

JOINT OPERATIONS FACILITY PRELIMINARY DEVELOPMENT PLAN

PL 2024 188
CITY COUNCIL

NOVEMBER 12,
2024



Applicant's Request

Approval of a Preliminary Development Plan for development of a 43,639 sq. ft. Joint Operations Facility building and future apparatus bay.

Proposed development includes one (1) modification request.



Area/Zoning Map

2 NE Tudor Rd

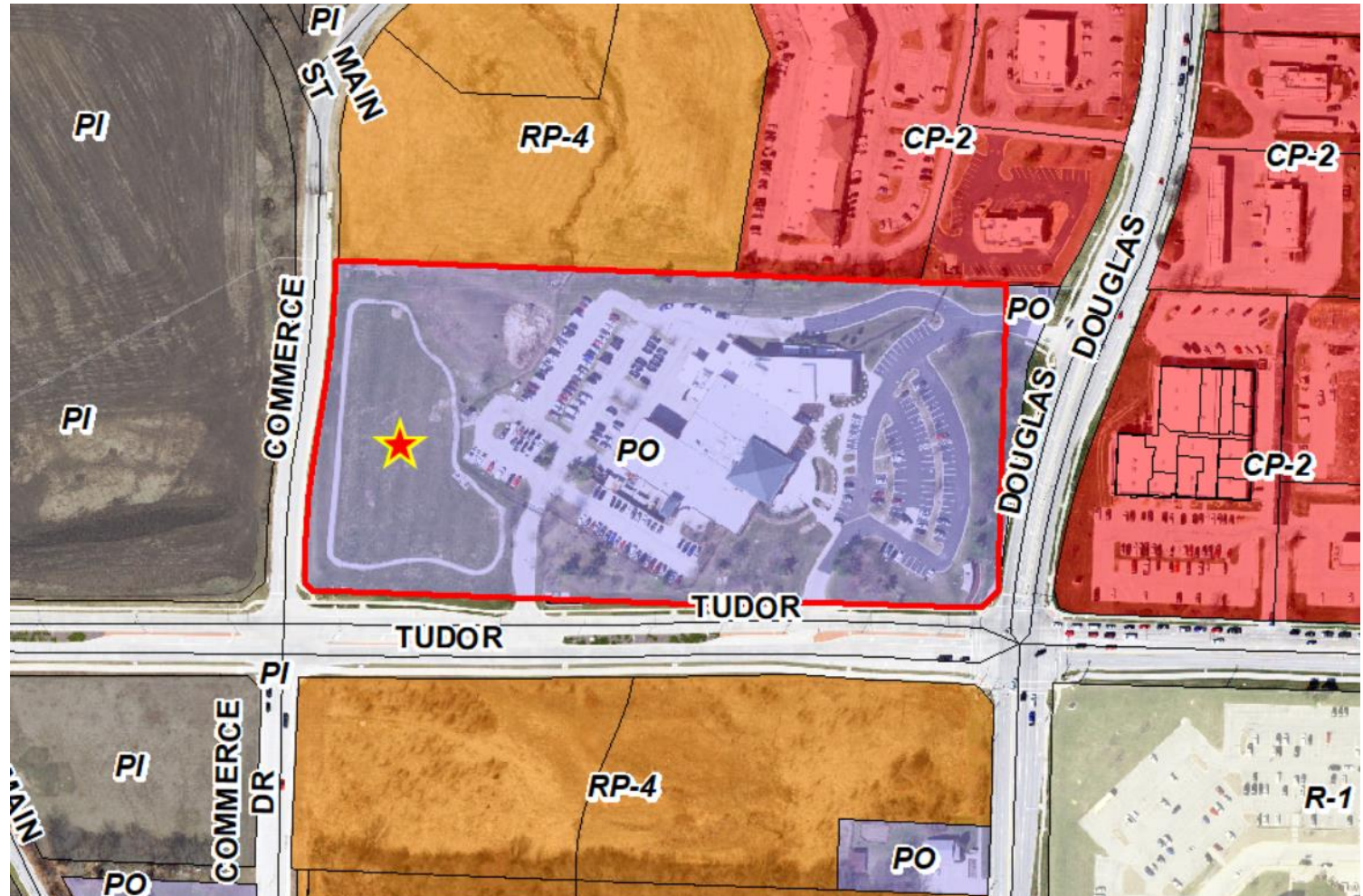
PO Zoning District

West – PI (Planned Industrial)

