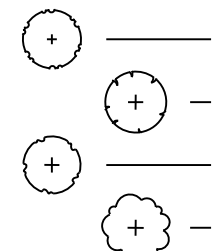
SHADE TREES



20 EA.	Acer saccharum 'Autumn Splendor'
40 EA.	Acer truncatum 'Warrenrd'
13 EA.	Quercus bicolor
14 EA.	Quercus robur 'Crimson Spire'
13 EA.	Quercus rubra
49 EA.	Tilia tomentosa 'Sterling'
38 EA.	Ulmus x Frontier

Caddo Sugar Maple	2.5" Cal.	B&B
Pacific Sunset Maple	2.5" Cal.	B&B
Swamp White Oak	2.5" Cal.	B&B
Crimson Spire Oak	2.5" Cal.	B&B
Red Oak	2.5" Cal.	B&B
Sterling Silver Linden	2.5" Cal.	B&B
Frontier Elm	2.5" Cal.	B&B

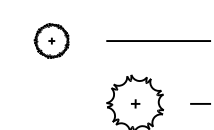
ORNAMENTAL TREES



13 EA.	Acer ginnala 'Flame'
14 EA.	Amelanchier canadensis
8 EA.	Betula nigra
6 EA.	Syringa reticulata 'Ivory Silk'

Flame Amur Maple	2" Cal. & 8' ht.	B&B
Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
River Birch	2" Cal. & 8' ht.	B&B
Ivory Silk Lilac	2" Cal. & 8' ht.	B&B

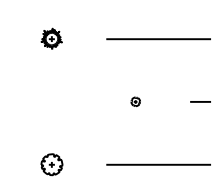
EVERGREEN TREES



17 EA.	Juniperus chinensis 'Keteleeri'
102 EA.	Juniperus virginiana 'Canaerti'

Keteleeri Juniper	6' ht.	B&B
Canaert Juniper	6' ht.	B&B

SHRUBS



48 EA.	Juniperus horizontalis 'Hughes'
44 EA.	Rhus aromatica 'Gro-Low'
12 EA.	Viburnum plicatum tomentosum 'Summer Snowflake'

Hughes Juniper	5 gal.	Cont.
Gro-Low Fragrant sumac	5 gal.	Cont.
Summer Snowflake Viburnum	5 gal.	Cont.

LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE(Sec. 8.780.A)

EAST WEST COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/758.9/30')	25 TREES
EAST WEST COLLECTOR PUBLIC TREES PROVIDED	24 TREES*
EAST WEST COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/758.9/20')	36 SHRUBS
EAST COLLECTOR PUBLIC STREET SHRUBS PROVIDED	13 EVERGREENS**
NORTH SOUTH COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/1014.6/30')	34 TREES
NORTH SOUTH COLLECTOR PUBLIC TREES PROVIDED	31 TREES*
NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/1014.6/20')	51 SHRUBS
NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS PROVIDED	17 EVERGREENS**

INTERNAL DRIVE PUBLIC TREES REQUIRED (1 PER 30')/2,068.56/30')	69 TREES
INTERNAL DRIVE PUBLIC TREES PROVIDED	1 TREE PER 30' L.F.
INTERNAL DRIVE PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/2,068.56/20')	103 SHRUBS
INTERNAL DRIVE PUBLIC STREET SHRUBS PROVIDED	104 SHRUBS

OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.780.B)

LOT AREA	427,866.69 S.F.
BUILDING AREA	124,170.73 S.F.
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(303,695.96/5000)	61 TREES
TREES PROVIDED	61 TREES
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.)/(303,695.96/5000x2)	122 SHRUBS
SHRUBS PROVIDED	48 EVERGREENS**

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)

LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)/(3,620.1 x .05)	180.1 S.F.
LANDSCAPE AREA PROVIDED	S.F.
TREES REQUIRED	1 PER ISLAND
TREES PROVIDED	1 PER ISLAND
SCREENING REQUIRED	(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)
SCREENING PROVIDED	SCREENING ACHIEVED USING METHOD 4 "COMBINATION".

