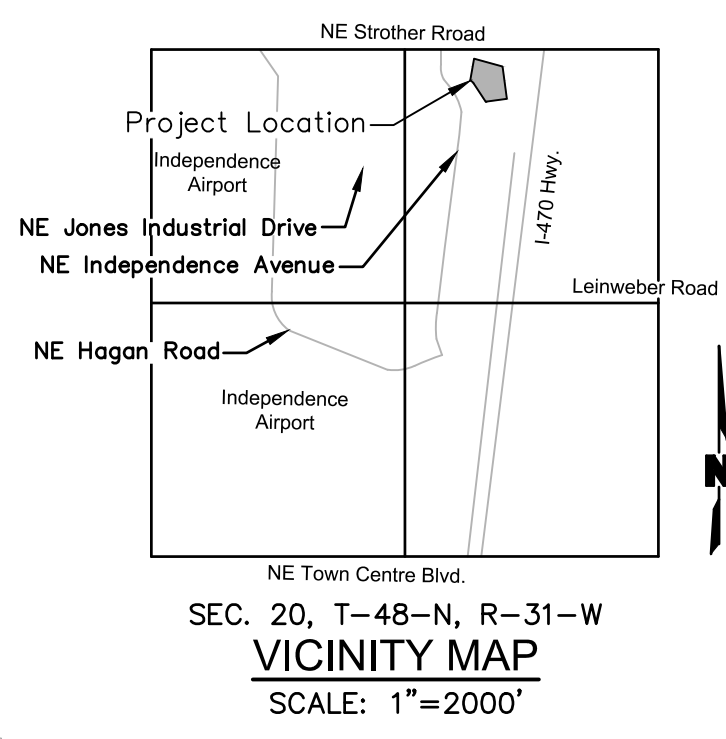
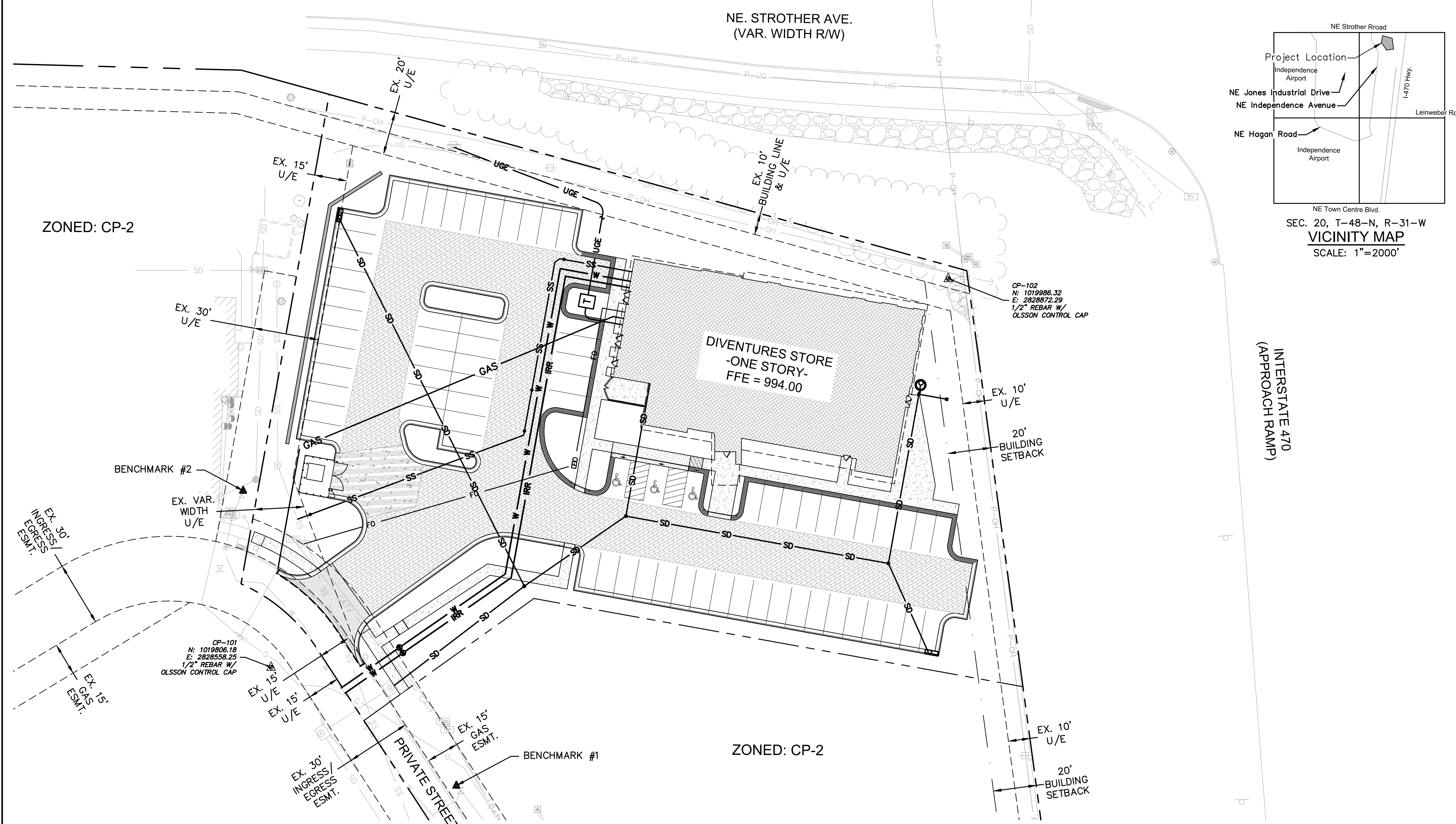


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SITE INFORMATION / PARKING TABLE	
LEGAL DESCRIPTION	
LOT 4B OF STROTHER CROSSING, LOCATED IN THE NW 1/4 OF THE NE 1/4, SECTION 20, T.48N., R.31E., CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
ADDRESS	
LOT 4B - STROTHER CROSSING, LEE'S SUMMIT, MO	
SITE DATA	
EXISTING LOT AREA (PER PLAT)	2.77 ACRES 120,661± S.F.
PROPOSED LOT AREA	1.64 ACRES 71,302± S.F.
PROPOSED EXCESS LOT AREA	1.13 ACRES 49,359± S.F.
TOTAL BUILDING FLOOR AREA	9,910± S.F.
FAR	0.139
TOTAL OPEN SPACE AREA	24,714 S.F. (34.7%)
TOTAL PAVED AREA	36,678 S.F.
TOTAL IMPERVIOUS AREA	46,588 S.F.
IMPERVIOUS SURFACE RATIO	46,588 / 71,302 S.F. (65.3%)
BUILDING HEIGHT	APPROX. 26'-6"
ZONING	
CP-2: PLANNED COMMUNITY COMMERCIAL	
PRESENT USE	VACANT
PROPOSED USE	RETAIL & AQUATIC CENTER
REQUIRED PARKING	
PARKING RATIO	RETAIL: 5 SPACES / 1,000 S.F. GROSS FLOOR AREA
STANDARD STALLS	48
STANDARD ACCESSIBLE STALLS	1
VAN ACCESSIBLE STALLS	1
TOTAL	50
PROVIDED PARKING	
REGULAR 9'x19' STALLS	70 STALLS
STANDARD 9'x19' ACCESSIBLE STALLS	2 STALLS
VAN ACCESSIBLE STALLS	1 STALLS
TOTAL	73 STALLS
PARKING RATIO	7.3 CARS / 1,000 S.F.

GENERAL NOTES:

- CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS (APPROVED BY CITY OF LEE'S SUMMIT, MO) AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS & SPECIFICATIONS AT THE SITE AT ALL TIMES.
- ALL REFERENCES CONTAINED WITHIN THESE PLANS TO THE OWNER'S ENGINEER ARE HEREBY REFERENCED OLSSON, INC.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL 811, AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !!STOP!! CALL BEFORE YOU DIG!!
- UTILITIES AS SHOWN WERE OBTAINED FROM INFORMATION INDICATED ON THE SURVEY OR BY FIELD OBSERVATION. CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN THE CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.
- CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE CITY OF LEE'S SUMMIT, OWNER AND ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL TRADE PERMITS AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS TO COMPLETE CONSTRUCTION AS SHOWN ON PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT-OF-WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES, TRAFFIC SIGNAL LOOP LEAD INS, SIGNAL POLES, ETC. DAMAGED IMPROVEMENTS SHALL BE REPAIRED IN CONFORMANCE WITH THE LATEST CITY STANDARDS AND TO THE CITY'S SATISFACTION.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK, DRIVEWAYS OR STRUCTURE UNLESS SHOWN TO BE REMOVED.
- ALL WORK WITHIN ROAD RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MO REQUIREMENTS, UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNER DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN TO COMPLETE CONSTRUCTION SHOWN ON PLANS.
- THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR TOP OF PAVEMENT, SIDEWALKS, CURBS AND FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.

- CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
- THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MIN. OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE, UNLESS SPECIFIED OTHERWISE.
- ALL BACKFILL SHALL BE TAMPED. BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE COMPACTED TO 95% MAX. DENSITY AS PER ASTM-D698 (STANDARD PROCTOR COMPACTION)
- THE CONTRACTOR IS RESPONSIBLE FOR ATTENDING TO AND CORRECTING UNSUITABLE SOIL CONDITIONS RELATED TO PLOW ZONES, WET SOILS AND OTHER CONDITIONS. THE UNSUITABLE CONDITIONS MUST BE CORRECTED PER THE GEOTECHNICAL ENGINEER'S REPORT, WHERE REQUIRED, TO MEET PROJECT NEEDS.
- ALL EXTERIOR CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND BE AIR ENTRAINED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL/MUD AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEMARK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND THE CITY OF LEE'S SUMMIT, MO.
- CONTRACTOR SHALL RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT AN OFF-SITE FACILITY. CONTRACTOR TO CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING BERMS, SILT FENCES, OR OTHER MEANS TO PREVENT ERODED MATERIALS FROM REACHING THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTIES. IN THE EVENT THE PREVENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS, SILT, OR MUD AND RESTORE THE RIGHT-OF-WAY TO ORIGINAL OR BETTER CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL PROCEDURES SHALL BE IN PLACE PRIOR TO BEGINNING GRADING ACTIVITIES.
- CONSTRUCTION ACCESS TO THE SITE SHALL BE LIMITED TO THE APPROVED TEMPORARY CONSTRUCTION ENTRANCE(S) AS SHOWN ON SHEET C601.
- TEMPORARY CONSTRUCTION ENTRANCE SHALL HAVE SHOT ROCK FOR ITS SURFACE.
- EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING THE WHOLE CONSTRUCTION PERIOD BY THE CONTRACTOR.
- CONTRACTOR SHALL PROTECT ANY STORM INLETS FROM SEDIMENT THAT TAKE STORM WATER FROM THE AREA OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL AND LANDSCAPING PLANS.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AT (816) 969-1200.

LEGEND

	RIGHT-OF-WAY LINE
	PROPERTY LINE
	UTILITY EASEMENT
	PROPOSED BUILDING SETBACK
	BENCHMARK
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. WATER METER
	EXIST. SPRINKLER CONTROL VALVE
	EXIST. GAS METER
	EXIST. SANITARY SEWER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. SEWER CLEANOUT
	EXIST. STORM DRAIN GRATE
	EXIST. GREASE TRAP
	EXIST. BREAKER BOX
	EXIST. ELECTRIC RISER
	EXIST. ELECTRIC VAULT
	EXIST. ELECTRIC BOX
	EXIST. TRAFFIC SIGNAL BOX
	EXIST. TRAFFIC SIGNAL
	EXIST. ROOF DRAIN
	EXIST. GRATE INLET
	EXIST. FIBER OPTIC VAULT
	EXIST. FIBER OPTIC MANHOLE
	EXIST. CABLE TELEVISION PEDESTAL
	EXIST. SIGN
	EXIST. DECIDUOUS TREE
	EXIST. CONIFEROUS TREE
	EXIST. BUSH
	EXIST. POWER POLE
	EXIST. LIGHT POLE
	EXIST. GUY WIRE
	EXIST. STEEL POST
	EXIST. WOOD POST
	EXIST. WATER PIPE
	EXIST. SANITARY PIPE
	EXIST. UNDERGROUND CABLE TV LINE
	EXIST. OVERHEAD POWER
	EXIST. UNDERGROUND POWER
	EXIST. NATURAL GAS LINE
	EXIST. STORM SEWER

ENGINEER:
 OLSSON, INC.
 RICKY HAASE
 550 ST. LOUIS STREET
 SPRINGFIELD, MO 65806
 TELE: (417) 890-8802
 FAX: (417) 890-8805

OWNER / APPLICANT / DEVELOPER:
 DIVERURES
 CONTACT: WILLIAM MUNROE
 11640 ARBOR STREET, SUITE 100
 OMAHA, NE 68144
 TELE: (531) 999-8425

NOTE:

PER MINOR PLAT FOR STROTHER CROSSING, LOTS 4A-4C, NO OIL AND GAS WELLS EXIST ON THIS PROPERTY ACCORDING TO THE MISSOURI DEPARTMENT OF NATURAL RESOURCES OIL AND GAS PERMIT DATABASE. ALSO, NO PHYSICAL EVIDENCE WAS FOUND TO SHOW AN OIL AND/OR GAS WELL IS PRESENT ON THIS TRACT.

FLOOD ZONE:

ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI, AND INCORPORATED AREAS. PANEL 430 OF 625, MAP #29095C0430G, WITH AN EFFECTIVE DATE OF JANUARY, 20 2017, THE SURVEYED PREMISES LIES WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

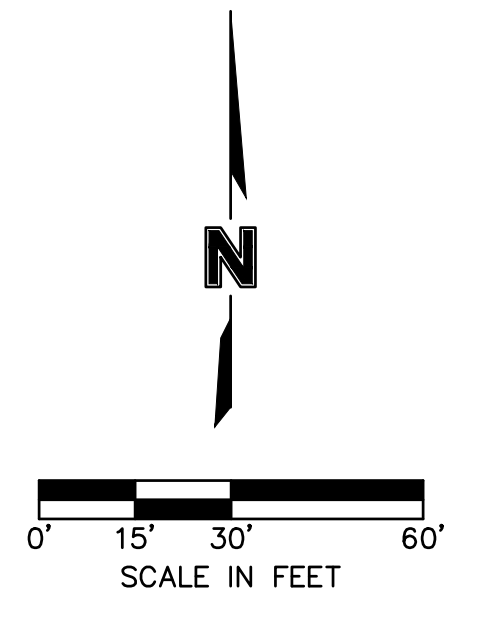
BENCHMARKS:

BENCHMARK #1:
 SET CHISELED "X" CUT OF THE NW BONNET BOLT OF A FIRE HYDRANT, 270± NORTHEAST OF THE C OF NE INDEPENDENCE AVE. ELEV=991.20' (NAVD 88)

BENCHMARK #2:
 TOP NUT OF FIRE HYDRANT APPROXIMATELY 43± NORTH OF SOUTHWEST PROPERTY CORNER ELEV=982.25' (NAVD 88)

CONTROL POINT NOTES:

- SEE PLANS FOR LOCATION AND DESCRIPTION
- CONTRACTOR OR CONTRACTOR'S SURVEYOR SHALL FIELD VERIFY HORIZONTAL CONTROL POINTS A MIN. OF 5 DAYS PRIOR TO STAKING/LAYOUT OF BUILDING(S). SITE FEATURES OR UTILITIES TO ENSURE PROPER PLACEMENT OF ALL CONSTRUCTION ASSOCIATED WITH THESE PLANS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



Olsson, Inc. MO State Certificate of Authority #001592 (Engineering)
 Olsson, Inc. MO State Certificate of Authority #2050500265 (Landscape Architecture)
 550 St. Louis St.
 Springfield, MO 65806
 TEL: 417.890.8802
 www.olson.com

PDP SUBMITTAL:	
NOT FOR CONSTRUCTION	

REV. NO.	DATE	DESCRIPTION	DESIGNER

GENERAL LAYOUT
 PRELIMINARY DEVELOPMENT PLAN

DIVERURES
 2951 NE INDEPENDENCE AVENUE
 LEE'S SUMMIT, MISSOURI

2022

drawn by: KAS	checked by: WKH
approved by: RGH	QA/QC by: RGH
project no.: 022-02622	drawing no.:
date: 06.28.2022	

SHEET C101

PAVEMENT MARKING NOTES:

- DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.
- ALLOW CONCRETE PAVING TO AGE FOR 28 DAYS BEFORE MARKING.
- ALL PAVEMENT SURFACES SHALL BE CLEANED/CLEARED OF ANY DEBRIS OR CURING COMPOUNDS IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS PRIOR TO ANY MARKING APPLICATIONS.
- DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
- PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROFESSIONAL FAST DRY ACRYLIC LATEX TRAFFIC MARKING PAINT OR EQUAL, USE WHITE, BLUE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:
 - BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE YELLOW COLOR.
 - PORTLAND CEMENT CONCRETE PAVING: USE YELLOW COLOR.
 - ADA ACCESSIBLE PARKING AND ENTRYWAYS: USE BLUE COLOR.
 - PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
- APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.
- DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. ADA ACCESSIBLE PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL ACCESSIBLE SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.

