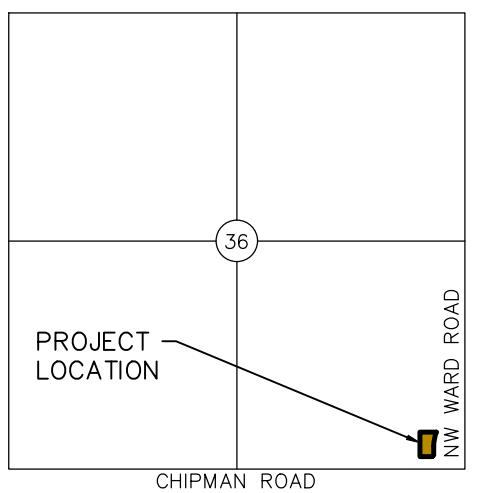
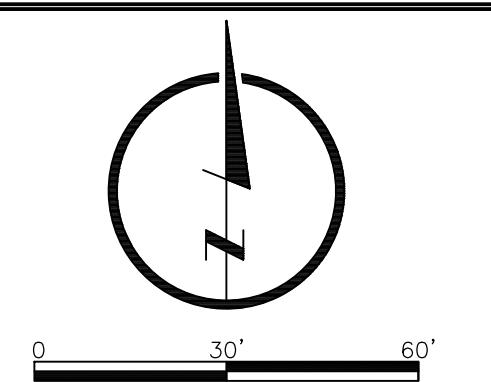


LAMP RYNEARSON.COM
OMAHA, NEBRASKA
14715 DOUGLAS ROAD, SUITE 200
MO. CORPORATION NO. CA10130
FORT COLLINS, COLORADO
4715 INNOVATION DR, STE. 100 (805) 226-0342
KANSAS CITY, MISSOURI
9001 STATE LINE RD, STE. 200 (816) 361-0440
MO. AUTH. NO. E-2013011903 | LS-2019043127



VICINITY MAP
SEC 36 - TWP 48N - RNG32W
NOT TO SCALE

LEGEND

- PL PROPERTY LINE
- LL LOT LINE
- SECTION LINE
- RIGHT-OF-WAY
- 999 EXISTING CONTOURS
- 999 PROPOSED MINOR CONTOUR
- 1000 PROPOSED MAJOR CONTOUR

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

MARK DANIEL McGHEE, JR.

MO PE-2008019568

GRADING PLAN
REVISED PRELIMINARY DEVELOPMENT PLAN

SUMMIT FAIR LOTS 10D-10F
LEE'S SUMMIT, JACKSON COUNTY, MO



ALL UTILITIES ARE SHOWN FOR INFORMATION AVAILABLE TO THE ENGINEER. THERE IS NO GUARANTEE THAT THE SIZE OF EACH FACILITY IS CORRECT OR THAT THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