BUFFER SCREENING & LANDSCAPE(Sec. 8.890&Sec. 8.900)

BUFFER LOCATION	EAST BOUNDARY
USE COMPARISON	RP-3 ADJ. TO RP-1
BUFFER REQUIRED	L=LOW IMPACT
BUFFER WIDTH REQUIRED	20 FEET
BUFFER WIDTH PROVIDED	20 FEET
BUFFER OPTION SELECTED	SCREEN A

\*STREET INTERSECTIONS AND DRIVEWAYS PREVENT MEETING REQUIREMENT  
\*\*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

25 TREES
24 TREES*
36 SHRUBS
13 EVERGREENS**
34 TREES
31 TREES*
51 SHRUBS
17 EVERGREENS**
69 TREES
1 TREE PER 30' L.F.
103 SHRUBS
104 SHRUBS

180.1 S.F.  
S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)  
SCREENING ACHIEVED USING METHOD 4 "COMBINATION".  
DETACHED GARAGES LINE THE PERIMETER & ARE  
DESIGNED W/ THE SAME ARCHITECTURAL  
AESTHETIC AS THE BUILDINGS (C.3 "WALL"), & THE  
LANDSCAPING PROVIDED UNDER  
SEC. 8.970.A.3 FOR STREET FRONTAGE PROVIDED WILL  
BE CONSOLIDATED AT THE GAPS TO MEET THE DENSITY  
OF C.1 "PLANTED".

EAST BOUNDARY  
RP-3 ADJ. TO RP-1  
L=LOW IMPACT  
20 FEET  
20 FEET  
SCREEN A

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	10-9-2025
PROJ. NUMBER:	25-019

TOWNHOME  
LANDSCAPE  
PLAN

SHEET  
C4.3









GRADING NOTES:

- CONTRACTOR'S EXPENSE.