PDP SUBMITTAL:
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CONSTRUCTION

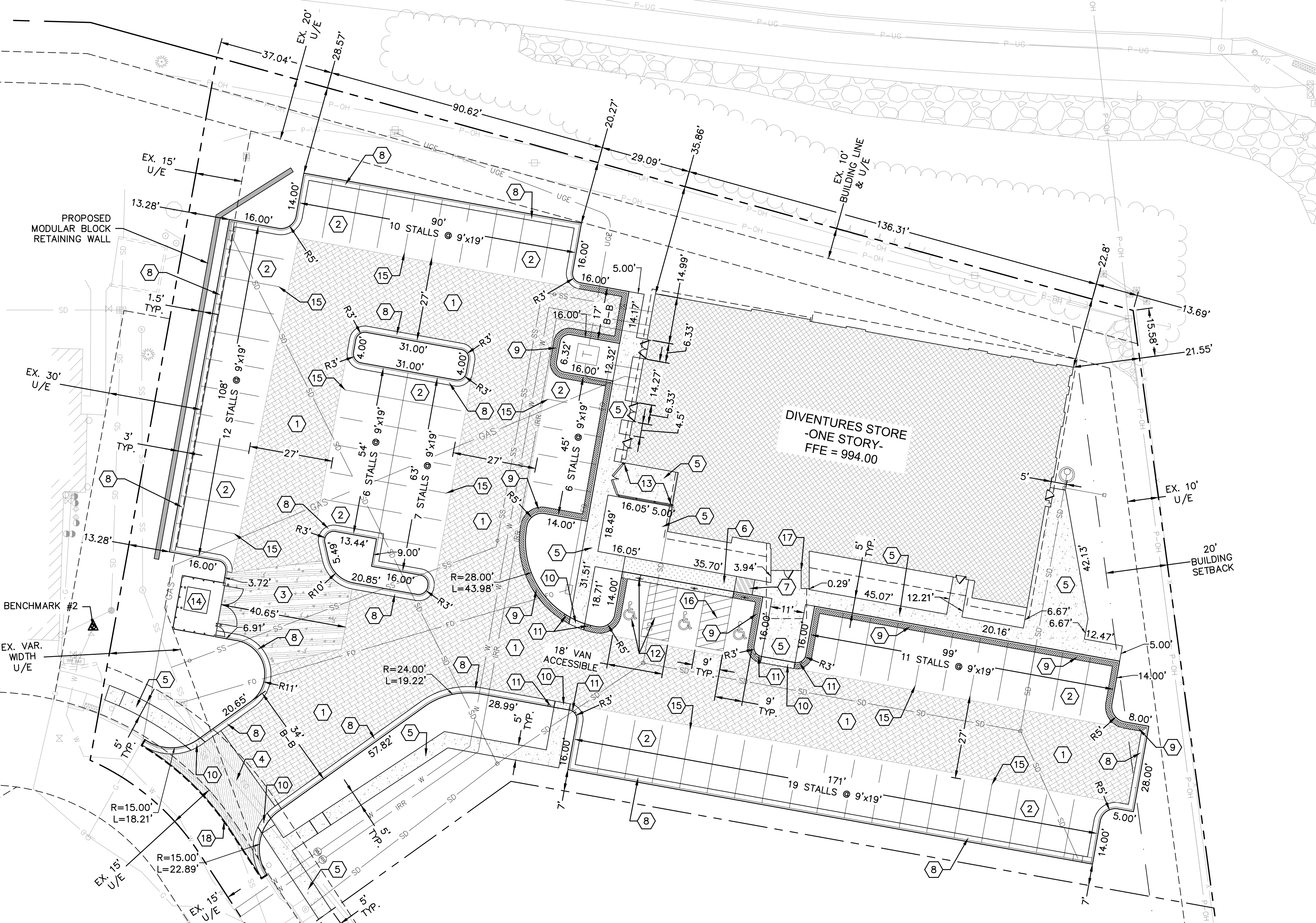
REV. NO.	DATE	REVISIONS DESCRIPTION	DESCR.

2022

SITE PLAN
 PRELIMINARY DEVELOPMENT PLAN
 DIVENTURES
 2951 NE INDEPENDENCE AVENUE
 LEE'S SUMMIT, MISSOURI

drawn by: KAS
 checked by: WKH
 approved by: RGH
 QA/QC by: RGH
 project no.: 022-02622
 drawing no.:
 date: 06.28.2022

SHEET
C102



KEYNOTES:

- 1. INSTALL HEAVY DUTY ASPHALT PAVEMENT (SEE SHEET C201)
- 2. INSTALL LIGHT DUTY ASPHALT PAVEMENT (SEE SHEET C201)
- 3. INSTALL HEAVY DUTY CONCRETE PAVEMENT (SEE SHEET C201)
- 4. INSTALL 8" CONCRETE PAVEMENT COMMERCIAL DRIVE ENTRANCE (SEE C.O.L.S. STD. DETAIL GEN-1)
- 5. INSTALL CONCRETE SIDEWALK
- 6. CONSTRUCT CONCRETE SIDEWALK AND BANDING FLUSH WITH PAVEMENT
- 7. CONSTRUCT CONCRETE CURB & SIDEWALK TRANSITION TO PAVEMENT. 6' TRANSITION UNLESS OTHERWISE NOTED ON PLANS - SLOPE AT 8.33% MAX.
- 8. *CONSTRUCT STRAIGHT BACK CURB & GUTTER, TYPE CG-1 (SEE C.O.L.S. STD. DETAIL GEN-4)
- 9. *CONSTRUCT STRAIGHT BACK DRY CURB & GUTTER, TYPE CG-1 (SEE C.O.L.S. STD. DETAIL GEN-4)
- 10. *CONSTRUCT CONCRETE BANDING FLUSH WITH PAVEMENT
- 11. PROVIDE CURB TRANSITION TO PAVEMENT. TRANSITION TO BE 2' UNLESS NOTED OTHERWISE
- 12. LIFT VAN ACCESSIBLE STALL & BOLLARD MOUNTED SIGNAGE
- 13. INSTALL SCREENING ENCLOSURE PER ARCH. PLANS & DETAILS
- 14. TRASH ENCLOSURE PER ARCH. PLANS
- 15. YELLOW 4" WIDE STRIPING PER MUTCD STANDARDS, TYP. (SEE PAVEMENT MARKING NOTES ON THIS SHEET)
- 16. STRIPED AREA WITH YELLOW 4" SOLID DIAGONAL LINES SPACED @ 24" O.C.
- 17. PROP. LOCATION OF KNOX BOX
- 18. CONTRACTOR SHALL SAWCUT & REMOVE EXISTING CONCRETE CURB, ASPHALT OR CONCRETE PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH EDGE BETWEEN NEW & EXISTING CURB OR PAVEMENT. EXTENTS OF REMOVAL SHALL ACCOMMODATE NEW CONSTRUCTION SHOWN ON THESE PLANS

*PROVIDE 5' MIN. TRANSITION BETWEEN DIFFERING CURB SECTIONS EITHER NEW OR EXISTING. MAINTAIN POSITIVE GUTTER FLOW OF 0.50% MIN. TO AVOID PONDING

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- ▲ BENCHMARK

BENCHMARKS:

BENCHMARK #1:
 SET CHISELED "X" CUT OF THE NW BONNET BOLT OF A FIRE HYDRANT, 270± NORTHEAST OF THE CL OF NE INDEPENDENCE AVE.
 ELEV=991.20' (NAVD 88)

BENCHMARK #2:
 TOP NUT OF FIRE HYDRANT APPROXIMATELY 43± NORTH OF SOUTHWEST PROPERTY CORNER
 ELEV=982.25' (NAVD 88)



FIRE LANE FLAG NOTES:

- F1. PAVEMENT SHALL BE STRIPED BY 4" SOLID RED LINE FOR DEMARCATING LIMITS OF EMERGENCY ACCESS
- F2. 12" MIN. HEIGHT FIRE LANE TEXT SHALL BE PAINTED RED AND OCCUR EVERY 50' O.C. MAX. SPACING

FIRE FLOW CALCULATIONS:

PER 2018 IFC SECTION B105, THE REQUIRED FIRE FLOW IS AS FOLLOWS:
 PROPOSED BUILDING 9,910 S.F., TYPE II-B CONSTRUCTION, NON-SPRINKLED.
 PER 2018 IFC SECTIONS C103, C104 AND C105, THE NUMBER OF HYDRANTS REQUIRED IS 2. THERE ARE TWO EXISTING HYDRANTS WITHIN 400' OF THE BUILDING. ONE LOCATED APPROXIMATELY 188' WEST OF THE BUILDING AND ONE LOCATED APPROXIMATELY 189' SOUTH OF THE BUILDING ALONG THE PRIVATE STREET PROVIDING ACCESS TO THE SITE.

THE CITY OF LEE'S SUMMIT PROVIDED FLOW TEST INFORMATION ON FIRE HYDRANT #XXXX WHICH IS LOCATED XXXXX:

PITOT PRESSURE NOT PROVIDED
 FLOW XXXX GPM
 RESIDUAL PRESSURE XX PSI
 STATIC PRESSURE XX PSI
 CALCULATED AVAILABLE FIRE FLOW AT EXISTING HYDRANT #XXXX (SEE CALCULATION BELOW)