REVISED
11/07/25 - PER CITY COMMENTS

DESIGNER / DRAFTER

DATE

OCTOBER 2025

PROJECT NUMBER

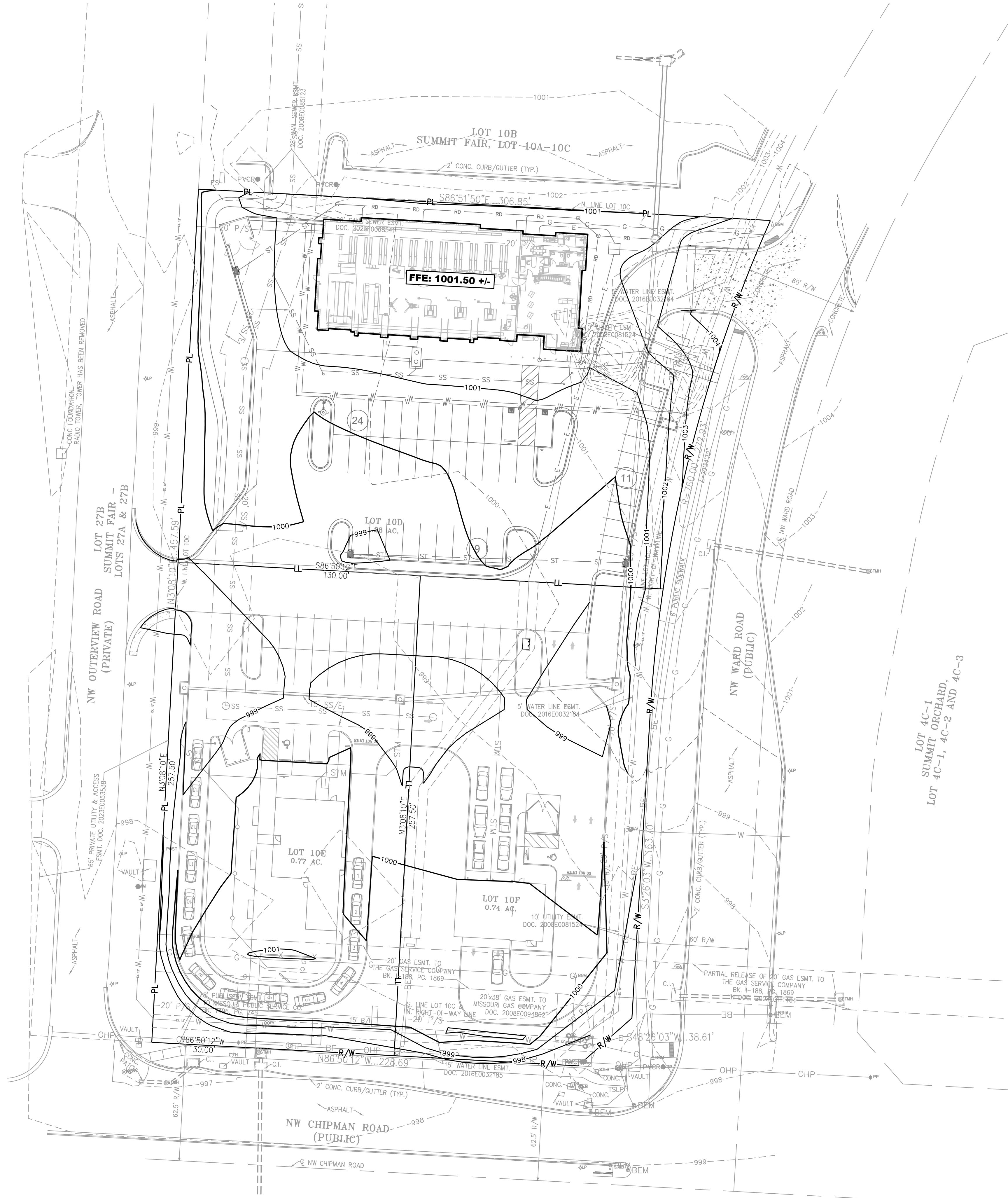
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BOOK AND PAGE

MISSOURI AUTHORIZATION NUMBER

E-2013011903 | LS-2019043127

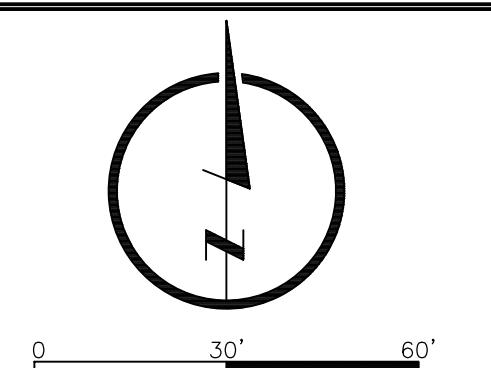
SHEET



LOT 4C-1
LOT 4C-1, 4C-2 AND 4C-3

SITE GRADING NOTES:

1. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1-FT INTERVALS.



PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

MARK DANIEL McGHEE, JR.
MO PE-2008019568

UTILITY PLAN
REVISED PRELIMINARY DEVELOPMENT PLAN

SUMMIT FAIR LOTS 10D-10F
LEE'S SUMMIT, JACKSON COUNTY, MO



ALL UTILITIES ARE SHOWN FOR INFORMATION ONLY. AVAILABLE TO THE ENGINEER, THERE IS NO GUARANTEE THAT THE UTILITIES SHOWN OR THAT SIZE OF EACH FACILITY IS CORRECT. THE OWNER IS RESPONSIBLE FOR LOCATING UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

REVISED
11/07/25 - PER CITY COMMENTS

REVISIONS

DATE

OCTOBER 2025

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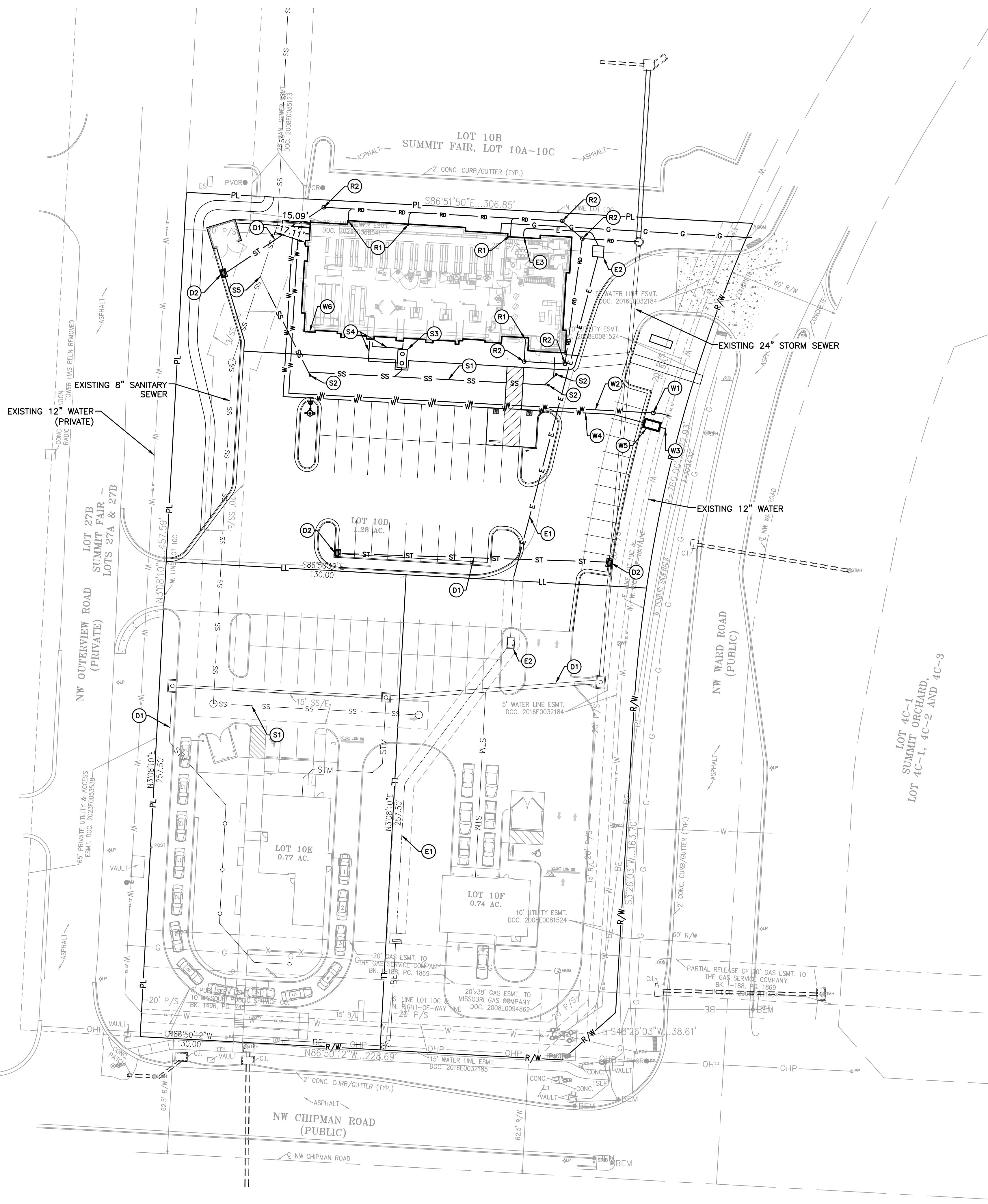
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E-2013011903 | LS-2019043127

