



NOTES:

- Subdivided property is shown to be located in Zone X (no screen), other area, "areas of minimal flood hazard", shown on flood insurance rate map 20905C0502G effective January 2010.
- Boundary information, site area information, dimensions and utility information is from site survey prepared by Continental, Inc. dated 3/11/25 provided by and used with approval of the owner.
- Topography from city of Lee's Summit, Missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits or structures for pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electric, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under the areas shown or designated upon this plat as "utility easements" or "U/E" within the street or right-of-way lines of the plat.
- All use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
- Building lines (BL) or set-back lines are shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
- All construction must comply with the most recent adopted City code, ordinances, and design standards.
- All drives and parking to be asphalt unless otherwise noted on the plan.
- All paved aisles, driveways, and streets are dimensioned from back of curb to back of curb on the plan.
- All accessible parking shall comply with the ADA requirements.
- Parking lot design must meet the UDO Article 9 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
- All utility products shall require the submittal of separate engineering plans (separate from the Final Development Plans).
- The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- All parking lots shall have CG-1 curb as required by code.
- Individual trash service will be provided for each residential unit/building.
- Based on the geologic data on Missouri department of natural resources web site there

are no known wells on the site.

13. All lighting for public streets shall be the City standard street lights and shall comply with the lighting standards contained within Article 6 of the UDO.

14. All private lighting shall comply with the standards of the Article 6. All parking areas and parking structures shall be illuminated by lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public street (except lights for parking along a street), a residential-zone area, or a residential use.

15. All issues pertaining to life safety and property protection from the hazards of fire, explosion or energy shall be the responsibility of the buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.

16. IFC 903.3.7. Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be 4 inches in diameter and shall be located within 100 feet of a fire hydrant, or as approved by the code official.

17. IFC 507.5.1. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

18. D105.1. Where required, where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the eave, or the top of parapet walls, whichever is greater.

19. IFC 503.2.1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

20. IFC 503.2.3. Fire apparatus access roads shall be designed and maintained to support the weight of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

21. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

22. IFC 506.1. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or

SITE DATA
EXISTING ZONING
PROPOSED ZONING
TOTAL SITE AREA FROM ALTA PROVIDED BY OWNER
EXISTING WARD RD & HOOK RD ROW (TO SECTION LINE)
TOTAL GROSS SITE AREA (ALTA + EXIST. WARD RD & HOOK RD ROW)
RP-1 GROSS SITE AREA
44.19 ACRES (1,924,916.40 S.F.)
RP-2 GROSS SITE AREA
70.89 ACRES (3,087,968.40 S.F.)
CP-2 GROSS SITE AREA
15.97 ACRES

PROJECT DATA (Sec. 6.030, Table 6-2)
RP-1-1 MULTIFAMILY ATTACHED PROPOSED NUMBER OF LOTS/UNITS
RP-1-2 SINGLE FAMILY ATTACHED PROPOSED NUMBER OF LOTS/UNITS
RP-4 SINGLE FAMILY ATTACHED (TOWNHOMES) PROPOSED NUMBER OF UNITS
RP-4 MULTIFAMILY PROPOSED NUMBER OF UNITS
TOTAL NUMBER OF UNITS
RESIDENTIAL DENSITY

124 LOTS
79 LOTS
241 UNITS
300 UNITS (SEPARATE APPLICATION)
738 UNITS
SEE DETAIL PLANS

AG - AGRICULTURAL
RP-1 - RP-4 & CP-2
125.35 ACRES (EXCL. EXIST. WARD RD. & HOOK RD. ROW)
5.70 ACRES (248,292 S.F.)
131.05 ACRES
44.19 ACRES (1,924,916.40 S.F.)
70.89 ACRES (3,087,968.40 S.F.)
15.97 ACRES

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-3400
www.schlagelassociates.com

PREPARED BY:

**LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLAN
WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI**



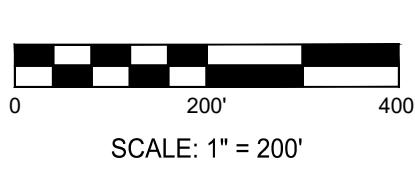
OVERALL PLAN
SHEET
C1.1

OWNER:

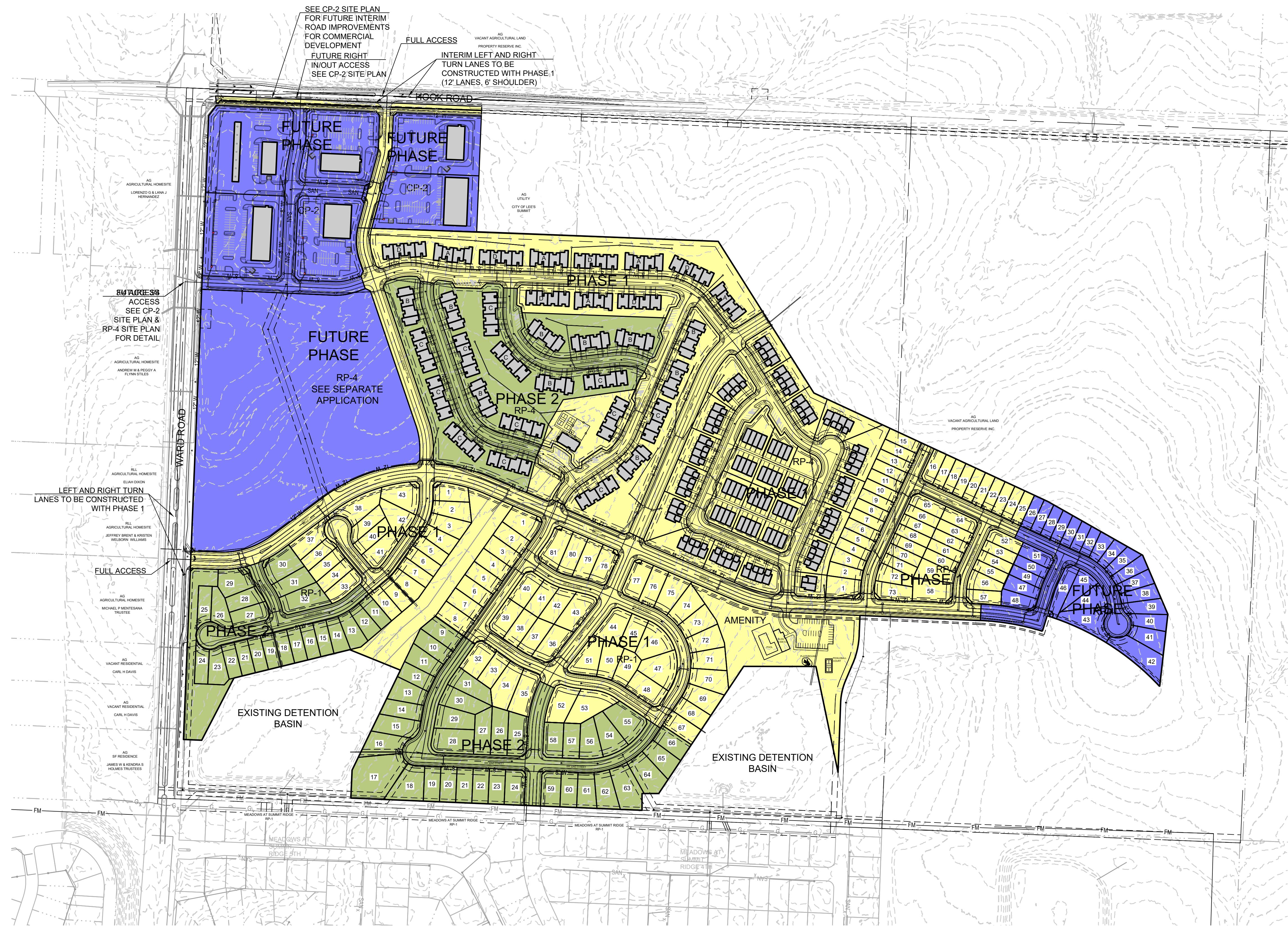
PROPERTY RESERVE INC.
PO BOX 511196
SALT LAKE CITY, UT 84151-1196

DEVELOPER:

GRIFIN RILEY PROPERTY GROUP
21 SE 29TH TERRACE
LEE'S SUMMIT, MO 64082
p (816) 366-7900
JAKE@GRIFINRILEY.COM



SCALE: 1" = 200'



 SCHLAGEL <small>ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS</small> 14920 West 107th Street Lenexa, Kansas 66215 (913) 492-5158 • Fax: (913) 492-3400 www.schlagelassociates.com		PHASE 1
		PHASE 2
		FUTURE PHASE
PREPARED BY: SCHLAGEL & ASSOCIATES, P.A.		
LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN WARD ROAD AND HOOK ROAD LEE'S SUMMIT, MISSOURI		
PHASING PLAN		
LEGEND: <ul style="list-style-type: none"> ● FOUND 1/2" REBAR WITH KSLS 54 CAP UNLESS OTHERWISE NOTED ■ FOUND MONUMENT AS NOTED SET 1/2" REBAR WILS-54 CAP UNLESS OTHERWISE NOTED ○ RIGHT-OF-WAY R/W BUILDING LINE BL LIMITS OF NO ACCESS LNA LANDSCAPE AREA D/E DRAINAGE EASEMENT R/W RIGHT-OF-WAY S/W SIDEWALK S/E SANITARY SEWER EASEMENT E/E ELECTRICAL EASEMENT W/E WATERLINE EASEMENT U/E UTILITY EASEMENT U.V. UTILITY VAULT B/B BACK TO BACK OF CURB CURB & GUTTER ----- EXISTING LOT AND PROPERTY LINES ----- EXISTING PLAT AND R/W LINES --- FENCE - ROD IRON --- ELECTRIC LINE --- FIBER OPTIC CABLE --- GAS LINE --- OVERHEAD POWER LINE --- SANITARY SEWER MAIN --- WATERLINE --- EXISTING MANHOLE --- LIGHT OVERHEAD --- POWER PEDESTAL --- TELEPHONE PEDESTAL --- CABLE PEDESTAL --- FIRE HYDRANT --- WATER METER --- WATER VALVE --- GAS VALVE 		
OWNER: PROPERTY RESERVE INC. PO BOX 511196 SALT LAKE CITY, UT 84151-1196	DEVELOPER: GRIFFIN RILEY PROPERTY GROUP 21 SE 29TH TERRACE LEE'S SUMMIT, MO 64082 p (816) 366-7900 JAKE@GRIFFINRILEY.COM	 SHEET C1.2
 0 200' 400'		
SCALE: 1" = 200'		

PHASING NOTES:

1. Phasing shown is anticipated phasing and is subject to change.
2. Phasing boundaries shown are subject to change.
3. Mass grading will likely occur in Phase 2-4 areas with the construction of Phase 1 to make cuts or fills needed for future development of those phases.



SITE DATA
 EXISTING ZONING: R-1
 APPROXIMATE PLAT ZONING: R-1
 APPROXIMATE PLAT GROSS SITE AREA: 14.23 AC +/-
 APPROXIMATE PLAT NET SITE AREA (EXCL. ADJ. ARTERIAL ROW): 12.91 AC +/-
 DENSITY ALLOWED BY UDO SEC 6.030 TABLE 6-2: ESTABLISHED WITH ZONING APPROVAL
 DENSITY PROPOSED USING GROSS AREA (LOT QNTY/GROSS SITE AREA): 3.02 DU/AC
 DENSITY PROPOSED USING NET AREA (LOT QNTY/NET SITE AREA): 3.33 DU/AC

AS - AGRICULTURAL
 R-1
 14.23 AC +/-
 12.91 AC +/-
 ESTABLISHED WITH ZONING APPROVAL
 3.02 DU/AC
 3.33 DU/AC

LOT DATA
 MINIMUM LOT WIDTH PROPOSED: 50 FEET
 MINIMUM LOT DEPTH PROPOSED: 120 FEET
 LOT QUANTITY PROPOSED: 43 LOTS
 MINIMUM LOT SIZE ALLOWED BY UDO: ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL
 MINIMUM LOT SIZE PROPOSED: 6,000 S.F.

50 FEET
 120 FEET
 43 LOTS
 ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL
 25 FT.
 5 FT.
 15 FT.
 20 FT.

SETBACK DATA
 MINIMUM SETBACKS PER UDO SEC 6.040 TABLE 6-3
 FRONT SETBACK PROPOSED: 25 FT.
 INTERIOR SIDE SETBACK PROPOSED: 5 FT.
 STREET SIDE SETBACK PROPOSED: 15 FT.
 REAR SETBACK PROPOSED: 20 FT.

ESTABLISHED WITH DEVELOPMENT PLAN APPROVAL
 25 FT.
 5 FT.
 15 FT.
 20 FT.

MODIFICATION REQUEST:
 1. REDUCTION IN LOT WIDTH TO ALLOW A 50' WIDE LOT.
 2. REDUCTION IN LOT SIZE TO ALLOW A 6,500 S.F. LOT SIZE.
 3.

