

U:\Engineering\0325114 Lee Summit MO\Drawings\CDP DRAWING\0325114\_CDP\_PDF.dwg, 11/9/2025 8:14:03 PM, DAN MCGHEE, LAMP RYNEARSON

PMIX  
OFFICE

VILLAGE FAIR

R-1  
SINGLE FAMILY RESIDENTIAL

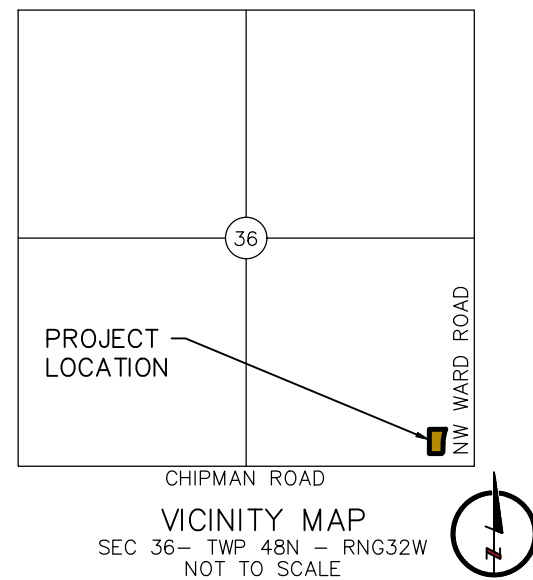
PMIX  
MULTIFAMILY  
RESIDENTIAL

LOT 10B  
SUMMIT FAIR, LOT 10A-10C

PMIX  
COMMERCIAL

LOT 4C-1  
SUMMIT ORCHARD,  
LOT 4C-1, 4C-2 AND 4C-3

PMIX  
COMMERCIAL



LEGEND

- PROPOSED OR EXISTING FULL DEPTH ASPHALT PAVEMENT
- PROPOSED OR EXISTING CONCRETE PAVEMENT

LEGAL DESCRIPTION:

SUMMIT FAIR, LOTS 10D-10F, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

LOT DATA TABLE

ZONING	PMIX
LOT 10D	55,798 S.F., 1.28 AC
LOT 10E	33,475 S.F., 0.77 AC
LOT 10F	32,309 SF, 0.74 AC
TOTAL	121,582 SF, 2.79 AC

BUILDING SUMMARY TABLE

LOT 10D	
AUTOMOTIVE TIRE STORE	8,600 S.F.
FAR	0.1541
LOT 10E	
RESTAURANT W/ DRIVE THRU	2,000 S.F.
FAR	0.0597
LOT 10F	
AUTOMOBILE SERVICE	1,500 S.F.
FAR	0.0464
APPROVED NOT SHOWN	200 S.F.
TOTAL APPROVED BUILDING S.F.	12,300 S.F.

PARKING SUMMARY

LOT 10D	
BUILDING SF - 8,600 S.F.	
USE - AUTOMOTIVE TIRE STORE	
REQUIRED PARKING - 3 SPACES PER SERVICE BAY	18
PARKING PROVIDED	50
LOT 10E	
BUILDING SF - 2,000 SF	
USE - CARRY OUT, DRIVE UP, OR DRIVE THRU ONLY	
# OF EMPLOYEES (MAX SHIFT) - 8	
REQUIRED PARKING - 2 + 1 PER EMPLOYEE (MAX SHIFT)	10 SPACES
PARKING PROVIDED	21 SPACES
LOT 10F	
BUILDING S.F. - 1,500 S.F.	
USE - AUTOMOBILE SERVICE	
REQUIRED PARKING	
2 PER 1,000 S.F. INDOOR SALES AREA	3 SPACES
1 PER 2,500 S.F. OUTDOOR DISPLAY	0 SPACES
3 PER SERVICE BAY	6 SPACES
TOTAL REQUIRED PARKING	9 SPACES
PARKING PROVIDED	13 SPACES

IMPERVIOUS AREA SUMMARY

LOT 10D	
IMPERVIOUS AREA	41,357 S.F. (74%)
OPEN SPACE	14,441 S.F. (26%)
LOT 10E	
IMPERVIOUS AREA	22,228 S.F. (66%)
OPEN SPACE	11,247 S.F. (34%)
LOT 10F	
IMPERVIOUS AREA	18,840 S.F. (58%)
OPEN SPACE	13,469 S.F. (42%)

PERMITTED USES SUMMARY

RETAIL
RESTAURANT (DINE IN, WALK UP, AND DRIVE THRU)
COMMERCIAL (INCLUDING AUTOMOTIVE ORIENTED USES)

PREPARED AND SUBMITTED BY:

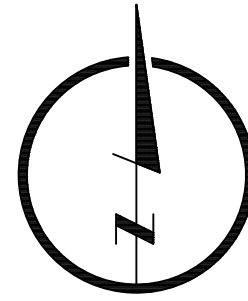
ENGINEER:

LAMP RYNEARSON  
9001 STATE LINE ROAD, SUITE 200  
KANSAS CITY, MO 64114  
CONTACT: DAN MCGHEE  
(816) 361-0440  
Dan.McGhee@lamprynearson.com

LAMP  
RYNEARSON

LAMP RYNEARSON.COM

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9001 STATE LINE RD. STE. 200 (816) 361-0440  
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PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

MARK DANIEL MCGHEE, JR.  
MO PE - 2008019568

OVERALL SITE PLAN

REVISED PRELIMINARY DEVELOPMENT PLAN

SUMMIT FAIR LOTS 10D-10F  
LEE'S SUMMIT, JACKSON COUNTY, MO



Know what's below.  
Call before you dig.

