

PRELIMINARY DEVELOPMENT PLAN - CHAPEL RIDGE - LEE'S SUMMIT, MO

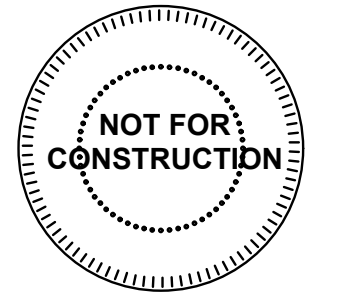
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| C0.02 | EXISTING CONDITIONS-1 |
| C0.03 | EXISTING CONDITIONS-2 |
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DEVELOPER: ANDY MACKEY, LLC
ADDRESS: 8305 NE 89TH ST. KANSAS CITY, MO 64157
PHONE: 816.721.2747
CONTACT NAME: ANDY MACKEY

DESIGN PROFESSIONAL: McCLURE ENGINEERING COMPANY
CONTACT NAME: BRIAN KEMP
ADDRESS: 1700 SWIFT AVE., SUITE 100, NORTH KANSAS CITY, MO 64116
PHONE: 816.756.0444
EMAIL: BKEMP@MCCLUREVISION.COM

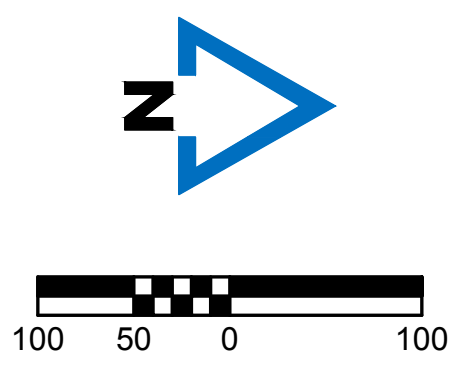
| DEVELOPMENT PLAN INFORMATION | |
|------------------------------|-------------------------|
| CURRENT ZONING | CP-2 |
| PROPOSED ZONING | RP-4 |
| TOTAL BUILDING AREA | 97,372 SQ. FT. |
| NORTH LOT AREA | 340,213 SQ. FT. |
| SOUTH LOT AREA | 180,934 SQ. FT. |
| CURRENT LAND USE | FARMLAND |
| PROPOSED LAND USE | MULTIFAMILY RESIDENTIAL |
| TOTAL LOT | 2 |
| TOTAL ACREAGE | 11.96 ACRES |

| PARKING INFORMATION | | |
|---------------------------|-------------------|-------------------|
| ITEM | REQUIREMENTS | PROVIDED |
| BUILDING SIZE | RE ARCHITECT | |
| FAR-FLOOR AREA RATIO | MAX. 55 FAR | 0.188 FAR |
| MINIMUM PARKING DIM. | 9'x18' W/OVERHANG | 9'x18' W/OVERHANG |
| MINIMUM DRIVEWAY WIDTH | 24'-0" | 26'-0" |
| ADA SPACES | 7 | 7 |
| ADA VAN ACCESSIBLE SPACES | 1 | 4 |
| TOTAL PARKING STALLS | 414 | 444 |

| BUILDING FOOTPRINT INFORMATION | | | | |
|--------------------------------|---------------------------|-------------|--|-----------------------------------|
| BUILDING TYPE | FLOOR AREA | 1-BEDROOM | 2-BEDROOM | TOTAL UNITS |
| BUILDING TYPE 'A' | 13,256 SF | 18 (650 SF) | 24 (995 SF) | 42 UNITS |
| BUILDING TYPE 'B' | 9,384 SF PER BUILDING (3) | 12 (995 SF) | 12 2 BED+DEN (1,145 SF) | 24 UNITS * 3 BUILDINGS = 72 UNITS |
| BUILDING TYPE 'C' | 10,435 SF | 24 (650 SF) | 12 (995 SF) | 36 UNITS |
| BUILDING TYPE 'D' | 11,271 SF | 6 (650 SF) | 12 (995 SF) & 12 2 BED+ DEN (1,145 SF) | 30 UNITS |
| BUILDING TYPE 'E' | 8,454 SF | 0 | 24 (995 SF) | 24 UNITS |
| BUILDING TYPE 'F' | 7,017 SF PER BUILDING (3) | 0 | 24 (995 SF) | 24 UNITS * 3 BUILDINGS = 72 UNITS |

DESCRIPTION:
ALL THAT PART OF LOTS 20 AND 21, CHAPEL RIDGE BUSINESS PARK, LOTS 19 THRU 22 AND TRACT L & M, EXCEPT A TRACT OF GROUND BEING PART OF SAID LOT 21, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 21, THENCE NORTH 02° 18' 33" EAST, A DISTANCE OF 256.56 FEET; THENCE SOUTH 87° 41' 27" EAST, A DISTANCE OF 57.12 FEET; THENCE NORTH 30° 25' 46" E, A DISTANCE OF 87.57 FEET; THENCE SOUTH 59° 13' 55" EAST, A DISTANCE OF 138.08 FEET, THENCE NORTH 87° 41' 27" WEST, A DISTANCE OF 97.38 FEET; THENCE SOUTH 02° 18' 33" WEST, A DISTANCE OF 258.04 FEET; THENCE NORTH 87° 41' 27" WEST, A DISTANCE OF 140.00 FEET, RETURNING TO THE POINT OF BEGINNING. (PORTION OF EXCEPTED TRACT PREVIOUSLY KNOWN AS TRACT C, CHAPEL RIDGE BUSINESS PARK, LOTS 4 THRU 9 AND TRACTS A THRU G)

CERTIFICATION:
TO: ANDREW MACKEY; CRCP INVESTMENTS, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY AND COFFETT LAND TITLE, INC. :
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(b), 8, 11(b), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



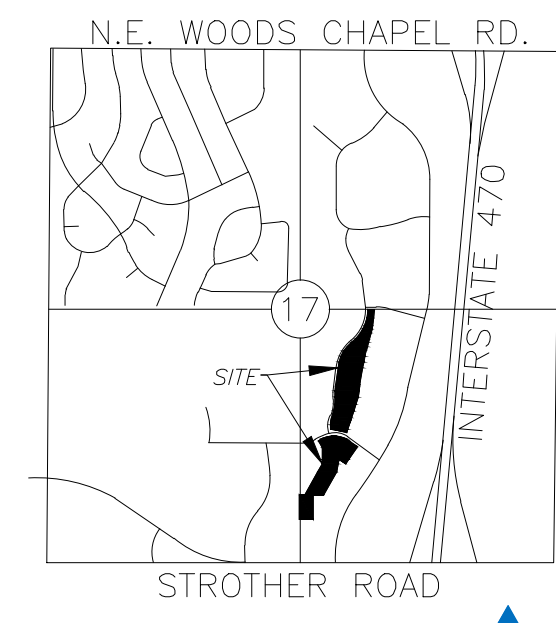
AND
ALL THAT PART OF LOT 4-J, CHAPEL RIDGE BUSINESS PARK, LOTS 4-I AND 4-J, A SUBDIVISION AS RECORDED IN THE OFFICE OF THE RECORDER, JACKSON COUNTY, MISSOURI

ROGER A. BACKUES, RLS
LAND SURVEYOR REG. NO. RLS-2134

GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, AS STATED IN ORDINANCE NO. 5813.
- PUBLIC WORKS INSPECTIONS ((816) 969-1800) MUST BE CONTACTED FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION ON SITE.
- ALL PERMANENT CONCRETE CURB SHALL BE STRAIGHT BACK CURB AND GUTTER (APWA TYPE CG-1) OR INTEGRAL WITH SIDEWALK AS INDICATED HEREIN.
- AT THE HEAD OF EACH ACCESSIBLE PARKING SPACE, PROVIDE A SIGN MEETING THE REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE SIGN SHALL BE MOUNTED A MAXIMUM OF 6 INCHES (7 FEET) ABOVE THE GROUND MEASURED FROM THE BOTTOM OF THE SIGN. THE SIGN SHALL BE 12"x18" IN AREA.
- ALL PRIVATE SANITARY SEWER LATERALS SHALL BE 4" PVC, SDR 26, AT 2.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL HORIZONTALLY CLEAR STORM SEWER STRUCTURES BY 5 FEET, SANITARY SEWER STRUCTURES BY 10 FEET, AND PIPES BY 18-INCHES VERTICALLY.
- ALL GROUND MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT LOCATED ADJACENT TO THE BUILDING AND VISIBLE FROM ANY ADJACENT PUBLIC THOROUGHFARE OR RESIDENTIAL AREA SHALL BE SCREENED FROM VIEW IN ACCORDANCE WITH CITY ORDINANCE.
- THE PROJECT IS LOCATED IN FIRM COMMUNITY PANEL NUMBER 29095C0430G, EFFECTIVE JANUARY 20, 2017, FOR THE CITY OF LEE'S SUMMIT. THE PROJECT SITE IS NOT WITHIN A 1% ANNUAL CHANCE FLOOD OR AREAS IMPACTED BY THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN.
- ALL SIDEWALK PAVEMENT SURFACES SHALL BE STANDARD CONCRETE PAVEMENT PER CITY SPECIFICATION.