TRACT NOTES:
 1. TRACT A & F TO BE OWNED BY THE HOMES ASSOCIATION AND IS USED FOR OPEN SPACE AND STORMWATER BMPs.
 2. TRACTS B-E TO BE OWNED BY THE HOA & USED FOR ENTRY MONUMENT SIGNAGE.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

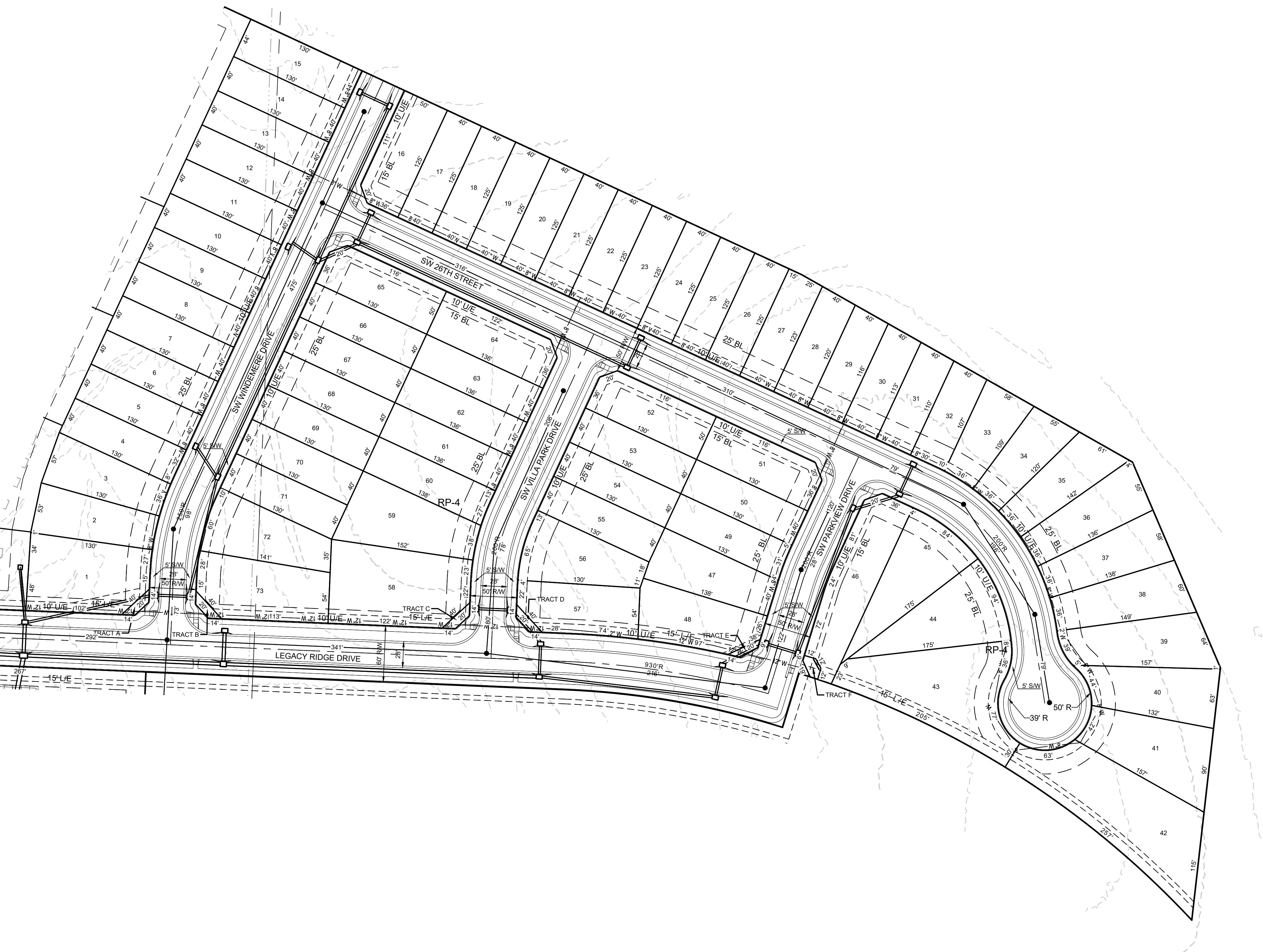
LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

LOT #	AREA (SF)
1	8,116.35
2	8,623.32
3	8,571.47
4	7,490.37
5	6,503.62
6	6,502.57
7	6,501.52
8	7,582.05
9	6,826.35
10	6,500.00
11	6,500.00
12	7,285.93
13	7,998.97
14	7,208.35
15	6,511.63
16	6,511.96
17	6,512.28
18	6,512.61
19	6,512.94
20	6,513.26

LOT #	AREA (SF)
21	6,513.59
22	6,513.29
23	8,604.99
24	7,018.70
25	7,164.39
26	8,479.00
27	9,041.45
28	7,993.92
29	10,455.54
30	11,979.14
31	9,206.44
32	13,584.02
33	8,492.35
34	7,163.73
35	7,051.79
36	6,829.35
37	10,222.63
38	12,623.97
39	7,570.55
40	7,693.12

LEGEND:		DESCRIPTION
●	○	FOUND 1/2" REBAR WITH KSL54 CAP UNLESS OTHERWISE NOTED
■	□	FOUND MONUMENT AS NOTED
○	○	SET 1/2" REBAR W/SL54 CAP UNLESS OTHERWISE NOTED
R/W	BL	- RIGHT-OF-WAY
LNA	LNA	- BUILDING LINE
U/S	U/S	- LIMITS OF NO ACCESS
D/E	D/E	- LANDSCAPE AREA
R/W	R/W	- DRAINAGE EASEMENT
S/W	S/W	- RIGHT-OF-WAY
S/E	E/E	- SIDEWALK
E/E	S/E	- SANITARY SEWER EASEMENT
W/I/E	E/E	- ELECTRICAL EASEMENT
U/E	W/I/E	- WATERLINE EASEMENT
U.V.	U/E	- UTILITY EASEMENT
B/B	B/B	- UTILITY VAULT
		- BACK TO BACK OF CURB
		CURB & GUTTER
.....	EXISTING LOT AND PROPERTY LINES
.....	EXISTING PLAT AND R/W LINES
—	—	FENCE - ROD IRON
—	—	ELECTRIC LINE
—	—	FIBER OPTIC CABLE
—	—	GAS LINE
—	—	OVERHEAD POWER LINE
—	—	SANITARY SEWER MAIN
—	—	WATERLINE
●	●	EXISTING MANHOLE
●	●	LIGHT OVERHEAD
●	●	POWER PEDESTAL
●	●	TELEPHONE PEDESTAL
●	●	CABLE PEDESTAL
●	●	FIRE HYDRANT
●	●	WATER METER
●	●	WATER VALVE
●	●	GAS VALVE
DRAWN BY: SCH	REVISION DATE: 1-1-1-2025	CITY COMMENTS: CITY COMMENTS
CHECKED BY: SCH	1-1-2025	
DATE PREPARED: 10-10-2025		
PROJ. NUMBER: 25-019		
SINGLE FAMILY 50' LOTS PLAT		
SHEET C2.0		
SCALE: 1" = 60'		



LOT #	AREA (SF)
1	9,496.52
2	5,874.78
3	6,007.54
4	5,200.34
5	5,200.00
6	5,200.00
7	5,200.00
8	5,200.00
9	5,200.00
10	5,200.00
11	5,200.00
12	5,200.00
13	5,200.00
14	5,200.00
15	5,679.22
16	6,152.03
17	5,000.03
18	5,000.02
19	5,000.02
20	5,000.02

LOT #	AREA (SF)
61	5,439.00
62	5,439.00
63	5,439.00
64	6,700.75
65	6,402.00
66	5,200.00
67	5,200.00
68	5,200.00
69	5,200.00
70	5,200.00
71	5,200.00
72	7,134.09
73	8,427.43
TRACT A	294.00
TRACT B	294.00
TRACT C	294.00
TRACT D	294.00
TRACT E	227.58
TRACT F	294.65

T #	AREA (SF)
21	5,000.02
22	5,000.02
23	5,000.01
24	5,000.01
25	5,000.01
26	5,000.01
27	4,973.84
28	4,852.29
29	4,722.02
30	4,591.75
31	4,461.47
32	4,331.88
33	4,993.55
34	5,116.17
35	6,038.38
36	6,568.67
37	6,404.60
38	6,787.66
39	7,648.68
40	7,280.39

LOT #	AREA (SF)
41	8,939.29
42	16,149.16
43	13,964.39
44	8,266.69
45	8,153.24
46	9,218.27
47	6,622.38
48	7,015.48
49	5,230.90
50	5,200.00
51	6,402.00
52	6,402.00
53	5,200.00
54	5,200.00
55	5,200.00
56	6,990.68
57	6,524.00
58	11,784.35
59	8,329.62
60	5,453.79

EXISTING ZONING	AG - AGRICULTURAL
PROPOSED ZONING	RP-4
PROXIMATE PLAT GROSS SITE AREA	13.53 AC +/-
INTENSITY ALLOWED BY UDO SEC 6.030 TABLE 6-2	ESTABLISHED WITH ZONING APPROVAL
INTENSITY PROPOSED USING GROSS AREA (LOT QNTY/GROSS SITE AREA)	5.40 DU/AC

CULTURAL
/-
HED WITH ZONING APPROVAL
C
HED WITH DEVELOPMENT PLAN APPROVAL

APPROVED WITH DEVELOPMENT PLAN APPROVAL

1 BACK DATA
MINIMUM SETBACKS PER UDO SEC 6.040 TABLE 6-3
ONT SETBACK PROPOSED
TERIOR SIDE SETBACK PROPOSED
REET SIDE SETBACK PROPOSED
CAR SETBACK PROPOSED

HED WITH DEVELOPMENT PLAN APPROVAL

TRACT NOTES:
TRACTS A-F TO BE OWNED BY THE HOMES ASSOCIATION AND IS USED FOR ENTRY MONUMENT SIGNAGE.

SCHLAGEL

PLANNERS SURVEYORS LANDSCAPE ARCHITECTS

SCHLAGEL & ASSOCIATES,

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD LEE'S SUMMIT, MISSOURI

		DESCRIPTION
DRAWN BY:	SCH	11-11-2025 CITY COMMENTS
CHECKED BY:	SCH	12-9-2025 CITY COMMENTS
DATE PREPARED:		10-9-2025
PROJ. NUMBER:		25-019
SINGLE FAMILY 40' LOTS PLAT		
SHEET		
C2.2		



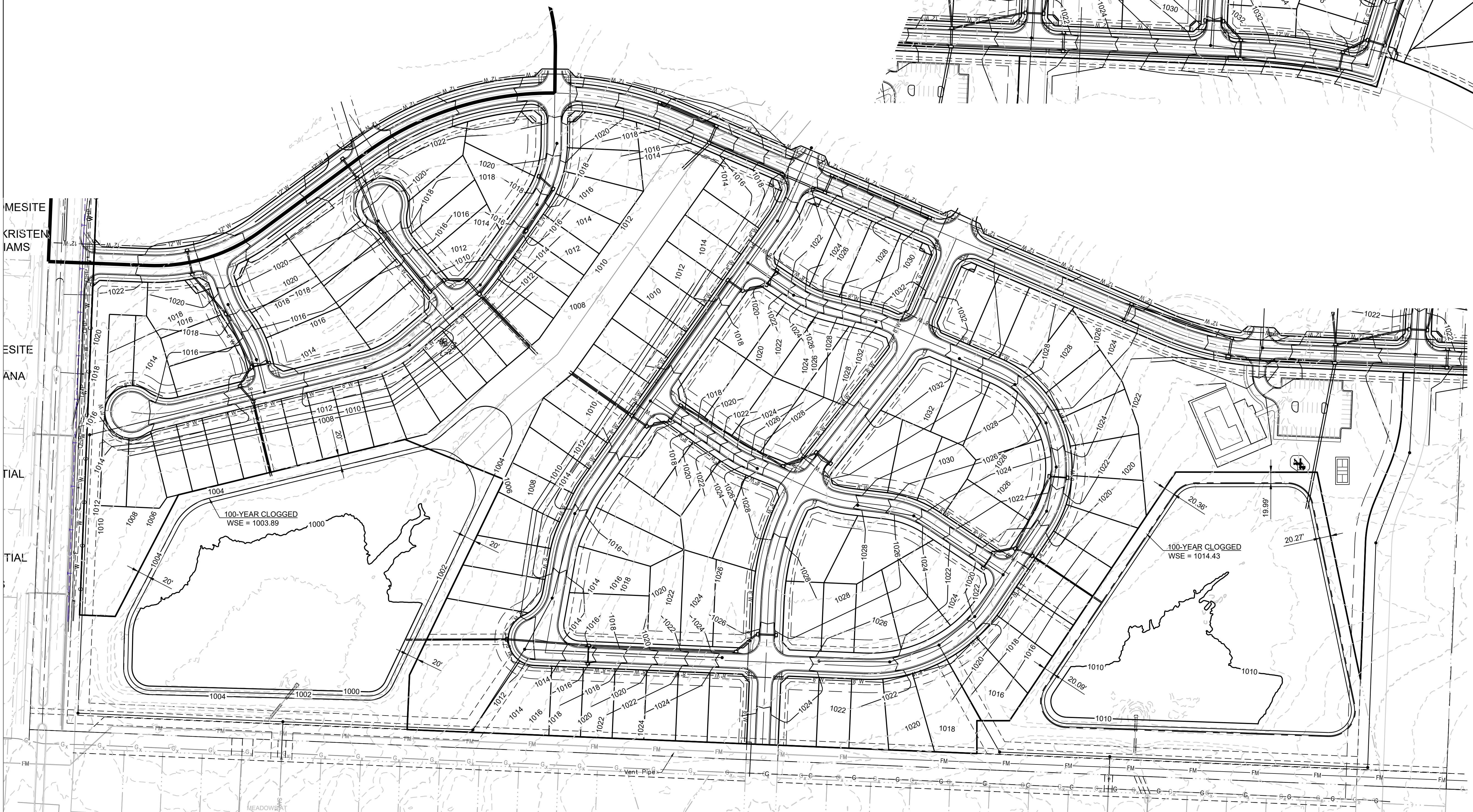
C2.2

GRADING LEGEND:

— 1023 — EXISTING CONTOUR
 — 1023 — PROPOSED CONTOUR

GRADING NOTES:

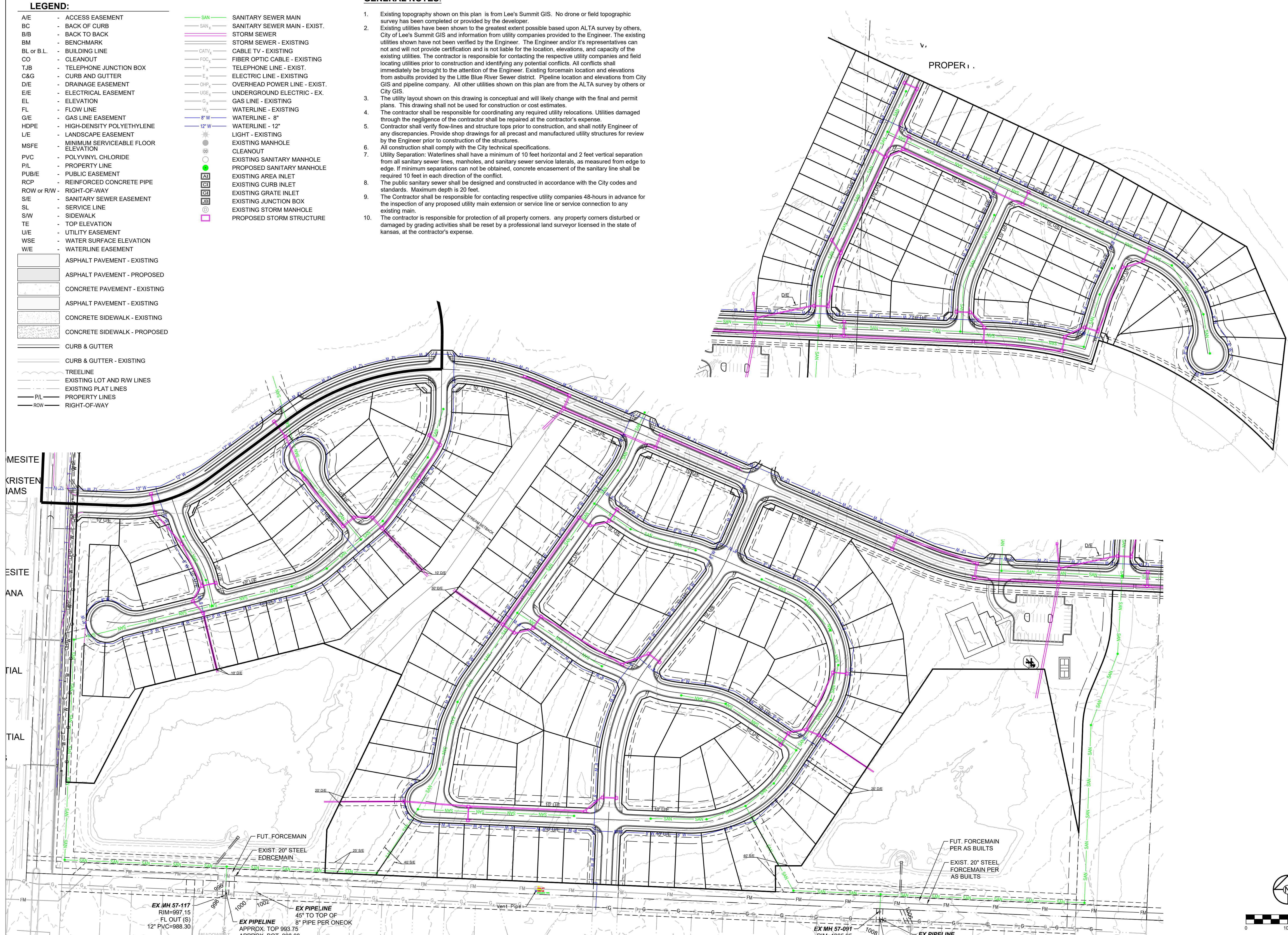
- EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.
- EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.
- NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.