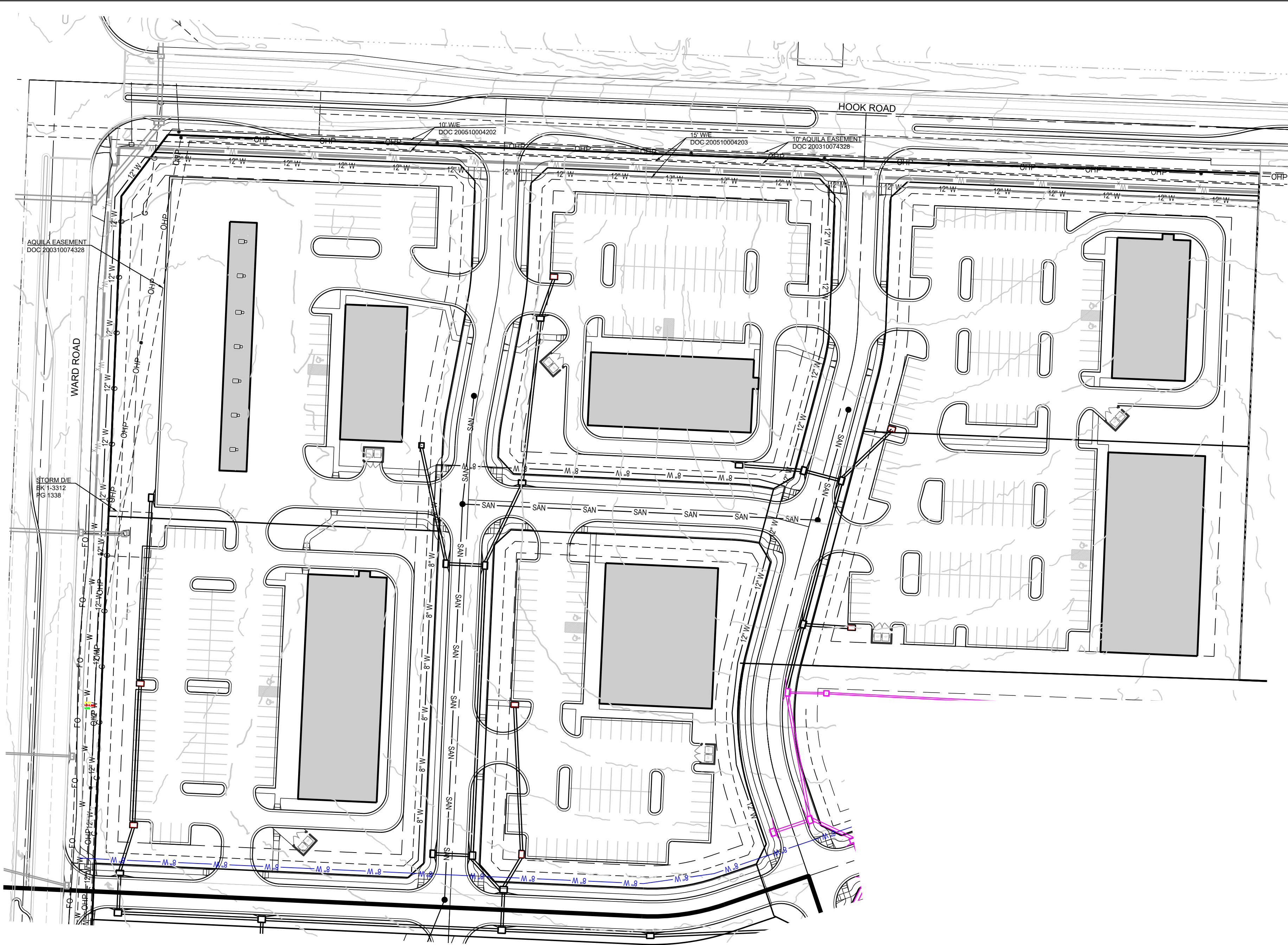
PREPARED BY

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

COMMERCIAL  
GRADING PLAN

## C5.1





GENERAL NOTES:

- Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
- Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or it's representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing forcemain location and elevations from asbuils provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
- The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- All construction shall comply with the City technical specifications.
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
- The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- The contractor is responsible for protection of all property corners. any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.

LEGEND:

- A/E

-

ACCESS EASEMENT

B/C

-

BACK OF CURB

B/B

-

BACK TO BACK

BM

-

BENCHMARK

BL or B.L.

-

BUILDING LINE

CO

-

CLEANOUT

TJB

-

TELEPHONE JUNCTION BOX

C&G

-

CURB AND GUTTER

D/E

-

DRAINAGE EASEMENT

E/E

-

ELECTRICAL EASEMENT

EL

-

ELEVATION

FL

-

FLOW LINE

G/E

-

GAS LINE EASEMENT

HDPE

-

HIGH-DENSITY POLYETHYLENE

L/E

-

LANDSCAPE EASEMENT

MSFE

-

MINIMUM SERVICEABLE FLOOR ELEVATION

PVC

-

POLYVINYL CHLORIDE

P/L

-

PROPERTY LINE

PUB/E

-

PUBLIC EASEMENT

RCP

-

REINFORCED CONCRETE PIPE

ROW or R/W

-

RIGHT-OF-WAY

S/E

-

SANITARY SEWER EASEMENT

SL

-

SERVICE LINE

S/W

-

SIDEWALK

TE

-

TOP ELEVATION

U/E

-

UTILITY EASEMENT

WSE

-

WATER SURFACE ELEVATION

W/E

-

WATERLINE EASEMENT
- ASPHALT PAVEMENT - EXISTING
- 
- ASPHALT PAVEMENT - PROPOSED

CONCRETE PAVEMENT - EXISTING

ASPHALT PAVEMENT - EXISTING

CONCRETE SIDEWALK - EXISTING

CONCRETE SIDEWALK - PROPOSED

CURB &amp; GUTTER

CURB &amp; GUTTER - EXISTING

TREELINE

EXISTING LOT AND R/W LINES

EXISTING PLAT LINES

P/L

PROPERTY LINES

ROW

RIGHT-OF-WAY

SAN

SANITARY SEWER MAIN

SAN<sub>EX</sub>

SANITARY SEWER MAIN - EXIST.

STORM SEWER

STORM SEWER - EXISTING

CATV<sub>EX</sub>

CABLE TV - EXISTING

FOC<sub>EX</sub>

FIBER OPTIC CABLE - EXISTING

T<sub>EX</sub>

TELEPHONE LINE - EXIST.

E<sub>EX</sub>

ELECTRIC LINE - EXISTING

OHP<sub>EX</sub>

OVERHEAD POWER LINE - EXIST.

UGE<sub>EX</sub>

UNDERGROUND ELECTRIC - EX.