REVISIONS  
11/07/25 - PER CITY COMMENTS  
11/10/25 - PER CITY COMMENTS

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BOOK AND PAGE

MISSOURI AUTHORIZATION NUMBER  
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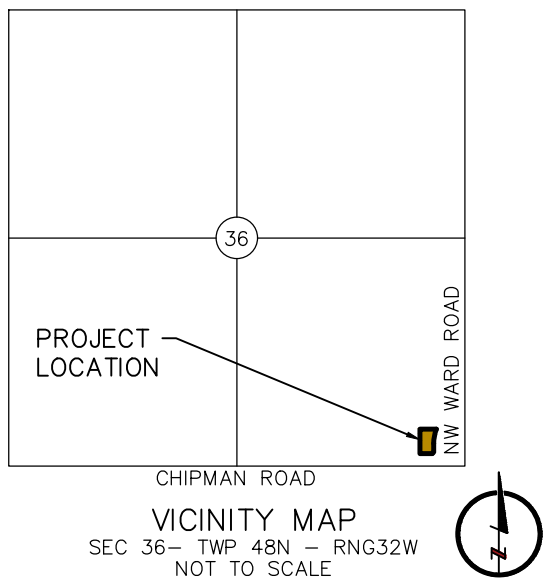
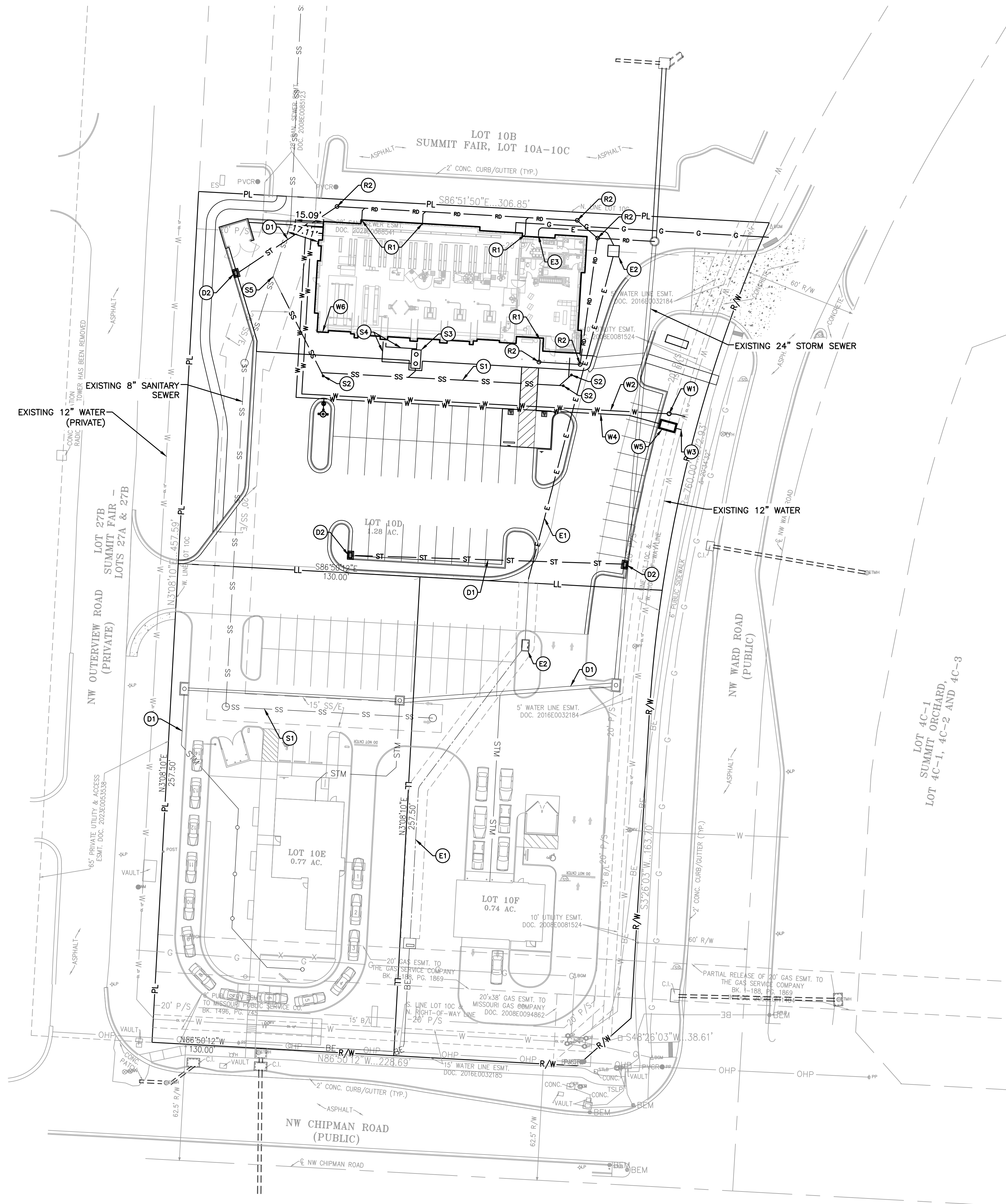
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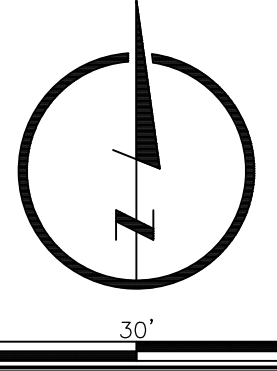
- LEGEND**
- PL ——— PROPERTY LINE
  - LL ——— LOT LINE
  - SECTION LINE
  - - - - - EASEMENT
  - - - - - RIGHT-OF-WAY
  - SS ——— SANITARY SEWER
  - ST ——— STORM SEWER
  - RD ——— ROOF DRAIN
  - E ——— E ——— ELECTRIC LINE
  - G ——— G ——— GAS LINE
  - W ——— W ——— WATER LINE

- SITE UTILITY NOTES:**
1. ALL UTILITIES SHALL MEET THE DESIGN AND CONSTRUCTION STANDARDS FOR THE CITY OF LEE'S SUMMIT.
  2. PROPOSED BUILDINGS SHALL BE AT LEAST 15-FT FROM SANITARY SEWER MAINS.
  3. WATER AND SEWER LINES SHALL MAINTAIN AT LEAST 10-FT OF CLEAR HORIZONTAL SEPARATION AND 18" OF CLEAR VERTICAL SEPARATION AT CROSSINGS.

- UTILITY KEY NOTES:**
- ⑤1 SANITARY SEWER SERVICE
  - ⑤2 SANITARY SEWER CLEANOUT
  - ⑤3 OIL/GREASE SEPARATOR
  - ⑤4 OIL/GREASE SEPARATOR VENT(S)
  - ⑤5 CONNECT SANITARY SEWER SERVICE TO EXISTING MAIN W/CUT IN WYE OR TEE
  - W1 1-1/2" WATER METER
  - W2 2" WATER SERVICE
  - W3 CONNECT TO EXISTING WATER
  - W4 8" PVC C900 FIRE LINE
  - W5 FIRE LINE VAULT W/ DOUBLE CHECK BACKFLOW PREVENTER
  - W6 FDC CONNECTION
  - E1 UNDERGROUND ELECTRIC SERVICE
  - E2 CONCRETE TRANSFORMER PAD
  - E3 ELECTRIC ENTRY INTO BUILDING
  - G1 GAS ENTRY INTO BUILDING WITH METER
  - R1 ROOF DRAIN
  - R2 ROOF DRAIN CLEANOUT
  - D1 STORM SEWER
  - D2 STORM SEWER CURB INLET

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UTILITY PLAN  
REVISED PRELIMINARY DEVELOPMENT PLAN  
SUMMIT FAIR LOTS 10D-10F  
LEE'S SUMMIT, JACKSON COUNTY, MO

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3



## PLANT SCHEDULE

### EVERGREEN TREES

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>
---------------	-------------	------------

EVERGREEN SHRUB

## ORNAMENTAL GRASSES

LANDSCAPE SCHEDULE

NW OUTVIEW ROAD  
(PRIVATE)

LOT 27B  
SUMMIT FAIR -  
LOTS 27A & 27B



62.5' R/W

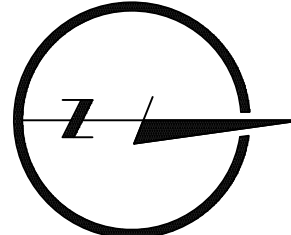
SPREADER EVERGREEN SHRUB  
SEAGREEN JUNIPER, GREYOWL JUNIPER,  
DENSE YEW, BOXWOOD

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NE AUTHORIZATION NO.: CA0130

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A horizontal number line with tick marks at 0, 20', and 4. The segment between 0 and 20' is white, and the segment between 20' and 4 is shaded black.