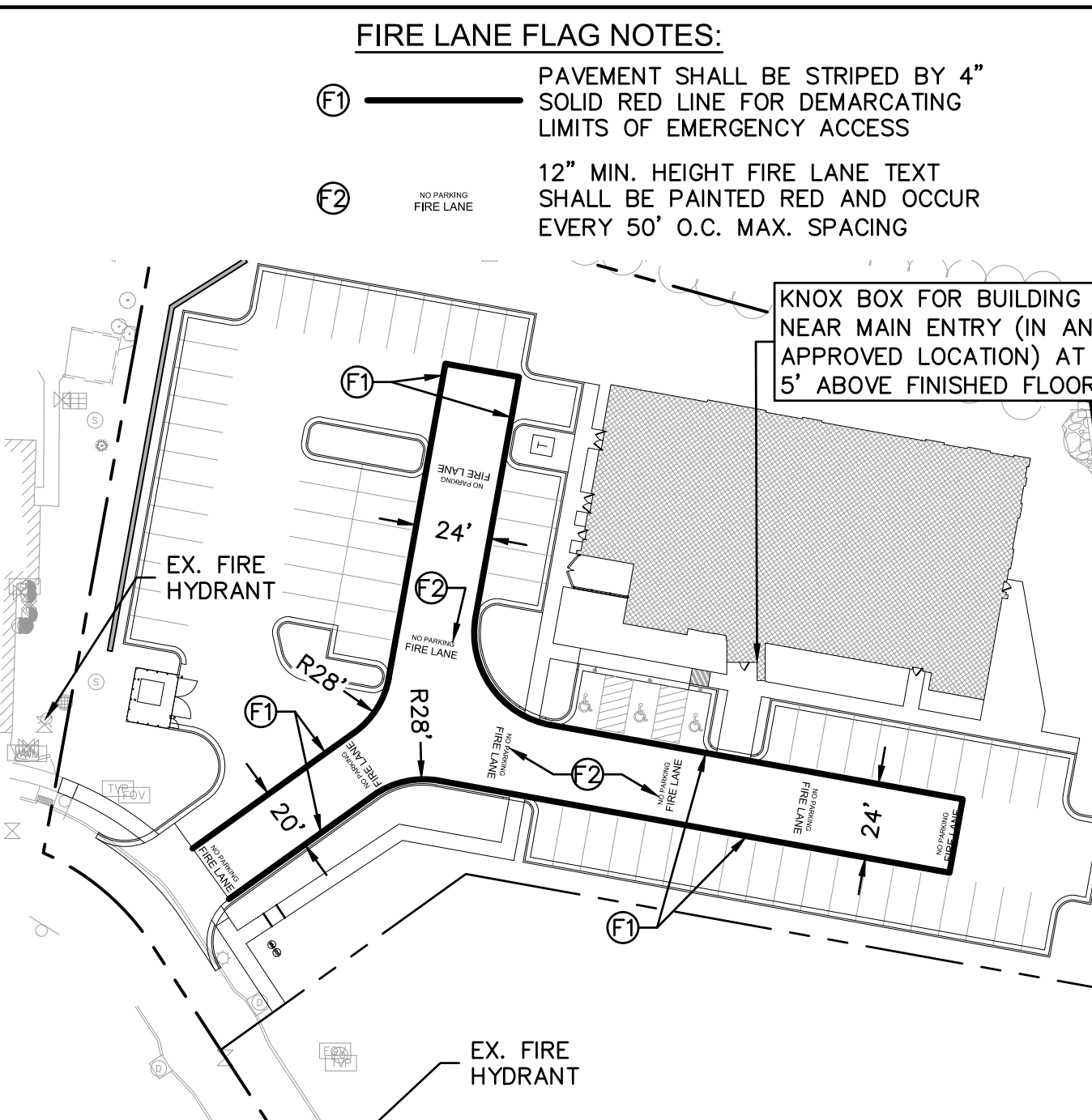
$QR = QF \times (HR/HF)^{0.54}$

QR = FLOW AVAILABLE AT DESIRED RESIDUAL PRESSURE (DESIRED RESIDUAL PRESSURE = 20 PSI)
 QF = FLOW OBTAINED DURING FLOW TEST
 HR = PRESSURE DROP TO THE DESIRED RESIDUAL PRESSURE
 HF = PRESSURE DROP DURING THE TEST

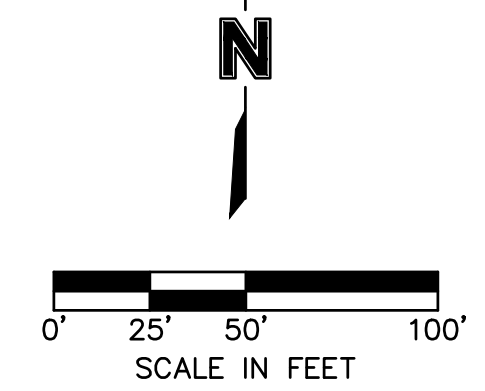
$QR = XXXX \text{ GPM} \times [(XX\text{PSI} - 20 \text{ PSI}) / (XX \text{ PSI} - XX \text{ PSI})]^{0.54}$

QR = XXXX GPM

WITH THE FRICTION AND FITTING LOSSES, FLOWS AT EXISTING HYDRANTS WILL BE EXCEEDING THE MINIMUM OF 2,250 GPM AS REQUIRED IN SECTION B105 OF THE 2018 IFC.

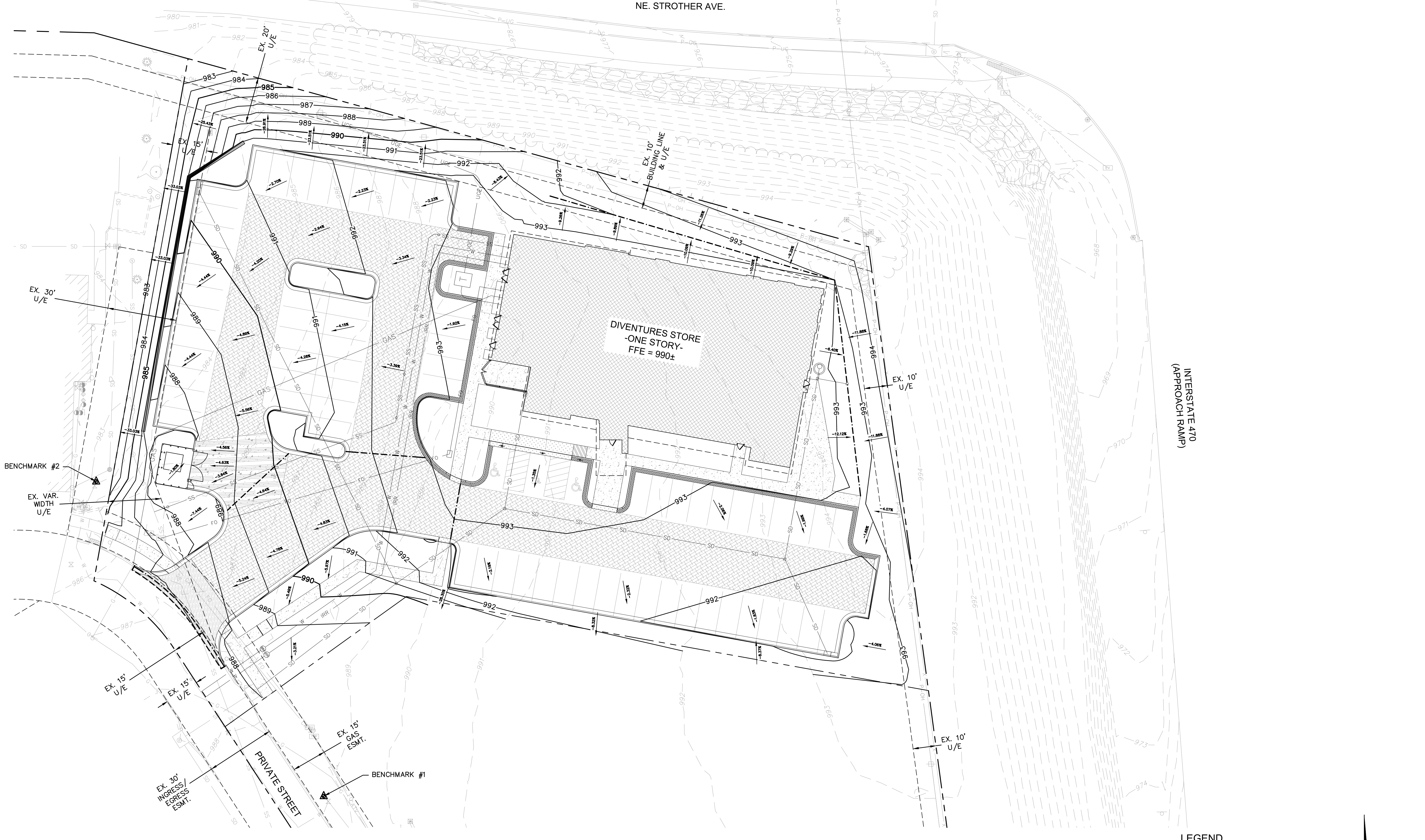


EMERGENCY VEHICLE ACCESS PLAN



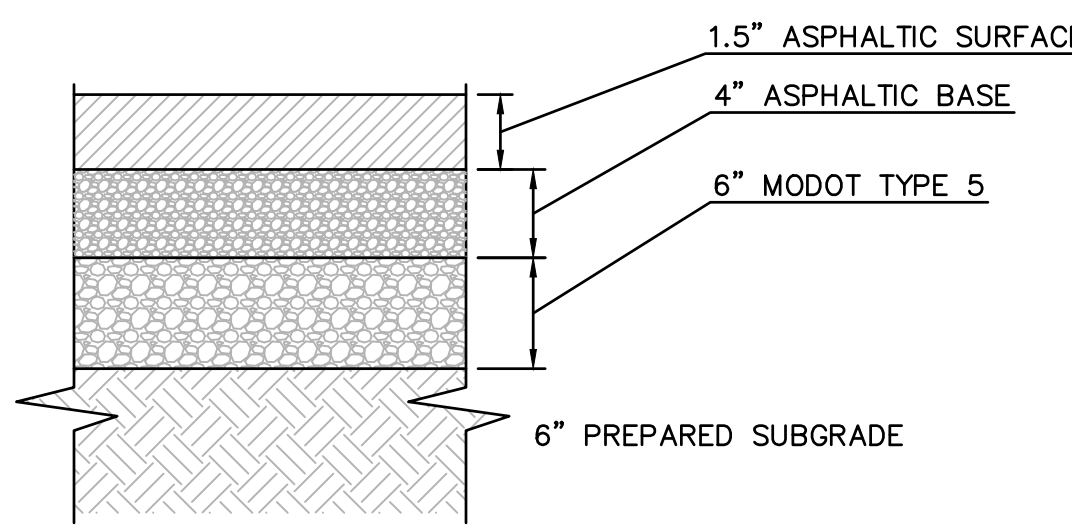
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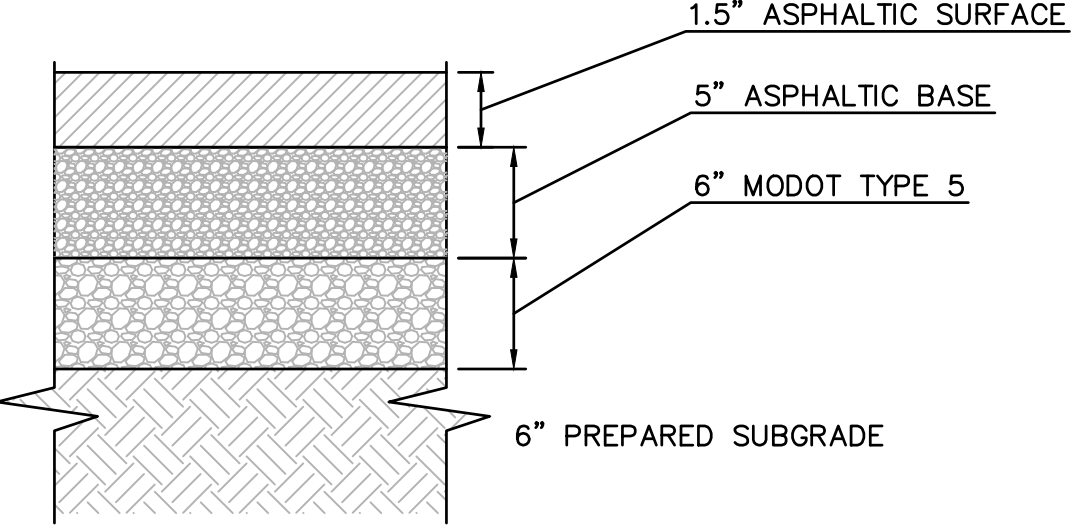