G<sub>EX</sub>

GAS LINE - EXISTING

W<sub>EX</sub>

WATERLINE - EXISTING

8" W

WATERLINE - 8"

12" W

WATERLINE - 12"

LIGHT - EXISTING

EXISTING MANHOLE

CLEANOUT

EXISTING SANITARY MANHOLE

PROPOSED SANITARY MANHOLE

EXISTING AREA INLET

EXISTING CURB INLET

EXISTING GRATE INLET

EXISTING JUNCTION BOX

EXISTING STORM MANHOLE

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

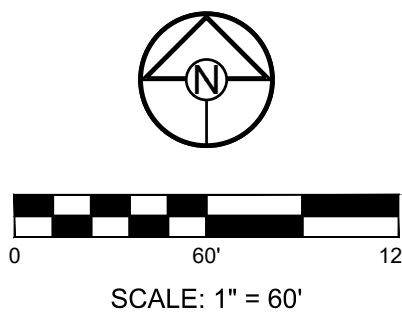
REVISION	DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	10-9-2025
PROJ. NUMBER:	25-019

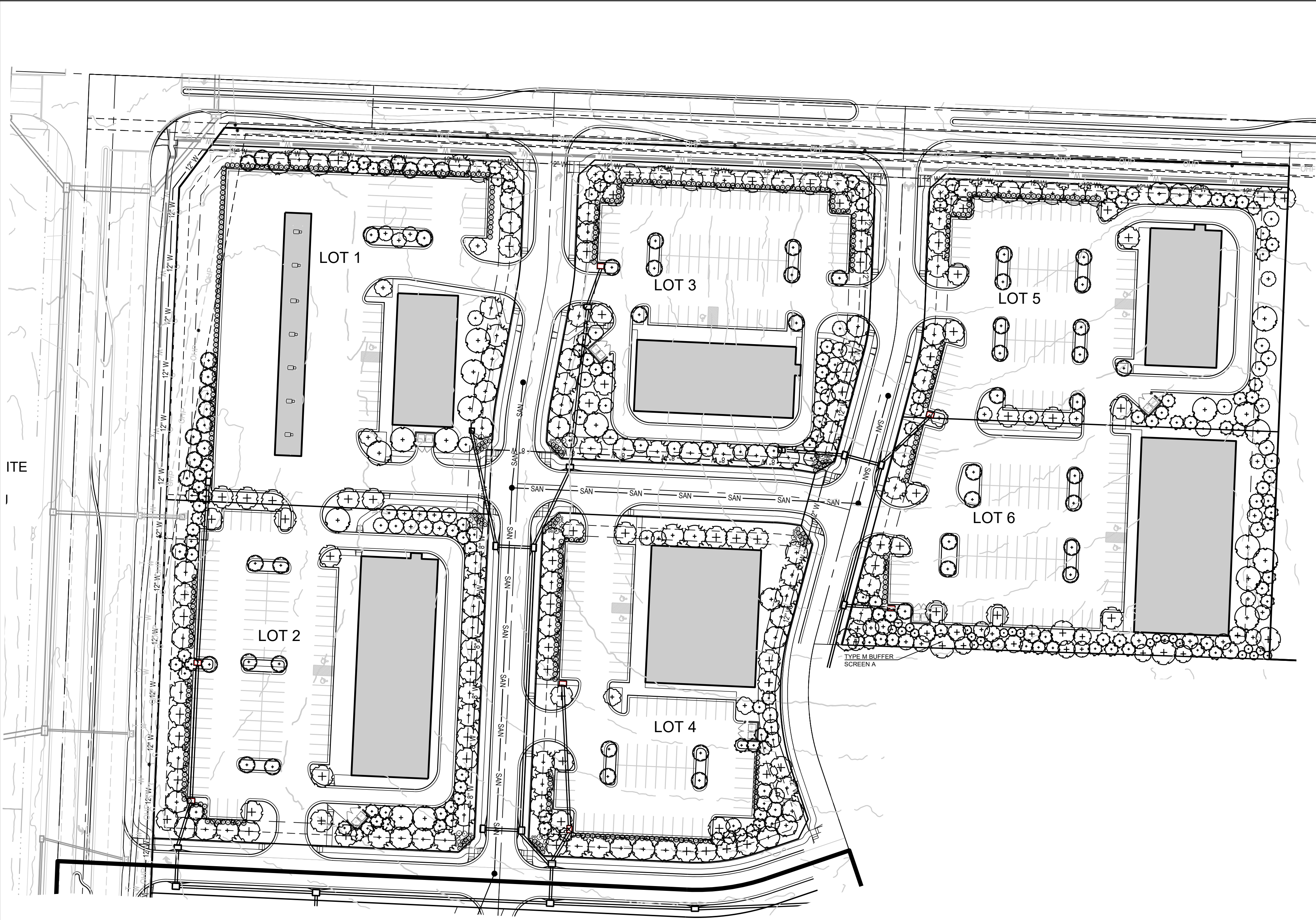
COMMERCIAL  
UTILITY PLAN

SHEET

C5.2



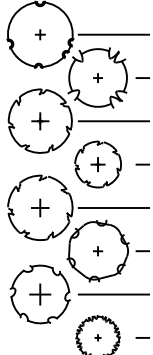




NOTES:

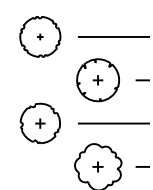
- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGHT OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODDED AFTER ALL BUILDING, PARKING AND OTHER SITE IMPROVEMENTS ARE COMPLETED.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE 4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB OR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

SHADE TREES



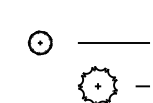
18 EA.	Acer saccharum 'Autumn Splendor'	Caddo Sugar Maple	2.5" Cal.	B&B
47 EA.	Acer truncatum 'Warrend'	Pacific Sunset Maple	2.5" Cal.	B&B
1 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
12 EA.	Quercus robur 'Crimson Spire'	Crimson Spire Oak	2.5" Cal.	B&B
4 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
50 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
80 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
58 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES



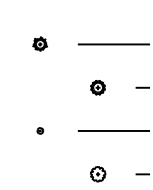
42 EA.	Acer ginnata 'Flame'	Flame Amur Maple	2" Cal. & 8" ht.	B&B
12 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8" ht.	B&B
21 EA.	Betula nigra	River Birch	2" Cal. & 8" ht.	B&B