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PRELIMINARY LANDSCAPE PLAN  
REVISED PRELIMINARY DEVELOPMENT PLAN

SUMMIT FAIR LOTS 10D-10F  
LEE'S SUMMIT, JACKSON COUNTY, MO



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PROPOSED LES SCHWAB TIRE CENTER LOT 10D

LANDSCAPE CODE REVIEW - P-MIX DEVELOPMENT ZONING			
	REQUIRED	PROVIDED	NOTES & CALCULATIONS
<b>A. STREET FRONTAGE (SEC. 8.790.A)</b>			
MINIMUM DEPTH	NW WARD ROAD: 20' NW OUTERVIEW ROAD: 20'	NW WARD ROAD: 35.59' NW OUTERVIEW ROAD: 20.62'	
- REQUIRED TREES	NW WARD ROAD: 7 TREES NW OUTERVIEW ROAD: 7 TREES	NW WARD ROAD: 7 TREES NW OUTERVIEW ROAD: 7 TREES	1 PER 30 LF OF STREET FRONTAGE NW WARD ROAD 198 LF / 30 = 6.6 TREES NW OUTERVIEW ROAD 205.5/30 = 6.8 TREES
- REQUIRED SHRUBS	NW WARD ROAD: 10 SHRUBS NW OUTERVIEW ROAD: 10 SHRUBS	NW WARD ROAD: 10 SHRUBS NW OUTERVIEW ROAD: 10 SHRUBS	1 PER 20 LF OF STREET FRONTAGE NW WARD ROAD 198 LF/30 = 9.9 SHRUBS NW OUTERVIEW ROAD 205.5 LF/20 = 10 SHRUBS
<b>B. PARKING LOT LANDSCAPING (SEC. 8.810)</b>			
LANDSCAPE ISLANDS	5%	5.9%	1414.06 SF / 23,988 SF OF PAVEMENT = 5.9%
<b>C. SCREENING (SEC. 8.420)</b>			
PERIMETER LANDSCAPE	SOUTH: 2.5' HEIGHT EAST: 2.5' HEIGHT	SOUTH: 2.5' HEIGHT LANDSCAPING EAST: 2.5' HEIGHT LANDSCAPING	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	CONT	HEIGHT	WIDTH
<u>DECIDUOUS TREES</u>								
	AC BA	1	ACER X FREEMANII 'BAILSTON'	MATADOR™ FREEMAN MAPLE	2.5" CAL	B & B	40–50'	30–40'
	GL SK	2	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	2.5" CAL	B & B	30–40'	30–40'
	GY DE	2	GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2.5" CAL	B & B	40–60'	30–50'
	QU AL	3	QUERCUS ALBA	WHITE OAK	2.5" CAL	B & B	40–50'	50–75'
	QU RU	2	QUERCUS RUBRA	NORTHERN RED OAK	2.5" CAL	B & B	40–60'	45–65'
<u>EVERGREEN TREES</u>								
	PI GD	4	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	8' HT	B & B	30–40'	10–15'
	PS ME	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	8' HT	B & B	40–50'	15–25'
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	NOTES
<u>DECIDUOUS SHRUBS</u>								
	CO AL	26	CORNUS ALBA 'CRMIZAM'	CREME DE MINT™ TATARIAN DOGWOOD	5 GAL	3–5' HT	3–5' W	
	FO BS	7	FOTHERGILLA MAJOR 'BLUE SHADOW'	BLUE SHADOW FOTHERGILLA	3 GAL	3–5' HT	3–5' W	
	SP TO	28	SPIRAEA BETULIFOLIA 'TOR'	WHITE FROST™ BIRCHLEAF SPIREA	5 GAL	1–3' HT	1–3' W	
	VI CA	6	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL	3–5' HT	3–5' W	
<u>EVERGREEN SHRUBS</u>								
	BU GV	14	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	3 GAL	3–5' HT	3–5' W	
	JU SG	14	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	6' + HT	6' + W	
	TA TA	4	TAXUS X MEDIA 'TAUNTONII'	TAUNTON'S ANGLO–JAPANESE YEW	5 GAL	3–5' HT	3–5' W	
<u>ORNAMENTAL GRASSES</u>								
	SP HE	139	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	3–5' HT	3–5' W	

LANDSCAPE SCHEDULE

SYMBOL	CODE	DETAIL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	COLOR/FINISH	SIZE	NOTES
	L-1		RIVER ROCK	RIVER ROCK	THE ROCK PLACE LLC.	WWW.THEROCKPLACE.LLC.COM	RIVER ROCK	(85%) 2"–3", (15%) 4"–6"	INSTALL TO A MINIMUM DEPTH OF 4". INSTALL GEOTEXTILE UNDERLAYMENT. SUBMIT STONE SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO ORDERING
	L-2		TURF SOD	TALL FESCUE TURF TYPE FESCUE	AUSTIN FARMS	WWW.AUSTINFARM.COM	N/A	N/A	INSTALL PER SUPPLIER'S SPECIFICATIONS. PRIOR TO INSTALLATION.

OTHER PAD SITES

CONCEPT PLANT SCHEDULE

	<b>LARGE SHADE TREES</b> REDPOINTE MAPLE, SUMMERSHADE MAPLE, OCTOBER GLORY MAPLE, HERITAGE RIVER BIRCH, SWAMP WHITE OAK, SHUMARD RED OAK, VILLAGE GREEN ZELKOVA, BALD CYPRESS	11
	<b>MEDIUM SHADE TREES</b> SKYLINE HONELOCUST, HEDGE MAPLE, CADDO SUGAR MAPLE, WILLOW OAK, PRAIRIE GOLD ASPEN	9
	<b>ORNAMENTAL TREE</b> AUTUMN BRILLIANCE SERVUCEBERRY, OKLAHOMA REDBUD, WHITE FRINGETREE, PRAIRIE FIRE CRABAPPLE, SPRINGSNOW CRABAPPLE	6
	<b>EVERGREEN TREES</b> HILLSPRE JUNIPER, WHITE PINE	8
	<b>SPREADER EVERGREEN SHRUB</b> SEAGREEN JUNIPER, GREYOWL JUNIPER, DENSE YEW, BOXWOOD	20

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PRELIMINARY LANDSCAPE SCHEDULES  
REVISED PRELIMINARY DEVELOPMENT PLAN

SUMMIT FAIR LOTS 10D–10F  
LEE'S SUMMIT, JACKSON COUNTY, MO



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DESIGNER / DRAFTER

SAM HOWLAND

DATE

OCTOBER 2025

PROJECT NUMBER

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2 BUILDING PERSPECTIVE



1 BUILDING PERSPECTIVE



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6 BAY RH MVP LINEAR STORE - PROTO Q3 2025  
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LEE'S SUMMIT, MO**

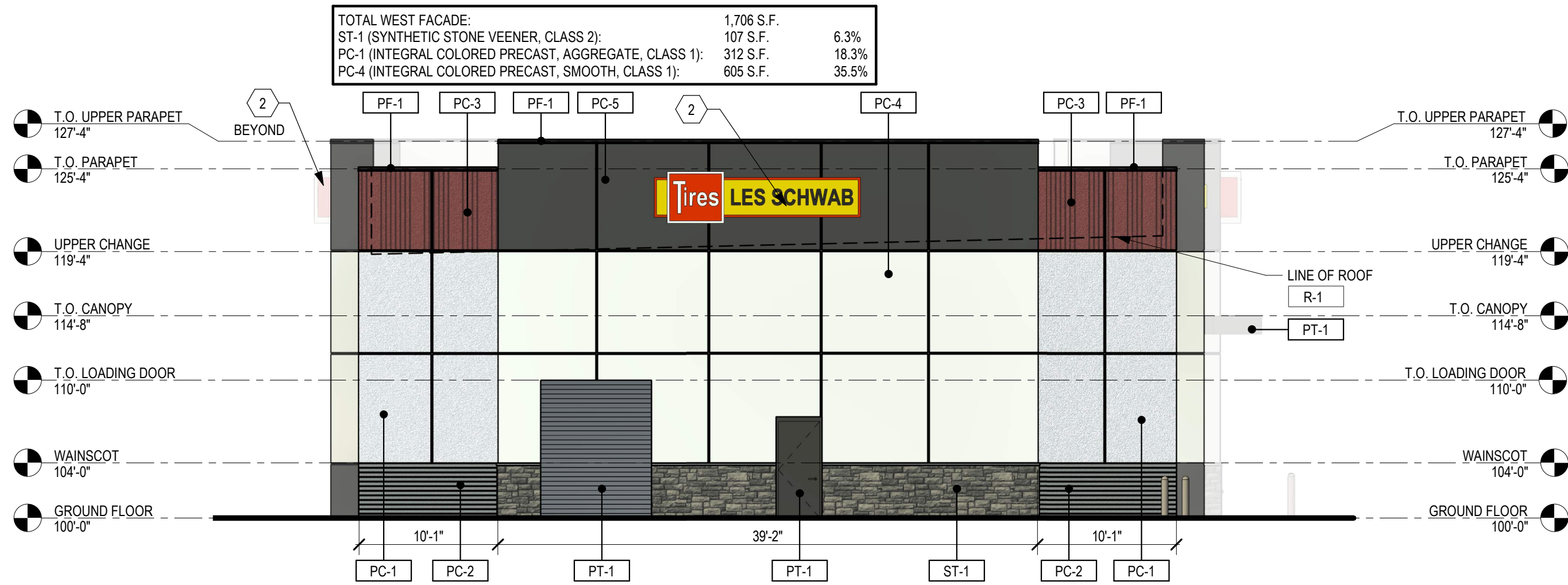
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PROTO SET Q3 2025