DIVENTURES STORE
-ONE STORY-
FFE = 990±

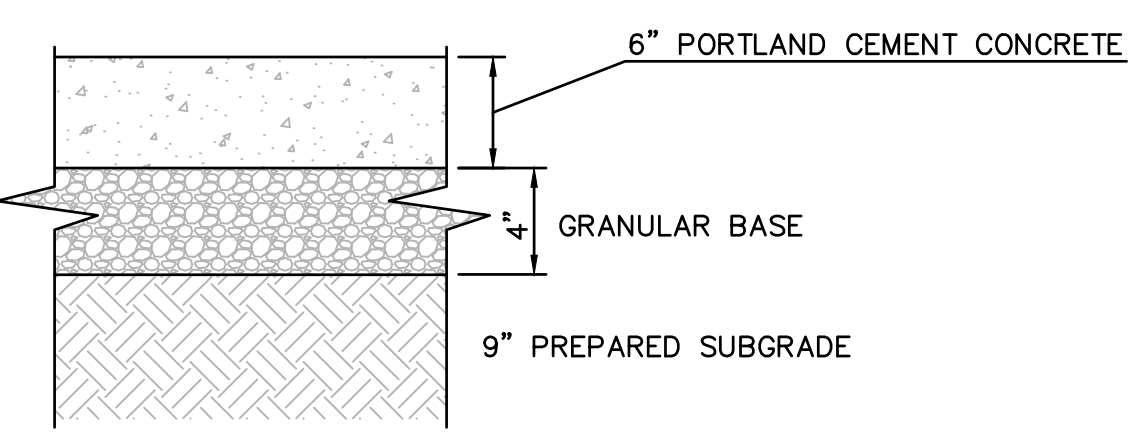
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(APPROACH RAMP)



LIGHT DUTY ASPHALT PAVING
NOT TO SCALE



HEAVY DUTY ASPHALT PAVING
NOT TO SCALE

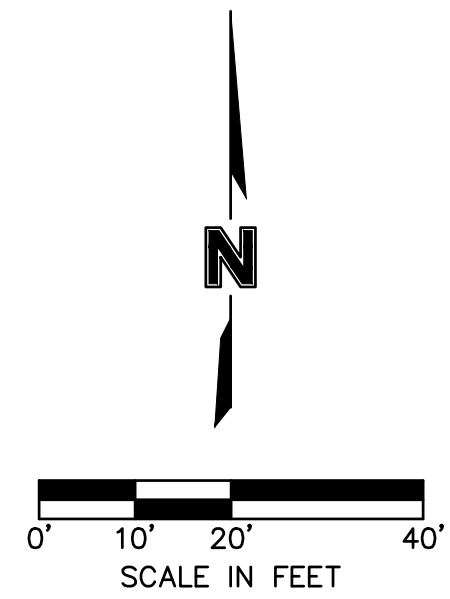


HEAVY DUTY CONCRETE PAVING DETAIL
NOT TO SCALE

LEGEND

	RIGHT-OF-WAY LINE
	PROPERTY LINE
	UTILITY EASEMENT
	BREAK IN GRADE
	EXIST. CONTOUR
	FINISH GRADE CONTOUR

BENCHMARKS:
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1-800-DIG-RITE on 811
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olsson
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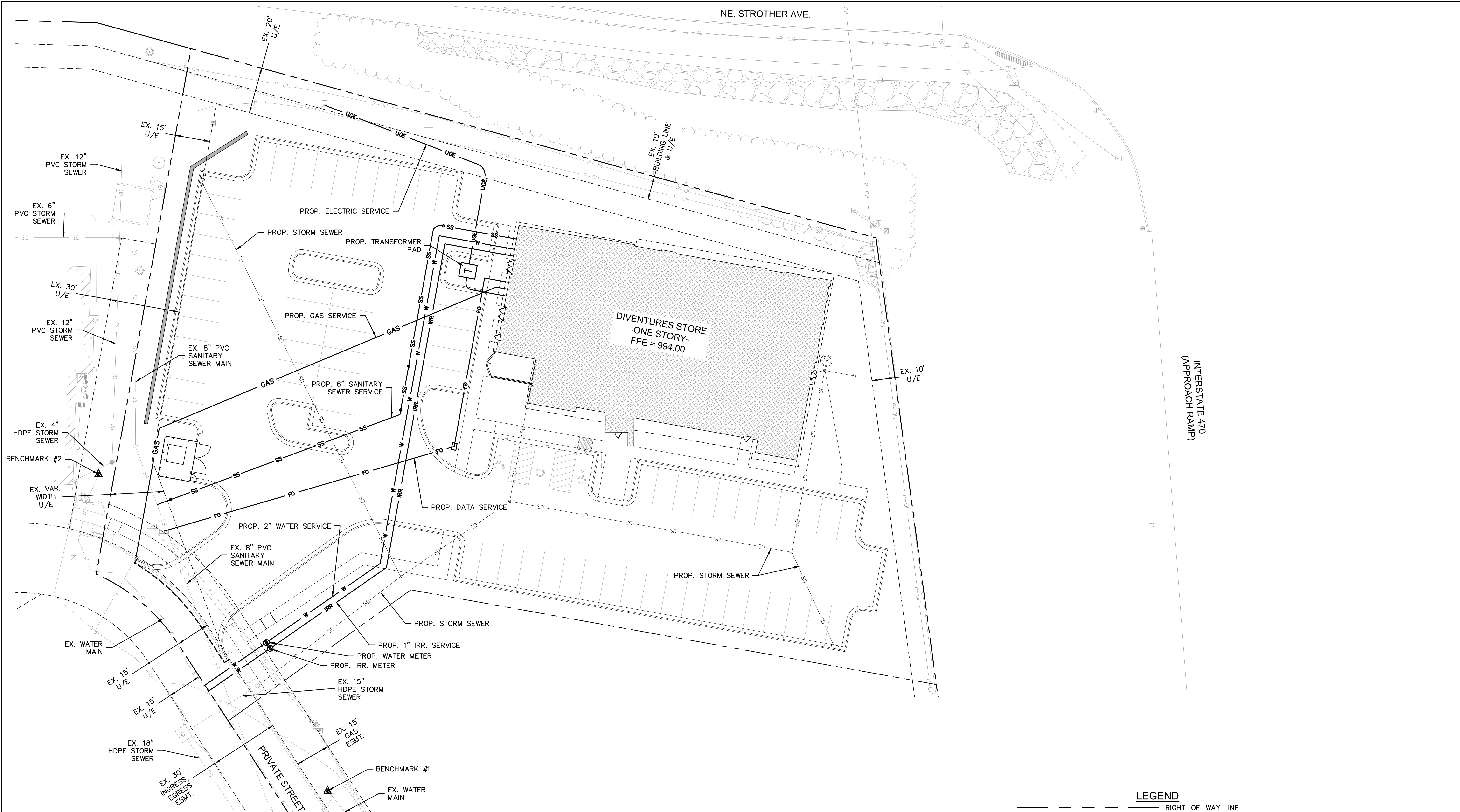
REV. NO.	DATE	REVISIONS DESCRIPTION

GRADING PLAN	2022
PRELIMINARY DEVELOPMENT PLAN	
DIVENTURES	
2951 NE INDEPENDENCE AVENUE	
LEE'S SUMMIT, MISSOURI	

drawn by: KAS
 checked by: WKH
 approved by: RGH
 QA/QC by: RGH
 project no.: 022-06622
 drawing no.: 06.28.2022

SHEET
C201

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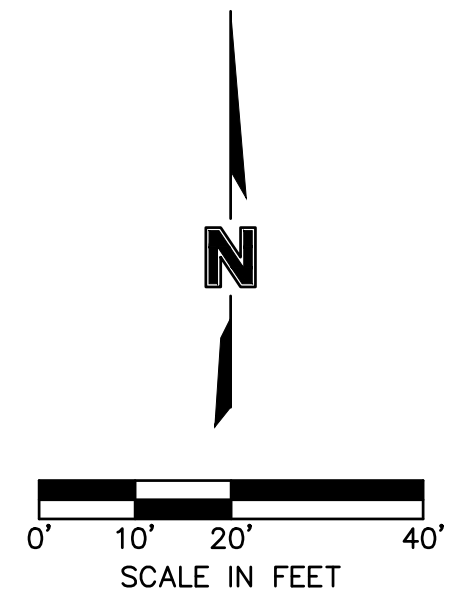