South – RP-4 (Planned Residential
Apartment)

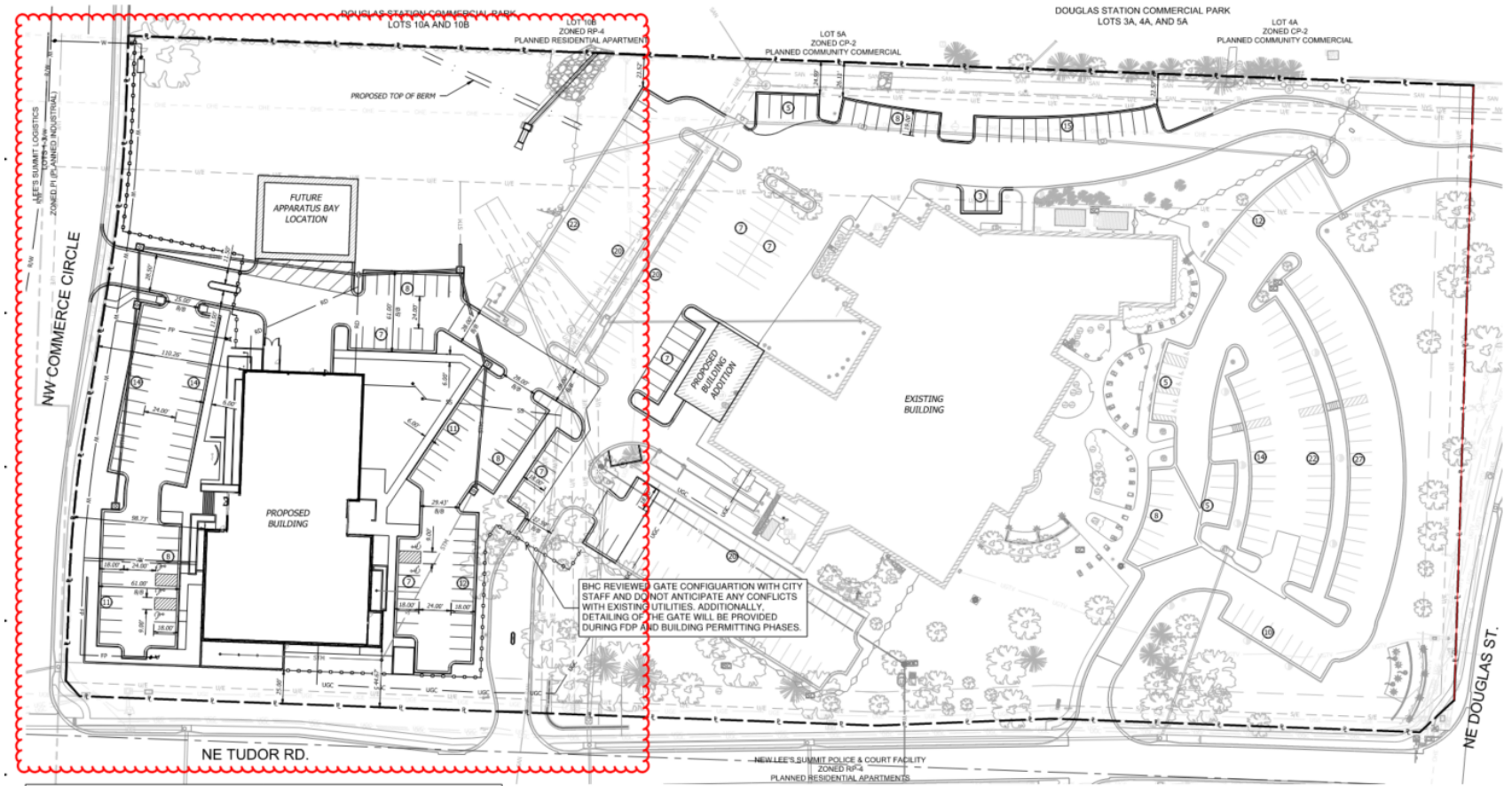
East – CP-2 (Planned Community
Commercial)