LEGEND:	
A/E	- ACCESS EASEMENT
BC	- BACK OF CURB
B/B	- BACK TO BACK
BM	- BENCHMARK
BL or B.L.	- BUILDING LINE
CO	- CLEANOUT
TJB	- TELEPHONE JUNCTION BOX
C&G	- CURB AND GUTTER
D/E	- DRAINAGE EASEMENT
E/E	- ELECTRICAL EASEMENT
EL	- ELEVATION
FL	- FLOW LINE
G/E	- GAS LINE EASEMENT
HDPE	- HIGH-DENSITY POLYETHYLENE
L/E	- LANDSCAPE EASEMENT
MSFE	- MINIMUM SERVICABLE FLOOR
PVC	- POLYVINYL CHLORIDE
P/L	- PROPERTY LINE
PUB/E	- PUBLIC EASEMENT
RCP	- REINFORCED CONCRETE PIPE
ROW or R/W	- RIGHT-OF-WAY
S/E	- SANITARY SEWER EASEMENT
SL	- SERVICE LINE
S/W	- SIDEWALK
TE	- TOP ELEVATION
U/E	- UTILITY EASEMENT
WSE	- WATER SURFACE ELEVATION
W/E	- WATERLINE EASEMENT
	ASPHALT PAVEMENT - EXISTING
	ASPHALT PAVEMENT - PROPOSED
	CONCRETE PAVEMENT - EXISTING
	ASPHALT PAVEMENT - EXISTING
	CONCRETE SIDEWALK - EXISTING
	CONCRETE SIDEWALK - PROPOSED
	CURB & GUTTER
	CURB & GUTTER - EXISTING
	TREELINE
	EXISTING LOT AND R/W LINES
	EXISTING PLAT LINES
	PROPERTY LINES
	ROW
	RIGHT-OF-WAY

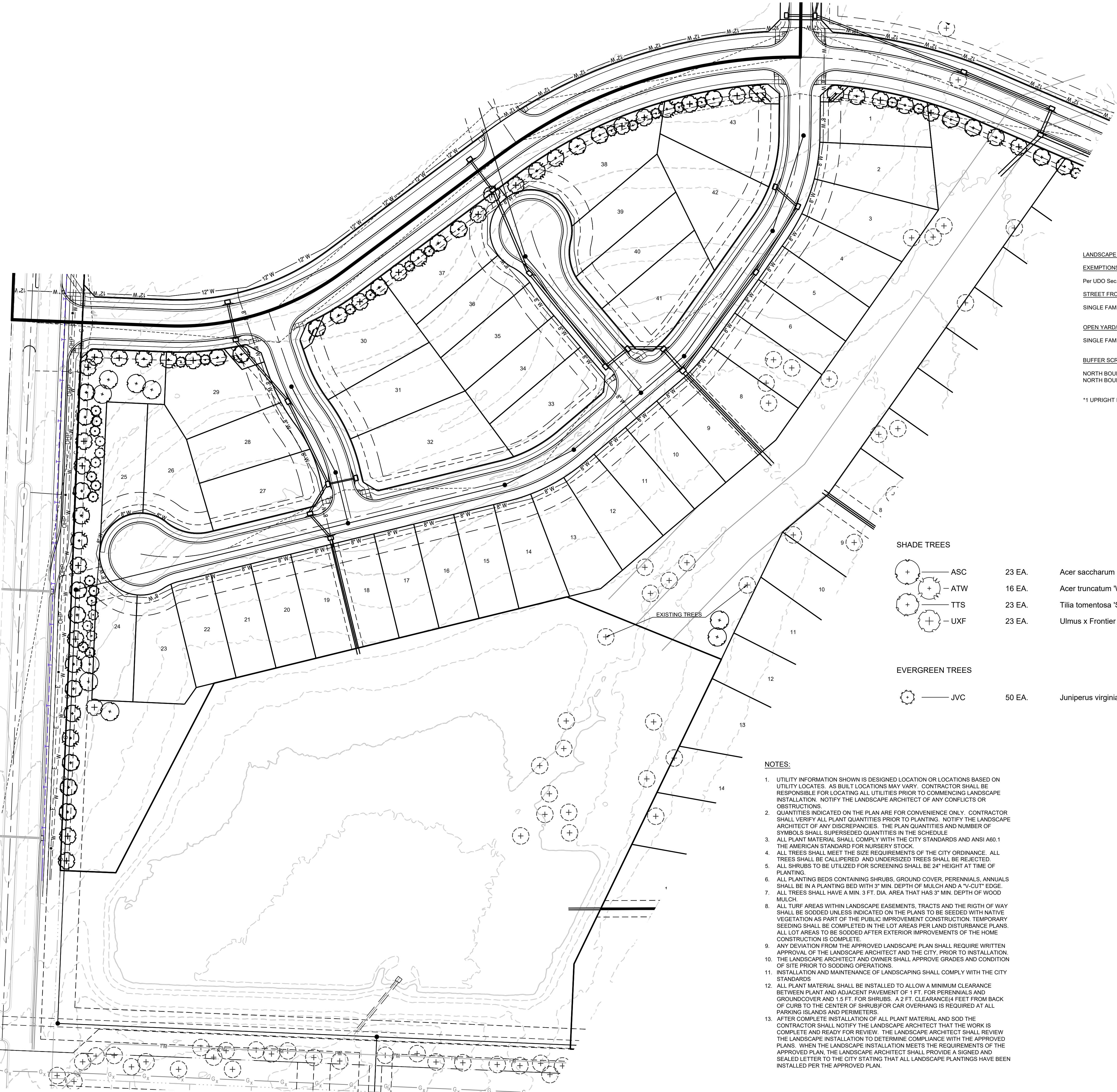
GENERAL NOTES:

- Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
- Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing forcemain location and elevations from asbuilts provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
- The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- All construction shall comply with the City technical specifications.
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
- The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- The contractor is responsible for protection of all property corners. Any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.



LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLAN
WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

SINGLE FAMILY UTILITY PLAN		DESCRIPTION
DRAWN BY:	SCH	REVISION DATE 1-1-1-2025
CHECKED BY:	SCH	CITY COMMENTS 13-9-2025
DATE PREPARED:	SCH	4/1
PROJ. NUMBER:	SCH	104-2025
	SCH	25-019
C2.4		SCALE: 1" = 100'



LANDSCAPE DATA

EXEMPTIONS

Per UDO Sec. 8.720.G Single-family and two-family (duplex) developments are exempt from landscaping requirements.

STREET FRONTAGE LANDSCAPE (Sec. 8.790.A)

SINGLE FAMILY LOCAL STREETS ARE EXEMPT PER UDO SEC 8.720.G

OPEN YARD/SITE LANDSCAPE REQUIRED (Sec. 8.790.B)

SINGLE FAMILY IS EXEMPT PER UDO SEC 8.720.G

BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890& Sec. 8.900.)

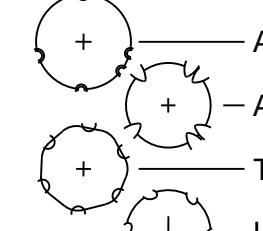
NORTH BOUNDARY BUFFER TYPE PER UDO TABLE 8.890

NORTH BOUNDARY BUFFER REQUESTED

*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

PER APPROVED PLAN
PER THIS PLAN

SHADE TREES

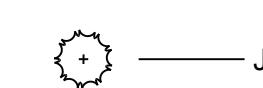


23 EA. Acer saccharum 'Autumn Splendor'
23 EA. Acer truncatum 'Warrenrd'
16 EA. Tilia tomentosa 'Sterling'
23 EA. Ulmus x Frontier

Caddo Sugar Maple
Pacific Sunset Maple
Sterling Silver Linden
Frontier Elm

2.5" Cal. B&B
2.5" Cal. B&B
2.5" Cal. B&B
2.5" Cal. B&B

EVERGREEN TREES



50 EA. Juniperus virginiana 'Canaertii'

Canaert Juniper
6' ht. B&B

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALIPERED, AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANT BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL SURFACES WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIOT OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEDED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODDED AFTER EXTERIOR IMPROVEMENTS OF THE HOME CONSTRUCTION.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUNDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE/4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB/FOR CAR OVERHANG IS REQUIRED AT ALL PARALLEL PARKING SPACES.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLANS, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLANWARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

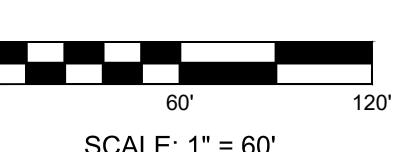
PREPARED BY:

SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14920 West 107th Street Lenexa Kansas 66215
 (913) 492-5158 • Fax: (913) 492-3400
 WWW.SCHLAGELASSOCIATES.COM


SHEET

C2.5

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	1-1-1-2025	CITY COMMENTS
SCH	13-9-2025	CITY COMMENTS
CHECKED BY:		
SCH		
DATE PREPARED:		
SCH	10-4-2025	
PROJ. NUMBER:		
25-019		



SCALE: 1" = 60'

NOTES:

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SHADE TREES

ASC
ATW
TTS
UXF

36 EA. Acer saccharum 'Autumn Splendor'
40 EA. Acer truncatum 'Warrend'
35 EA. Tilia tomentosa 'Sterling'
47 EA. Ulmus x Frontier

LANDSCAPE DATA

Caddo Sugar Maple
Pacific Sunset Maple
Sterling Silver Linden
Frontier Elm

2.5" Cal.
2.5" Cal.
2.5" Cal.
2.5" Cal.

B&B
B&B
B&B
B&B

Per UDO Sec. 8.720.G Single-family and two-family (duplex) developments are exempt from landscaping requirements.
STREET FRONTEAGE LANDSCAPE(Sec. 8.790.A)
SINGLE FAMILY LOCAL STREETS ARE EXEMPT PER UDO SEC 8.720.G

OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790.B)
SINGLE FAMILY IS EXEMPT PER UDO SEC 8.720.G

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900)
NORTH BOUNDARY BUFFER TYPE PER UDO TABLE 8.890
NORTH BOUNDARY BUFFER REQUESTED

PER APPROVED PLAN
PER THIS PLAN

*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

EVERGREEN TREES

JVC
94 EA. Juniperus virginiana 'Canaertii'

Canaert Juniper

6' ht.

B&B

NORTH BOUNDARY BUFFER REQUESTED

PER APPROVED PLAN
PER THIS PLAN

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SCHLAGEL & ASSOCIATES, P.A.

**LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLAN**

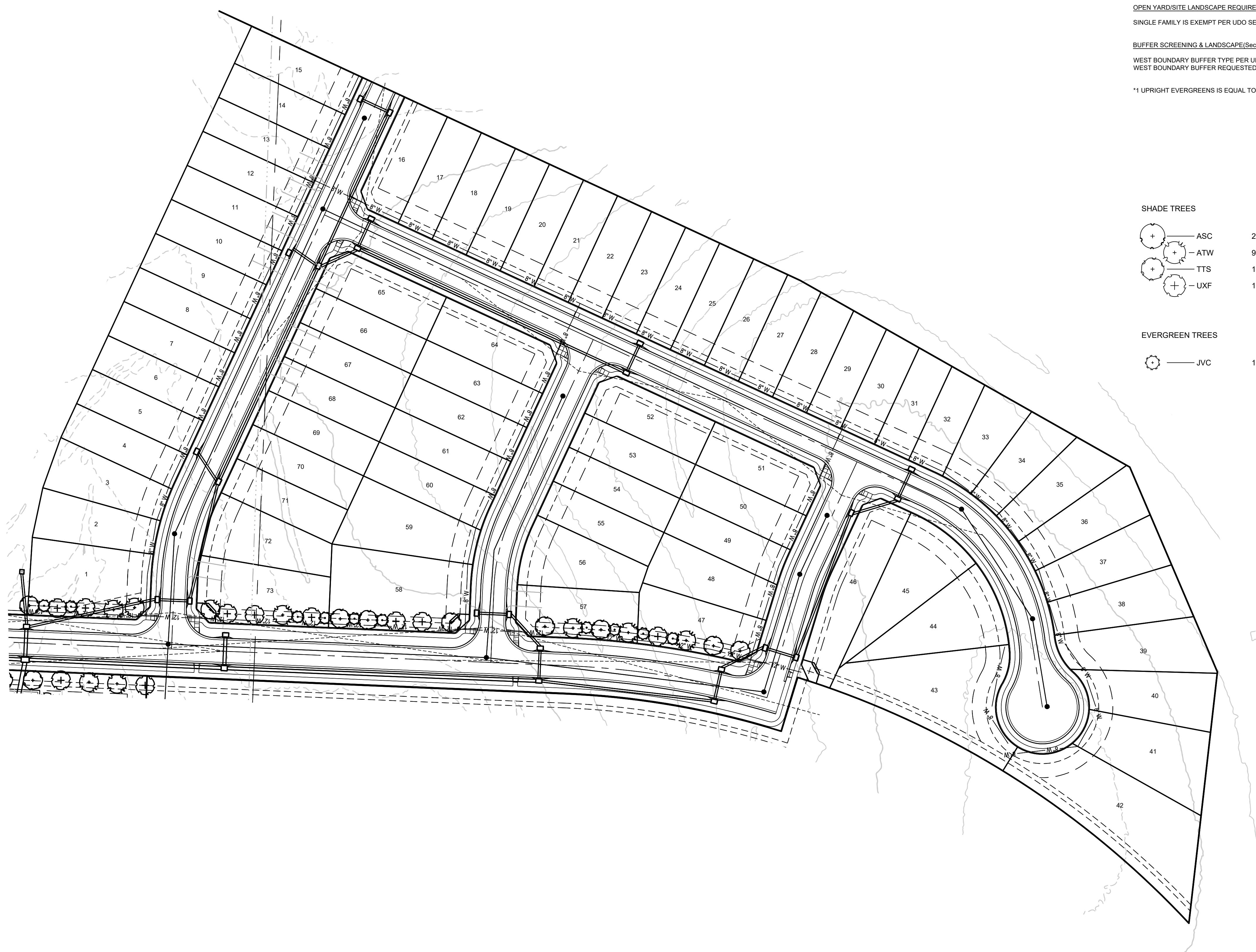
WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE
SCH	1-1-1-2025
CHECKED BY:	CITY COMMENTS
SCH	13-9-2025
DATE PREPARED:	CITY COMMENTS
SCH	16-4-2025
PROJ. NUMBER:	25-019

SINGLE FAMILY 62' LOTS LANDSCAPE PLAN

SHEET

C2.6



LANDSCAPE DATA

EXEMPTIONS

Per UDO Sec. 8.720 G Single-family and two-family (duplex) developments are exempt from landscaping requirements.