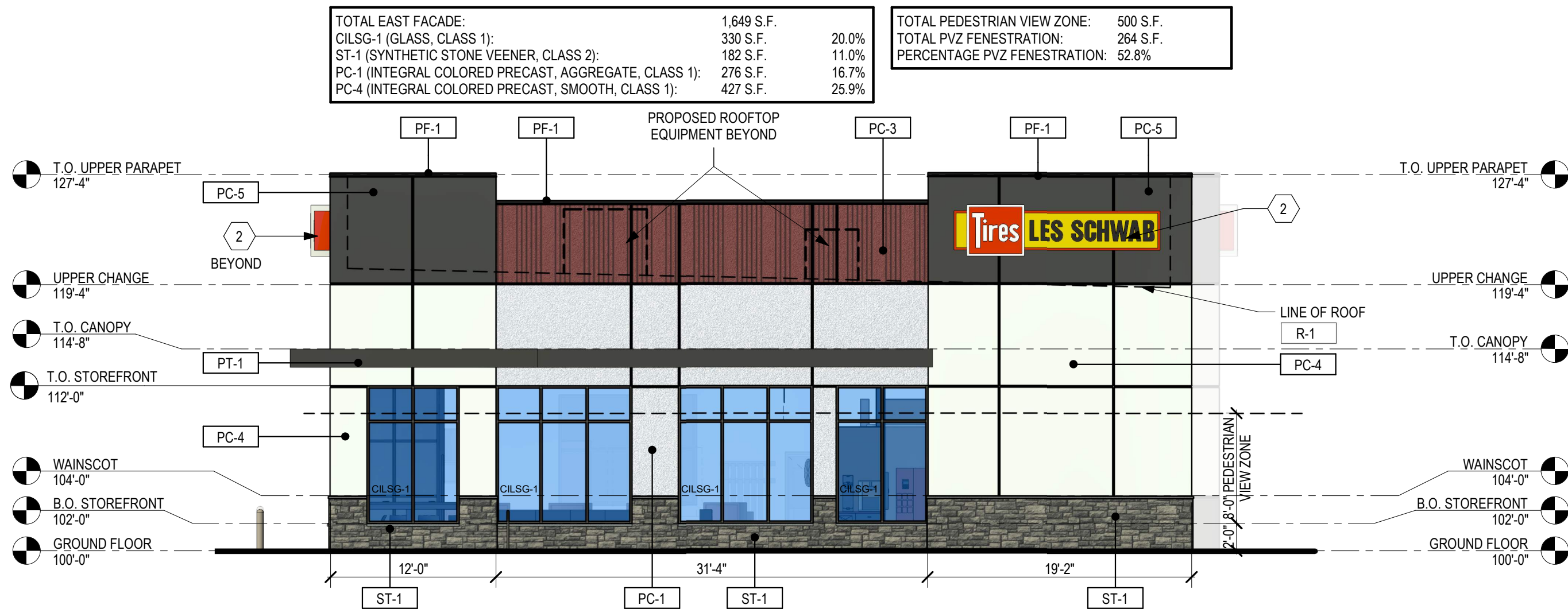
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PERSPECTIVE VIEWS

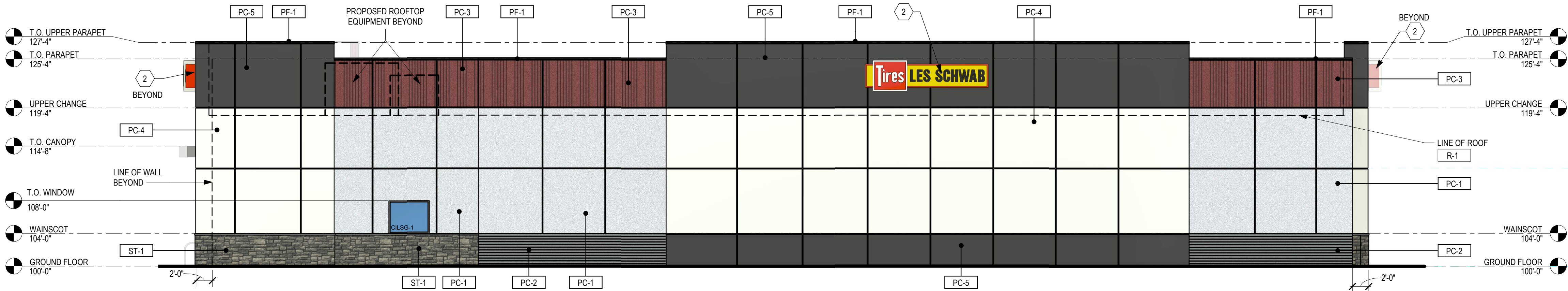




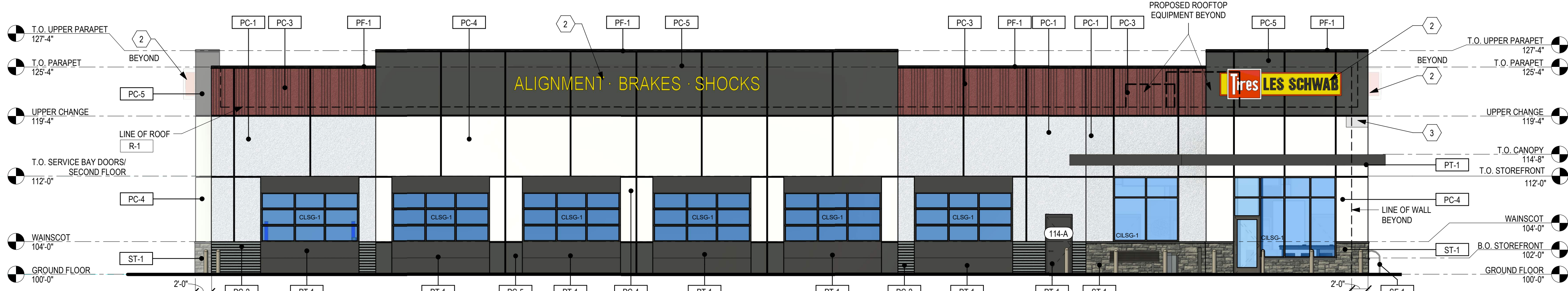
4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

## ELEVATION GENERAL NOTES:

- ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY, BY OWNER.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- REF CIVIL AND STRUCTURAL DRAWINGS FOR GRADE CHANGES AND RETAINING WALL DIMENSIONS AND LOCATIONS.
- CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM. REF CIVIL DRAWINGS.
- COORDINATE WITH SIGNAGE PLANS REQUIRED STRUCTURAL BACKING IN METAL PANEL SYSTEM AND REQUIRED ELECTRICAL ROUGH-IN LOCATIONS.
- PROVIDE BACKING AT LOCATIONS WHERE EXTERIOR LIGHTS ARE SHOWN ON METAL PANEL SYSTEM. COORDINATE WITH LIGHT MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.
- EXPOSED STEM CONCRETE WALLS IN LANDSCAPED AREAS ARE TO HAVE MULCH OR GROUND COVER AGAINST EXPOSED CONCRETE TO HIDE FOOTING.
- REFER TO SHEET E501 LIGHTING FIXTURE SCHEDULE FOR EXTERIOR LIGHT FIXTURE MOUNTING HEIGHTS.
- VERIFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION.