11 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8" ht.	B&B

EVERGREEN TREES



23 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6" ht.	B&B
129 EA.	Juniperus virginiana 'Canaret'	Canaret Juniper	6" ht.	B&B

SHRUBS



64 EA.	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal.	Cont.
417 EA.	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	5 gal.	Cont.
32 EA.	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant sumac	5 gal.	Cont.
24 EA.	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum	5 gal.	Cont.

LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE (Sec. 8.790.A)

WARD ROAD ARTERIAL PUBLIC STREET FRONTAGE TREES REQUIRED (1 PER 30') (634.4'/30')  
WARD ROAD ARTERIAL PUBLIC STREET FRONTAGE TREES PROVIDED  
WARD ROAD ARTERIAL PUBLIC STREET FRONTAGE SHRUBS REQUIRED (1 PER 20') (634.4'/20')  
WARD ROAD ARTERIAL PUBLIC STREET FRONTAGE SHRUBS PROVIDED

21 TREES  
21 TREES  
32 SHRUBS  
11 EVERGREENS\*\*

HOOK ROAD ARTERIAL PUBLIC TREES REQUIRED (1 PER 30') (882.39'/30') (EXCL. CROSS ST. RW.)  
HOOK ROAD ARTERIAL PUBLIC TREES PROVIDED  
HOOK ROAD ARTERIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (882.39'/20')  
HOOK ROAD ARTERIAL PUBLIC STREET SHRUBS PROVIDED

29 TREES  
29 TREES  
44 SHRUBS  
11 EVERGREENS AND 11 SHRUBS \*\*

NORTH SOUTH LOCAL PUBLIC TREES REQUIRED (1 PER 30') (631.8'/30')  
NORTH SOUTH LOCAL PUBLIC TREES PROVIDED  
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (631.8'/20')  
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS PROVIDED

21 TREES  
21 TREES  
32 SHRUBS  
11 EVERGREENS\*\*

EAST WEST LOCAL PUBLIC TREES REQUIRED (1 PER 30') (632.4'/30')  
EAST WEST LOCAL PUBLIC TREES PROVIDED  
EAST WEST LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (632.4'/20')  
EAST WEST LOCAL PUBLIC STREET SHRUBS PROVIDED