North – RP-4 and CP-2



Project Information

Specification	Proposed
# of Buildings	2
# of Stories	2 – main building; 1 – future apparatus bay
Floor Area Ratio	0.28 total
Building Size	43,639 sq. ft.
Parking	371 total (215 ex. + 156 prop.)
Land Coverage	59% total impervious



Application Information

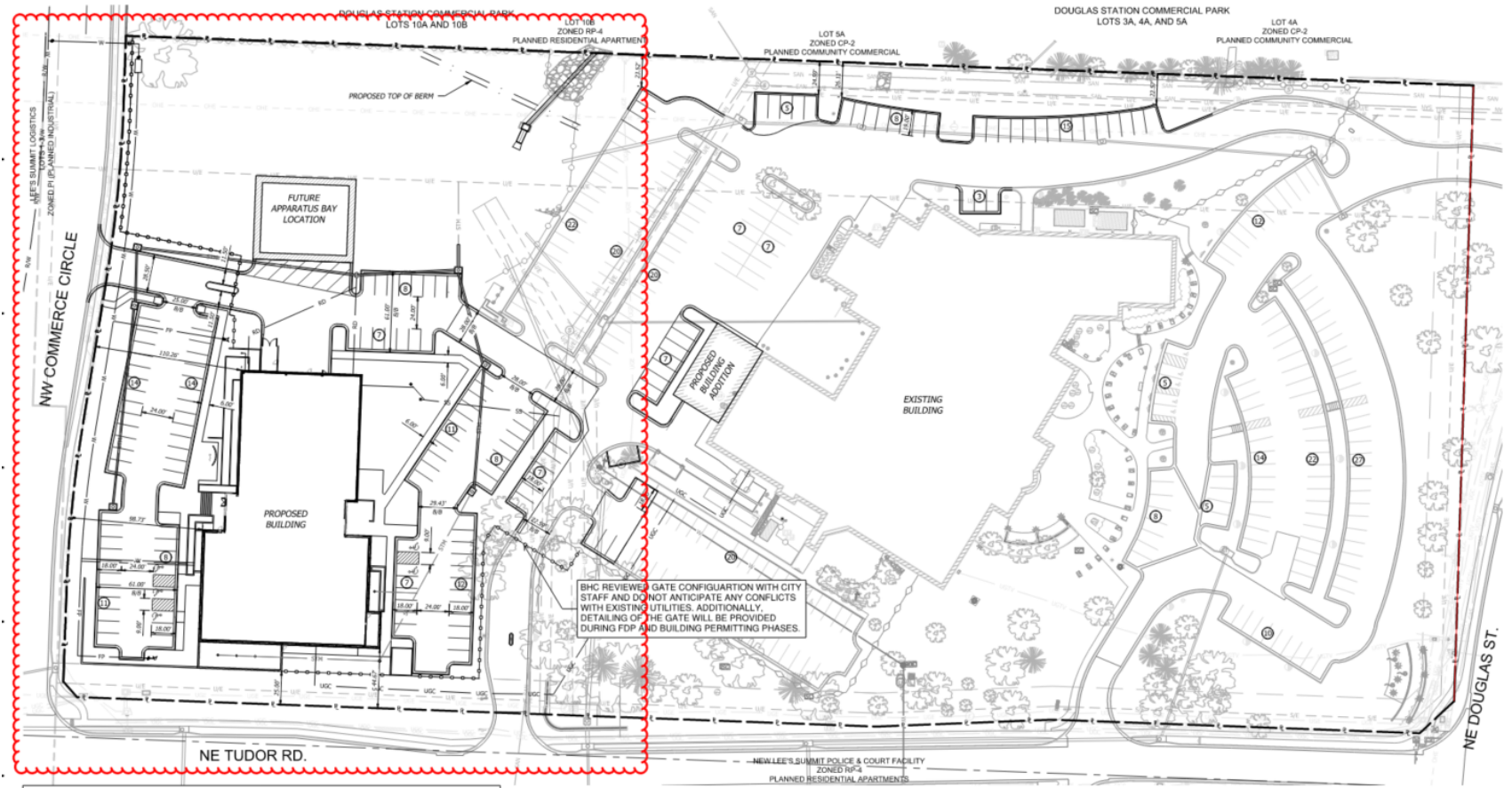
Neighborhood meeting held on August 26, 2024