STREET FRONTAGE LANDSCAPE(Sec. 8.790 A)

SINGLE FAMILY LOCAL STREETS ARE EXEMPT PER UDO SEC 8.720.G

OPEN YARD/SITE LANDSCAPE REQUIRED(Sec. 8.790.B)

SINGLE FAMILY IS EXEMPT PER UDO SEC 8.720.G

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900)

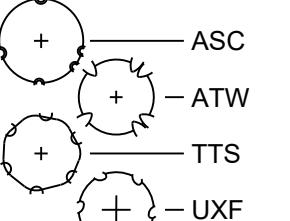
WEST BOUNDARY BUFFER TYPE PER UDO TABLE 8.890

WEST BOUNDARY BUFFER REQUESTED

PER APPROVED PLAN
PER THIS PLAN

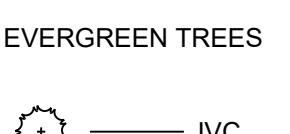
*1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

SHADE TREES



2 EA. Acer saccharum 'Autumn Splendor'
9 EA. Acer truncatum 'Warrenrd'
10 EA. Tilia tomentosa 'Sterling'
11 EA. Ulmus x Frontier

Caddo Sugar Maple 2.5" Cal. B&B
Pacific Sunset Maple 2.5" Cal. B&B
Sterling Silver Linden 2.5" Cal. B&B
Frontier Elm 2.5" Cal. B&B



13 EA. Juniperus virginiana 'Canaertii'

Canaert Juniper

6' ht. B&B

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLANWARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

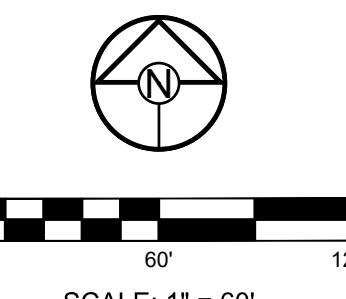
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13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR INSPECTION. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE IF THE PLANTING MEETS THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	1-1-2025	CITY COMMENTS
SCH	1-8-2025	CITY COMMENTS
SCH	4/	
SCH	104-2025	
SCH	5/	
SCH	6/	
SCH	7/	
SCH	8/	
SCH	9/	

SINGLE FAMILY
40' LOTS
LANDSCAPE
PLAN

SHEET
C2.7



SCALE: 1" = 60'

SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14920 West 107th Street Lenexa Kansas 66215
 (913) 492-5158 • Fax: (913) 492-3400
 WWW.SCHLAGELASSOCIATES.COM



LOT #	AREA (SF)
BLOCK 1	129,223.61
BLOCK 2	128,369.89
BLOCK 3	244,780.18
BLOCK 4	133,088.55
BLOCK 5	211,334.54

BUILDING TYPE	
TYPE	COUNT
A	5
B	10
C	12
D	6

PREPARED BY:

SCHLAGEL

PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
4920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD JEE'S SUMMIT MISSOURI

11

1. Subject property is shown to be located in Zone X (no screen), other area, "areas of minimal flood hazard", as shown on flood insurance rate map 29095C0532G effective January 20, 2017.
2. Boundary information, site area information, adjacent property lines and utility information is from alta survey prepared by Continental, Inc. dated 3/11/25 provided by and used with approval of the owner.
3. Topography from city of lee's summit gis.
4. An easement or license will granted to the City of Lee's Summit, Missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and or structures for, pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "utility easement" or "U/E" or within any street or thoroughfare dedicated to public use.
5. The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
6. Building lines (BL) or setback lines will established as shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
7. All construction must comply with the most recent adopted City code, ordinances, and design standards.
12. All drives and parking to be asphalt unless otherwise noted on the plan.
13. All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on this plan.
14. All accessible parking shall comply with the ADA requirements.
15. Parking lot design must meet the UDO Article 8 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
16. All public infrastructure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
17. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
18. All parking lots shall have CG-1 curb as required by code.
19. Individual trash service will be provided for each residential unit/building.
20. Based on the geologic data on Missouri department of natural resources web site there are no known wells on the site.
13. All lighting for public streets shall be the City standard street lights and shall comply with the lighting standards contained within Article 8 of the UDO.
14. All private lighting shall comply with the requirements of the UDO Article 8. All parking lot with 11 or more parking stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public street (except lights for parking along a street), a residentially-zoned area, or a residential use.
- explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.
16. IFC 903.3.7- Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
17. IFC 507.5.1- Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
18. D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater
19. IFC 503.2.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm)
20. IFC 503.2.3 -Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
21. D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
22. IFC 506.1 -Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official.506.1.1 Locks.An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
23. IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	1 11-11-2025	CITY COMMENTS
SCH	2 12-9-2025	CITY COMMENTS
CHECKED BY:		
SCH	3	
SCH	4	
DATE PREPARED:		
	5	
	6	
	7	
PROJ. NUMBER:		
	8	
	9	

**ACTIVE ADULT
SITE PLAN**

SHEET

C3.0



SHEB

SHEET 1

C3.0

A scale bar consisting of a series of black and white horizontal squares. Below the bar, the text "60'" is centered, and to the right, the number "1" is partially visible. At the bottom, the text "SCALE: 1\" data-bbox="111 100 450 180" data-label="Text"> $''$ = 60'

DOKEE. 1 - 66





GENERAL NOTES:

- Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
- Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing force main location and elevations from as-built provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
- The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- All construction shall comply with the City technical specifications.
- Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- The contractor is responsible for protection of all property corners, any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of Kansas, at the contractor's expense.

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PREPARED BY:

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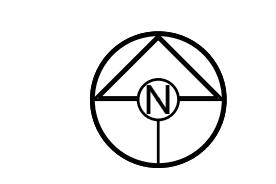
LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLANWARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

LEGEND:

A/E	- ACCESS EASEMENT
BC	- BACK OF CURB
B/B	- BACK TO BACK
BM	- BENCHMARK
BL or B.L.	- BUILDING LINE
CO	- CLEANOUT
TJB	- TELEPHONE JUNCTION BOX
C&G	- CURB AND GUTTER
D/E	- DRAINAGE EASEMENT
E/E	- ELECTRICAL EASEMENT
EL	- ELEVATION
FL	- FLOW LINE
G/E	- GAS LINE EASEMENT
HDPE	- HIGH-DENSITY POLYETHYLENE
L/E	- LANDSCAPE EASEMENT
MSFE	- MINIMUM SERVICEABLE FLOOR ELEVATION
PVC	- POLYVINYL CHLORIDE
P/L	- PROPERTY LINE
PUB/E	- PUBLIC EASEMENT
RCP	- REINFORCED CONCRETE PIPE
ROW or R/W	- RIGHT-OF-WAY
S/E	- SANITARY SEWER EASEMENT
SL	- SERVICE LINE
S/W	- SIDEWALK
TE	- TOP ELEVATION
U/E	- UTILITY EASEMENT
WSE	- WATER SURFACE ELEVATION
W/E	- WATERLINE EASEMENT

SAN	- SANITARY SEWER MAIN
SAN _x	- SANITARY SEWER MAIN - EXIST.
STORM	- STORM SEWER
STORM	- STORM SEWER - EXISTING
CABLE TV	- CABLE TV - EXISTING
FOC _x	- FIBER OPTIC CABLE - EXISTING
T _x	- TELEPHONE LINE - EXIST.
E _x	- ELECTRIC LINE - EXISTING
OHP _x	- OVERHEAD POWER LINE - EXIST.
UGE _x	- UNDERGROUND ELECTRIC - EX.
G _x	- GAS LINE - EXISTING
W _x	- WATERLINE - EXISTING
8" W	- WATERLINE - 8"
12" W	- WATERLINE - 12"
LIGHT	- LIGHT - EXISTING
CLEANOUT	- EXISTING MANHOLE
EXISTING SANITARY MANHOLE	- CLEANOUT
PROPOSED SANITARY MANHOLE	- EXISTING SANITARY MANHOLE
EXISTING AREA INLET	- EXISTING AREA INLET
EXISTING CURB INLET	- EXISTING CURB INLET
EXISTING GRATE INLET	- EXISTING GRATE INLET
EXISTING JUNCTION BOX	- EXISTING JUNCTION BOX
EXISTING STORM MANHOLE	- EXISTING STORM MANHOLE

ACTIVE ADULT UTILITY PLAN	
DRAWN BY:	REVISION DATE
SCH	1-1-2025
CHECKED BY:	12-9-2025
SCH	
DATE PREPARED:	104-2025
PROJ. NUMBER:	25-019
C3.2	
SCALE: 1" = 60'	



C3.2



NOTES:

1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANTED QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS. QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALIPERED AND UNDESIZED TREES SHALL BE REJECTED.
5. ALL PLANT MATERIAL TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE PLANTED BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF MULCH.
8. ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS, TRACTS AND THE RIGTH OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEEDED WITH NATIVE VEGETATION AS PART OF THE PUBLIC IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL TURF AREAS SHALL BE SODDED AFTER ALL BUILDING, PARKING AND OTHER SITE IMPROVEMENTS ARE COMPLETED.
9. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA, PRIOR TO INSTALLATION.
10. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF GROUNDS FOR SODDING OPERATIONS.
11. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 2 FT. FOR SHRUBS. A 2 FT. CLEARANCE(FEET FROM BACK OF CURB) TO THE CENTER OF DRIVE/BUS FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOIL THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORKS IS COMPLETE AND THAT THE LANDSCAPE AREA IS READY TO REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE CONFORMANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLANWARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI
SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14920 West 107th Street Lenexa, Kansas 66215
 (913) 492-5158 • Fax: (913) 492-3400
 WWW.SCHLAGELASSOCIATES.COM

SHADE TREES			
ASC	26 EA	Acer saccharum 'Autumn Splendor'	Caddo Sugar Maple 2.5' Cal. B&B
ATW	86 EA	Acer truncatum 'Warren'	Pacific Sunset Maple 2.5' Cal. B&B
QRC	12 EA	Quercus robur 'Crimson Spire'	Crimson Spire Oak 2.5' Cal. B&B
QR	4 EA	Quercus rubra	Red Oak 2.5' Cal. B&B
TTS	93 EA	Tilia tomentosa 'Sterling'	Sterling Silver Linden 2.5' Cal. B&B
UXF	129 EA	Ulmus x 'Frontier'	Frontier Elm 2.5' Cal. B&B

ORNAMENTAL TREES			
AGF	33 EA	Acer ginnala 'Flame'	Flame Amur Maple 2' Cal. & 8' ht. B&B
AC	11 EA	Amelanchier canadensis	Shadblow Serviceberry 2' Cal. & 8' ht. B&B
BN	41 EA	Betula nigra	River Birch 2' Cal. & 8' ht. B&B

EVERGREEN TREES			
JCK	19 EA	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper 6' ht. B&B
JVC	156 EA	Juniperus virginiana 'Canaertii'	Canaer Juniper 6' ht. B&B

SHRUBS			
JHH	98 EA	Juniperus horizontalis 'Hughes'	Hughes Juniper 5 gal. Cont.
RAG	86 EA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant sumac 5 gal. Cont.
VPS	24 EA	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum 5 gal. Cont.

LANDSCAPE DATA

STREET FRONTOAGE LANDSCAPE (Sec. 3.790.A)

EAST WEST COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')(813.7'30')
 EAST WEST COLLECTOR PUBLIC TREES PROVIDED
 EAST WEST COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(813.7'20')
 EAST COLLECTOR PUBLIC STREET SHRUBS PROVIDED

NORTH SOUTH COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')(1014.6'30')
 NORTH SOUTH COLLECTOR PUBLIC TREES PROVIDED
 NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(1014.6'20')
 NORTH SOUTH COLLECTOR PUBLIC STREET SHRUBS PROVIDED

NORTH SOUTH LOCAL PUBLIC TREES REQUIRED (1 PER 30')(943.5'30')
 NORTH SOUTH LOCAL PUBLIC TREES PROVIDED
 NORTH SOUTH LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(943.5'20')
 NORTH SOUTH LOCAL PUBLIC STREET SHRUBS PROVIDED

INTERNAL DRIVE PUBLIC TREES REQUIRED (1 PER 30')(4,258.56'30')
 INTERNAL DRIVE PUBLIC TREES PROVIDED
 INTERNAL DRIVE PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(4,258.56'20')
 INTERNAL DRIVE PUBLIC STREET SHRUBS PROVIDED

OPEN YARD/SITE LANDSCAPE REQUIRED (Sec. 8.790.B)

LOT AREA
 BUILDING AREA
 TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(607,236.9/5000)
 TREES PROVIDED
 SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(1214.00/5000)
 SHRUBS PROVIDED

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.800)

LANDSCAPE AREA REQUIRED (5% OF PARKING AREA)(11,484.94 x .05)
 TREES REQUIRED
 TREES PROVIDED
 SCREENING REQUIRED
 SCREENING PROVIDED

BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890&Sec. 8.900)

BUFFER LOCATION
 BUFFER LENGTH
 USE COMPARISON
 BUFFER REQUIRED
 BUFFER PROVIDED
 DEVIATION REQUESTED

BUFFER WIDTH REQUIRED
 BUFFER WIDTH PROVIDED
 BUFFER LENGTH PROVIDED
 SHADE TREES REQUIRED (1/500 S.F.)(393.89X20)/500)
 SHADE TREES PROPOSED
 ORNAMENTAL TREES REQUIRED (1/750 S.F.)(393.89X20)/750)
 ORNAMENTAL TREES PROPOSED
 EVERGREEN TREES REQUIRED (1/300 S.F.)(393.89X20)/300)
 EVERGREEN TREES PROPOSED
 SHRUBS REQUIRED (1/200 S.F.)(393.89X20)/200)
 SHRUBS PROPOSED

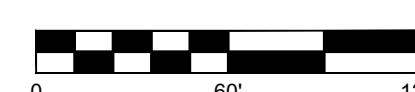
NORTH BOUNDARY
 393.89
 RP-4 ADJ TO CP-2
 H=10' (MEDIUM IMPACTANCE + LOW IMPACT LANDSCAPE)
 M=MEDIUM IMPACT ADJ. USE ALSO HAS BUFFER M
 USE M BUFFER AND NO FENCE SING ADJ. USE ALSO HAS M BUFFER
 AND IS PART OF THIS PROJECT
 20 FEET
 20 FEET
 SCREEN A
 16 SHADE TREES
 16 SHADE TREES
 11 ORNAMENTAL TREES
 11 ORNAMENTAL TREES
 27 EVERGREEN TREES
 41 EVERGREEN TREES (SEE NOTE BELOW FOR SHRUBS)
 40 SHRUBS
 14 EVERGREEN TREES INSTEAD OF SHRUBS