SHEET

3



LEGEND

PL	PROPERTY LINE
LL	LOT LINE
SS	SECTION LINE
- - -	EASEMENT
—	RIGHT-OF-WAY
—	SANITARY SEWER
—	STORM SEWER
—	ROOF DRAIN
E	ELECTRIC LINE
G	GAS LINE
W	WATER LINE

SITE UTILITY NOTES:

1. ALL UTILITIES SHALL MEET THE DESIGN AND CONSTRUCTION STANDARDS FOR THE CITY OF LEE'S SUMMIT.
2. PROPOSED BUILDINGS SHALL BE AT LEAST 15-FT FROM SANITARY SEWER MAINS.
3. WATER AND SEWER LINES SHALL MAINTAIN AT LEAST 10-FT OF CLEAR HORIZONTAL SEPARATION AND 18" OF CLEAR VERTICAL SEPARATION AT CROSSINGS.

UTILITY KEY NOTES:

- (S1) SANITARY SEWER SERVICE
- (S2) SANITARY SEWER CLEANOUT
- (S3) OIL/GREASE SEPARATOR
- (S4) OIL/GREASE SEPARATOR VENT(S)
- (S5) CONNECT SANITARY SEWER SERVICE TO EXISTING MAIN W/CUT IN WYE OR TEE
- (W1) 1-1/2" WATER METER
- (W2) 2" WATER SERVICE
- (W3) CONNECT TO EXISTING WATER
- (W4) 8" PVC C900 FIRE LINE
- (W5) FIRE LINE VAULT W/ DOUBLE CHECK BACKFLOW PREVENTER
- (W6) FDC CONNECTION
- (E1) UNDERGROUND ELECTRIC SERVICE
- (E2) CONCRETE TRANSFORMER PAD
- (E3) ELECTRIC ENTRY INTO BUILDING
- (G1) GAS ENTRY INTO BUILDING WITH METER
- (R1) ROOF DRAIN
- (R2) ROOF DRAIN CLEANOUT
- (S1) STORM SEWER
- (S2) STORM SEWER CURB INLET

LOT 4C-1
LOT 4C-1, 4C-2 AND 4C-3



② BUILDING PERSPECTIVE



① BUILDING PERSPECTIVE

ELEVATION GENERAL NOTES:

- A. ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY, BY OWNER.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- C. REF CIVIL AND STRUCTURAL DRAWINGS FOR GRADE CHANGES AND RETAINING WALL DIMENSIONS AND LOCATIONS.
- D. CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM. REF CIVIL DRAWINGS.
- E. COORDINATE WITH SIGNAGE PLANS REQUIRED STRUCTURAL BACKING IN METAL PANEL SYSTEM AND REQUIRED ELECTRICAL ROUGH-IN LOCATIONS.
- F. PROVIDE BACKING AT LOCATIONS WHERE EXTERIOR LIGHTS ARE SHOWN ON METAL PANEL SYSTEM. COORDINATE WITH LIGHT MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.
- G. EXPOSED STEM CONCRETE WALLS IN LANDSCAPED AREAS ARE TO HAVE MULCH OR GROUNDCOVER AGAINST EXPOSED CONCRETE TO HIDE FOOTING.
- H. REFER TO SHEET E501 LIGHTING FIXTURE SCHEDULE FOR EXTERIOR LIGHT FIXTURE MOUNTING HEIGHTS.
- I. VERIFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION.