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S DESIGN AND CONSTRUCTION MANUAL, SECTION 5100, AS STATED IN ORDINANCE NO. 5813.
- THE UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE, BASED ON FIELD LOCATIONS, UTILITY MAPS, AND AS-BUILTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, AND PROTECT SAID UTILITIES FROM ANY DAMAGE.
- REFER TO TYPICAL SECTION DETAILS FOR PROPOSED PAVEMENT SECTIONS.
- ACCESS TO FIRE DEPARTMENT CONNECTION AND FIRE HYDRANTS SHALL BE MAINTAINED DURING CONSTRUCTION. ACCESS MUST BE WITHIN 100 FEET OF FIRE DEPARTMENT CONNECTIONS AND ROADS SHALL BE CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS.
- PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A LICENSED LAND SURVEYOR.
- BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE DIMENSIONED FROM OUTSIDE FACE OF STRUCTURE, EXCLUDING DECORATIVE FAÇADE, AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE BACK OF CURBS ON THIS SHEET UNLESS OTHERWISE NOTED.
- ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE CITY INSPECTOR.



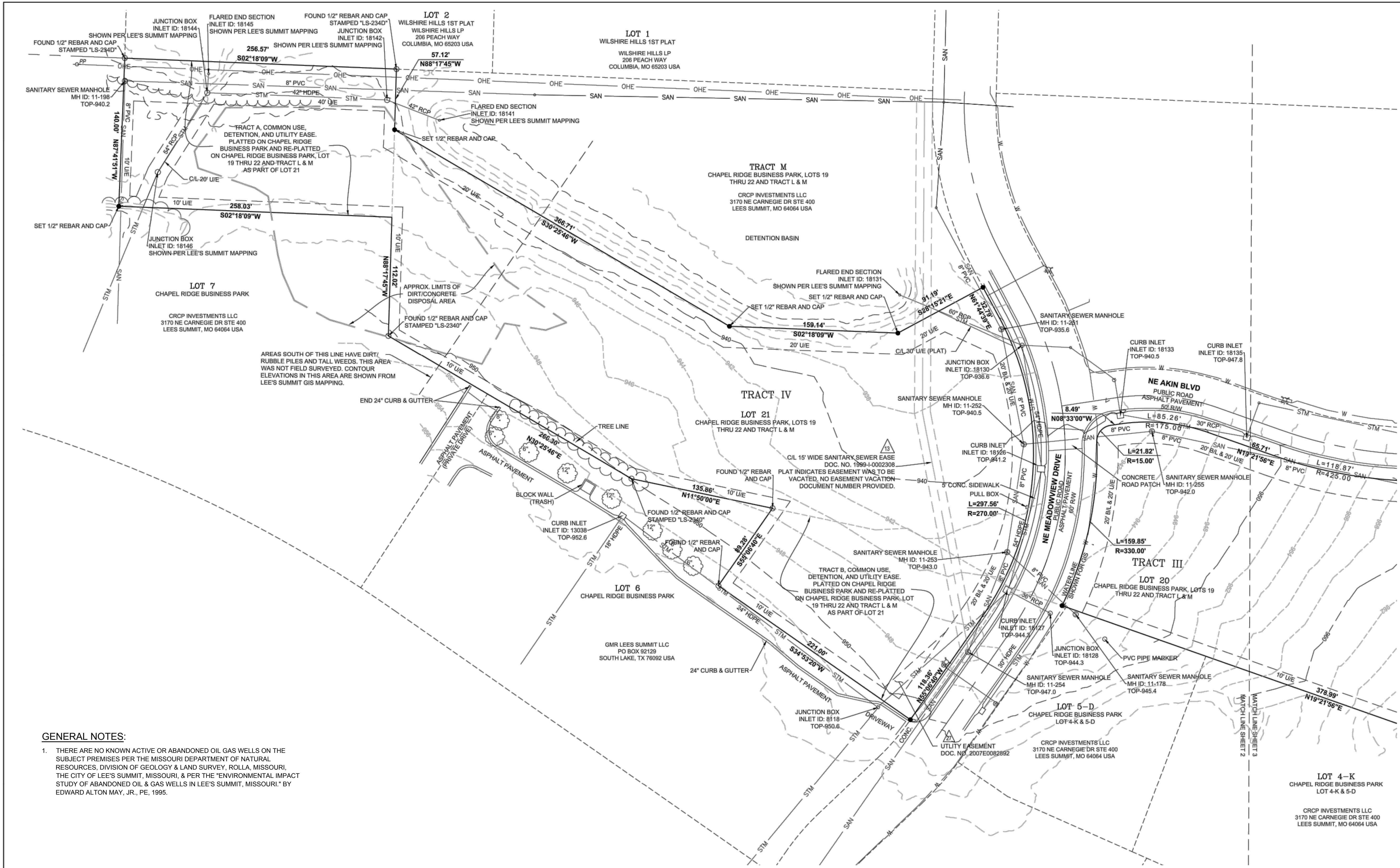
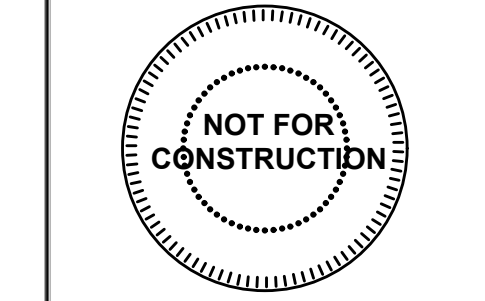
A NEW MULTI-FAMILY DEVELOPMENT FOR:
CHAPEL RIDGE
NE AKIN BLVD. & NE MEADOWVIEW DR.
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG
01.31.2018 - DRAWING RELEASE

REVISIONS

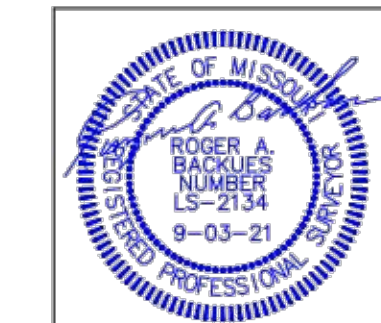
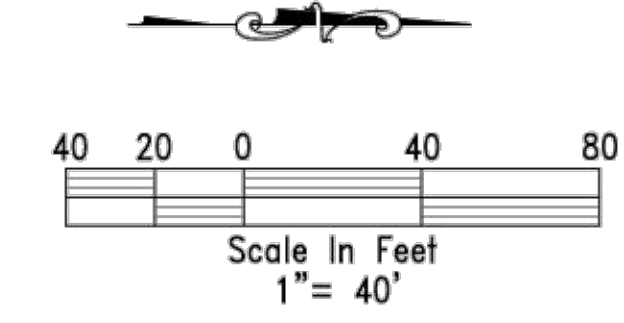
DATE
11/01/2021
JOB NO.
696921
DRAWN BY:
AB / ELM
SHEET NO.

COVER SHEET
PRELIMINARY DEVELOPMENT PLAN
VOL.1 **C0.00**

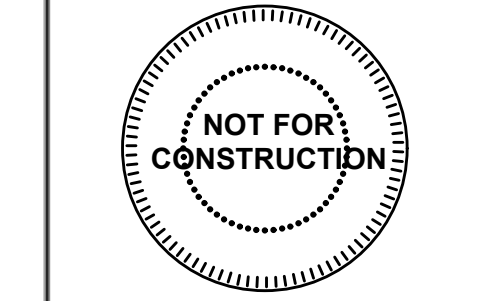


GENERAL NOTES:

1. THERE ARE NO KNOWN ACTIVE OR ABANDONED OIL GAS WELLS ON THE SUBJECT PREMISES PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, DIVISION OF GEOLOGY & LAND SURVEY, ROLLA, MISSOURI, THE CITY OF LEE'S SUMMIT, MISSOURI, & PER THE "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL & GAS WELLS IN LEE'S SUMMIT, MISSOURI." BY EDWARD ALTON MAY, JR., PE, 1995.