*STREET INTERSECTIONS AND DRIVEWAYS PREVENT MEETING REQUIREMENT
 **1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

ACTIVE ADULT
LANDSCAPE
PLAN

SHEET

C3.3



0 60' 120'

SCALE: 1" = 60'



NOTES:

- Subject property is shown to be located in Zone X (no screen), other area, "areas of minimal flood hazard", as shown on flood insurance rate map 29095C0532G effective June 20, 2017.
- Boundary information, site area information, adjacent property lines and utility information is from a site survey prepared by Continental, Inc. dated 3/11/25 provided by and used with approval of the owner.
- Topography from city of Lee's Summit.
- An agreement or license will be granted to the City of Lee's Summit, Missouri to locate, construct and maintain facilities for the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and structures for pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon, over, or under those areas outlined or designated upon this plat as "utility easements" or "U/E" or within any street or thoroughfare designated to be public "utility easements".
- The use of all "U/E" or within any street or thoroughfare designated to be public "utility easements" shall be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which will become a part of the dedication of the plat.
- Building lines (BL) or setback lines will be established as shown on the plat and no building corner lines shall be constructed between this line and street right-of-way.
- All construction must comply with the most recent adopted City code, ordinances, and design standards.
- Please note that parking lot design must meet the UDO Article 12 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
- Any building or structure shall require the submittal of separate engineering plans (separate from the Final Development Plans).
- The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- All parking lots shall have CG-1 curb required by code.
- All drives shall be asphalt unless otherwise noted on the plan.
- All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on the plan.
- All accessible parking shall comply with the ADA requirements.
- Individual trash service will be provided for each residential unit/building.
- Building shall be Missouri department of natural resources web site there are no known wells on the site.
- Lighting shall comply with the requirements of the UDO Article 8. All lighting shall be the City standard street lights and shall comply with the lighting standards contained within Article 7 of the UDO. All parking lot with 11 or more parking stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public

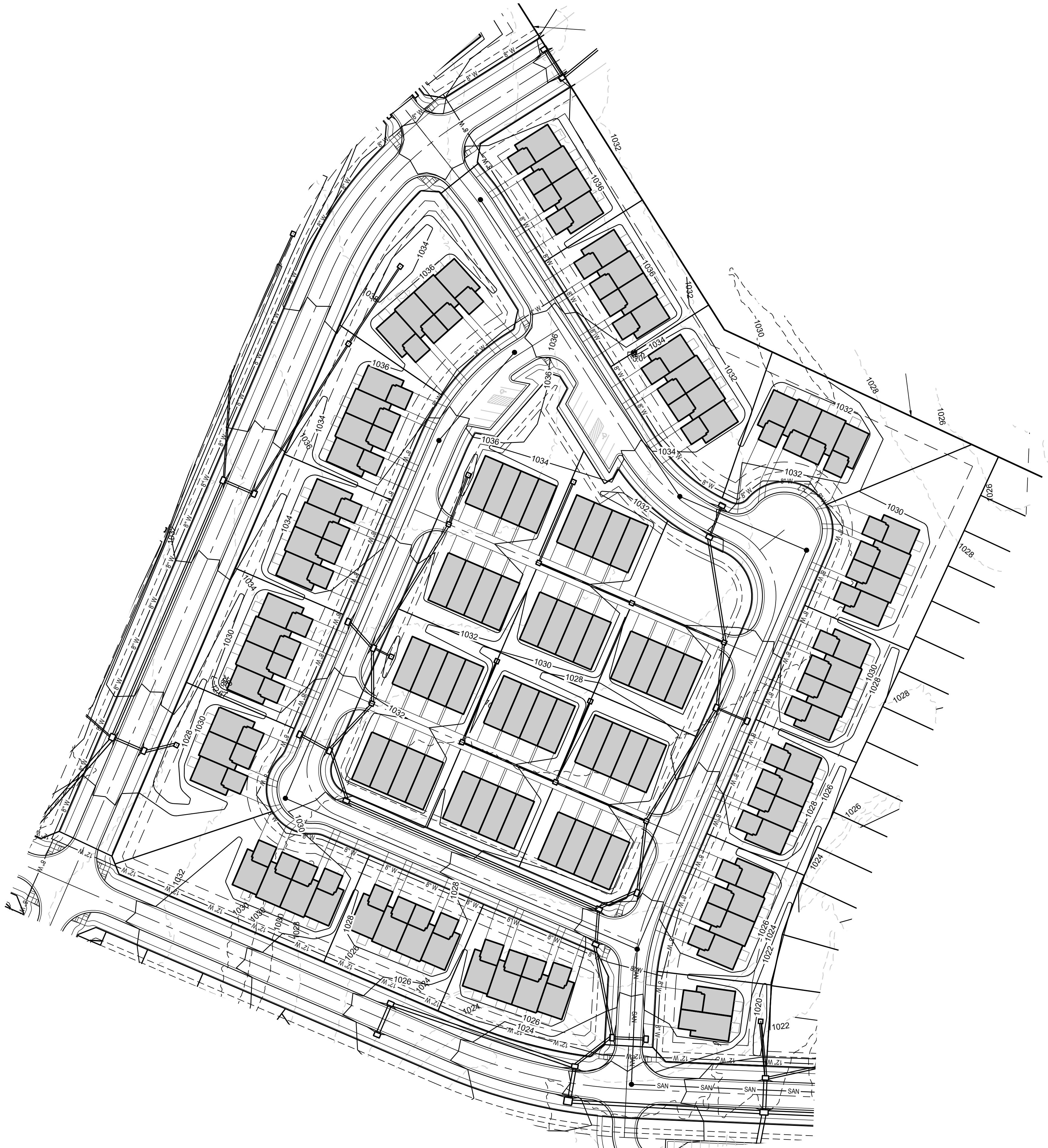
- street, a residentially-zoned area, or a residential use.
- All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local fire code.
- IFC 903.3.7 - Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a #4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
- IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- D105.1 Where required. Where the vertical distance between the grade plane and the highest point of the roof of the building (9144) and the highest point of the apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the top of the pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
- IFC 503.2.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with IFC 503.6, and an unobstructed vertical clearance of not less than 10 feet 6 inches (4115 mm).
- IFC 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- D105.2 Width. All fire apparatus access roads shall have a minimum unobstructed width of 20 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed and maintained in the structure. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to be necessary to gain access as required by the fire code official. 506.1.1 Locks. An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
- IFC 507.5 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

MODIFICATION REQUESTED FOR LOTS 18-28 TO HAVE LESS LOT AREA PER UNIT DUE TO THE ALLEY PRODUCT.

LOT #	AREA (SF)	AREA PER UNIT(SF)
1	18,013.17	4,503.29
2	15,262.46	3,815.62
3	21,081.62	5,270.41
4	18,406.39	6,135.46
5	15,461.91	3,865.48
6	15,461.87	3,865.47
7	16,101.96	4,025.49
8	21,913.36	5,478.34
9	16,484.94	4,121.24
10	15,261.39	3,815.35
11	17,660.66	4,415.17
12	20,617.42	5,154.36
13	22,449.44	5,612.36
14	14,683.98	3,670.99
15	14,208.17	3,552.04
16	15,323.42	3,830.86
17	10,312.00	5,156.00
18	11,577.06	2,894.27
19	15,522.99	3,880.75
20	11,505.38	2,876.35
21	10,522.43	2,630.61
22	11,482.48	2,870.62
23	11,482.48	2,870.62
24	10,522.43	2,630.61
25	11,505.38	2,876.35
26	10,888.78	2,722.20
27	9,807.23	2,451.81
28	10,766.52	2,691.63
TRACT A	9,367.24	

**LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLAN**
**WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI**

DRAWN BY: SCH	REVISION DATE: 1-1-12-2025	DESCRIPTION: CITY COMMENTS
CHECKED BY: SCH	13-9-2025	CITY COMMENTS
DATE PREPARED: 10-4-2025		
PROJ. NUMBER: 25-019		
TOWNHOME SITE PLAN		
SHEET C4.0		
SCALE: 1" = 60'		



RADING LEGEND: _____

—1023— — — EXISTING CONTOUR
— 1023 — PROPOSED CONTOUR

RADING NOTES:

EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.

PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.

EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.

NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.

RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.

PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.

ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.

ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.

THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.

THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	11-11-2025 1	CITY COMMENTS
SCH	12-9-2025 2	CITY COMMENTS
SCH	3	
SCH	4	
DATE PREPARED:	5	
	6	
	7	
PROJ. NUMBER:	8	
	9	

**TOWNHOME
GRADING PLAN**

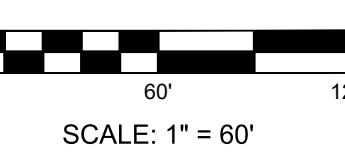
SHEET

C4.1



SHEE

SHEET



SCALE: 1" = 60'

SCALE: 1" = 60'

C4.1



GENERAL NOTES:

- Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
- Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing forcemain location and elevations from asbuilts provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
- The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
- The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
- Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
- All construction shall comply with the City technical specifications.
- Utility Separation:** Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
- The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
- The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
- 0. The contractor is responsible for protection of all property corners. any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of kansas, at the contractor's expense.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.C.

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD LEE'S SUMMIT, MISSOURI

LEGEND:

-	ACCESS EASEMENT	SAN	SANITARY SEWER MAIN
-	BACK OF CURB	SAN _x	SANITARY SEWER MAIN - EXIST.
-	BACK TO BACK		STORM SEWER
-	BENCHMARK		STORM SEWER - EXISTING
or B.L.	BUILDING LINE	CATV _x	CABLE TV - EXISTING
G	CLEANOUT	FOC _x	FIBER OPTIC CABLE - EXISTING
	TELEPHONE JUNCTION BOX	T _x	TELEPHONE LINE - EXIST.
PE	CURB AND GUTTER	E _x	ELECTRIC LINE - EXISTING
FE	DRAINAGE EASEMENT	OHP _x	OVERHEAD POWER LINE - EXIST.
C	ELECTRICAL EASEMENT	UGE _x	UNDERGROUND ELECTRIC - EX.
B/E	ELEVATION	G _x	GAS LINE - EXISTING
P	FLOW LINE	W _x	WATERLINE - EXISTING
W or R/W	GAS LINE EASEMENT	8" W	WATERLINE - 8"
	HIGH-DENSITY POLYETHYLENE	12" W	WATERLINE - 12"
	LANDSCAPE EASEMENT		LIGHT - EXISTING
	MINIMUM SERVICEABLE FLOOR ELEVATION		EXISTING MANHOLE
	POLYVINYL CHLORIDE		CLEANOUT
	PROPERTY LINE		EXISTING SANITARY MANHOLE
	PUBLIC EASEMENT		PROPOSED SANITARY MANHOLE
	REINFORCED CONCRETE PIPE		EXISTING AREA INLET
	RIGHT-OF-WAY		EXISTING CURB INLET
	SANITARY SEWER EASEMENT		EXISTING GRATE INLET
	SERVICE LINE		EXISTING JUNCTION BOX
			EXISTING STORM MANHOLE

Legend:

- WATER SURFACE ELEVATION
- WATERLINE EASEMENT
- ASPHALT PAVEMENT - EXISTING
- ASPHALT PAVEMENT - PROPOSED
- CONCRETE PAVEMENT - EXISTING
- ASPHALT PAVEMENT - EXISTING
- CONCRETE SIDEWALK - EXISTING
- CONCRETE SIDEWALK - PROPOSED
- CURB & GUTTER
- CURB & GUTTER - EXISTING
- TREELINE
- EXISTING LOT AND R/W LINES
- EXISTING PLAT LINES
- P/L PROPERTY LINES
- ROW RIGHT-OF-WAY

REVISION DATE: 11-11-2025

DRAWN BY: SCH

CHECKED BY: SCH

DATE PREPARED: 10-9-2025

PROJ. NUMBER: 8

**TOWNHOME
UTILITY PLAN**

SHEET C4.2




SCALE: 1" = 60'

SHEET

C4 2

C4.2

SCHLAGEL

PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
20 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM



NOTES:

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4. ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE UNPREDERIALIZED AND UNDERSEED TREES SHALL BE REJECTED.
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6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
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10. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
11. INSTALLATION AND MAINTENANCE OF LANDSCAPE SHALL COMPLY WITH THE CITY STANDARDS.
12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GRONDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE/4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB/FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
13. AFTER CONSTRUCTION, THE LANDSCAPE ARCHITECT AND OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

LANDSCAPE DATA

STREET FRONTRAGE LANDSCAPE (Sec. 8.790.A)

EAST WEST COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/758.9'30"

25 TREES

24 TREES*

38 SHRUBS

13 EVERGREENS**

EAST WEST COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20')/758.9'20"

EAST COLLECTOR PUBLIC STREET SHRUBS PROVIDED

NORTH SOUTH COLLECTOR PUBLIC TREES REQUIRED (1 PER 30')/1014.6'30"

34 TREES

31 TREES*

51 SHRUBS

17 EVERGREENS**

INTERNAL DRIVE PUBLIC TREES REQUIRED (1 PER 30')/2,068.56'30"

69 TREES

1 TREE PER 30' L.F.

103 SHRUBS

104 SHRUBS

INTERNAL DRIVE PUBLIC STREET SHRUBS PROVIDED

INTERNAL DRIVE PUBLIC STREET SHRUBS PROVIDED

OPEN YARD/SITE LANDSCAPE REQUIRED (Sec. 8.790.B)

427,866.69 S.F.

61 TREES

122 SHRUBS

48 EVERGREENS**

LOT AREA

BUILDING AREA

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)/(303,695.96/5000)

TREES PROVIDED

SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)/(303,695.96/5000X2)

SHRUBS PROVIDED

PARKING LOT LANDSCAPE (Sec. 8.810 & 8.820)

427,866.69 S.F.

180.1 S.F.

1 PER ISLAND

1 PER ISLAND

(2.5 FT. HT. LONG ENTIRE FRONTAGE ADJ. TO STREET)

SCREENING ACHIEVED USING METHOD 4 "COMBINATION".

DETACHED GARAGES LINE THE PERIMETER & ARE

DESIGNED W/ THE SAME ARCHITECTURAL

AESTHETIC AS THE BUILDINGS (C.3 "WALL"). & THE

LANDSCAPE PROVIDED UNDER

SEC. 8.970.1.3 FOR STREET FRONTRAGE PROVIDED WILL

BE ERECTED

AT THE ELEVATION AT THE GAPS TO MEET THE DENSITY

OF C.1 "PLANTED".

BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890 & Sec. 8.900)

180.1 S.F.

S.F.