ELEVATION KEY NOTES:

1. NOT USED
2. SIGNAGE BY CARLSON SIGN, REF 5/A506 FOR ATTACHMENT DETAIL.
3. ADDRESS NUMBER LOCATION, COORD W/AH.

MATERIAL LEGEND:

PC-1	FABCON PRECAST CONCRETE, AGGREGATE (WHITE, MFR FINISH) (CLASS 1)
PC-2	FABCON PRECAST CONCRETE, 8" HORIZONTAL STAMP, (STAIN SHERWIN WILLIAMS, COLOR: 7088 - GRIZZLE GRAY) (CLASS 3)
PC-3	FABCON PRECAST CONCRETE, RAKED VERTICALLY, (STAIN SHERWIN WILLIAMS, COLOR: 8261-7797 - LS COLONIAL RED 2020) (CLASS 3)
PC-4	FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (WHITE, MFR FINISH) (CLASS 1)
PC-5	FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (STAIN SHERWIN WILLIAMS, COLOR: 6247 - KRYPTON) (CLASS 3)
SF-1	SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTACLE AND BENCH
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020
ST-1	HARRISTONE PRECAST STONE VENEER, DRY STONE (COLOR: STIRLING) (CLASS 2)

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4 WEST ELEVATION

SCALE: 1/8" = 1'-0"

TOTAL WEST FAÇADE: 1,706 S.F.
ST-1 (SYNTHETIC STONE VENEER, CLASS 2): 107 S.F. 6.3%
PC-1 (INTEGRAL COLORED PRECAST, AGGREGATE, CLASS 1): 312 S.F. 18.3%
PC-4 (INTEGRAL COLORED PRECAST, SMOOTH, CLASS 1): 605 S.F. 35.5%

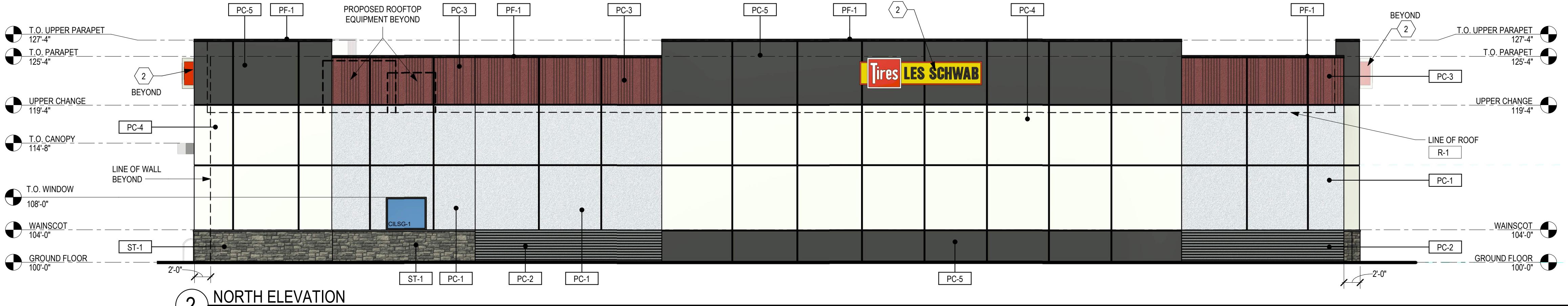
TOTAL EAST FAÇADE: 1,649 S.F.
CILSG-1 (GLASS, CLASS 1): 330 S.F. 20.0%
ST-1 (SYNTHETIC STONE VENEER, CLASS 2): 182 S.F. 11.0%
PC-1 (INTEGRAL COLORED PRECAST, AGGREGATE, CLASS 1): 276 S.F. 16.7%
PC-4 (INTEGRAL COLORED PRECAST, SMOOTH, CLASS 1): 427 S.F. 25.9%