## ELEVATION KEY NOTES:

- NOT USED
- SIGNAGE BY CARLSON SIGN, REF 5/A506 FOR ATTACHMENT DETAIL.
- ADDRESS NUMBER LOCATION, COORD W/ AHJ.

## MATERIAL LEGEND:

- |      |  |
|------|--|
| PC-1 | FABCON PRECAST CONCRETE, AGGREGATE (WHITE, MFR FINISH) (CLASS 1)   |
| PC-2 | FABCON PRECAST CONCRETE, 8" HORIZONTAL STAMP. (STAIN SHERWIN WILLIAMS, COLOR: 7068 - GRIZZLE GRAY) (CLASS 3)           |
| PC-3 | FABCON PRECAST CONCRETE, RAKED VERTICALLY, (STAIN SHERWIN WILLIAMS, COLOR: 6261-7797 - LS COLONIAL RED 2020) (CLASS 3) |
| PC-4 | FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (WHITE, MFR FINISH) (CLASS 1)   |
| PC-5 | FABCON PRECAST CONCRETE, SMOOTH, REVERSE PANELS, (STAIN SHERWIN WILLIAMS, COLOR: 6247 - KRYPTON) (CLASS 3)             |
| SF-1 | SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTACLE AND BENCH  |
| PT-1 | EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020  |
| PF-1 | PRE-FINISHED METAL COLOR TO MATCH: SW 8261-10059-LS BRONZE 2020  |
| ST-1 | HARRISTONE PRECAST STONE VENEER, DRY STONE (COLOR: STIRLING) (CLASS 2)   |

## STOREFRONT LEGEND:

- |        |  |
|--------|--|
| CLSG-1 | CLEAR INSULATED LAMINATED SAFETY GLASS (CLASS 1) |
| CLSG-1 | CLEAR LAMINATED SAFETY GLASS (CLASS 1)           |

## ROOFING LEGEND:

- |     |   |
|-----|---|
| R-1 | PVC MEMBRANE ROOFING SYSTEM (NOT VISIBLE) (CLASS 3) |
|-----|---|



brr

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6 BAY RH MWP LINEAR STORE - PROTO Q3 2025  
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**LEE'S SUMMIT, MO**

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PROTO SET Q3 2025

10.10.2025  
PROJECT# | LS\_PROTO2024  
DESIGNED BY | LLC  
DRAWN BY | LLC  
CHECKED BY | REVISIONS

EXTERIOR  
ELEVATIONS

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN





2 MATERIAL TRANSITION EXAMPLE



1 MATERIAL TRANSITION EXAMPLE

MATERIAL LEGEND:

PC-1	FABCON PRECAST CONCRETE, AGGREGATE (WHITE, MFR FINISH) (CLASS 1)
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740 NW WARD RD  
6 BAY RH MVP LINEAR STORE - PROTO Q3 2025  
**LES SCHWAB TIRE CENTER -  
LEE'S SUMMIT, MO**

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PROTO SET Q3 2025

10.10.2025  
PROJECT# | 62700012  
DESIGNED BY | LLC  
DRAWN BY | LLC  
CHECKED BY |  
REVISIONS

MATERIAL EXAMPLE  
PHOTOS



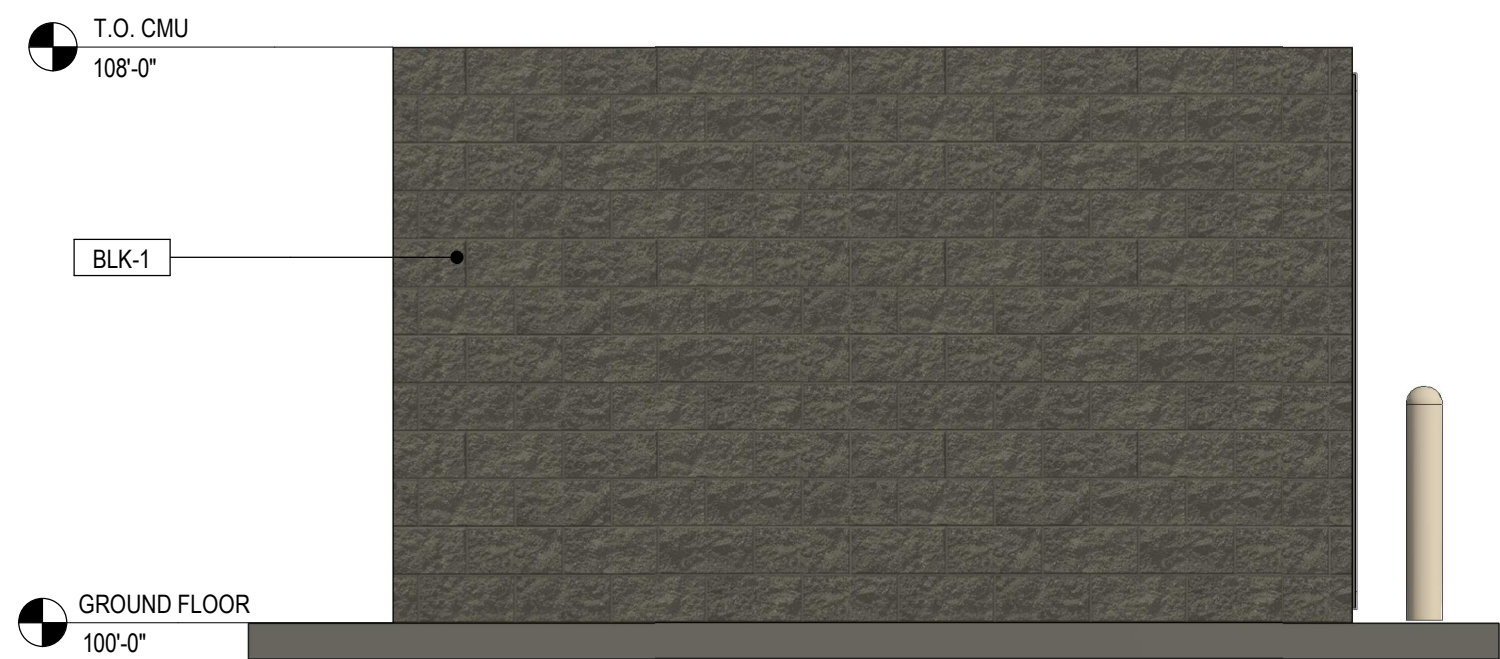
MATERIAL LEGEND:

PT-1 EXTERIOR PAINT, COLOR: SW 8261-10059-LS BRONZE 2020

BLK-1 ANGELUS CMU SPLIT FACE, (ONYX)