EAST BOUNDARY

USE COMPARISON

BUFFER REQUIRED

SCREENING REQUIRED

BUFFER WIDTH PROVIDED

SCREENING PROVIDED

BUFFER OPTION SELECTED

SCREEN A

EAST BOUNDARY

RP-3 ADJ TO RP-1

L=LOW IMPACT

20 FEET

20 FEET

SCREEN A

*STREET INTERSECTIONS AND DRIVEWAYS PREVENT MEETING REQUIREMENT

**1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

PREPARED BY:

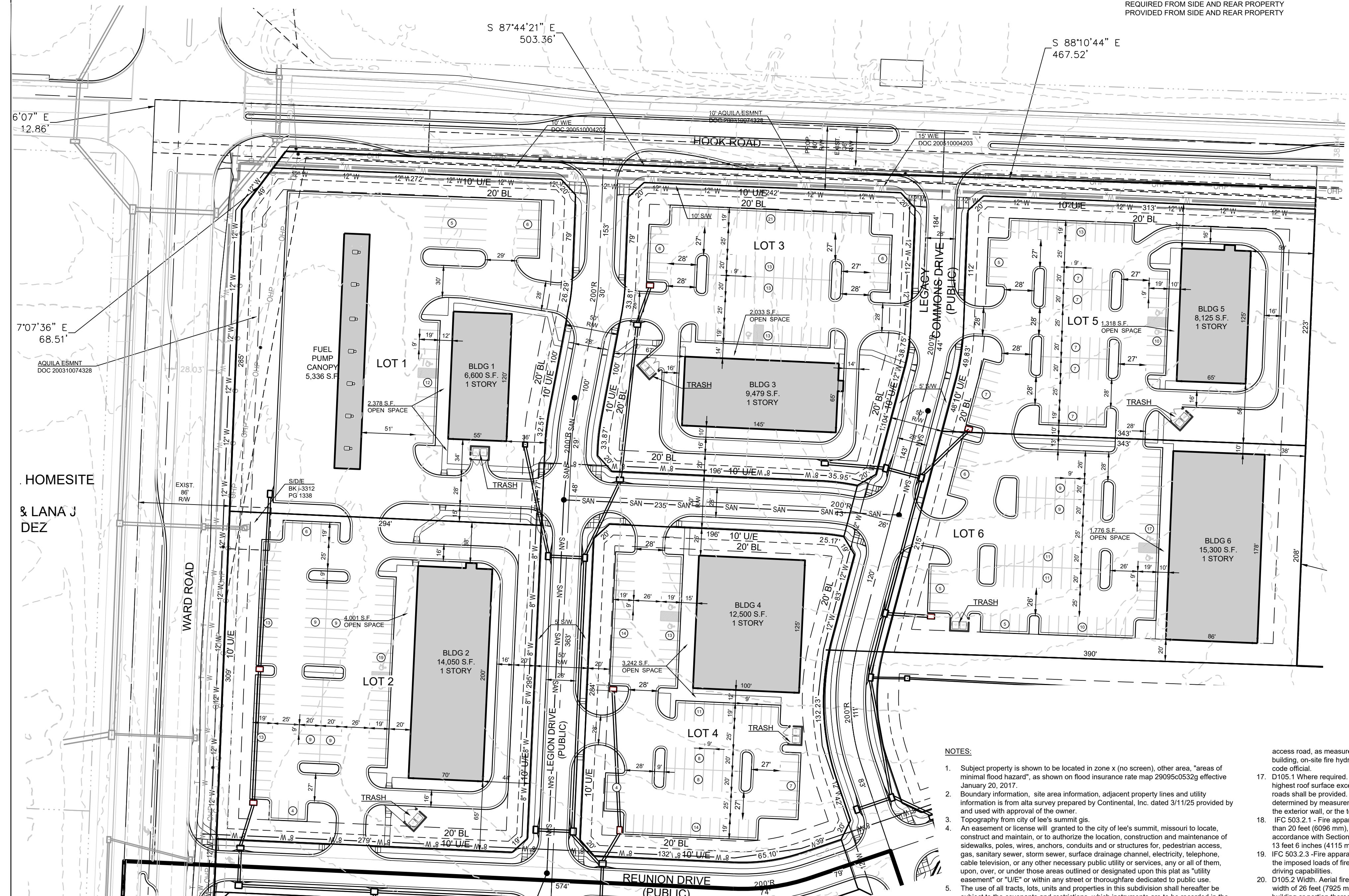
 LEGACY RIDGE MIXED USE
 PRELIMINARY DEVELOPMENT PLAN
 WARD ROAD AND HOOK ROAD
 LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
SCH	1-1-1-2025	CITY COMMENTS
	13-9-2025	CITY COMMENTS
CHECKED BY:		
SCH		
DATE PREPARED:		
104-2025		
PROJ. NUMBER:		
25-019		

TOWNHOME LANDSCAPE PLAN

SHEET C4.3

SCALE: 1" = 60'



HOMESITE
& LANA J
DEZ

NOTES:

- Subject property is shown to be located in zone x (no screen), other area, "areas of minimal flood hazard", as shown on flood insurance rate map 2909505052g effective January 20, 2017.
- Boundary information, site area information, adjacent property lines and utility information is from site survey prepared by Continental, Inc. dated 3/11/25 provided by and used with the approval of the owner.
- Topography is from Lee's Summit GIS.
- An easement or license was granted to the city of Lee's Summit, Missouri to locate, construct and maintain, or to authorize the location, construction and maintenance of sidewalks, poles, wires, anchors, conduits and/or structures for; pedestrian access, gas, sanitary sewer, storm sewer, surface drainage channel, electricity, telephone, cable television, or any other necessary public utility or services, any or all of them, upon the property or premises described in this plan, or any part thereof, "utility easement" or "U/E" or within any street or thoroughfare dedicated to public use.
- The use of all tracts, lots, units and properties in this subdivision shall hereafter be subject to the covenants and restrictions, which instruments are to be recorded in the office of the recorder of deeds of Jackson County, Missouri, as provided above, and which are to be a part of the title to all property in this subdivision.
- Building lines (BL) setback lines will established as shown on the plat and no building or portion thereof shall be constructed between this line and street right-of-way.
- All construction must comply with the most recent adopted city code, ordinances, and design standards.
- All parking lots shall have CC-1 curb as required by code.
- All parking lots shall be asphalt unless otherwise noted on the plan.
- All drive aisles, driveways, and streets are dimensioned from back of curb to back of curb on this plan.
- All accessible parking shall comply with the ADA requirements.
- Lighting shall comply with the requirements of the UDO Article 8. All lighting along the public streets shall be the City standard street light. All private lights within the commercial area shall be arranged, located and/or screened so that light is directed away from and no light source is visible from a public street or residential use. A photometric plan for lighting shall be provided with the final development plans.
- All issues pertaining to fire safety shall be addressed by the final development plans.
- Based on the geologic data on Missouri department of natural resources web site there are no known areas of subsidence or ground movement.
- Lighting shall comply with the requirements of the UDO Article 8. All lighting along the public streets shall be the City standard street light. All private lights within the commercial area shall be arranged, located and/or screened so that light is directed away from and no light source is visible from a public street or residential use.
- Fire department connection. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
- IFC 507.5.1- Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus

LOT #	AREA (SF)
LOT 1	98,394.17
LOT 2	90,400.91
LOT 3	73,644.02
LOT 4	72,433.30
LOT 5	73,310.51
LOT 6	76,371.45

SITE DATA
EXISTING ZONING
PROPOSED ZONING
GROSS SITE AREA
WARD & HOOK ROW AREA
INTERNAL ROW AREA
NET SITE AREA
PROJECT DATA (Sec. 6.030, Table 6-2)
DENSITY PER CODE
DENSITY PROPOSED
MINIMUM LOT SIZE
MINIMUM LOT WIDTH PROPOSED
MINIMUM LOT WIDTH PER CODE
LOT WIDTH PROPOSED
BUILDING SETBACKS
REQUIRED FRONT YARD MAJOR STREET
PROVIDED FRONT YARD MAJOR STREET
REQUIRED FRONT YARD FROM OTHER STREETS
PROVIDED FRONT YARD FROM OTHER STREETS
REQUIRED SIDE YARD SETBACK FROM LOT LINE
SIDE YARD SETBACK PROVIDED
REQUIRED REAR YARD SETBACK
REAR YARD SETBACK PROVIDED
PARKING SETBACKS (Sec. 8.620)
REQUIRED FROM PUBLIC RIGHT OF WAY
PROVIDED FROM PUBLIC RIGHT OF WAY
REQUIRED FROM RESIDENTIAL USE
PROVIDED FROM RESIDENTIAL USE
REQUIRED FROM SIDE AND REAR PROPERTY
PROVIDED FROM SIDE AND REAR PROPERTY

AG - AGRICULTURAL
CP-2
13.52 ACRES (589,163.31 S.F.)
2.82 ACRES (122,907.69 S.F.)
2.02 ACRES (88,013.52 S.F.)
8.68 ACRES (378,242.10 S.F.)

LOT 1 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

2.26 ACRES (98,394.17 S.F.)
6,900 S.F.
53,537.19 S.F.
62,157.19 S.F.
5 PER 1,000SQFT
33 SPACES
23 SPACES(18 OPEN, 14 PUMP, 5 TRAILER)
1 SPACE
1 SPACE
5% OF PARKING AREA
848.70 S.F.
1,360.00 S.F.

PARKING DATA
CODE REQUIREMENT(Sec. 8.630 - Vehicle parking Table 8-1)
PARKING REQUIRED PER CODE (6,600/1000 X 5)
PARKING PROVIDED
ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 18 X 0.2)
ACCESSIBLE PARKING SPACES PROVIDED
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(16,974 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED

36,236.98 S.F.
1,811.85 S.F.
2,378.00 S.F.

LOT 2 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

2.07 ACRES (90,400.91 S.F.)
14,050 S.F. (INCL. 2,100 S.F. RESTAURANT)
40,450.51 S.F.
54,590.51 S.F.
14 PER 1,000 S.F. RESTAURANT
5 PER 1,000 S.F. OTHER RETAIL
90 SPACES
91 SPACES (31 REST., 60 RETAIL)
2 SPACES
5% OF PARKING AREA
1,659.95 S.F.
2,676.00 S.F.

OPEN SPACE DATA
OPEN SPACE AREA
PUBLIC GATHERING OPEN SPACE REQUIRED BY CODE(Sec. 8.130)(5%)(36,236.98 x 0.05)
PUBLIC GATHERING OPEN SPACE PROVIDED

35,810.40 S.F.
1,790.52 S.F.
4,001.00 S.F.

LOT 3 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

1.69 ACRES (73,644.02 S.F.)
9,475 S.F. (INCL. 1,400 S.F. RESTAURANT)
33,729.17 S.F.
43,208.17 S.F.
14 PER 1,000 S.F. RESTAURANT
5 PER 1,000 S.F. OTHER RETAIL
61 SPACES
72 SPACES (20 REST., 52 RETAIL)
2 SPACES
2 SPACES
5% OF PARKING AREA
1,466.80 S.F.
2,587.00 S.F.

OPEN SPACE DATA
OPEN SPACE AREA
PUBLIC GATHERING OPEN SPACE REQUIRED BY CODE(Sec. 8.130)(5%)(35,810.40 x 0.05)
PUBLIC GATHERING OPEN SPACE PROVIDED

30,435.85 S.F.
1,521.79 S.F.
2,033.00 S.F.

LOT 4 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

1.66 ACRES (72,433.30 S.F.)
12,500 S.F.
29,889.88 S.F.
42,389.88 S.F.
5 PER 1,000SQFT
63 SPACES
79 SPACES
2 SPACES
2 SPACES
5% OF PARKING AREA
1,639.65 S.F.
3,503 S.F.

OPEN SPACE DATA
OPEN SPACE AREA
PUBLIC GATHERING OPEN SPACE REQUIRED BY CODE(Sec. 8.130)(5%)(30,435.85 x 0.05)
PUBLIC GATHERING OPEN SPACE PROVIDED

30,043.42 S.F.
1,502.17 S.F.
3,242.00 S.F.

LOT 5 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

1.68 ACRES (73,310.51 S.F.)
8,125 S.F. (INCL. 3,200 S.F. RESTAURANT)
36,904.52 S.F.
45,029.52 S.F.
14 PER 1,000 S.F. RESTAURANT
5 PER 1,000 S.F. OTHER RETAIL
70 SPACES (45 REST., 25 RETAIL)
70 SPACES (45 REST., 25 RETAIL)
2 SPACES
2 SPACES
5% OF PARKING AREA
1,772.65 S.F.
4,749 S.F.

OPEN SPACE DATA
OPEN SPACE AREA
PUBLIC GATHERING OPEN SPACE REQUIRED BY CODE(Sec. 8.130)(5%)(30,043.42 x 0.05)
PUBLIC GATHERING OPEN SPACE PROVIDED

28,280.99 S.F.
1,414.05 S.F.
1,318.00 S.F.

LOT 6 DATA
LOT AREA
BLDG AREA
DRIVE AND PARKING AREA
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)

1.75 ACRES (76,371.45 S.F.)
15,300 S.F.
34,337.35 S.F.
49,637.35 S.F.
5 PER 1,000SQFT
77 SPACES
83 SPACES
2 SPACES
2 SPACES
5% OF PARKING AREA
1,934.60 S.F.
4,143 S.F.

OPEN SPACE DATA
OPEN SPACE AREA
PUBLIC GATHERING OPEN SPACE REQUIRED BY CODE(Sec. 8.130)(5%)(26,734.10 x 0.05)
PUBLIC GATHERING OPEN SPACE PROVIDED

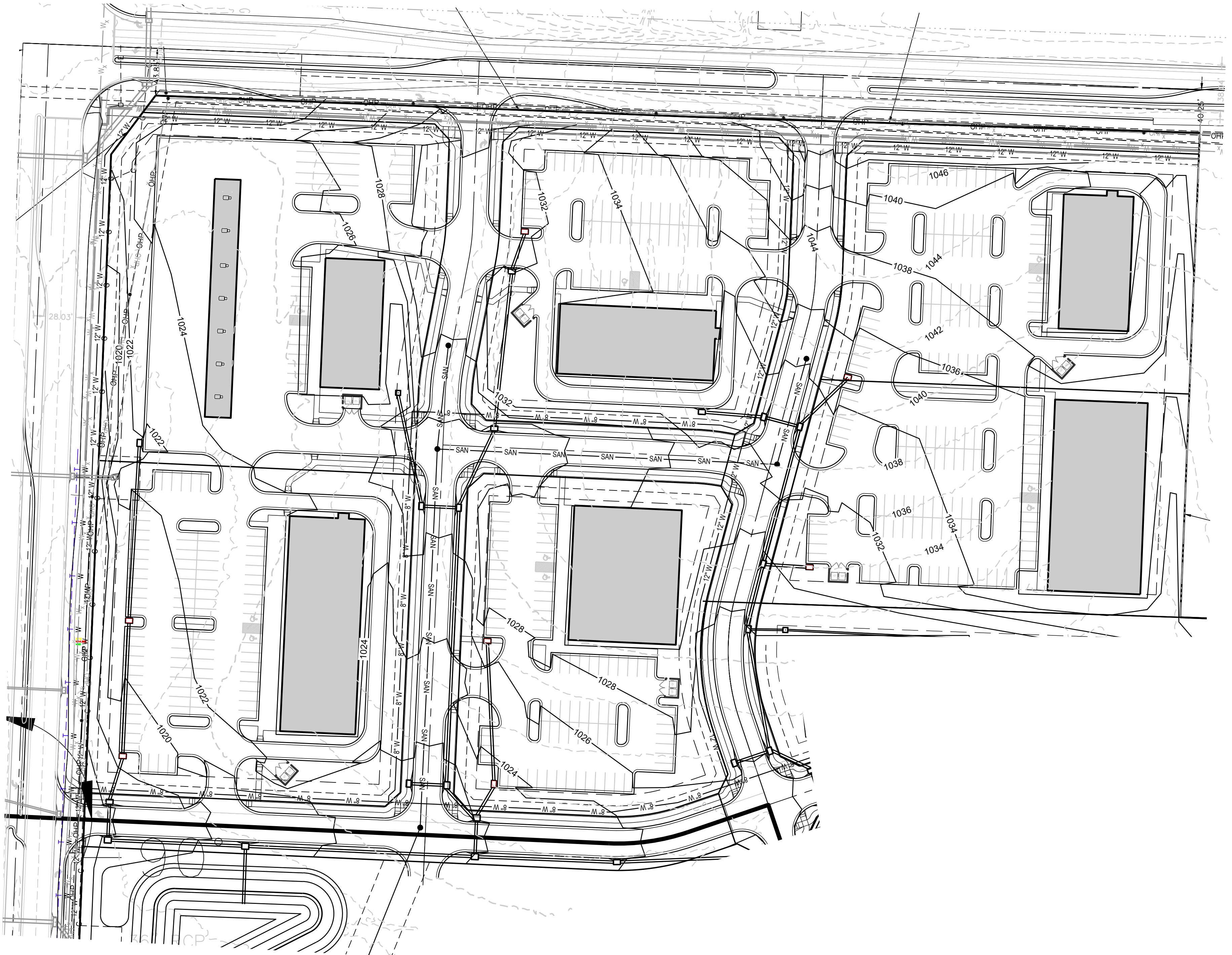
26,734.10 S.F.
1,336.70 S.F.
1,776.00 S.F.