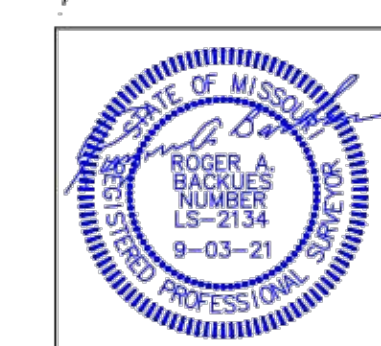
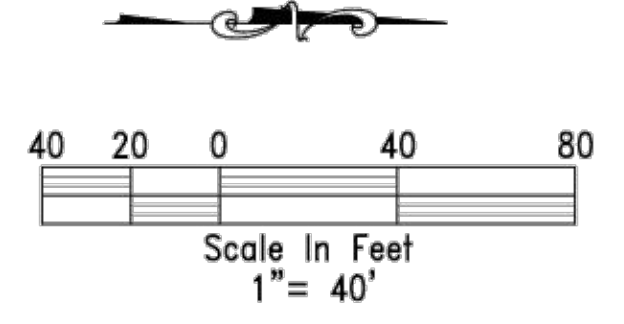
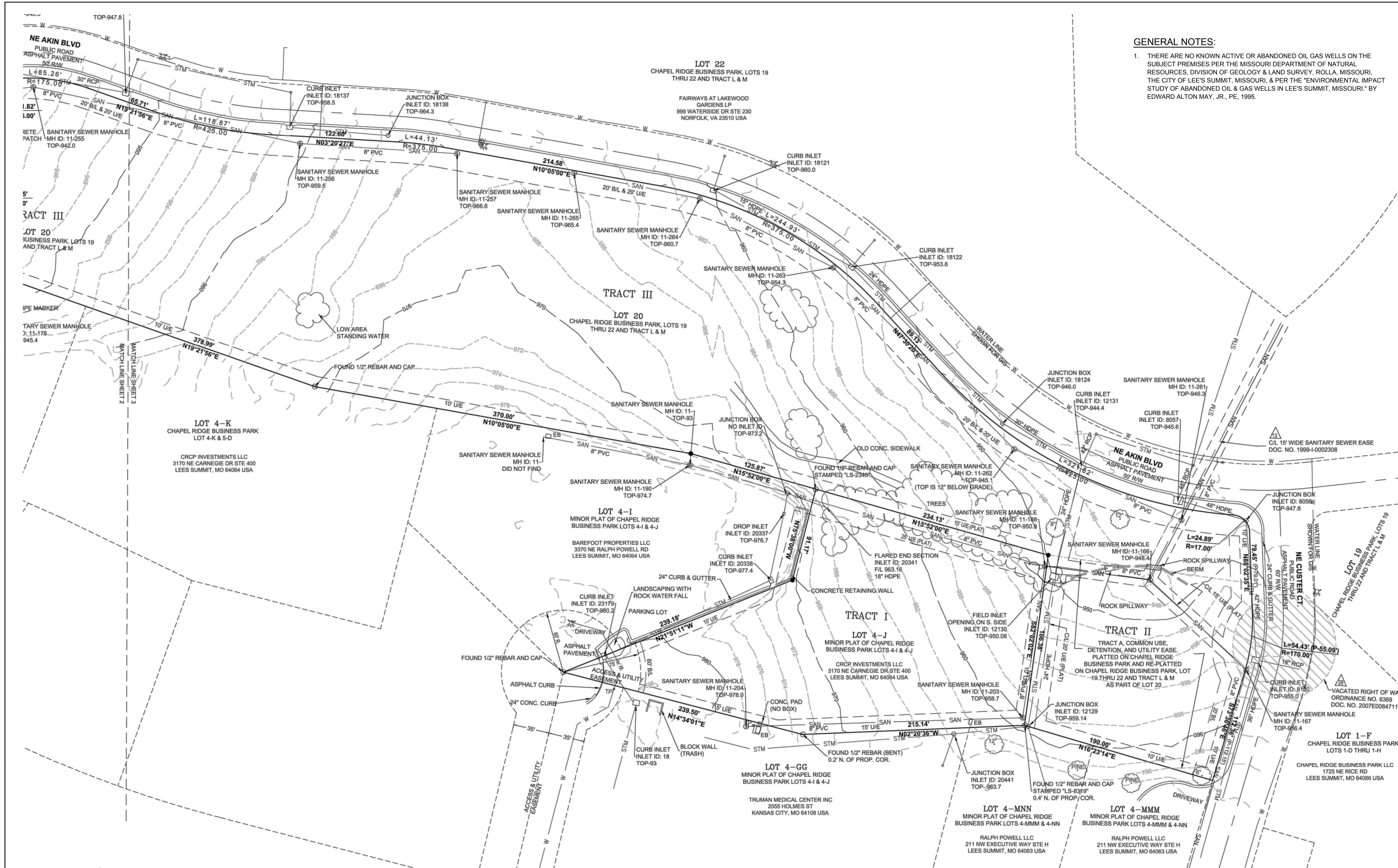


| | | | |
|---|--------------|--|--|
| DATE: September, 03, 2021 | | CERTIFICATE OF SURVEY | |
| | | BOUNDARY & CONSTRUCTION SURVEYING, INC. | |
| | | 821 NE COLUMBIA STREET SUITE 100, LEE'S SUMMIT, MO. 64063 PH.# 816/554-9798, FAX # 816/554-0337 | |
| PROJECT NO. 20-387 | SHEET 2 OF 3 | | |
| CHAPEL RIDGE BUSINESS PARK, LEE'S SUMMIT, MO. | | | |



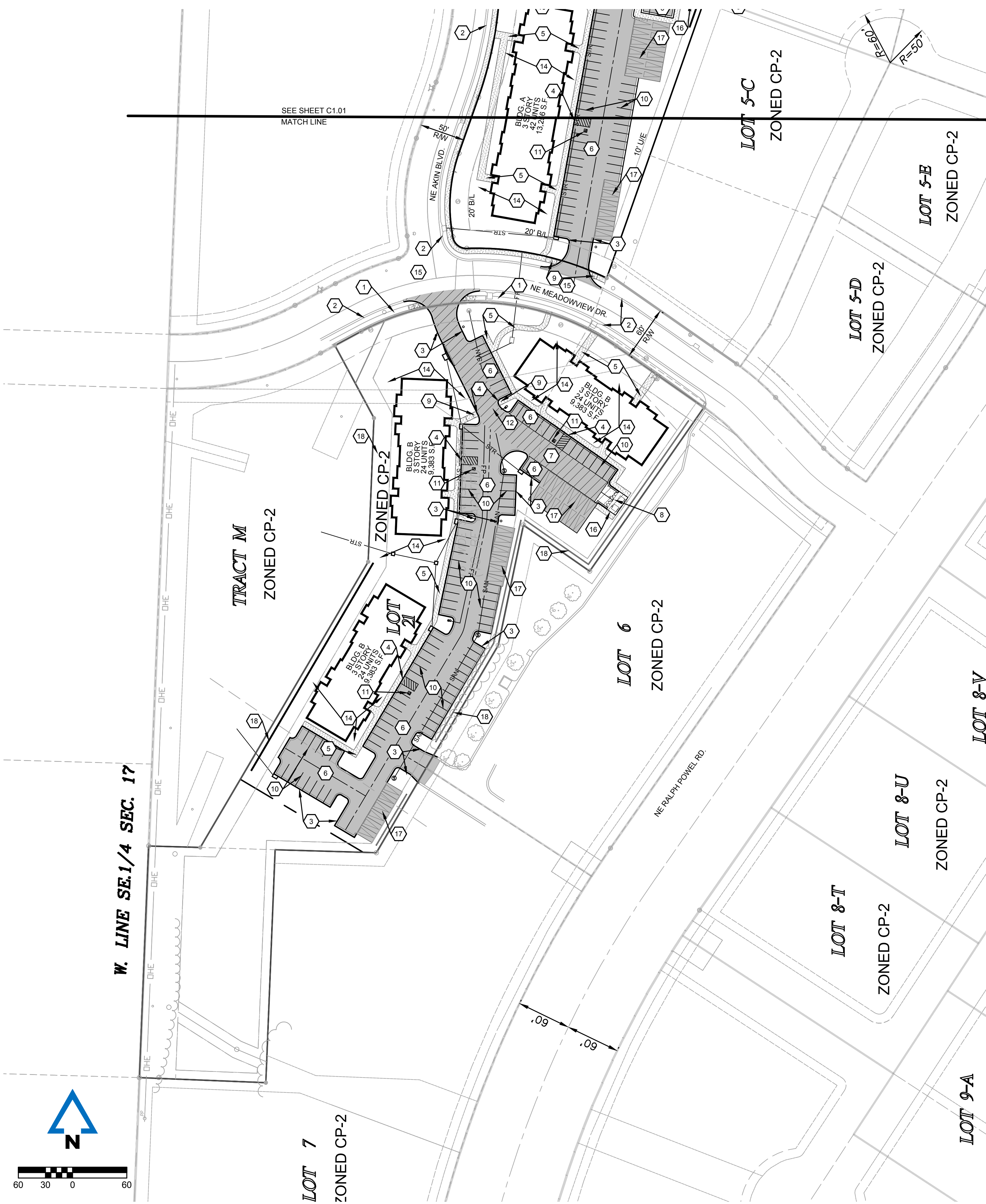
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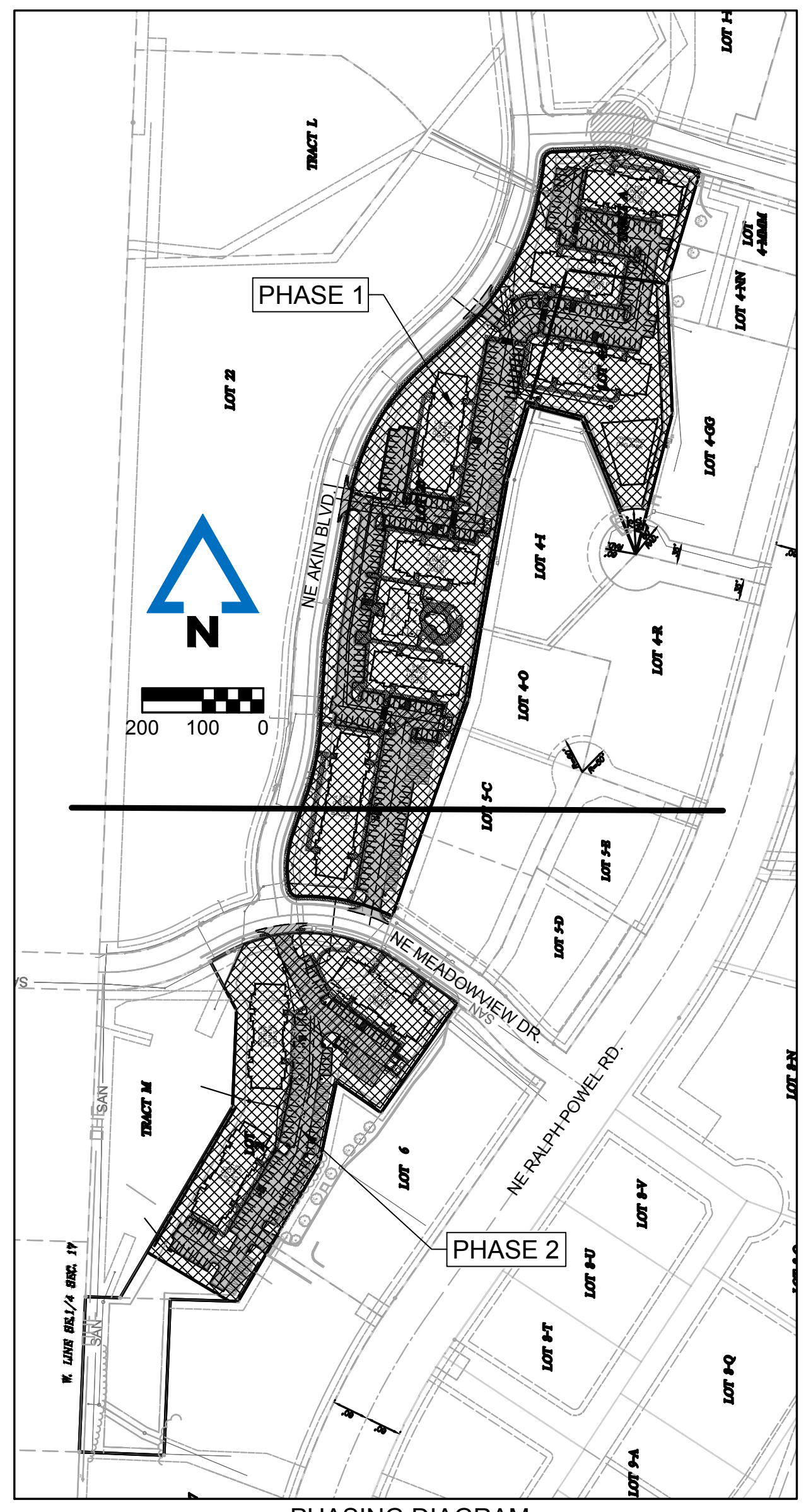
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| | | 821 NE COLUMBUS STREET SUITE 100, LEE'S SUMMIT, MO 64063 PH: 816/554-9798, FAX: 816/554-0337 | |
| PROJECT NO. 21-334 | SHEET 3 OF 3 | | |
| CHAPEL RIDGE BUSINESS PARK, LEE'S SUMMIT, MO. | | | |