TOTAL PEDESTRIAN VIEW ZONE: 500 S.F.
TOTAL PVZ FENESTRATION: 264 S.F.
PERCENTAGE PVZ FENESTRATION: 52.8%



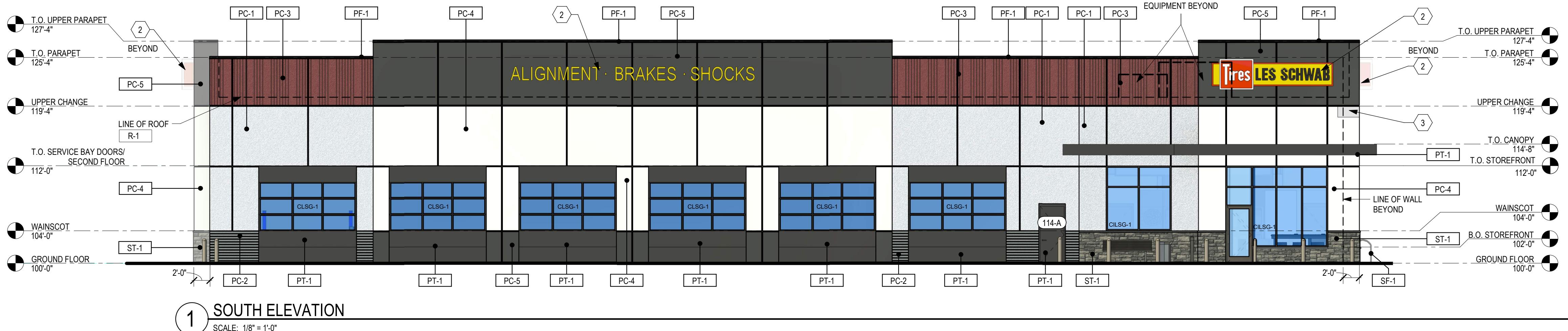
3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ALIGNMENT · BRAKES · SHOCKS



2 MATERIAL TRANSITION EXAMPLE



1 MATERIAL TRANSITION EXAMPLE

MATERIAL LEGEND:	
PC-1	FABCON PRECAST CONCRETE, AGGREGATE (WHITE, MFR FINISH) (CLASS 1)
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PC-3	FABCON PRECAST CONCRETE, RAKED VERTICALLY, (STAIN SHERWIN WILLIAMS, COLOR: 8261-777 - LS COLONIAL RED 2020) (CLASS 3)
PC-4	FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (WHITE, MFR FINISH) (CLASS 1)
PC-5	FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (STAIN SHERWIN WILLIAMS, COLOR: 6247 - KRYPTON) (CLASS 1)
SF-1	SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTACLE AND BENCH
PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
PF-1	PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020
ST-1	HARRISTONE PRECAST STONE VENEER, DRY STONE (COLOR: STIRLING) (CLASS 2)

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740 NW WARD RD
6 BAY RH MVP LINEAR STORE - PROTO Q3 2025
LES SCHWAB TIRE CENTER -
LEE'S SUMMIT, MO

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PROTO SET Q3 2025

10.10.2025
PROJECT# | 62700012
DESIGNED BY | LLC
DRAWN BY | LLC
CHECKED BY |
REVISIONS

MATERIAL EXAMPLE
PHOTOS

MATERIAL LEGEND:

PT-1	EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020
BLK-1	ANGELUS CMU SPLIT FACE, (ONYX)