21 TREES  
21 TREES  
32 SHRUBS  
11 EVERGREENS\*\*

INTERNAL LOCAL PUBLIC TREES REQUIRED (1 PER 30') (1,112.85'/30')  
INTERNAL LOCAL PUBLIC TREES PROVIDED  
INTERNAL LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (1,112.85'/20')  
INTERNAL LOCAL PUBLIC STREET SHRUBS PROVIDED

37 TREES  
1 TREE PER 30' L.F.\*  
56 SHRUBS  
56 SHRUBS

LOT 1 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 1 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (91,794.17/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (91,794.17/5000X2)  
SHRUBS PROVIDED

98,394.17 S.F.  
6,600 S.F.  
91,794.17 S.F.  
18 TREES  
18 TREES  
18 TREES  
37 SHRUBS  
8 EVERGREEN TREES AND 15 SHRUBS\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (16,974 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
848.70 S.F.  
1,360 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

LOT 2 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 2 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (89,200.10/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (89,200.10/5000X2)  
SHRUBS PROVIDED

90,400.91 S.F.  
14,050 S.F.  
89,200.10 S.F.  
18 TREES  
18 TREES  
36 SHRUBS  
13 EVERGREENS\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (33,139 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
1,656.95 S.F.  
2,678 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

LOT 3 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 3 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (64,165.02/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (64,165.02/5000X2)  
SHRUBS PROVIDED

73,644.02 S.F.  
9,479 S.F.  
64,165.02 S.F.  
13 TREES  
13 TREES  
28 SHRUBS  
9 EVERGREEN TREES\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (29,336 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
1,466.80 S.F.  
2,587 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

LOT 4 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 4 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (59,933.30/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (59,933.30/5000X2)  
SHRUBS PROVIDED

72,433.30 S.F.  
12,500 S.F.  
59,933.30 S.F.  
12 TREES  
12 TREES  
24 SHRUBS  
8 EVERGREENS\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (32,793 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
1,639.65 S.F.  
3,503 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

LOT 5 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 5 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (65,185.51/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (65,185.51/5000X2)  
SHRUBS PROVIDED

73,310.51 S.F.  
8,125 S.F.  
65,185.51 S.F.  
13 TREES  
13 TREES  
26 SHRUBS  
9 EVERGREENS\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (35,453 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
1,772.65 S.F.  
4,749 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

LOT 6 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 6 AREA  
BUILDING AREA  
OPEN YARD AREA  
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (61,071.45/5000)  
TREES PROVIDED  
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.) (61,071.45/5000X2)  
SHRUBS PROVIDED

76,371.45 S.F.  
15,300 S.F.  
61,071.45 S.F.  
12 TREES  
12 TREES  
24 SHRUBS  
8 EVERGREENS\*\*

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)  
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT (Sec. 8.810)  
PARKING LOT LANDSCAPE AREA REQUIRED (38,692 x 0.05)  
PARKING LOT LANDSCAPE AREA PROVIDED  
TREES REQUIRED  
TREES PROVIDED  
SCREENING REQUIRED  
SCREENING PROVIDED

5% OF PARKING AREA  
1,934.60 S.F.  
4,143 S.F.  
1 PER ISLAND  
1 PER ISLAND  
(2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890 & Sec. 8.900)

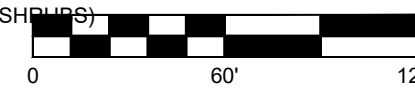
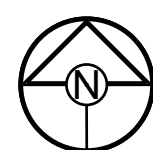
BUFFER LOCATION  
USE COMPARISON TO RP-4  
BUFFER REQUIRED  
BUFFER PROVIDED  
DEVIATION REQUESTED

SOUTH BOUNDARY  
CP-2 ADJ. TO RP-4  
H-HIGH IMPACT (FENCE + LOW IMPACT PLANTING)  
M-MEDIUM IMPACT (ADJ. USE ALSO HAS M BUFFER)  
USE M BUFFER AND NO FENCE SING ADJ. USE ALSO HAS M BUFFER  
AND IS PART OF THIS PROJECT