EXISTING CONDITIONS-2
PRELIMINARY DEVELOPMENT PLAN
VOL.1 **C0.03**



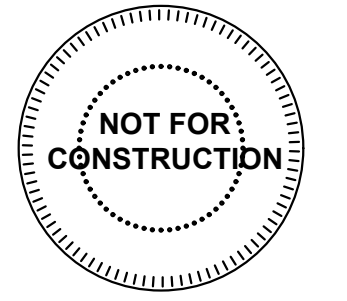
| PARKING INFORMATION | | |
|--|--|------------------------------|
| ITEM | REQUIREMENTS | PROVIDED |
| BUILDING SIZE | - | RE:ARCHITECT |
| FAR=FLOOR AREA RATIO | MAX .55 FAR | 0.186 FAR |
| MINIMUM PARKING DIM. | 9'x19', 9'x17' W/OVERHANG | 9'x18' W/OVERHANG |
| MINIMUM DRIVEWAY WIDTH | 24'-0" | 26'-0" |
| ADA SPACES | 7 | 7 |
| ADA VAN ACCESSIBLE SPACES | 1 | 4 |
| TOTAL PARKING STALLS | 414 | 444 |
| AREA REQUIREMENTS | | |
| LOCATION | NE MEADOWVIEW BLVD. & AKIN DR. | |
| PROPOSED ZONE RP-4 Planned Apartment Residential District: | | |
| ITEM | REQUIREMENTS | PROVIDED |
| MINIMUM LOT AREA | 3,500 s.f. | 11.96 Acres |
| MINIMUM FRONT SETBACK | Major street: 50 feet, all other streets 20 feet | 25 Feet |
| MINIMUM SIDE SETBACK | 10-feet from lot line and 20-foot separation between buildings | 10 feet |
| MINIMUM REAR SETBACK | 20 feet | 20 feet |
| MAXIMUM BUILDING HEIGHT | 50 (4 stories) | 3 Stories |
| IMPERVIOUS COVERAGE | 80% MAX | 287,186 S.F./6.59 Acres, 54% |

- 1 EXISTING SIDEWALK TO REMAIN.
- 2 EXISTING CURB & GUTTER TO REMAIN.
- 3 STD UPRIGHT CURB & GUTTER (CITY OF LEE'S SUMMIT STANDARD) REFER TO GRADING PLAN FOR WET/DRY DESIGNATION. PER DETAIL C5.00 (DRY CURB).
- 4 LAY-DOWN CURB & GUTTER REFER TO GRADING PLAN FOR WET/DRY DESIGNATION. PER DETAIL C5.00.
- 5 4" CONCRETE SIDEWALK / LIGHT DUTY CONCRETE PAVEMENT. PER DETAIL C5.00.
- 6 LIGHT DUTY FLEXIBLE PAVEMENT ON 6" COMPACTED AGGREGATE BASE. PER DETAIL C5.02.
- 7 HEAVY DUTY FLEXIBLE PAVEMENT ON 6" COMPACTED AGGREGATE BASE. PER DETAIL C5.02.
- 8 FULL DEPTH CONCRETE PAVEMENT ON 8" COMPACTED AGGREGATE BASE. PER DETAIL C5.02.
- 9 TYPE A SIDEWALK RAMP PER DETAIL C5.00.
- 10 PARKING STALL STRIPING. 4" WIDE PAINTED WHITE, TYPICAL.
- 11 ACCESSIBLE PARKING PER DETAIL C5.02.
- 12 CROSSWALK MARKINGS. 6'X2.5' PAINTED WHITE SPACED 5' O.C.
- 13 SITE LIGHTING. REFER TO ELECTRICAL PLANS.
- 14 LANDSCAPE AREA. REFER TO L0.01 FOR PLANTINGS AND GROUND COVER TYPE.
- 15 EXISTING PAVEMENT TO REMAIN. CONTRACTOR SHALL REPLACE OR REPAIR IF DAMAGED DURING CONSTRUCTION.
- 16 TRASH ENCLOSURE PER DETAILS x-x/Cxxx.
- 17 INSTALL CAR PORT - SEE ARCH PLANS
- 18 INSTALL RETAINING WALL



| LEGEND | |
|--------|--|
| | SIDEWALK/ LIGHT DUTY CONCRETE PAVEMENT PER DETAIL C5.00 |
| | HEAVY DUTY CONCRETE PAVEMENT PER DETAIL C5.02 |
| | LIGHT DUTY ASPHALT PAVEMENT PER DETAIL C5.02 |
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| | CLASS A CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY, PER DETAIL C5.00 |

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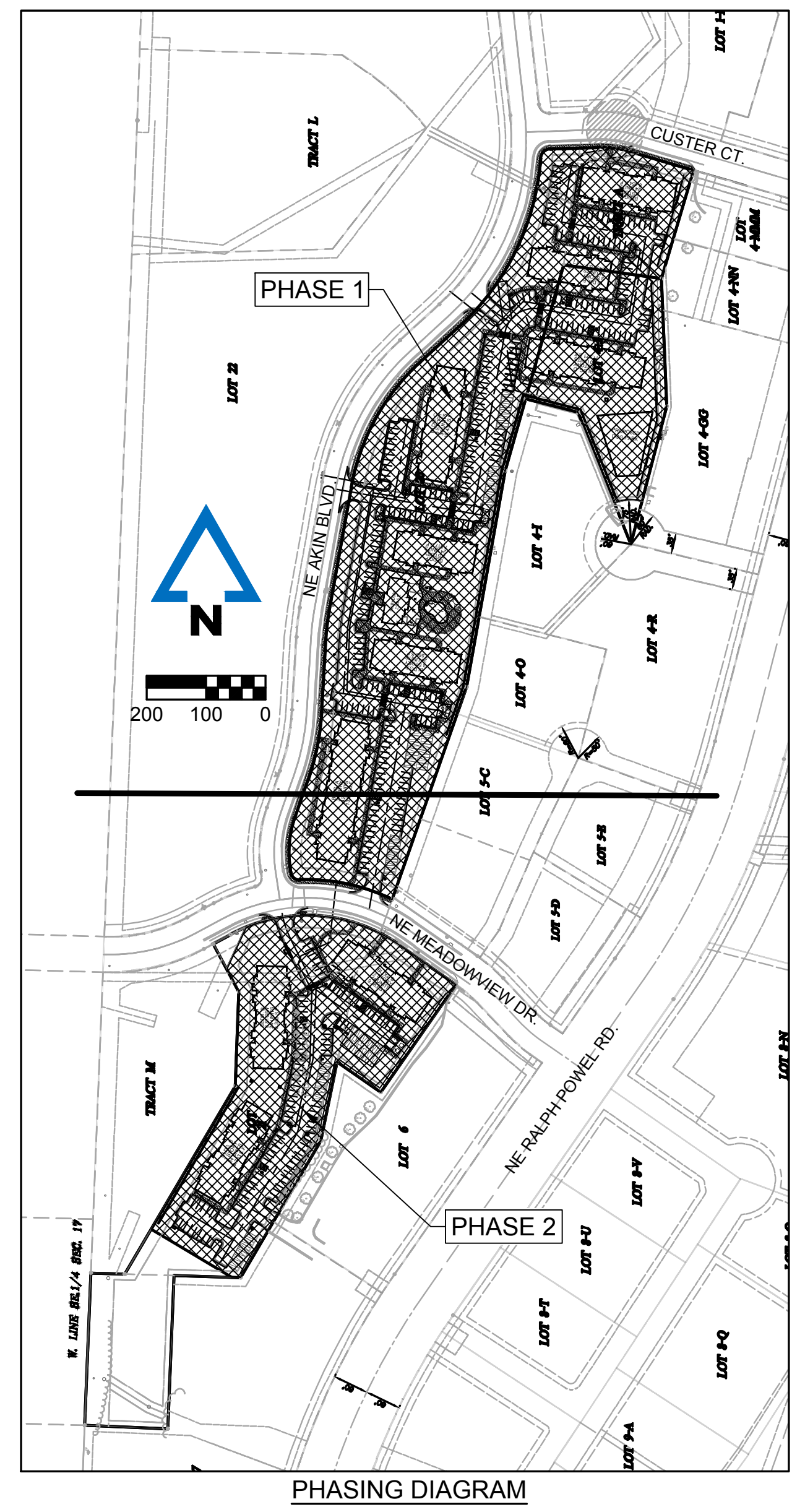
REVISIONS
 DATE
 11/01/2021
 JOB NO.
 696921
 DRAWN BY:
 AB / ELM
 SHEET NO.