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-3400
www.SCHLAGELASSOCIATES.COM

PREPARED BY:

**LEGACY RIDGE MIXED USE
PRELIMINARY DEVELOPMENT PLAN**
WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

COMMERCIAL SITE PLAN
SHEET C5.0
DRAWN BY: SCH
REVISED DATE: 1-11-2025
CITY COMMENTS: CITY COMMENTS
CHECKED BY: SCH
DATE PREPARED: 1-11-2025
DATE DRAWN: 1-11-2025
PROJ. NUMBER: 25-019
SCALE: 1" = 60'



GRADING LEGEND: _____

— 1023 — — — EXISTING CONTOUR
— 1023 — PROPOSED CONTOUR

GRADING NOTES:

EXISTING TOPOGRAPHY SHOWN ON THIS PLAN IS FROM LEE'S SUMMIT GIS. NO DRONE OR FIELD TOPOGRAPHIC SURVEY HAS BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.

PROPOSED TOPOGRAPHY IS CONCEPTUAL AND WILL CHANGE WITH THE FINAL DEVELOPMENT PLAN AND PERMIT PLANS.

EARTHWORK CALCULATIONS ARE NOT PART OF THE PRELIMINARY DEVELOPMENT PLAN SERVICES PROVIDED BY THE ENGINEER.

NO SOIL BORINGS OR GEOTECHNICAL INVESTIGATIONS HAVE BEEN COMPLETED OR PROVIDED BY THE DEVELOPER.

RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.

PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.

ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY TECHNICAL SPECIFICATIONS.

ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.

. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.

. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS, AT THE CONTRACTOR'S EXPENSE.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD
LEE'S SUMMIT, MISSOURI

DRAWN BY:		REVISION DATE	DESCRIPTION
SCH		1 11-11-2025 2 12-9-2025	CITY COMMENTS
CHECKED BY:		3 4	CITY COMMENTS
SCH			
DATE PREPARED:		5 6 7	
		10-9-2025	
PROJ. NUMBER:		8 9	
		25-019	
<p style="text-align: center;">COMMERCIAL GRADING PLAN</p>			
<p style="text-align: center;">SHEET</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">C5.1</p>			

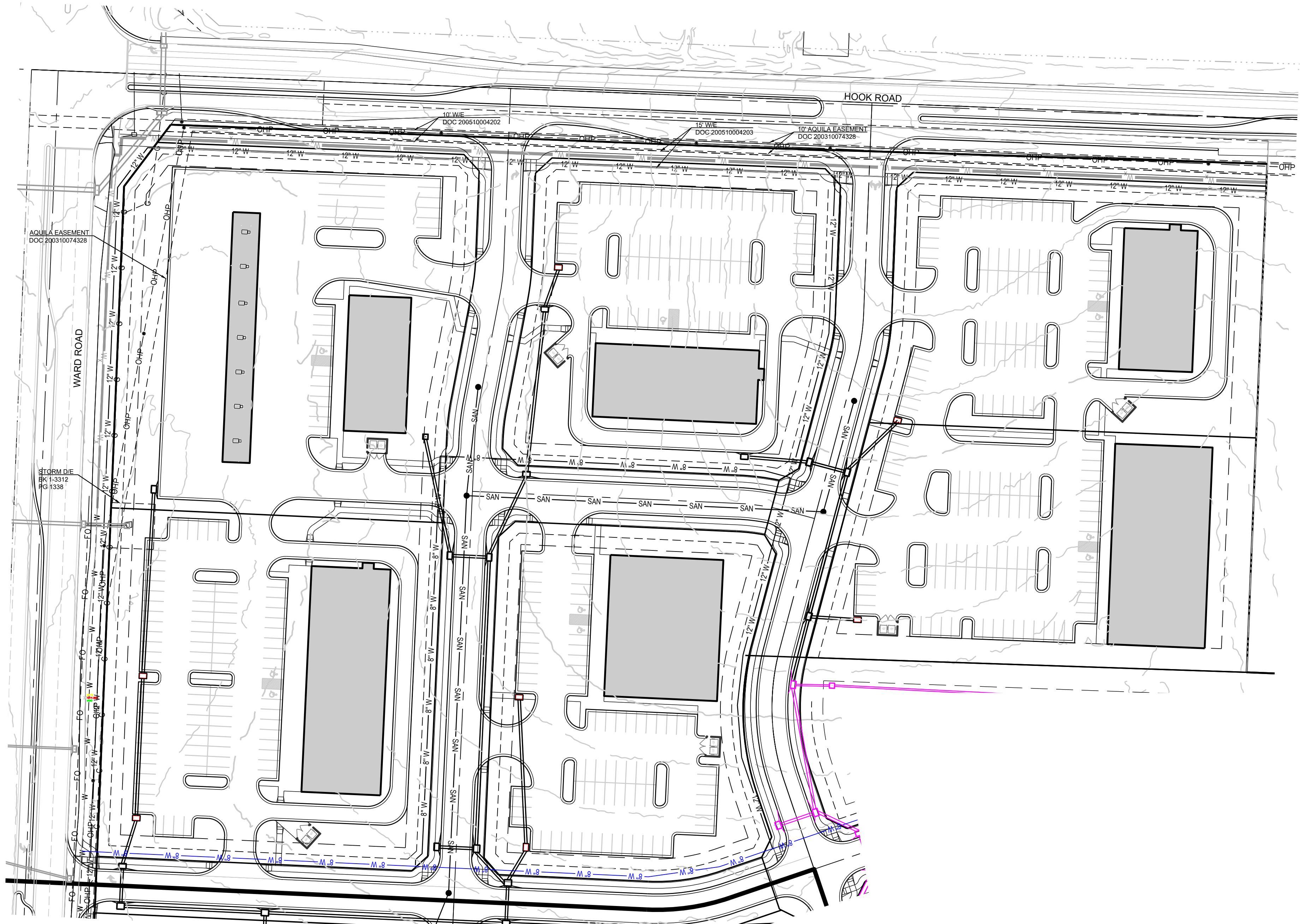


SHEET

C5.1

A horizontal scale bar consisting of a series of alternating black and white squares. The first two squares are black, followed by a white square containing the text "60'". After a short gap, there is a single black square containing the text "1'".

SCALE: 1" = 60'



GENERAL NOTES:

1. Existing topography shown on this plan is from Lee's Summit GIS. No drone or field topographic survey has been completed or provided by the developer.
2. Existing utilities have been shown to the greatest extent possible based upon ALTA survey by others, City of Lee's Summit GIS and information from utility companies provided to the Engineer. The existing utilities shown have not been verified by the Engineer. The Engineer and/or its representatives can not and will not provide certification and is not liable for the location, elevations, and capacity of the existing utilities. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer. Existing forcemain location and elevations from asbuilts provided by the Little Blue River Sewer district. Pipeline location and elevations from City GIS and pipeline company. All other utilities shown on this plan are from the ALTA survey by others or City GIS.
3. The utility layout shown on this drawing is conceptual and will likely change with the final and permit plans. This drawing shall not be used for construction or cost estimates.
4. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
5. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
6. All construction shall comply with the City technical specifications.
7. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary sewer lines, manholes, and sanitary sewer service laterals, as measured from edge to edge. If minimum separations can not be obtained, concrete encasement of the sanitary line shall be required 10 feet in each direction of the conflict.
8. The public sanitary sewer shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 20 feet.
9. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
10. The contractor is responsible for protection of all property corners. any property corners disturbed or damaged by grading activities shall be reset by a professional land surveyor licensed in the state of kansas, at the contractor's expense.

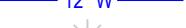
PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

LEGACY RIDGE MIXED USE PRELIMINARY DEVELOPMENT PLAN

WARD ROAD AND HOOK ROAD LEE'S SUMMIT, MISSOURI

LEGEND:

A/E	- ACCESS EASEMENT	 SAN	SANITARY SEWER MAIN
B/C	- BACK OF CURB	 SAN _x	SANITARY SEWER MAIN - EXIST.
B/B	- BACK TO BACK	 STORM	STORM SEWER
B/M	- BENCHMARK	 STORM	STORM SEWER - EXISTING
BL or B.L.	- BUILDING LINE	 CATV _x	CABLE TV - EXISTING
CO	- CLEANOUT	 FOC _x	FIBER OPTIC CABLE - EXISTING
TJB	- TELEPHONE JUNCTION BOX	 T _x	TELEPHONE LINE - EXIST.
C&G	- CURB AND GUTTER	 E _x	ELECTRIC LINE - EXISTING
D/E	- DRAINAGE EASEMENT	 OHP _x	OVERHEAD POWER LINE - EXIST.
E/E	- ELECTRICAL EASEMENT	 UGE _x	UNDERGROUND ELECTRIC - EX.
EL	- ELEVATION	 G _x	GAS LINE - EXISTING
FL	- FLOW LINE	 W _x	WATERLINE - EXISTING
G/E	- GAS LINE EASEMENT	 8" W	WATERLINE - 8"
HDPE	- HIGH-DENSITY POLYETHYLENE	 12" W	WATERLINE - 12"
/E	- LANDSCAPE EASEMENT		LIGHT - EXISTING
MSFE	- MINIMUM SERVICEABLE FLOOR ELEVATION		EXISTING MANHOLE
PVC	- POLYVINYL CHLORIDE		CLEANOUT
P/L	- PROPERTY LINE		EXISTING SANITARY MANHOLE
PUB/E	- PUBLIC EASEMENT		PROPOSED SANITARY MANHOLE
RCP	- REINFORCED CONCRETE PIPE		EXISTING AREA INLET
ROW or R/W	- RIGHT-OF-WAY		EXISTING CURB INLET
S/E	- SANITARY SEWER EASEMENT		EXISTING GRATE INLET
SL	- SERVICE LINE		EXISTING JUNCTION BOX
S/W	- SIDEWALK		EXISTING STORM MANHOLE
TE	- TOP ELEVATION		
U/E	- UTILITY EASEMENT		
WSE	- WATER SURFACE ELEVATION		
W/E	- WATERLINE EASEMENT		
	ASPHALT PAVEMENT - EXISTING		
	ASPHALT PAVEMENT - PROPOSED		
	CONCRETE PAVEMENT - EXISTING		
	ASPHALT PAVEMENT - EXISTING		
	CONCRETE SIDEWALK - EXISTING		
	CONCRETE SIDEWALK - PROPOSED		
	CURB & GUTTER		
	CURB & GUTTER - EXISTING		
	TREELINE		
	EXISTING LOT AND R/W LINES		
	EXISTING PLAT LINES		
P/L	PROPERTY LINES		
ROW	RIGHT-OF-WAY		

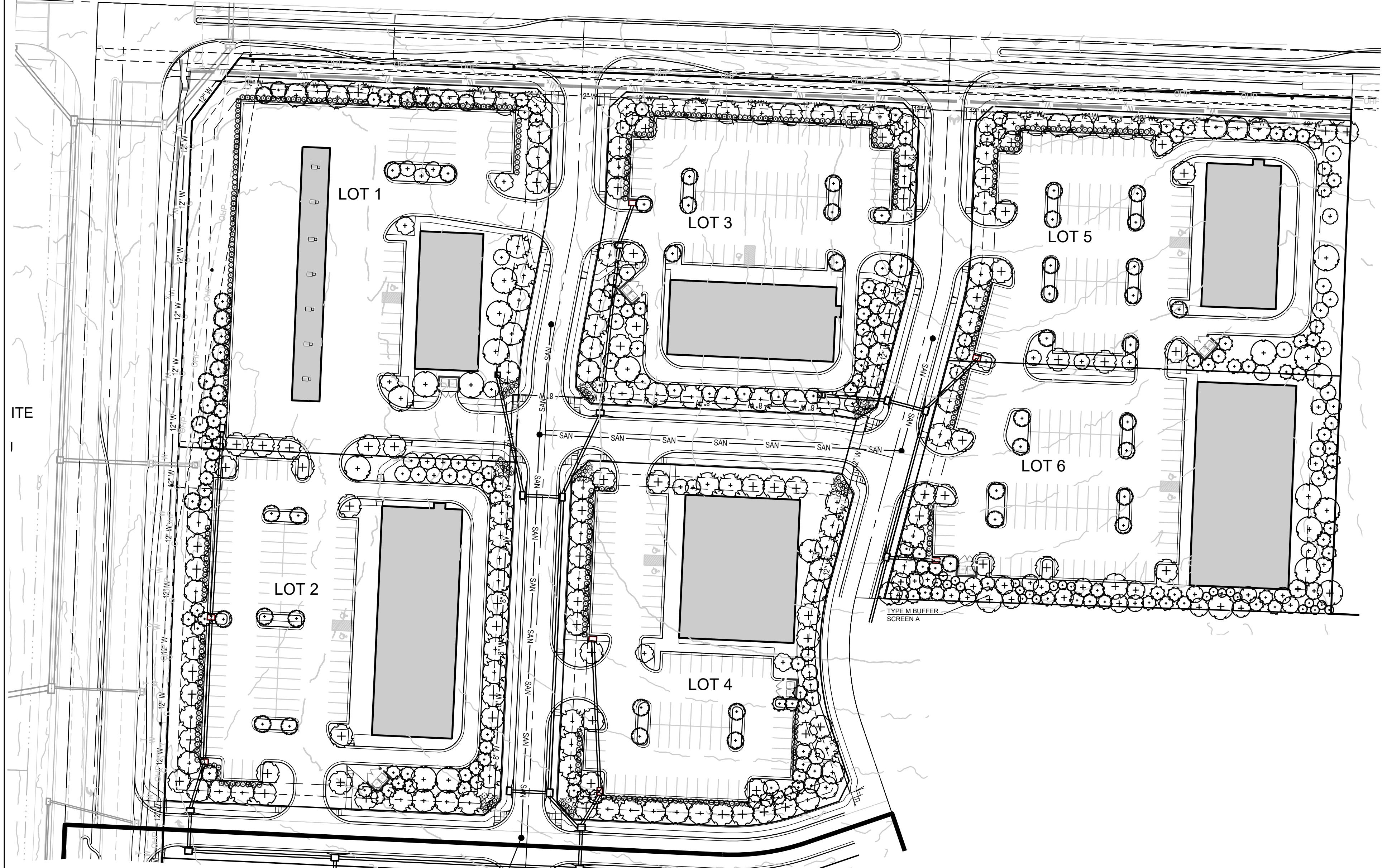
SHEET

C5 2

63.2

A diagram of a rectangular area divided into four quadrants. The top-left and bottom-right quadrants are black, while the top-right and bottom-left quadrants are white. The central walkway is 10' wide and 60' long, extending from the top edge to the bottom edge of the diagram. The text "60'" is centered below the walkway, and "120'" is centered to its right.