No members of the public attended the meeting.

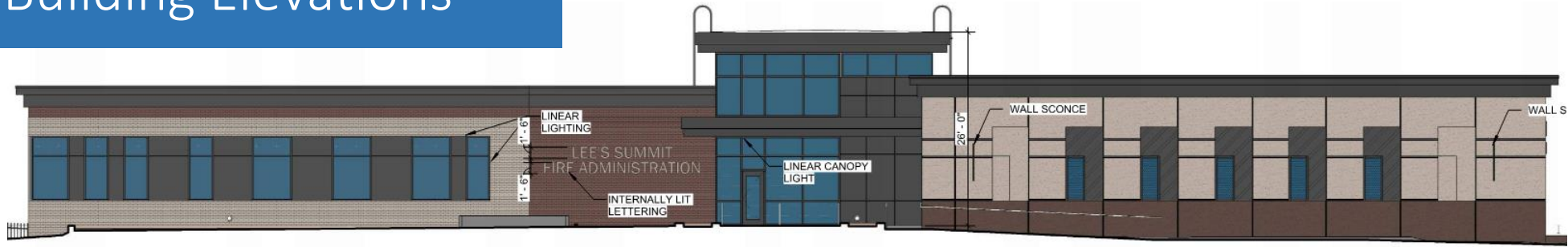
Staff has received no comments from the public regarding this application.

Modification is being requested for:

- Buffer/screen trees along north boundary



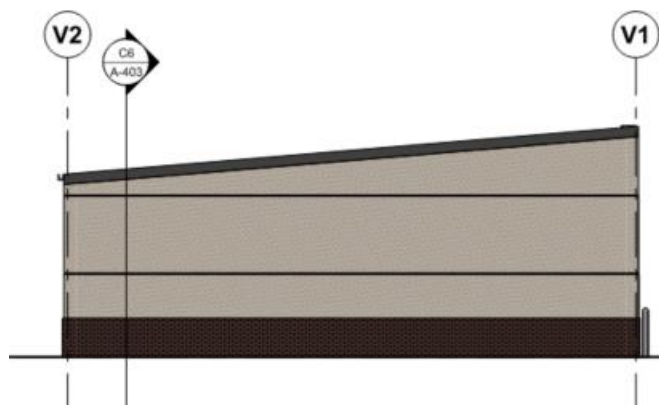
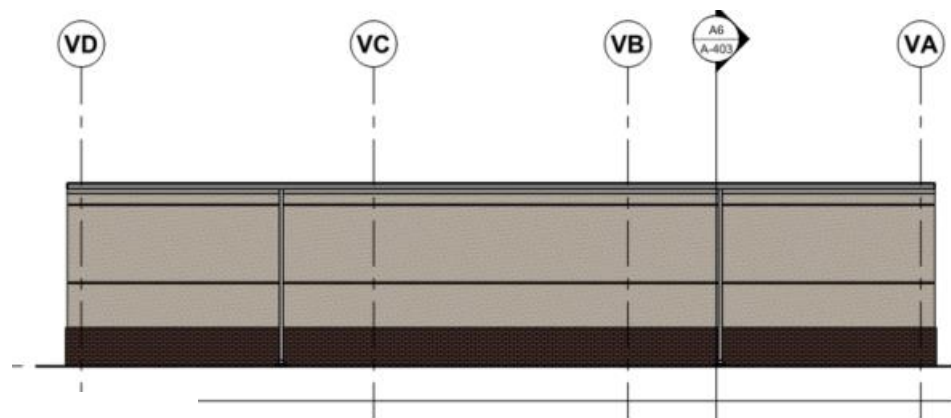
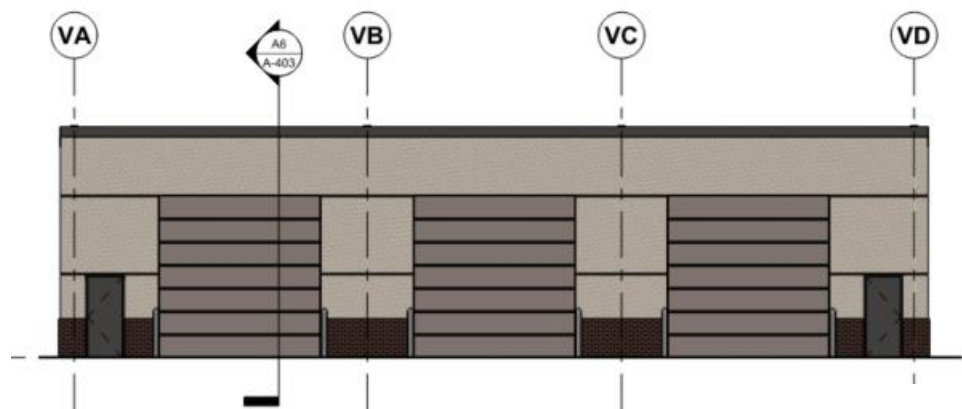
Building Elevations