SITE PLAN - SOUTH
 PRELIMINARY DEVELOPMENT PLAN
 VOL.1 **C1.00**



| PARKING INFORMATION | | |
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| MINIMUM SIDE SETBACK | 10-feet from lot line and 20-foot separation between buildings | 10 feet |
| MINIMUM REAR SETBACK | 20 feet | 20 feet |
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| IMPERVIOUS COVERAGE | 80% MAX | 287,186 S.F./6.59 Acres, 54% |



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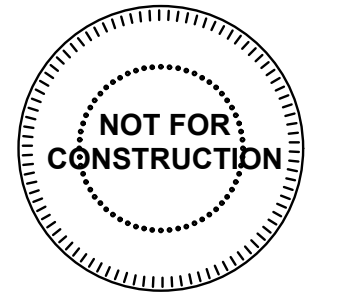
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LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

● 01.31.2018 - DRAWING RELEASE

REVISIONS

DATE
11/01/2021
JOB NO.
696921
DRAWN BY:
AB / ELM
SHEET NO.

SITE PLAN - NORTH
PRELIMINARY DEVELOPMENT PLAN
VOL.1 **C1.01**



SOUTH CENTERLINE POINTS

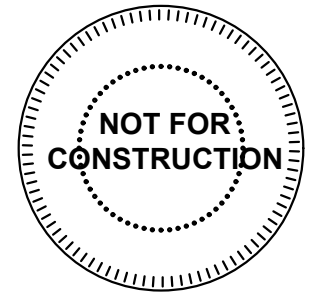
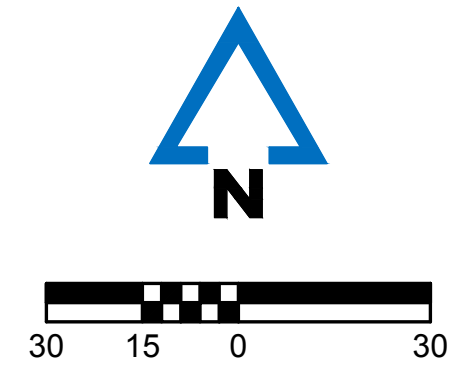
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|---------|-----------------|-----------------|
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| 2 | N: 1021378.0537 | E: 2827931.5401 |
| 3 | N: 1021336.4584 | E: 2827945.0624 |
| 4 | N: 1021249.2426 | E: 2827988.3415 |
| 5 | N: 1021155.2472 | E: 2828123.0461 |
| 6 | N: 1021133.9475 | E: 2827983.7045 |
| 7 | N: 1021133.2873 | E: 2827983.6225 |
| 8 | N: 1021015.9379 | E: 2827959.0010 |
| 9 | N: 1021005.1213 | E: 2827954.9365 |
| 10 | N: 1020879.9357 | E: 2827880.5004 |
| 11 | N: 1020827.8579 | E: 2827849.5347 |
| 12 | N: 1020790.0546 | E: 2827827.0566 |
| 13 | N: 1020880.5849 | E: 2827760.8926 |
| 14 | N: 1020858.5941 | E: 2827916.3925 |

SOUTH CURB POINTS

| Point # | Northing | Easting |
|---------|-----------------|-----------------|
| 50 | N: 1021374.3998 | E: 2827891.8954 |
| 51 | N: 1021357.4315 | E: 2827922.9669 |
| 52 | N: 1021330.6798 | E: 2827933.4173 |
| 53 | N: 1021249.1517 | E: 2827973.8740 |
| 54 | N: 1021243.3328 | E: 2827975.1150 |
| 55 | N: 1021239.0988 | E: 2827970.9409 |
| 56 | N: 1021239.6629 | E: 2827956.9516 |
| 57 | N: 1021140.7422 | E: 2827952.9532 |
| 58 | N: 1021140.1783 | E: 2827966.9374 |
| 59 | N: 1021135.8935 | E: 2827970.7659 |
| 60 | N: 1021134.5653 | E: 2827970.6009 |
| 61 | N: 1021131.3472 | E: 2827965.8407 |
| 62 | N: 1021134.2211 | E: 2827952.1433 |
| 63 | N: 1021028.5187 | E: 2827929.9765 |
| 64 | N: 1021025.6461 | E: 2827943.6678 |
| 65 | N: 1021020.9100 | E: 2827946.7612 |
| 66 | N: 1021018.6073 | E: 2827946.2780 |
| 67 | N: 1021009.0007 | E: 2827942.1315 |
| 68 | N: 1021007.6072 | E: 2827936.6493 |
| 69 | N: 1021014.7627 | E: 2827924.6152 |
| 70 | N: 1020882.8279 | E: 2827846.1541 |
| 71 | N: 1020875.6728 | E: 2827858.1875 |
| 72 | N: 1020870.1903 | E: 2827859.5813 |
| 73 | N: 1020849.1140 | E: 2827847.0492 |
| 74 | N: 1020847.7202 | E: 2827841.5667 |
| 75 | N: 1020860.0514 | E: 2827820.8282 |
| 76 | N: 1020865.5339 | E: 2827819.4344 |
| 77 | N: 1020877.5673 | E: 2827826.5895 |
| 78 | N: 1020905.6771 | E: 2827779.3148 |
| 79 | N: 1020894.5022 | E: 2827772.6701 |
| 80 | N: 1020892.7600 | E: 2827765.8170 |
| 81 | N: 1020870.4132 | E: 2827752.5295 |
| 82 | N: 1020863.5601 | E: 2827754.2718 |
| 83 | N: 1020852.3862 | E: 2827747.6277 |
| 84 | N: 1020815.0753 | E: 2827810.3732 |
| 85 | N: 1020827.1103 | E: 2827817.5293 |
| 86 | N: 1020828.5041 | E: 2827823.0117 |
| 87 | N: 1020825.3724 | E: 2827828.2785 |
| 88 | N: 1020819.8899 | E: 2827829.6723 |
| 89 | N: 1020794.9808 | E: 2827814.8613 |
| 90 | N: 1020781.6902 | E: 2827837.2073 |
| 91 | N: 1020785.9914 | E: 2827839.7655 |
| 92 | N: 1020775.7688 | E: 2827856.9612 |
| 93 | N: 1020832.5012 | E: 2827890.6871 |
| 94 | N: 1020842.7205 | E: 2827873.4966 |
| 95 | N: 1020856.9605 | E: 2827881.9638 |
| 96 | N: 1020858.3543 | E: 2827887.4462 |
| 97 | N: 1020852.0549 | E: 2827898.0406 |
| 98 | N: 1020851.2244 | E: 2827899.0877 |
| 99 | N: 1020841.5443 | E: 2827908.4040 |
| 100 | N: 1020870.9669 | E: 2827929.5397 |
| 101 | N: 1020877.3610 | E: 2827914.2754 |
| 102 | N: 1020877.6751 | E: 2827913.6518 |
| 103 | N: 1020884.1403 | E: 2827902.7787 |
| 104 | N: 1020889.6227 | E: 2827901.3849 |