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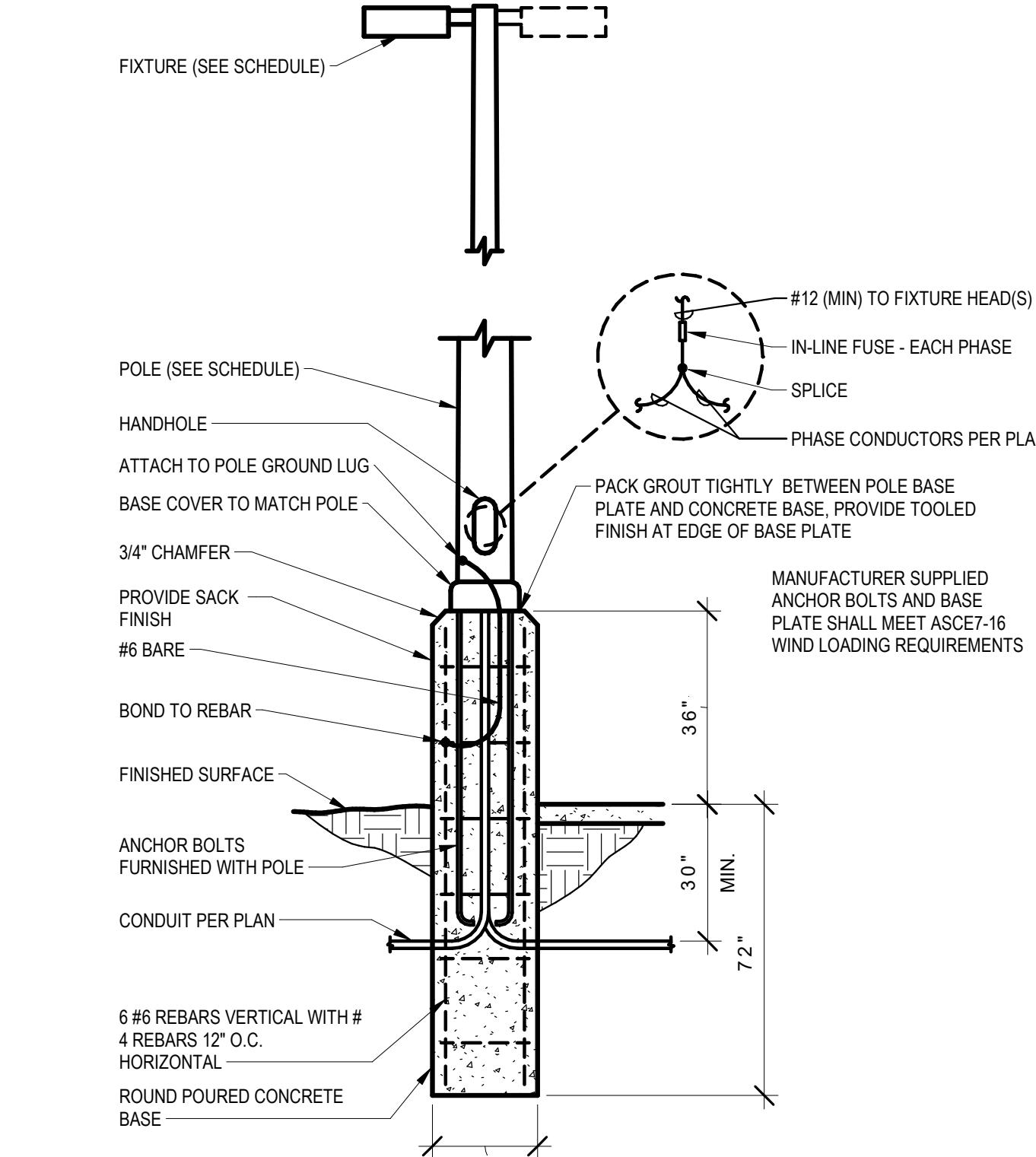
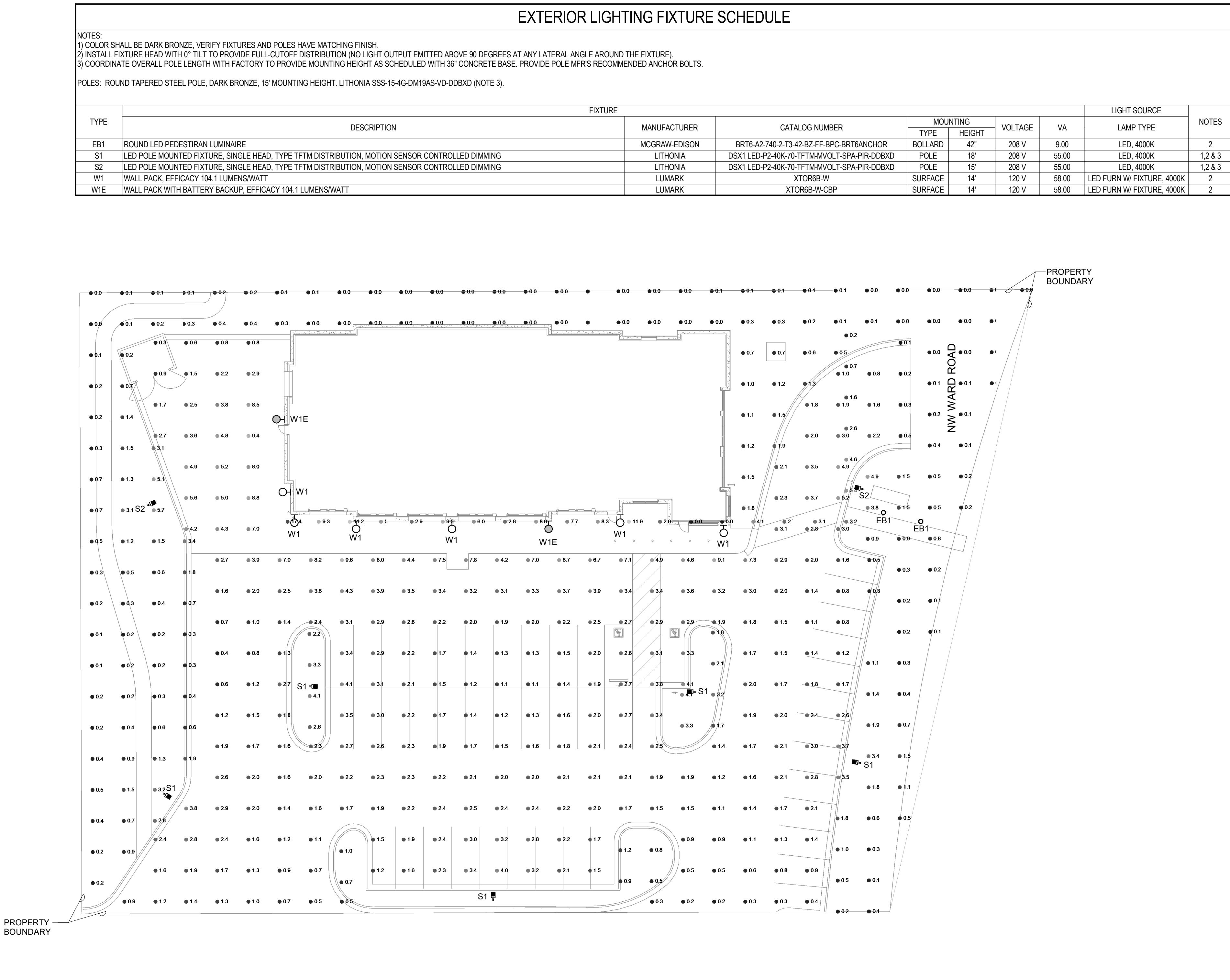
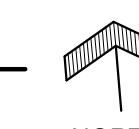
100-0"

100-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

E003

PHOTOMETRIC STATISTICS				
AREA	AVERAGE (FC)	MAX (FC)	MIN (FC)	LLF
PARKING LOT	1.6	6.0	0.1	0.9
BUILDING ENTRY	7.1	14.1	0.9	0.9
LANDSCAPING	0.6	13.1	0.0	0.9

2 POLE BASE DETAIL
SCALE: NTS1 ELECTRICAL SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