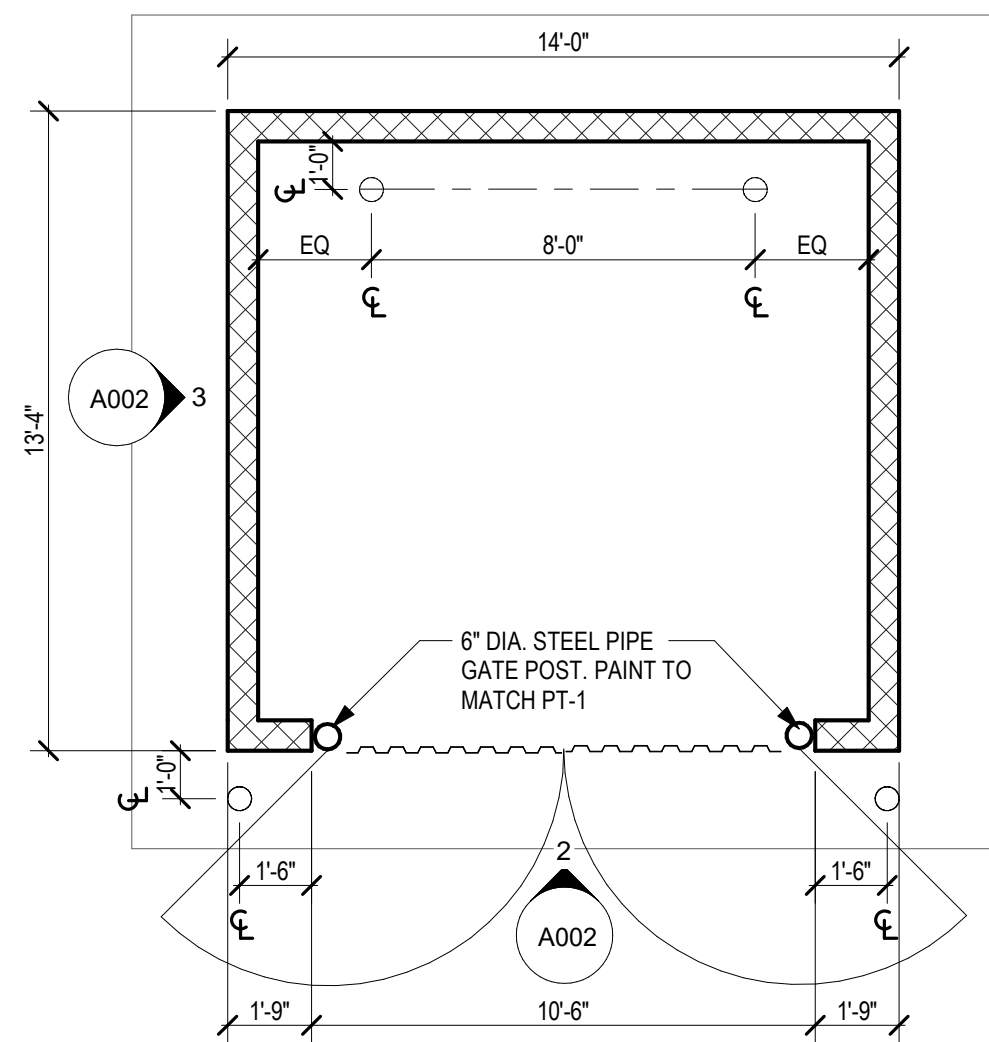
4 TRASH ENCLOSURE PERSPECTIVE



3 TRASH ENCLOSURE SIDE  
SCALE: 3/8" = 1'-0"



2 TRASH ENCLOSURE - FRONT  
SCALE: 3/8" = 1'-0"



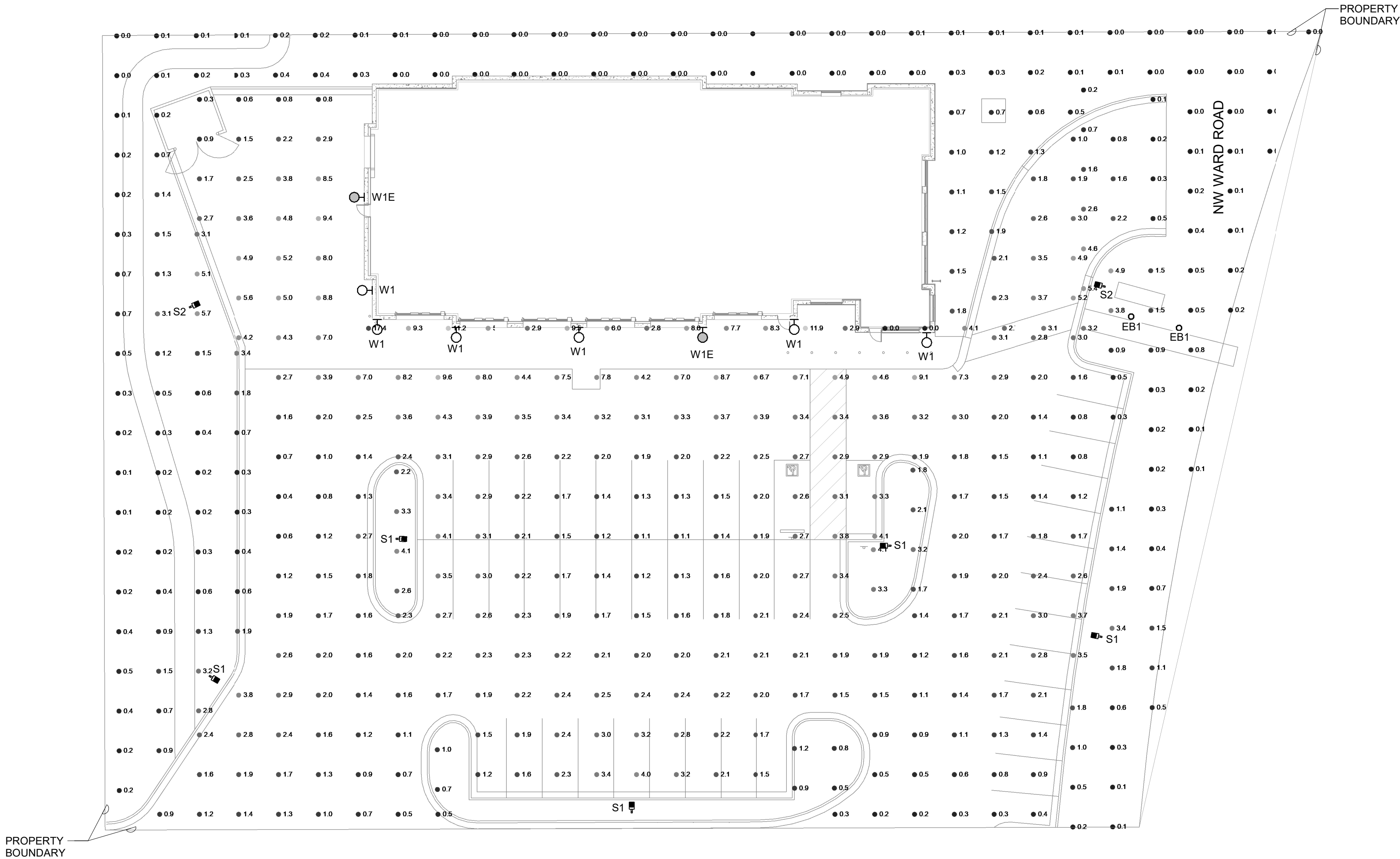
1 ENLARGED TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