SCALE: 1" = 60'



NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NATIVE STOCK PLANTS.
- ALL TREES SHALL MEET THE REQUIREMENTS OF THE CITY ORDINANCE. ALL TREES SHALL BE CALIPERED, AND UNDESIRABLE TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS WITHIN LANDSCAPE EASEMENTS TRACTS AND THE RIGHT OF WAY SHALL BE SODDED UNLESS INDICATED ON THE PLANS TO BE SEEDED WITH NATIVE VEGETATION AS PART OF A CITY IMPROVEMENT CONSTRUCTION. TEMPORARY SEEDING SHALL BE COMPLETED IN THE LOT AREAS PER LAND DISTURBANCE PLANS. ALL LOT AREAS TO BE SODDED AFTER ALL BUILDING, PARKING AND OTHER SITE IMPROVEMENTS ARE COMPLETED.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LENEXA, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUNDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE 6 FEET FROM BACK OF CURB TO THE CENTER SHRUB FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. NO TREE SHALL BE LOCATED LESS THAN 4 FEET FROM THE BACK OF CURB.
- AFTER THE PLANTING OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

SHADE TREES

ASC	18 EA.	Acer saccharum 'Autumn Splendor'	Caddo Sugar Maple	2.5" Cal.	B&B
ATW	47 EA.	Acer truncatum 'Warren'	Pacific Sunset Maple	2.5" Cal.	B&B
QB	1 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
QRC	12 EA.	Quercus robur 'Crimson Spire'	Crimson Spire Oak	2.5" Cal.	B&B
QR	4 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
TTS	50 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
UXF	80 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
ZSM	58 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES

AGF	42 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
AC	12 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
BN	21 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
SRI	11 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B

EVERGREEN TREES

JCK	23 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
JVC	129 EA.	Juniperus virginiana 'Canaertii'	Canaert Juniper	6' ht.	B&B

SHRUBS

JHH	64 EA.	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal.	Cont.
JVG	417 EA.	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	5 gal.	Cont.
RAG	32 EA.	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant sumac	5 gal.	Cont.
VPS	24 EA.	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum	5 gal.	Cont.

LANDSCAPE DATA

STREET FRONTRAGE LANDSCAPE(Sec. 8.790.A)

WARD ROAD ARTERIAL PUBLIC STREET FRONTRAGE TREES REQUIRED (1 PER 30')(634.4'30')
WARD ROAD ARTERIAL PUBLIC STREET FRONTRAGE TREES PROVIDED
WARD ROAD ARTERIAL PUBLIC STREET FRONTRAGE SHRUBS REQUIRED (1 PER 20')(634.4'20')
WARD ROAD ARTERIAL PUBLIC STREET FRONTRAGE SHRUBS PROVIDED

HOOK ROAD ARTERIAL PUBLIC TREES REQUIRED (1 PER 30')(882.39'30')EXCL. CROSS ST. R/W)
HOOK ROAD ARTERIAL PUBLIC TREES PROVIDED
HOOK ROAD ARTERIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(882.39'20')
HOOK ROAD ARTERIAL PUBLIC STREET SHRUBS PROVIDED

NORTH SOUTH LOCAL PUBLIC TREES REQUIRED (1 PER 30')(632.4'30')
NORTH SOUTH LOCAL PUBLIC TREES PROVIDED
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS PROVIDED
NORTH SOUTH LOCAL PUBLIC STREET SHRUBS PROVIDED

EAST WEST LOCAL PUBLIC TREES REQUIRED (1 PER 30')(632.4'30')
EAST WEST LOCAL PUBLIC TREES PROVIDED
EAST WEST LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(632.4'20')
EAST WEST LOCAL PUBLIC STREET SHRUBS PROVIDED

INTERNAL LOCAL PUBLIC TREES REQUIRED (1 PER 30')(1,112.85'30')
INTERNAL LOCAL PUBLIC TREES PROVIDED
INTERNAL LOCAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20')(1,112.85'20')
INTERNAL LOCAL PUBLIC STREET SHRUBS PROVIDED

LOT 1 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 1 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(91,794.17/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(91,794.17/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(16,974 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

LOT 2 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 2 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(89,200.10/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(89,200.10/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(33,139 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

LOT 3 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 3 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(64,165.02/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(64,165.02/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(29,336 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

LOT 4 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 4 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(59,933.30/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(59,933.30/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(32,793 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

LOT 5 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 5 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(65,185.51/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(65,185.51/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(35,453 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

LOT 6 LANDSCAPE DATA

OPEN YARD AREAS (Sec. 8.790.B)

LOT 6 AREA
BUILDING AREA
OPEN YARD AREA
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(61,071.45/5000)
TREES PROVIDED
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(61,071.45/5000X2)
SHRUBS PROVIDED

PARKING LOT LANDSCAPE(Sec. 8.810 & 8.820)
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(Sec. 8.810)
PARKING LOT LANDSCAPE AREA REQUIRED(38,692 x 0.05)
PARKING LOT LANDSCAPE AREA PROVIDED
TREES REQUIRED
TREES PROVIDED
SCREENING REQUIRED
SCREENING PROVIDED

BUFFER SCREENING & LANDSCAPE(Sec. 8.890 Table 8.890&Sec. 8.900)

BUFFER LOCATION
USE COMPARISON
BUFFER REQUIRED
BUFFER PROVIDED
DEVIATION REQUESTED

BUFFER WIDTH REQUIRED
BUFFER WIDTH PROVIDED
BUFFER OPTION SELECTED

SHADE TREES REQUIRED (1/500 S.F.)(393.89X20/500)

SHADE TREES PROPOSED

ORNAMENTAL TREES REQUIRED (1/750 S.F.)(393.89X20/750)

ORNAMENTAL TREES PROPOSED

EVERGREEN TREES REQUIRED (1/300 S.F.)(393.89X20/300)

EVERGREEN TREES PROPOSED

SHRUBS REQUIRED (1/200 S.F.)(393.89X20/200)

SHRUBS PROPOSED

*STREET INTERSECTIONS AND DRIVEWAYS PREVENT MEETING REQUIREMENT

**1 UPRIGHT EVERGREENS IS EQUAL TO 3 SHRUBS

SOUTH BOUNDARY
CP-2 ADJ TO RP-4
HIGH IMPACT(FENCE + LOW IMPACT PLANTING)
M=MEDIUM IMPACT (ADJ. USE ALSO HAS M BUFFER)
USE M BUFFER AND NO FENCE SING ADJ. USE ALSO HAS M BUFFER
AND PART OF THIS PROJECT

20 FEET
20 FEET

SCREEN A

16 SHADE TREES

16 SHADE TREES

11 ORNAMENTAL TREES

27 EVERGREEN TREES

41 EVERGREEN TREES (SEE NOTE BELOW FOR SHRUBS)

40 SHRUBS

14 EVERGREEN TREES INSTEAD OF SHRUBS

0 60' 120'

SCALE: 1" = 60'

0

60'

120'

120'

0

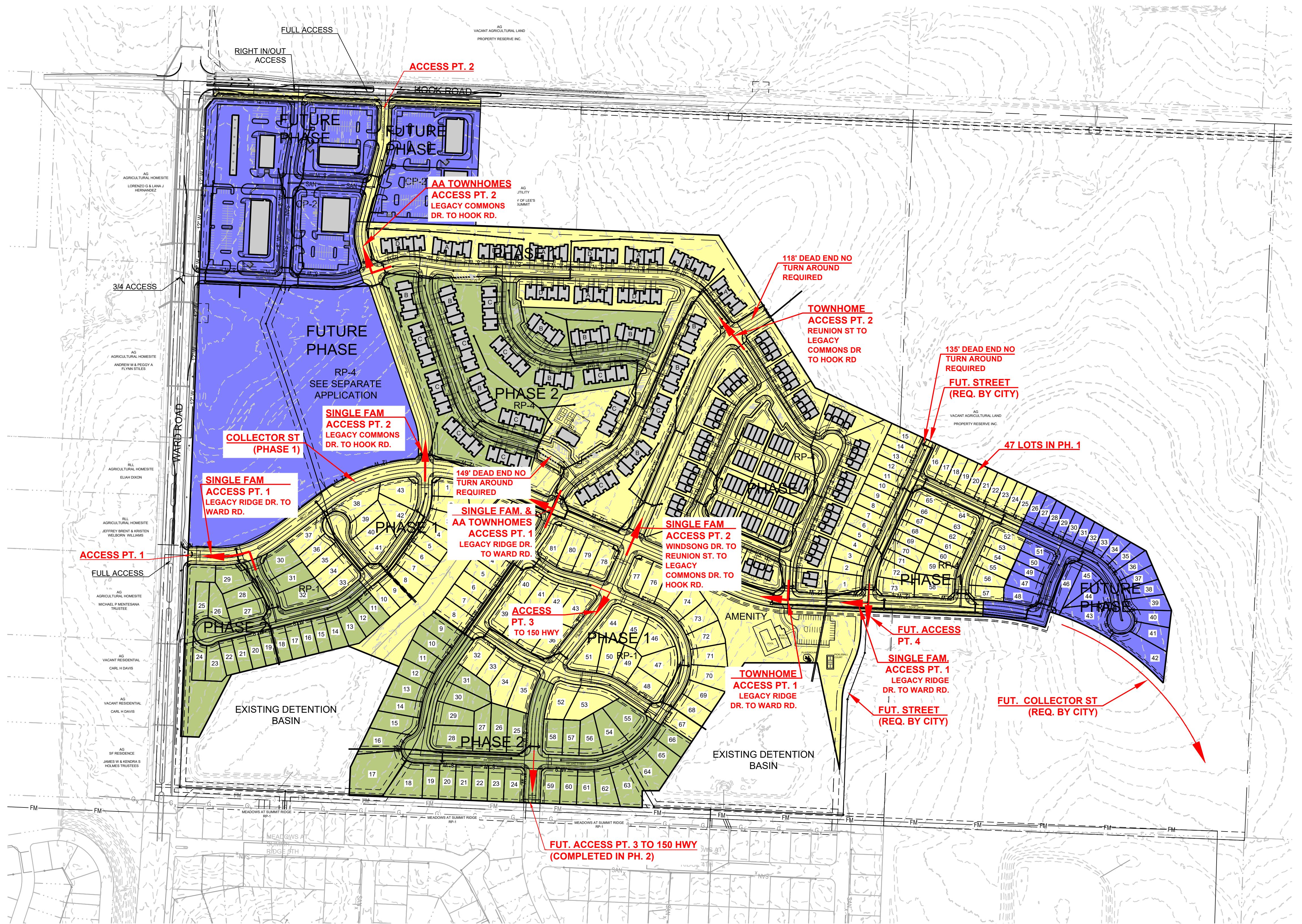
60'

120'

120'

0

60'



NOTE: ALL STREETS ARE PUBLIC

	PHASE 1															
	PHASE 2															
	FUTURE PHASE															
PREPARED BY:																
SCHLAGEL & ASSOCIATES, P.A.																
<p>LEGEND:</p> <ul style="list-style-type: none"> ● FOUND 1/2" REBAR WITH KSLS 54 CAP UNLESS OTHERWISE NOTED ■ FOUND MONUMENT AS NOTED ○ SET 1/2" REBAR W/LS-54 CAP UNLESS OTHERWISE NOTED - RIGHT-OF-WAY R/W - BUILDING LINE LNA - LIMITS OF NO ACCESS L/S - LANDSCAPE AREA D/E - DRAINAGE EASEMENT R/W - RIGHT-OF-WAY S/W - SIDEWALK S/E - SANITARY SEWER EASEMENT E/E - ELECTRICAL EASEMENT W/E - WATERLINE EASEMENT U/E - UTILITY EASEMENT U.V. - UTILITY VAULT B/B - BACK TO BACK OF CURB CURB & GUTTER — EXISTING LOT AND PROPERTY LINES - - - EXISTING PLAT AND R/W LINES — FENCE - ROD IRON — ELECTRIC LINE — FIBER OPTIC CABLE — GAS LINE — OVERHEAD POWER LINE — SANITARY SEWER MAIN — WATERLINE — EXISTING MANHOLE — LIGHT OVERHEAD — POWER PEDESTAL — TELEPHONE PEDESTAL — CABLE PEDESTAL — FIRE HYDRANT — WATER METER — WATER VALVE — GAS VALVE 																
<p>EMERGENCY ACCESS PLAN</p> <table border="1"> <tr> <td>DRAWN BY: SCH</td> <td>REVISION DATE: 1-1-1-2025</td> <td>DESCRIPTION: CITY COMMENTS</td> </tr> <tr> <td colspan="2"></td> <td>13-9-2025 CITY COMMENTS</td> </tr> <tr> <td colspan="2"></td> <td>CHECKED BY: SCH</td> </tr> <tr> <td colspan="2"></td> <td>DATE PREPARED: 5/2025</td> </tr> <tr> <td colspan="2"></td> <td>PROJ. NUMBER: 25-019</td> </tr> </table>		DRAWN BY: SCH	REVISION DATE: 1-1-1-2025	DESCRIPTION: CITY COMMENTS			13-9-2025 CITY COMMENTS			CHECKED BY: SCH			DATE PREPARED: 5/2025			PROJ. NUMBER: 25-019
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		CHECKED BY: SCH														
		DATE PREPARED: 5/2025														
		PROJ. NUMBER: 25-019														
SHEET F1.0																
SCALE: 1" = 200'																

OWNER:

PROPERTY RESERVE INC.
PO BOX 511196
SALT LAKE CITY, UT 84151-1196

DEVELOPER:

GRIFIN RILEY PROPERTY GROUP
21 SE 29TH TERRACE
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