- DOMESTIC WATER LINE GENERAL NOTES**
- CONTRACTOR TO VERIFY WITH ARCHITECTURAL/MEP PLANS FOR SIZE AND LOCATION OF UTILITY SERVICE TO BUILDING BEFORE CONSTRUCTION.
 - WHERE THE WATER SERVICE IS TO BE CONSTRUCTED BELOW OR WITHIN 18 INCHES OF ANY SEWER PIPE, THE CONTRACTOR SHALL LAY A FULL LENGTH OF WATER SERVICE PIPE CENTERED ON THE SEWER OR SUCH LENGTH AS WILL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER SERVICE FROM THE SEWER LINE. IF NOT ALREADY SO, THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER WITH ONE 20 FOOT NOMINAL LENGTH OF PRESSURE PIPE MATERIAL CENTERED ON THE WATER SERVICE, SUCH THAT THE MAXIMUM POSSIBLE SEPARATION BETWEEN THE WATER SERVICE AND THE SEWER PIPE JOINTS WILL RESULT. THE BACKFILL MATERIAL SHALL BE SELECT, LOW PERMEABILITY SOIL.
 - REMOVE SPOIL MATERIAL FROM SITE.
 - THE CONTRACTOR SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM PIPE JOINT DEFLECTIONS.
 - PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
 - PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT REQUIREMENTS.
 - PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT REQUIREMENTS.
 - LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER OR CITY INSPECTOR ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
 - ALL WATER SERVICE CONSTRUCTION SHALL BE DONE UNDER A PLUMBERS PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 - MAINTAIN 42" MINIMUM COVER OVER TOP OF WATER SERVICE PIPE.
 - WATER SERVICE PIPE MATERIALS SHALL BE SCH80 PVC FOR IRRIGATION WATER LINE & DOMESTIC SERVICE UNDER 4" AND AWWA C900 PVC FOR FIRE PROTECTION, DOMESTIC & SERVICE MAINS OVER 4".
 - CONTRACTOR SHALL BE RESPONSIBLE TO DEFLECT PIPE OR ADD FITTINGS AS NECESSARY TO MAINTAIN A MINIMUM 18" OF CLEARANCE BETWEEN WATER LINES AND ALL OTHER UNDERGROUND UTILITIES.

LEGEND

---	RIGHT-OF-WAY LINE
---	PROPERTY LINE
---	UTILITY EASEMENT
W	INSTALL DOMESTIC WATER SERVICE LINE
IRR	INSTALL IRRIGATION SERVICE LINE
GAS	INSTALL GAS SERVICE
SD	INSTALL STORM SEWER PIPE
SS	INSTALL SANITARY SEWER SERVICE
FO	INSTALL COMMUNICATION LINE
UGE	INSTALL UNDERGROUND ELECTRIC LINE

BENCHMARKS:
BENCHMARK #1:
 SET CHISELED "X" CUT OF THE NW BONNET BOLT OF A FIRE HYDRANT, 270'± NORTHEAST OF THE C OF NE INDEPENDENCE AVE.
 ELEV=991.20' (NAVD 88)
BENCHMARK #2:
 TOP NUT OF FIRE HYDRANT APPROXIMATELY 43'± NORTH OF SOUTHWEST PROPERTY CORNER
 ELEV=982.25' (NAVD 88)



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REVISIONS

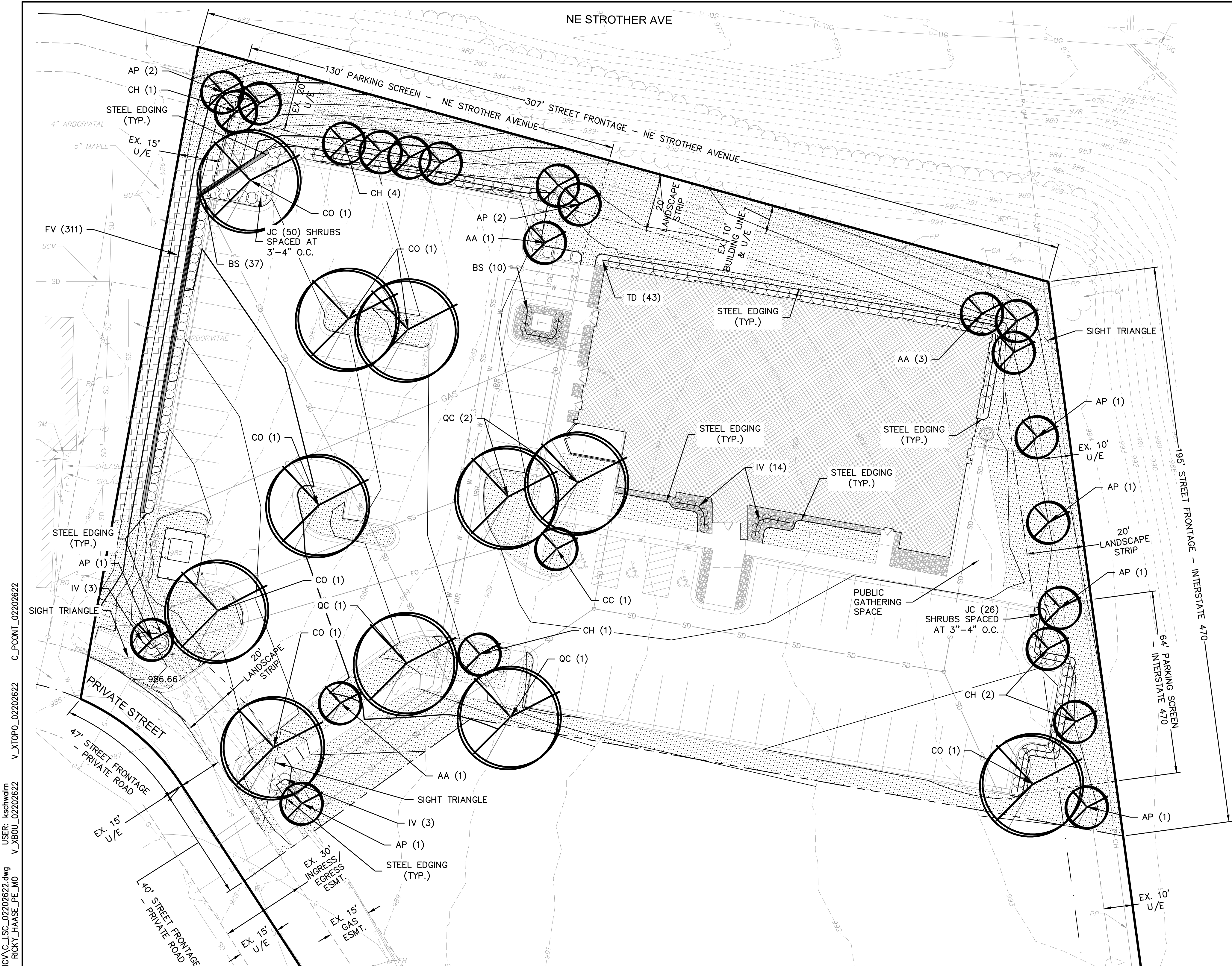
UTILITY PLAN
 PRELIMINARY DEVELOPMENT PLAN

DIVERURES
 2951 NE INDEPENDENCE AVENUE
 LEE'S SUMMIT, MISSOURI

2022

drawn by: KAS
 checked by: WKH
 approved by: RGH
 QA/QC by: RGH
 project no.: 022-02522
 drawing no.:
 date: 06.28.2022

SHEET
 C301



LANDSCAPE CALCULATIONS:

- A. STREET FRONTAGE**
- ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE, PUBLIC OR PRIVATE, WITHIN THE LANDSCAPE SETBACK ABUTTING SAID STREET FRONTAGE. A MINIMUM 20' WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE.
- NE STROTHER ROAD - 307 LF FRONTAGE
11 TREES REQUIRED
11 TREES PROVIDED
- INTERSTATE 470 - 195 LF FRONTAGE
7 TREES REQUIRED
7 TREES PROVIDED
- PRIVATE ROAD - 87 LF FRONTAGE
3 TREES REQUIRED
3 TREES PROVIDED
- B. OPEN YARD AREAS**
- IN COMMERCIAL AND INDUSTRIAL DISTRICTS, 20' PARKING SETBACK (AND LANDSCAPE BUFFER)
 - ONE SHRUB SHALL BE PROVIDED FOR EACH 20 FEET OF STREET FRONTAGE, OR PORTION THEREOF, WITHIN THE LANDSCAPE SETBACK ABUTTING SUCH FRONTAGE. SUCH SHRUBS MAY BE CLUSTERED OR ARRANGED WITHIN THE SETBACK.
- NE STROTHER ROAD - 307 LF FRONTAGE
16 SHRUBS REQUIRED
50 SHRUBS PROVIDED
- INTERSTATE 470 - 195 LF FRONTAGE
10 SHRUBS REQUIRED
26 SHRUBS PROVIDED
- PRIVATE ROAD - 87 LF FRONTAGE
5 SHRUBS REQUIRED
6 SHRUBS PROVIDED
- C. TRASH STORAGE CONTAINERS**
- A DETAILED DRAWING OF ENCLOSURE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN. PROVIDED = REFER TO ARCHITECTURAL SHEETS
- D. PARKING LOT LANDSCAPING**
- LANDSCAPE ISLANDS, STRIPS OR OTHER PLANTING AREAS SHALL BE LOCATED WITHIN THE PARKING LOT AND CONSTITUTE AT LEAST 5% OF THE ENTIRE AREA DEVOTED TO PARKING SPACES, AISLES OR DRIVEWAYS.
 - SCREENING OF 12 SHRUBS PER 40 LF TO A HEIGHT OF 2.5 FEET MUST BE PROVIDED ALONG THE EDGE OF THE PARKING LOT OR LOADING AREA CLOSEST TO AND PARALLEL TO THE STREET RIGHT-OF-WAY.
- 71,302 SF LOT, LESS 9,907 SF BUILDING = 61,395 SF DIVIDED BT 5,000 = 13 x 2 = 26
REQUIRED = 26 SHRUBS
PROVIDED = 106 SHRUBS
- 71,302 SF LOT, LESS 9,907 SF BUILDING = 61,395 SF DIVIDED BT 5,000 = 13
REQUIRED = 13 TREES
PROVIDED = 14 TREES
- E. BUFFER/SCREEN**
- BUFFER/SCREEN BETWEEN DEVELOPMENT OF DIFFERING LAND USES ADJOINING ONE ANOTHER OR SEPARATED FROM ONE ANOTHER BY ONLY A STREET OR ALLEY SHALL COMPLY WITH TABLE 14.1.
- WESTERN BOUNDARY - NONE REQUIRED, COMMERCIAL ZONING
NORTHERN BOUNDARY - NONE REQUIRED, COMMERCIAL ZONING
EASTERN BOUNDARY - NONE REQUIRED
SOUTHERN BOUNDARY - NONE REQUIRED, COMMERCIAL ZONING

NOTE:
Substantial completion date for site work may vary from that of the building substantial completion date. Coordinate with Architect for completion dates. This site will have a permanent irrigation system. Until the permanent irrigation system is fully functional, the Contractor shall use whatever means necessary (including a temporary irrigation system) to achieve the following water application until establishment per the specification. Similarly, the same water application shall be utilized once the permanent irrigation system is fully functional.