SOUTH CURB POINTS

| Point # | Northing | Easting |
|---------|-----------------|-----------------|
| 105 | N: 1020896.0114 | E: 2827905.1836 |
| 106 | N: 1020897.4051 | E: 2827910.6661 |
| 107 | N: 1020890.2497 | E: 2827922.7000 |
| 108 | N: 1020990.8327 | E: 2827982.4703 |
| 109 | N: 1020998.1766 | E: 2827970.1195 |
| 110 | N: 1021003.2239 | E: 2827968.5018 |
| 111 | N: 1021007.3127 | E: 2827970.0924 |
| 112 | N: 1021009.9389 | E: 2827974.7005 |
| 113 | N: 1021006.9836 | E: 2827988.7860 |
| 114 | N: 1021059.8373 | E: 2827999.8797 |
| 115 | N: 1021063.5278 | E: 2827982.2680 |
| 116 | N: 1021124.0146 | E: 2828015.3942 |
| 117 | N: 1021128.1426 | E: 2827995.8249 |
| 118 | N: 1021130.9602 | E: 2827996.3529 |
| 119 | N: 1021134.7515 | E: 2827996.6964 |
| 120 | N: 1021138.8105 | E: 2828000.8571 |
| 121 | N: 1021138.2441 | E: 2828014.9031 |
| 122 | N: 1021183.2085 | E: 2828016.7118 |
| 123 | N: 1021183.7724 | E: 2828002.7276 |
| 124 | N: 1021187.9303 | E: 2827998.8921 |
| 125 | N: 1021192.1216 | E: 2827999.0611 |
| 126 | N: 1021206.7789 | E: 2828026.3949 |
| 127 | N: 1021201.0717 | E: 2828027.5979 |
| 128 | N: 1021189.6238 | E: 2828019.6097 |
| 129 | N: 1021174.1751 | E: 2828041.7538 |
| 130 | N: 1021156.1315 | E: 2828029.1632 |
| 131 | N: 1021188.9339 | E: 2828052.0523 |
| 132 | N: 1021118.3633 | E: 2828083.2886 |
| 133 | N: 1021151.1667 | E: 2828106.1784 |
| 134 | N: 1021151.9868 | E: 2828106.7507 |
| 135 | N: 1021145.4072 | E: 2828116.1799 |
| 136 | N: 1021165.0871 | E: 2828129.9124 |
| 137 | N: 1021171.0938 | E: 2828121.3041 |
| 138 | N: 1021176.6632 | E: 2828120.3127 |
| 139 | N: 1021188.9577 | E: 2828128.8916 |
| 140 | N: 1021266.2228 | E: 2828018.1862 |
| 141 | N: 1021254.7291 | E: 2828010.1661 |
| 142 | N: 1021253.7378 | E: 2828004.5968 |
| 143 | N: 1021256.2216 | E: 2828001.0373 |
| 144 | N: 1021262.1549 | E: 2827996.5582 |
| 145 | N: 1021267.0405 | E: 2827998.5621 |
| 146 | N: 1021273.2346 | E: 2828011.0437 |
| 147 | N: 1021337.7276 | E: 2827979.0311 |
| 148 | N: 1021331.5078 | E: 2827966.4975 |
| 149 | N: 1021333.3129 | E: 2827961.1363 |
| 150 | N: 1021342.2372 | E: 2827956.7078 |
| 151 | N: 1021352.0049 | E: 2827952.3276 |
| 152 | N: 1021386.3343 | E: 2827975.7451 |



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DIMENSION PLAN - SOUTH
PRELIMINARY DEVELOPMENT PLAN

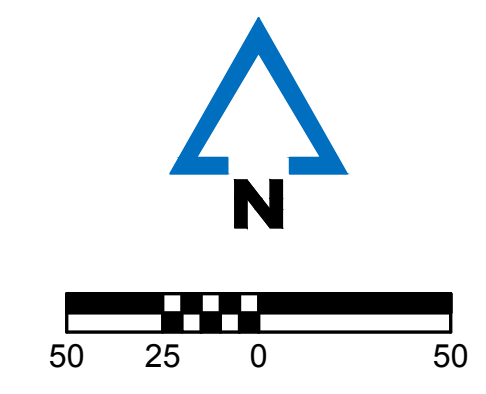
VOL.1 C1.10

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MATCH LINE



SITE GRADING GENERAL NOTES

1. SITE GRADING SLOPES NOT TO EXCEED 3:1



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CHAPEL RIDGE

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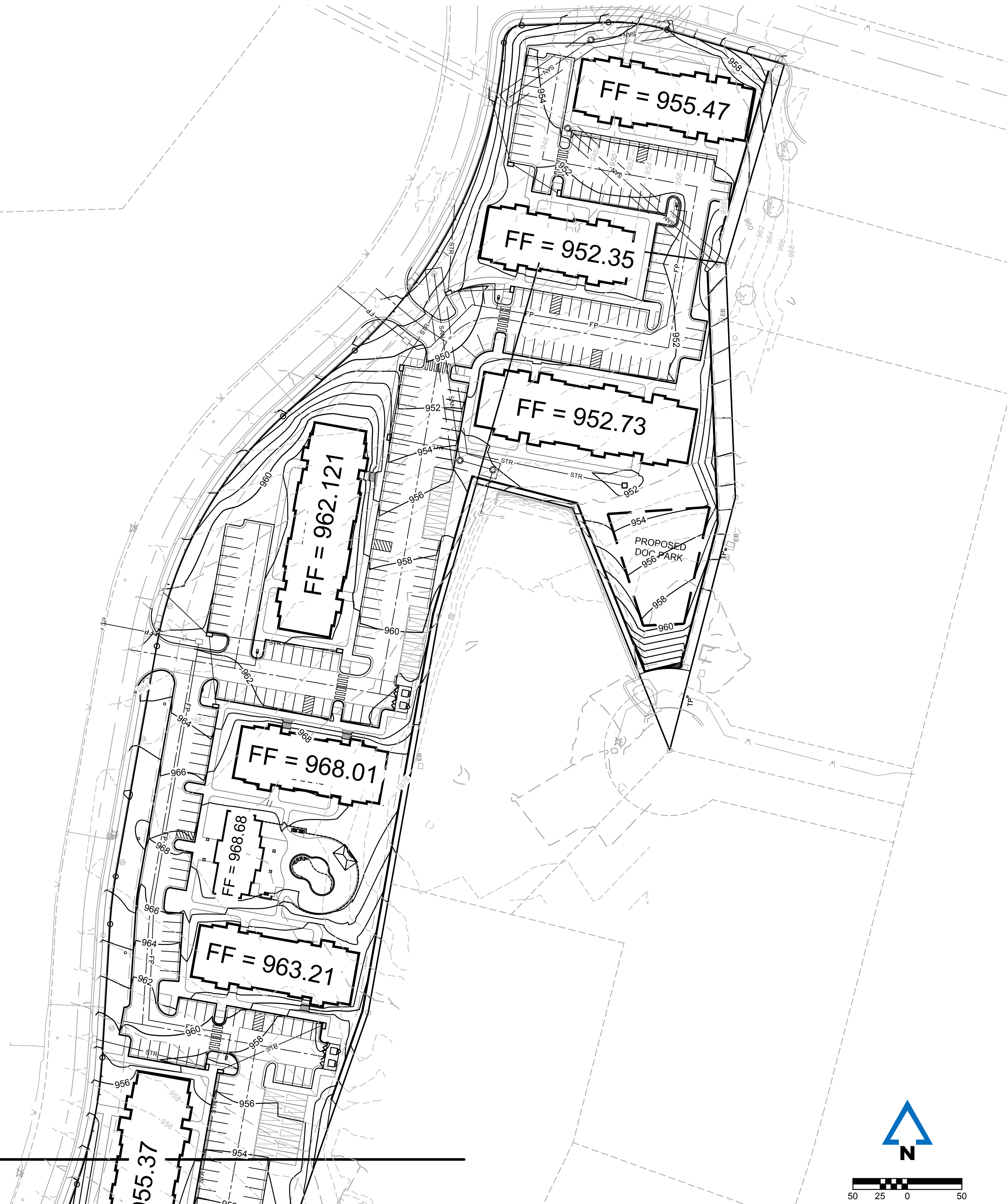
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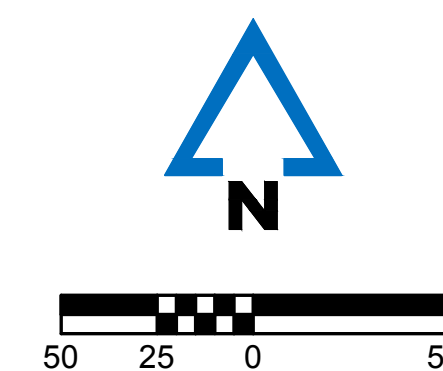
GRADING PLAN - SOUTH
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VOL.1 **C2.00**