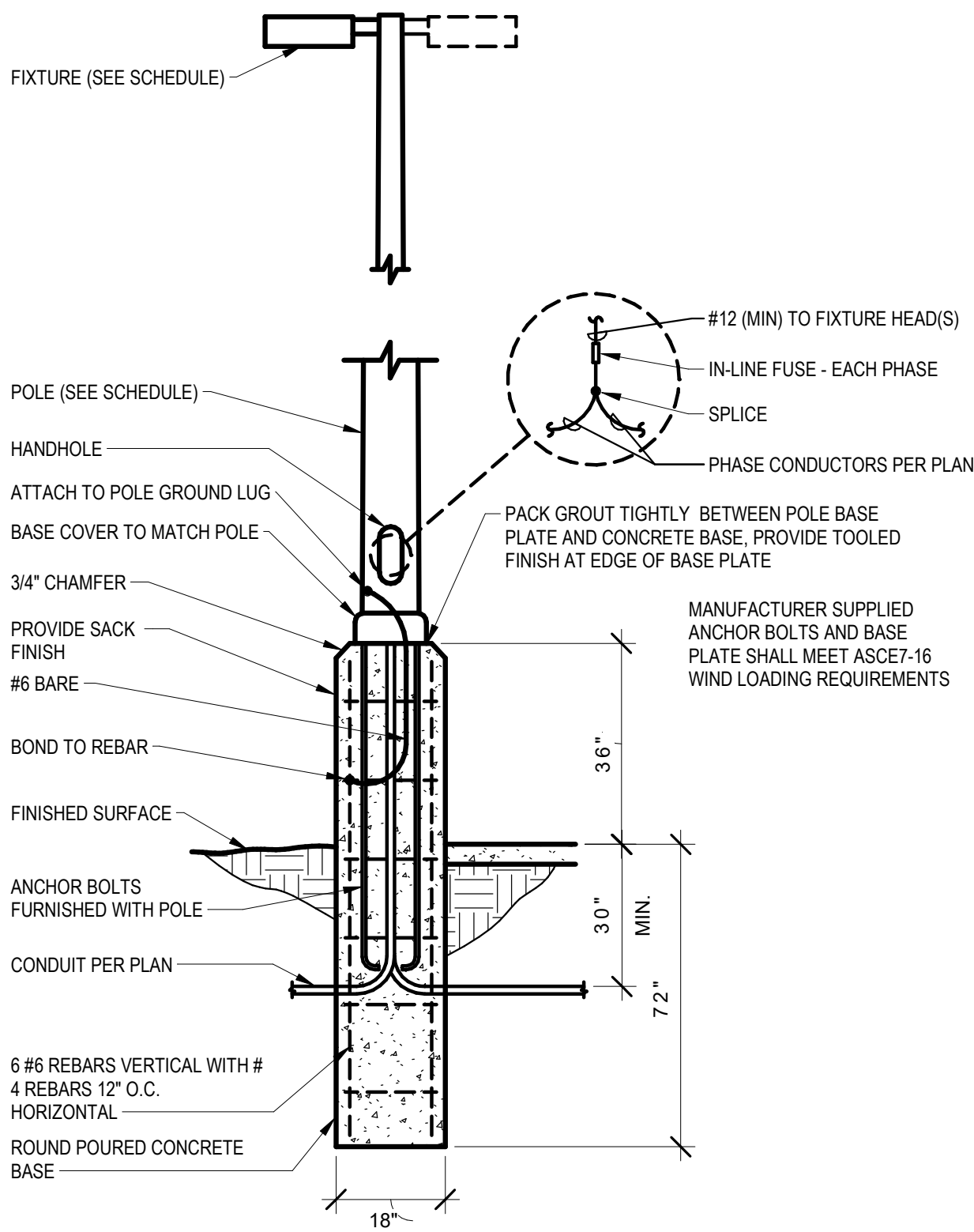


NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

EXTERIOR LIGHTING FIXTURE SCHEDULE									
NOTES:									
1) COLOR SHALL BE DARK BRONZE. VERIFY FIXTURES AND POLES HAVE MATCHING FINISH.									
2) INSTALL FIXTURE HEAD WITH 0° TILT TO PROVIDE FULL-CUTOFF DISTRIBUTION (NO LIGHT OUTPUT EMITTED ABOVE 90 DEGREES AT ANY LATERAL ANGLE AROUND THE FIXTURE).									
3) COORDINATE OVERALL POLE LENGTH WITH FACTORY TO PROVIDE MOUNTING HEIGHT AS SCHEDULED WITH 36" CONCRETE BASE. PROVIDE POLE MFR'S RECOMMENDED ANCHOR BOLTS.									
POLES: ROUND TAPERED STEEL POLE, DARK BRONZE, 15' MOUNTING HEIGHT. LITHONIA SSS-15-4G-DM19AS-VD-DBDX (NOTE 3).									
TYPE	FIXTURE			MOUNTING		VOLTAGE	VA	LIGHT SOURCE	
	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	TYPE	HEIGHT			LAMP TYPE	NOTES
EB1	ROUND LED PEDESTAL LUMINAIRE	MCGRAW-EDISON	BRT6-A2-740-2-T3-42-BZ-FF-BPC-BRT6ANCHOR	BOLLARD	42"	208 V	9.00	LED, 4000K	2
S1	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE TFTM DISTRIBUTION, MOTION SENSOR CONTROLLED DIMMING	LITHONIA	DSX1 LED-P2-40K-70-TFTM-MVOLT-SPA-PIR-DBDX	POLE	18'	208 V	55.00	LED, 4000K	1,2 & 3
S2	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE TFTM DISTRIBUTION, MOTION SENSOR CONTROLLED DIMMING	LITHONIA	DSX1 LED-P2-40K-70-TFTM-MVOLT-SPA-PIR-DBDX	POLE	15'	208 V	55.00	LED, 4000K	1,2 & 3
W1	WALL PACK, EFFICACY 104.1 LUMENS/WATT	LUMARK	XTOR6B-W	SURFACE	14"	120 V	58.00	LED FURN W FIXTURE, 4000K	2
W1E	WALL PACK WITH BATTERY BACKUP, EFFICACY 104.1 LUMENS/WATT	LUMARK	XTOR6B-W-CBP	SURFACE	14"	120 V	58.00	LED FURN W FIXTURE, 4000K	2



PHOTOMETRIC STATISTICS				
AREA	AVERAGE (FC)	MAX (FC)	MIN (FC)	LLF
PARKING LOT	1.6	6.0	0.1	0.9
BUILDING ENTRY	7.1	14.1	0.9	0.9
LANDSCAPING	0.6	13.1	0.0	0.9







NEIL P BARTLEY  
LICENSE NO. 2007023868

HOSS & BROWN  
ENGINEERS  
CORPORATION MISSOURI  
LICENSE NO. 01022

ELECTRICAL SITE  
LIGHTING CUTSHEETS

E004

## NO F004



DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy efficient LEDs. The rugged die-cast aluminum construction back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall surface, inverted mount for loadcatenary illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

**Construction**  
Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing also incorporates both a full cutoff and reflective lens design. Full cutoff and reflective lens models are available in 58W, 81W and 100W. Patent pending secure lock hinge features allows for safe and easy tool-less electrical management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 100W models operate in-40°F to 40°C (40°F to 104°F). High ambient 50°C (122°F) models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points. The back box is secured by four leg bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded reflective prism optical lens assembly meeting requirements for Dark Sky compliance. Reflective lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT).