Water sod regularly to maintain an adequate supply of moisture penetration through sod into top 6 inches of topsoil. Adequate moisture supply during Fall and Spring planting dates is the equivalent of one inch of absorbed water per week either through natural rainfall or augmented by periodic waterings. Apply water at a moderate rate so as not to displace the mulch or flood the turf areas. Adequate moisture should be divided into two to three waterings per week, as directed by the Owner's Representative. During the summer (June 2 through August 31) watering may be required on a daily basis, as directed by the Owner's Representative. During the winter months confer with the Owner's Representative regarding the frequency of watering.

Sodded areas are properly established such that within any 10' x 10' area of turf there is less than 5% weed coverage; sod is free of bare and dead spots and is without weeds; and no surface soil is visible when grass has been cut to height of 2-1/2 inches.

GENERAL CONTRACTOR IS RESPONSIBLE FOR CARE OF THE INSTALLED SOD FOR A MINIMUM OF 60 DAYS.

Refer to specifications for additional information.

LANDSCAPE LEGEND

NEW TREE

NEW SHRUB

HATCH LEGEND

SOD

ROCK MULCH (REFER TO SPECIFICATIONS)

GROUNDCOVER (REFER TO SPECIFICATIONS)

PLANT LIST

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
Trees					
5	AA	Amelanchier arborea	Serviceberry	3" Caliper	B&B
10	AP	Aesculus pavia	Red Buckeye	3" Caliper	B&B
1	CC	Cercis canadensis	Eastern Redbud	3" Caliper	B&B
7	CO	Celtis occidentalis	Hackberry	3" Caliper	B&B
7	CH	Chionanthus virginicus	Fringe Tree	3" Caliper	B&B
4	QC	Quercus coccinea	Scarlet Oak	3" Caliper	B&B
Shrubs					
47	BS	Buxus sempervirens 'Furore'	JADE PILLAR	5 Gallon	18" min. ht. - after installed AND pruned
20	IV	Itea virginica	Virginia Sweetspire	5 Gallon	18" min. ht. - after installed AND pruned
76	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 Gallon	18" min. ht. - after installed AND pruned
43	TD	Taxus x densiformis	Densiformis Yew	5 Gallon	18" min. ht. - after installed AND pruned
Groundcover					
311	FV	Fragaria virginiana	Wild Strawberry	2.5" Peat Pot	24" O.C.

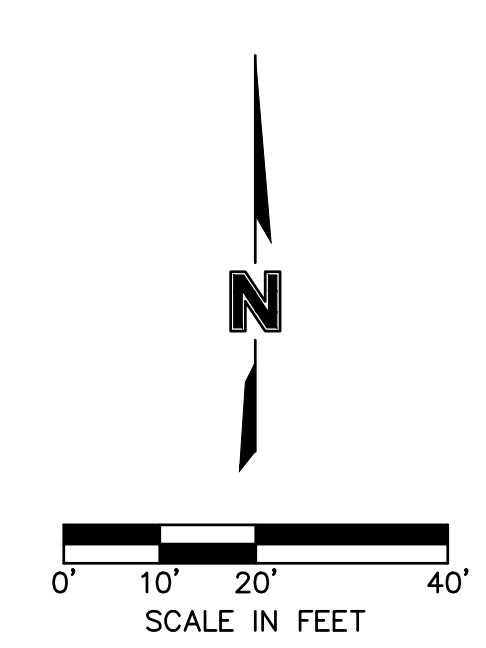
LEGEND

RIGHT-OF-WAY LINE

PROPERTY LINE

UTILITY EASEMENT

PROPOSED BUILDING SETBACK



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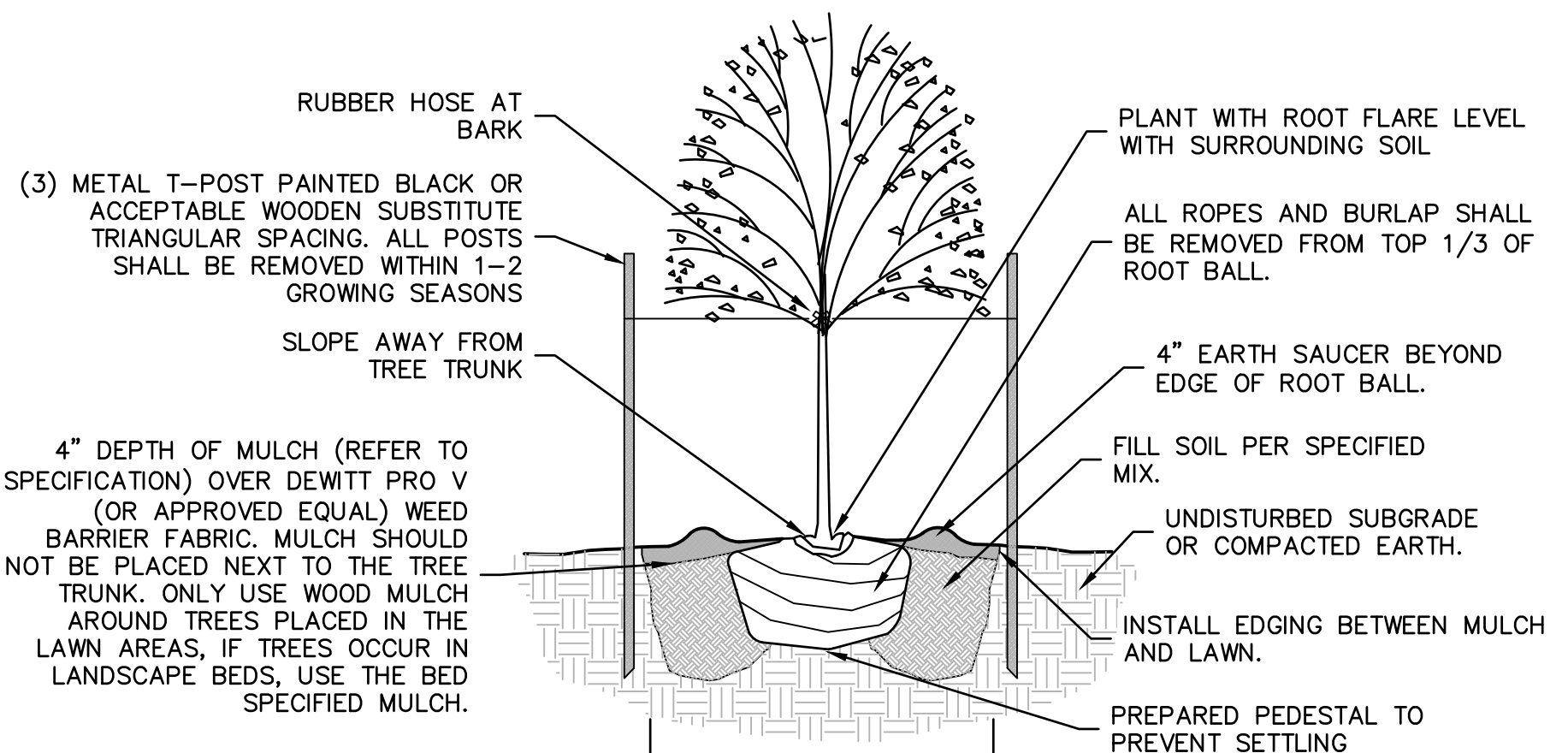
LANDSCAPE PLAN
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DIVERVURES
2951 NE INDEPENDENCE AVENUE
LEE'S SUMMIT, MISSOURI