BUFFER WIDTH REQUIRED  
BUFFER WIDTH PROVIDED  
BUFFER OPTION SELECTED  
SHADE TREES REQUIRED (1/600 S.F.) (393.89X20/500)  
SHADE TREES PROPOSED  
ORNAMENTAL TREES REQUIRED (1/750 S.F.) (393.89X20/750)  
ORNAMENTAL TREES PROPOSED  
EVERGREEN TREES REQUIRED (1/300 S.F.) (393.89X20/300)  
EVERGREEN TREES PROPOSED  
SHRUBS REQUIRED (1/200 S.F.) (393.89X20/200)  
SHRUBS PROPOSED

20 FEET  
20 FEET  
SCREEN A  
15 SHADE TREES  
16 SHADE TREES  
11 ORNAMENTAL TREES  
11 ORNAMENTAL TREES  
27 EVERGREEN TREES  
41 EVERGREEN TREES (SEE NOTE BELOW FOR SHRUBS)  
40 SHRUBS  
14 EVERGREEN TREES INSTEAD OF SHRUBS

\*STREET INTERSECTIONS AND DRIVEWAYS PREVENT MEETING REQUIREMENT  
\*\*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS



SCALE: 1" = 60'

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
11-11-2025	CITY COMMENTS
12-9-2025	CITY COMMENTS
	CITY COMMENTS
	CITY COMMENTS
	CITY COMMENTS
	CITY COMMENTS
	CITY COMMENTS
	CITY COMMENTS

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	10-9-2025
PROJ. NUMBER:	25-019

COMMERCIAL  
LANDSCAPE  
PLAN

SHEET

C5.3





**PHASING NOTES:**

1. Phasing shown is anticipated phasing and is subject to change.
2. Phasing boundaries shown are subject to change.
3. Mass grading will likely occur in Phase 2-4 areas with the construction of Phase 1 to make cuts or fills needed for future development of those phases.

**FILE NOTES:**

1. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING FIRE FIGHTING OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.
2. ALL STREETS SHOWN ON THIS PLAN ARE PUBLIC WHICH MEET THE FIRE CODE ACCESS REQUIREMENTS.
3. ALL SETBACKS FROM THE STREET ARE MINIMUM ALLOWED BY THE CITY. THEREFORE THE TOWNHOMES SHOWN ON THIS PLAN MEET THE PROXIMITY TO BUILDING REQUIREMENTS.
4. ALL RESIDENTIAL AND COMMERCIAL USES SHALL COMPLY WITH THE FIRE SPRINKLER REGULATIONS.
5. DEAD END FIRE ACCESS STREETS IN EXCESS OF 150' SHALL COMPLY IF 503.2.5 AND PROVIDE A TEMPORARY TURN AROUND.
6. THE CITY OF LEES SUMMIT WILL PROVIDE A WATER SUPPLY CAPABLE OF SUPPLYING THE MINIMUM REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE PROVIDED TO PREMISES UPON WHICH FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS ARE HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION.
7. AS NOTED ON THIS PLAN A MINIMUM OF TWO SEPARATE ACCESS POINTS (1 ACCESS TO WARD ROAD AND 1 ACCESS TO HOOK ROAD) HAVE BEEN PROVIDED PER SECTION D017.1.

**SCHLAGEL**  
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS  
14920 West 107th Street • Lenexa, Kansas 66215  
(913) 492-5158 • Fax: (913) 492-8400  
[WWW.SCHLAGELASSOCIATES.COM](http://WWW.SCHLAGELASSOCIATES.COM)

PREPARED BY:

SCHLAGEL &amp; ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE  
PRELIMINARY DEVELOPMENT PLAN  
WARD ROAD AND HOOK ROAD  
LEE'S SUMMIT, MISSOURI

REVISION	REVISION DATE	DESCRIPTION
1	11-11-2025	CITY COMMENTS
2	12-9-2025	CITY COMMENTS
3		
4		
5		
6		
7		
8		
9		

## EMERGENCY ACCESS PLAN

SHEET  
F1.0

**OWNER:**

PROPERTY RESERVE INC.  
PO BOX 511196  
SALT LAKE CITY, UT 84151-1196

**DEVELOPER:**  
GRIFFIN RILEY PROPERTY GROUP  
21 SE 29TH TERRACE  
LEE'S SUMMIT, MO 64082  
p (816) 366-7900  
JAKE@GRIFFINRILEY.COM