Materials:

- Brick
- Pre-cast Concrete Panel
- Metal Panel [15% (W); 23% (S); 25% (N/E)]
- Glazing

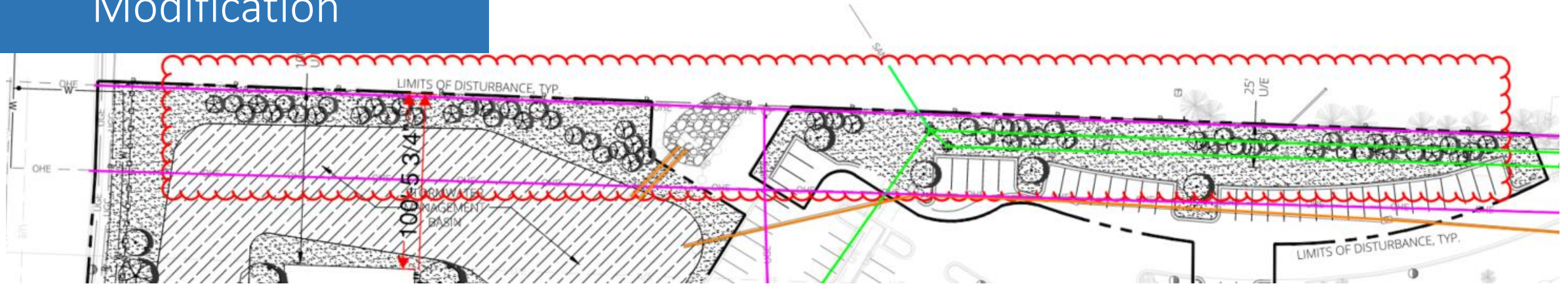
Building Elevations



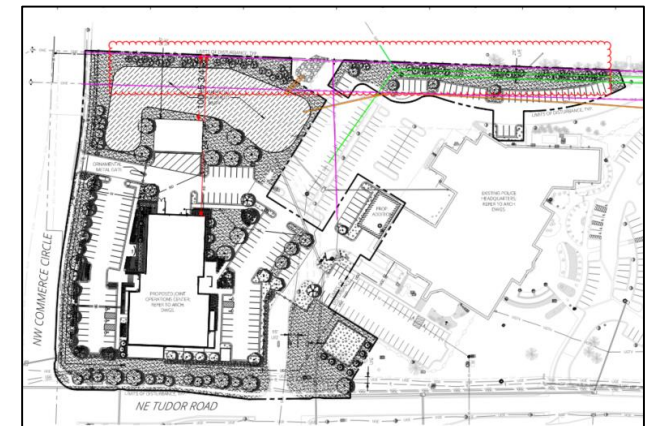
Materials:

- Brick
- Pre-cast Concrete Panel

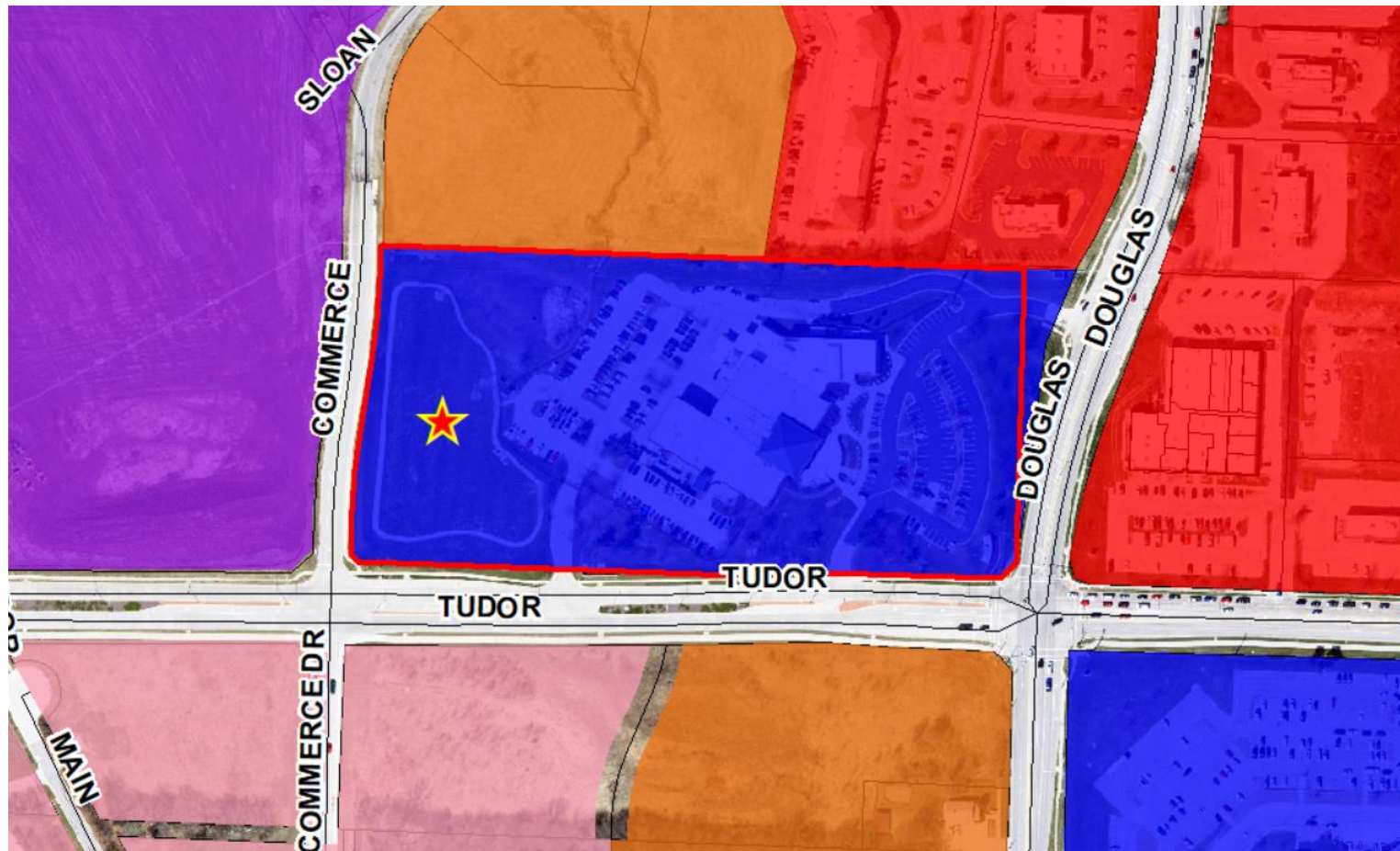
Modification



- Required – Medium impact buffer/screen (60 shrubs + 38 trees)
- Proposed – Medium impact buffer/screen (60 shrubs + 0 trees)