**Electrical**  
LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 100W models operate in-40°F to 40°C (40°F to 104°F). High ambient 50°C (122°F) models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points. The back box is secured by four leg bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

**Emergency Egress**  
Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free rigid metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

**Finish**  
Crosstour MAXX is protected with a super TSC powder coat or summit white polyester powder coat paint. Super TSC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

**Warranty**  
Five-year warranty.

APPLICATIONS

WALL / SURFACE

INVERTED

SITE LIGHTING

ULC

DLC

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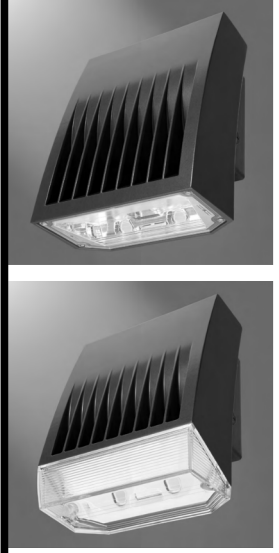
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Lumark

Catalog #	Type
Project	
Comments	Date
Prepared By	



XTOR CROSSTOUR MAXX LED

APPLICATIONS

WALL / SURFACE

INVERTED

SITE LIGHTING

ULC

DLC

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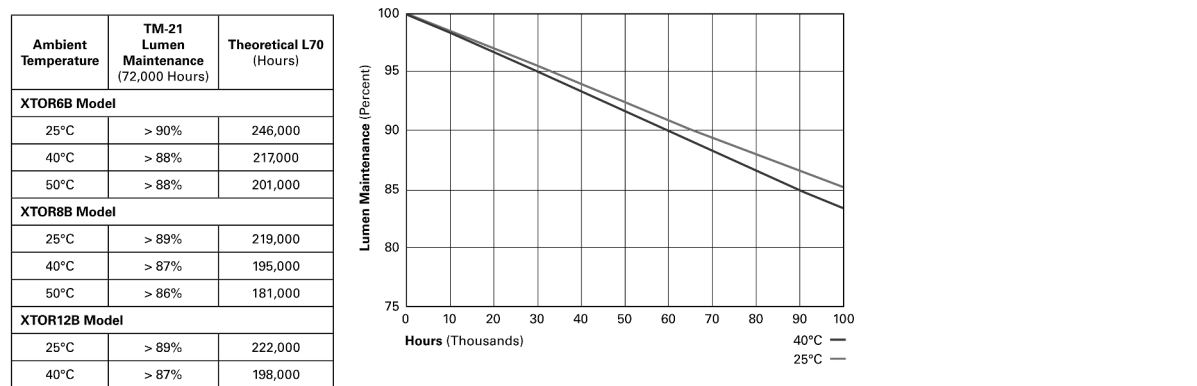
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POWER AND LUMENS BY FIXTURE MODEL

S5W Series						
LED Information	XTOR58	XTOR81W	XTOR81W	XTOR81W	XTOR81W	XTOR81W
Delivered Lumens	6,129	6,125	6,128	6,133	6,111	6,126
B.U.G. Rating	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	58W	58W	58W	58W	58W	58W
B1W Series						
LED Information	XTOR81W	XTOR81W	XTOR81W	XTOR81W	XTOR81W	XTOR81W
Delivered Lumens	8,102	8,115	8,112	8,104	8,079	8,079
B.U.G. Rating	B2-U4-G1	B2-U4-G3	B2-U4-G1	B2-U4-G3	B2-U4-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	81W	81W	81W	81W	81W	81W
N10W Series						
LED Information	XTOR126W	XTOR126W	XTOR126W	XTOR126W	XTOR126W	XTOR126W
Delivered Lumens	12,128	12,158	12,138	12,238	11,881	12,185
B.U.G. Rating	B2-U4-G1	B2-U4-G3	B2-U4-G1	B2-U4-G3	B2-U4-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	102W	102W	102W	102W	102W	102W
XTOR58 and XTOR81W Full Cut CRI 95+ Eged LED			XTOR81W and XTOR81W Refractive Lens CRI 95+ Eged LED			
Delivered Lumens	488			488		
B.U.G. Rating	N.A.			N.A.		
CCT (Kelvin)	4000K			4000K		
CRI (Color Rendering Index)	65			65		
Power Consumption (Watts)	1.6W			1.8W		

LUMEN MAINTENANCE



Model Series	XTOR58	XTOR81W	XTOR126W	XTOR58 and XTOR81W	XTOR81W and XTOR126W
120V	0.51	0.71	0.84	0.50/0.25	0.50/0.25
208V	0.25	0.39	0.52	---	---
240V	0.25	0.35	0.45	---	---
277V	0.22	0.31	0.39	0.36/0.21	0.50/0.21
347V	0.18	0.28	0.35	---	---
480V	0.14	0.19	0.24	---	---

COOPER Lighting Solutions

Cooper Lighting Solutions  
100 Highway 10, Suite 100  
P.O. Box 480  
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

November 18, 2021 8:42 PM

ORDERING INFORMATION

Sample Number: XTOR58-W-1-PC1				
Domestic Preferences	Series	LED Kelvin Color	Housing Color	Options (Add as Suffix)
BA-Buy American Act	XTOR58-58W	[Black]-Bright White (Standard) 5000K	[Black]-Carbon Bronze (Standard)	347V-347V-1111
TA-Trade Agreements Act	XTOR81W-81W	[White]-Warm White (Standard) 3000K	[White]-Summit White (Standard)	480V-480V-1111
	XTOR126W-126W	[Black]-Bright White (Standard) 5000K	[Black]-Carbon Bronze (Standard)	PCB-Photoconductive 120V-1111
	XTOR58BL-58W	[Black]-Bright White (Standard) 5000K	[Black]-Carbon Bronze (Standard)	MS-126-Motion Sensor for ON/OFF Operation 1111
	XTOR81WBL-81W	[Black]-Bright White (Standard) 5000K	[Black]-Carbon Bronze (Standard)	MS-126-Motion Sensor for ON/OFF Operation 1111
	XTOR126WBL-126W	[Black]-Bright White (Standard) 5000K	[Black]-Carbon Bronze (Standard)	MS-126-Motion Sensor for ON/OFF Operation 1111
<b>Accessories (Order Separately)</b>				
XTOR58W-CREATOR Max 3-Wire Guard			EWX7030MS-1 (creations Wall Plate, Carbon Bronze)	
P525W-1 (add to order) 120V-200V 3-Phase			EWX7030MS-1 (creations Wall Plate, Summit White)	
P527W-BUTTON (PC) 120V-200V 3-Phase			P58-106 (Wiring Configuration Tool, Occupancy Sensor)	
<b>Notes:</b>				
1. Only US Light Commercial. Qualified and classified for use with the Standard US DC-Protectors, see <a href="http://www.designlights.org">www.designlights.org</a> for details.				
2. All materials are made in the USA.				
3. All materials are available in 120V and 277V.				
4. All materials are available in 120V and 277V.				
5. The housing is made with materials with a fire rating of 0-50°C.				
6. All units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
7. All units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
8. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
9. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
10. Includes regular power option.				
11. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
12. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
13. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
14. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
15. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
16. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
17. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
18. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
19. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
20. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
21. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
22. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
23. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
24. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
25. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
26. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
27. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
28. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
29. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
30. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
31. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
32. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
33. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
34. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
35. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
36. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
37. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
38. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
39. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
40. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
41. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
42. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
43. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
44. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
45. The units are with 60Hz system. The MS-126 is not with UL recognized systems, integrated grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase Four Wire Delta, Three Phase Four Wire Wye, Three Phase Three Wire Wye, Three Phase Three Wire Delta, Three Phase Three Wire Wye).				
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