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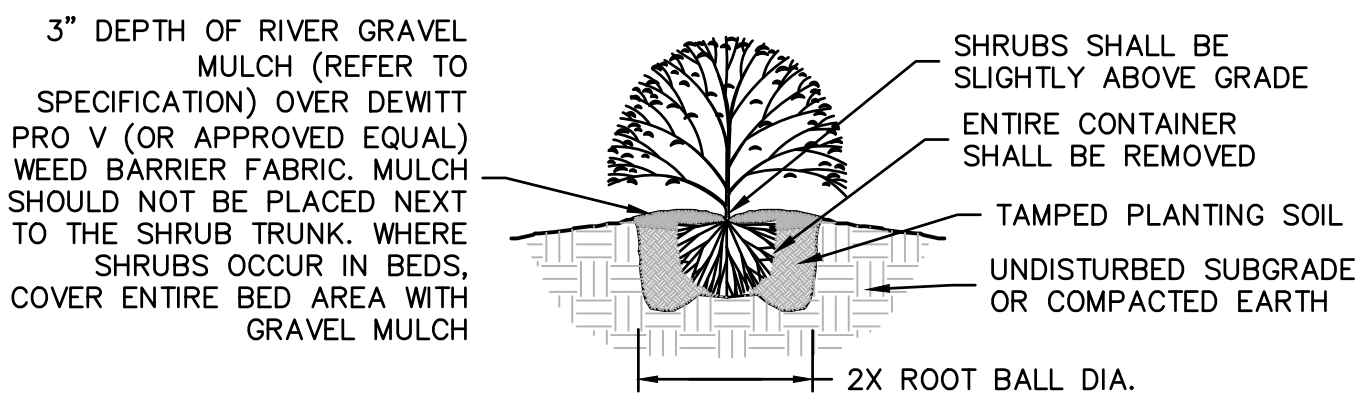
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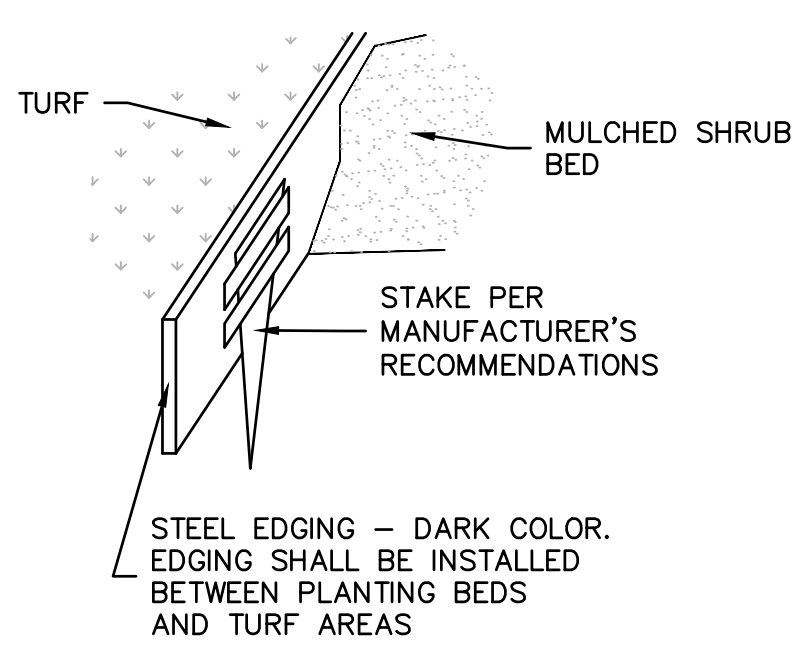
- NOTES:
 1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE

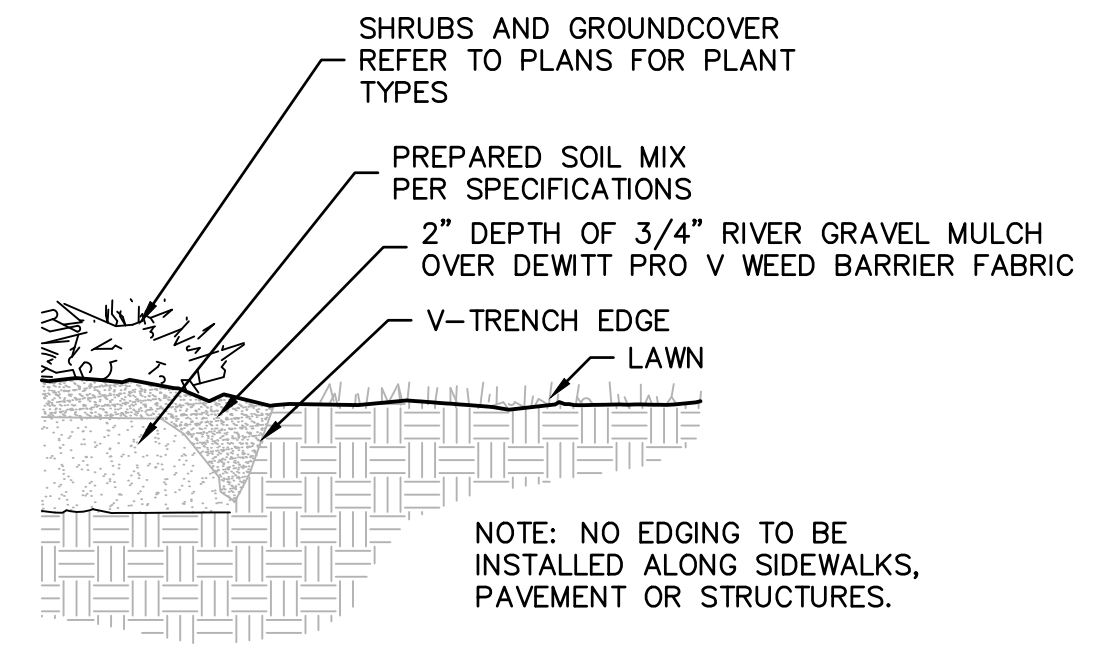


- NOTES:
 1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH AAN STANDARDS
 2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
 3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
 4. SOAK GENEROUSLY TO COMPACT AND SETTLE

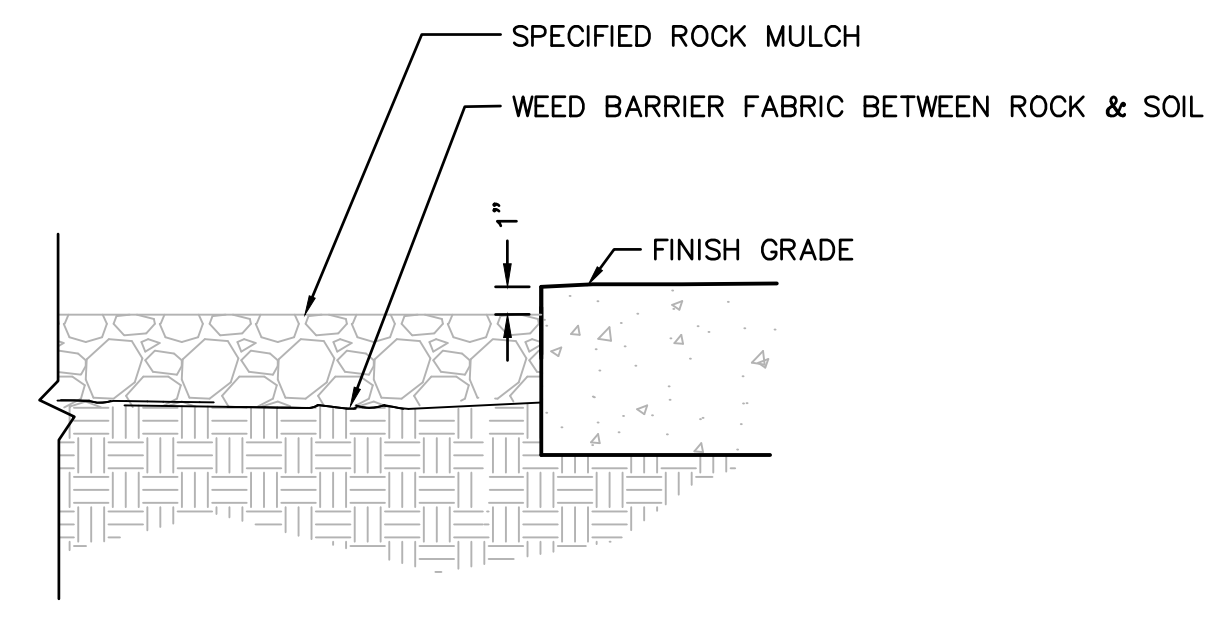
SHRUB PLANTING DETAIL
 NOT TO SCALE



STEEL EDGING DETAIL
 NOT TO SCALE

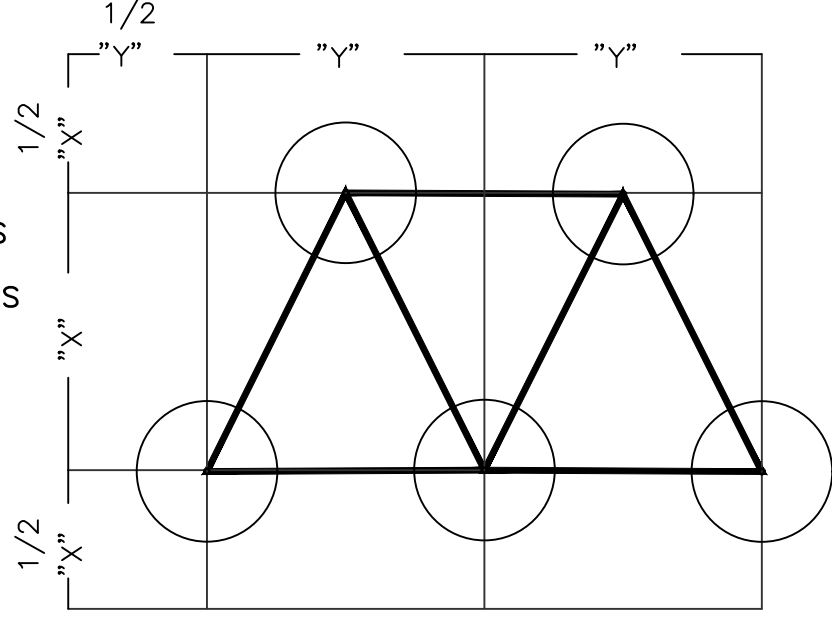


"V" TRENCH EDGING DETAIL
 TO BE USED AROUND TREES PLACED IN LAWN AREA
 NOT TO SCALE



ROCK MULCH DETAIL
 N.T.S.

- NOTE:
 SPACING PATTERN APPLIES TO ALL PERENNIALS, GROUNDCOVERS AND BULBS UNLESS OTHERWISE SPECIFIED.
 X = 24"
 Y = 24"



GROUNDCOVER LAYOUT DETAIL
 NOT TO SCALE

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