Staff Analysis



- Activity Center Downtown
- Activity Center New Longview
- Activity Center North PRI
- Activity Center South PRI
- Activity Center Summit
- Airport
- Civic
- Commercial
- Industrial
- Infrastructure
- Mixed Use
- Office
- Parks/Open Space
- Residential 1
- Residential 2
- Residential 3
- Water Bodies

Recommendation

1. A modification shall be granted to the medium impact landscape buffer/screen along the north property line, to allow the planting of ~~only~~ shrubs as depicted on the landscape plan dated August 27, 2024, **and require the planting of 15 trees along the area abutting the RP-4-zoned property to the north. (amended by the Planning Commission)**
2. Development shall be in accordance with the preliminary development plan dated August 27, 2024, inclusive of the architectural elevations contained therein depicting the use of architectural composite metal panel systems.

JOINT OPERATIONS FACILITY PRELIMINARY DEVELOPMENT PLAN

PL 2024 188
CITY COUNCIL

NOVEMBER 12,
2024



Project Information

Project Title: Joint Operations Facility	
Type: Facilities	Activity # (1044.36374)
Project Description	
<ul style="list-style-type: none"> Joint operations facility for police, fire, public works, and information technology services Houses fire administration, training, an emergency operations center, public safety communications, traffic monitoring center, and information technology resources FEMA hardened lower level, standard upper level construction 	

Project Purpose	
<ul style="list-style-type: none"> Police and fire communications housed together provides efficiency in both: <ul style="list-style-type: none"> Operations – ability for public safety communications dispatchers to work together during critical incidents. Technology – shared technology resources, such as public safety radio and computer aided dispatching software, can be housed in a single resource and duplication of services is avoided Need for a co-located communications center indicated in the Mission Critical Partners independent study of Lee's Summit public safety communications in 2021 Allows for expansion of communication services when needed Provides better training opportunities for police safety dispatchers 	

Estimated Schedule	
Design and Right of Way Acquisition	FY24-FY25
Construction	FY25-FY26

Funding Sources	
2023 GO Bond (Emergency Preparedness)	\$29,000,000 (FY 23-25)
Total Lifetime Budget	\$29,000,000

Estimated Annual Operating and Maintenance Expense	
\$	

Strategic Plan Elements						
Infrastructure Condition	Education Partners	Health & Well-being	Amenities	Community Engage	Economic Development	Neighborhoods
●	●	●	●	○	●	●

iGNITE Comp Plan Elements						
Quality of Life	Neighborhoods	Economic Development	Multi-modal	Infrastructure Capacity	Sustainable	Land Use & Design
○	●	●	●	●	○	●

FACILITIES CONCEPTUAL CALENDAR

Project	2024	2025	2026	2027	2028	2029	Out Yrs.
Downtown Market Plaza Phase 1 - Infrastructure							
Downtown Market Plaza Phase 2 - Site Development							
Design for Airport Fire Station							
Police South Substation**							
Enterprise Resource Planning (ERP) Replacement							
Fire Station 1 Remodel*							
Joint Operations Facility Building							
2023 Bond Issue for Public Safety Technology							
Police/Court Building Renovation Phase II**							
Public Roadway and Infrastructure Safety**							
Land Acquisition of ARFF and SRE Properties							
Land Acquisition of ATCT Property							

■ Pre-Construction Activities (Design, Property Acquisition, Permitting, Utility Relocation)
■ Construction Activities (Construction, Utility Relocation)