SITE GRADING GENERAL NOTES

1. SITE GRADING SLOPES NOT TO EXCEED 3:1

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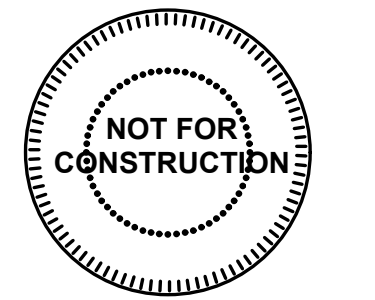
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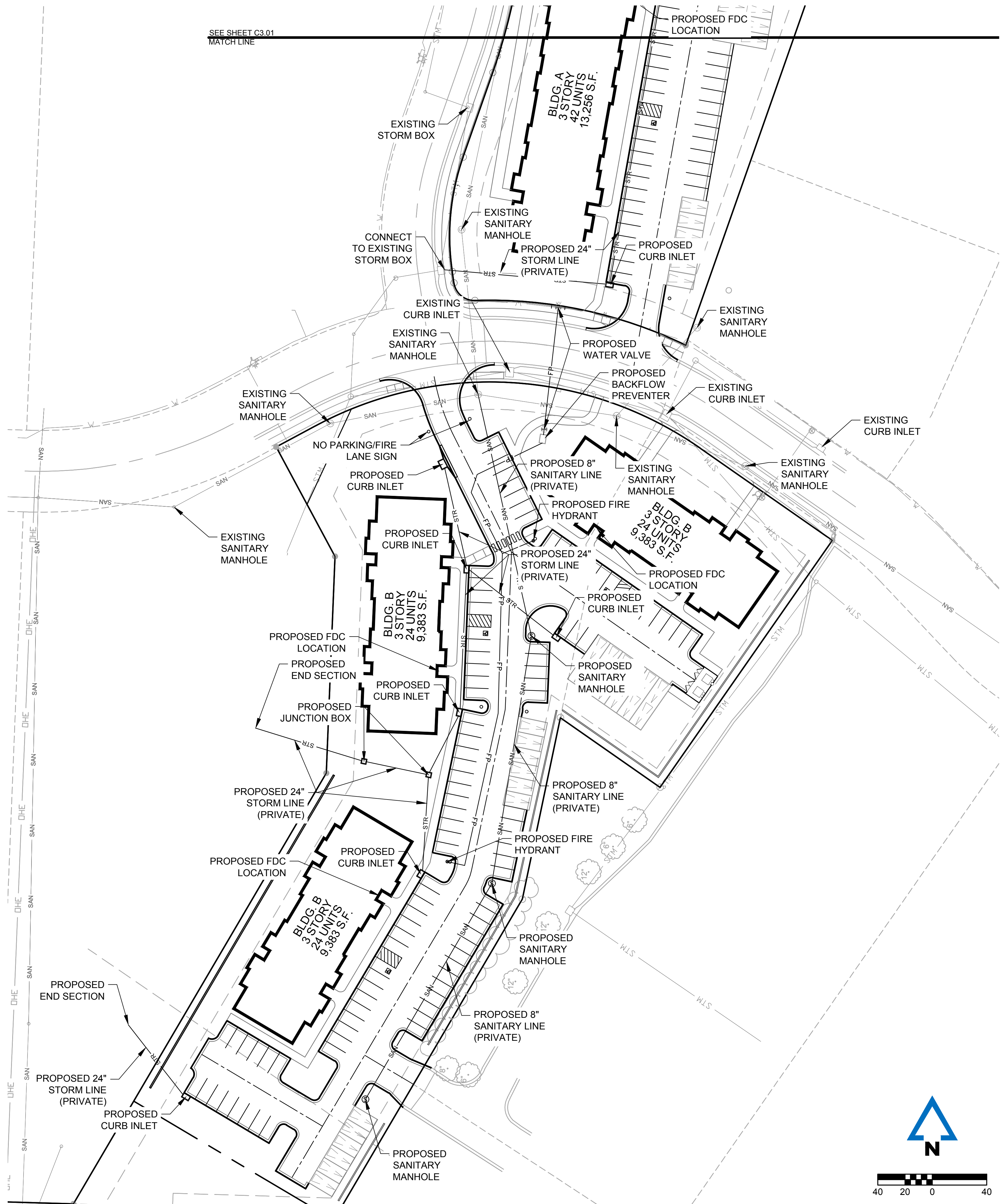
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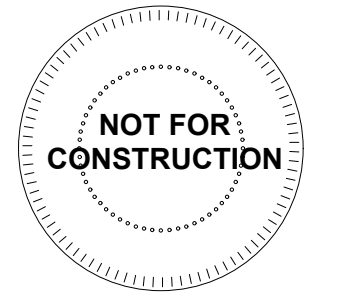
SEE SHEET C3.01
MATCH LINE

UTILITY LEGEND

- XSAN — EX. SANITARY SEWER LINE
- XUGT — EX. UNDERGROUND TELEPHONE LINE
- XSTM — EX. STORM SEWER LINE
- XUGE — EX. UNDERGROUND ELECTRIC LINE
- XW — EX. WATER LINE
- XOHE — EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. WATER VALVE
- NEW SANITARY SEWER CLEANOUT PER DETAIL 8/C501
- EX. LIGHT POLE
- EX. MANHOLE
- EX. FIRE HYDRANT
- STR — NEW STORM SEWER LINE
- FO — NEW FIBER OPTIC LINE
- W — NEW WATER LINE
- SAN — NEW SANITARY SEWER LINE
- FP — NEW FIRE PROTECTION WATER LINE
- - - PROPERTY LINE OF SUBJECT PROPERTY

| FIRE FLOW BUILDING CONSTRUCTION INFORMATION | |
|---|------------|
| NUMBER OF STORIES | 3 |
| USE | APARTMENTS |
| CONSTRUCTION TYPE | V-B |
| OCCUPANCY GROUP | R-2 |
| SPRINKLER | NFPA 13R |
| STANDPIPE | CLASS 1 |
| FIRE ALARM | YES |

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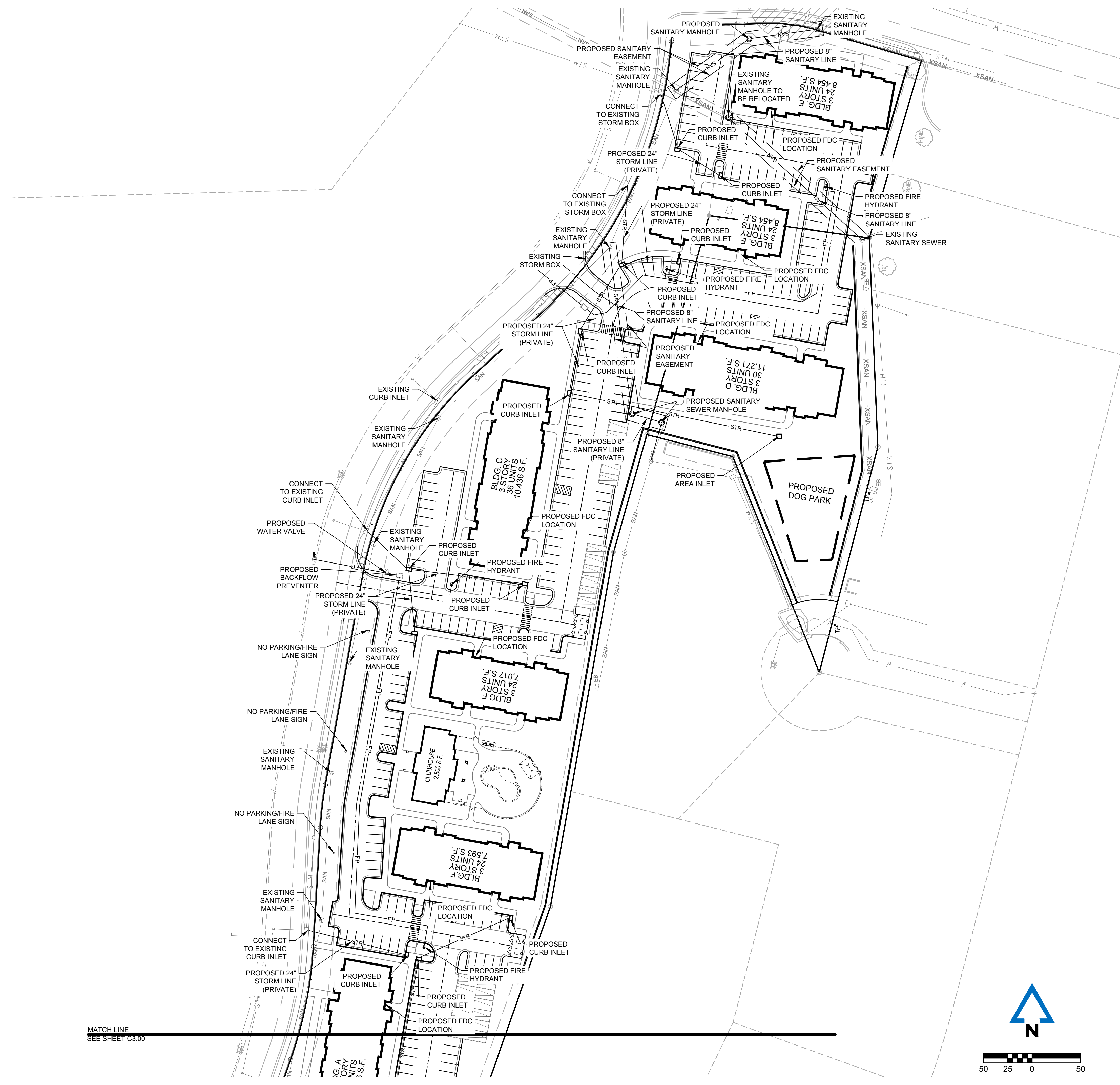
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 PRELIMINARY DEVELOPMENT PLAN
 VOL.1 **C3.00**



UTILITY LEGEND

| | |
|--------|---|
| — XSAN | EX. SANITARY SEWER LINE |
| — XUGT | EX. UNDERGROUND TELEPHONE LINE |
| — XSTM | EX. STORM SEWER LINE |
| — XUGE | EX. UNDERGROUND ELECTRIC LINE |
| — XW | EX. WATER LINE |
| — XOHE | EX. OVERHEAD ELECTRIC |
| ⊙ | EX. UTILITY POLE |
| ● | EX. WATER VALVE |
| ● | NEW SANITARY SEWER CLEANOUT PER DETAIL 8/C501 |
| ⊙ | EX. LIGHT POLE |
| ⊙ | EX. MANHOLE |
| ⊙ | EX. FIRE HYDRANT |
| — STR | NEW STORM SEWER LINE |
| — FO | NEW FIBER OPTIC LINE |
| — W | NEW WATER LINE |
| — SAN | NEW SANITARY SEWER LINE |
| — FP | NEW FIRE PROTECTION WATER LINE |
| --- | PROPERTY LINE OF SUBJECT PROPERTY |

FIRE FLOW BUILDING CONSTRUCTION INFORMATION

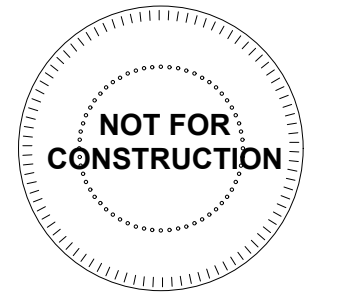
| | |
|-------------------|------------|
| NUMBER OF STORIES | 3 |
| USE | APARTMENTS |
| CONSTRUCTION TYPE | V-B |
| OCCUPANCY GROUP | R-2 |
| SPRINKLER | NFPA 13R |
| STANDPIPE | CLASS I |
| FIRE ALARM | YES |

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CHAPEL RIDGE

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LEE'S SUMMIT, MISSOURI

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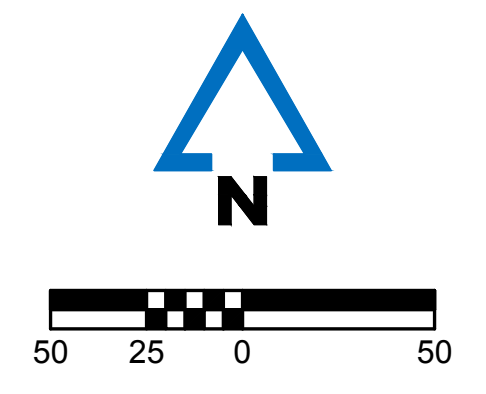
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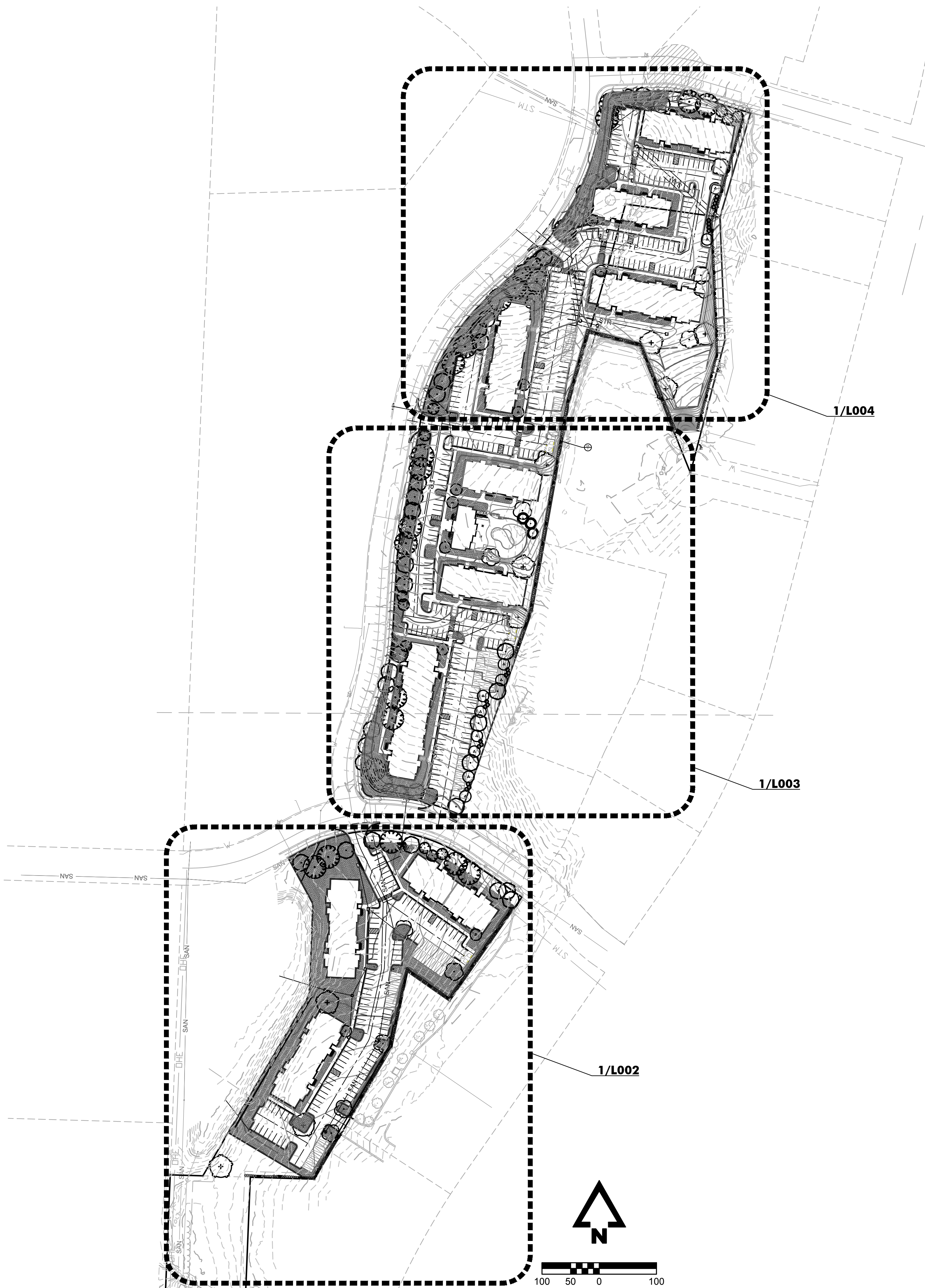
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UTILITY PLAN - NORTH
PRELIMINARY DEVELOPMENT PLAN
VOL.1

C3.01

MATCH LINE
SEE SHEET C3.00





LANDSCAPE REQUIREMENTS

PER ARTICLE 8 OF THE CITY OF LEE'S SUMMIT, MISSOURI UNIFIED DEVELOPMENT ORDINANCE.

MINIMUM PLANT UNIT REQUIREMENTS

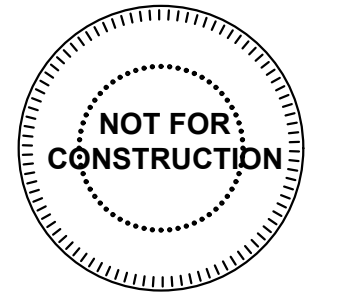
| STREET TREES (SEC. 8.290.A) | REQUIREMENT | PROVIDED |
|--|---|---|
| MEADOWVIEW DR (SOUTH PROPERTY) | 1 TREE PER 30 LF OF STREET FRONTAGE (448 LF) 1 SHRUB PER 20 LF | 15 TREES REQUIRED - 15 PROVIDED 23 SHRUBS REQUIRED - 23 PROVIDED |
| MEADOWVIEW DR (NORTH PROPERTY) | 1 TREE PER 30 LF OF STREET FRONTAGE (159 LF) 1 SHRUB PER 20 LF | 5 TREES REQUIRED - 5 PROVIDED 8 SHRUBS REQUIRED - 10 PROVIDED |
| NATIONAL DR | 1 TREE PER 30 LF OF STREET FRONTAGE (1,351 LF) 1 SHRUB PER 20 LF | 45 TREES REQUIRED - 45 PROVIDED 68 SHRUBS REQUIRED - 72 PROVIDED |
| CLUSTER DR | 1 TREE PER 30 LF OF STREET FRONTAGE (258 LF) 1 SHRUB PER 20 LF | 9 TREES REQUIRED - 9 PROVIDED 13 SHRUBS REQUIRED - 14 PROVIDED |
| OPEN YARD (SEC. 8.290.B) | REQUIREMENT | PROVIDED |
| OPEN YARD TREES | 1 TREE PER 5,000 SF OF OPEN SPACE (179,266 SF) | 36 TREES REQUIRED - 36 TREES PROVIDED |
| OPEN YARD SHRUBS | 2 SHRUBS PER 5,000 SF OF OPEN SPACE | 72 SHRUBS REQUIRED - 180 SHRUBS PROVIDED |
| PARKING LOT LANDSCAPE ISLANDS (SEC. 8.810.A) | REQUIREMENT | PROVIDED |
| LANDSCAPE ISLANDS | ISLANDS MUST COVER 5% OF PARKING LOT AREA (154,516) | 7,222 SF REQUIRED - 11,502 PROVIDED (7.4%) |
| PARKING LOT SCREENING (SEC. 8.820) | REQUIREMENT | PROVIDED |
| PARKING LOT SCREENING | CONTINUOUS 2.5' HEIGHT SCREENING | PROVIDED PER PLAN |

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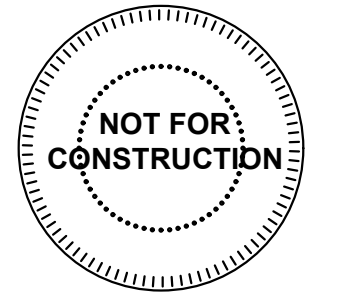
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OVERALL LANDSCAPE PLAN
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VOL.1 **L0.01**



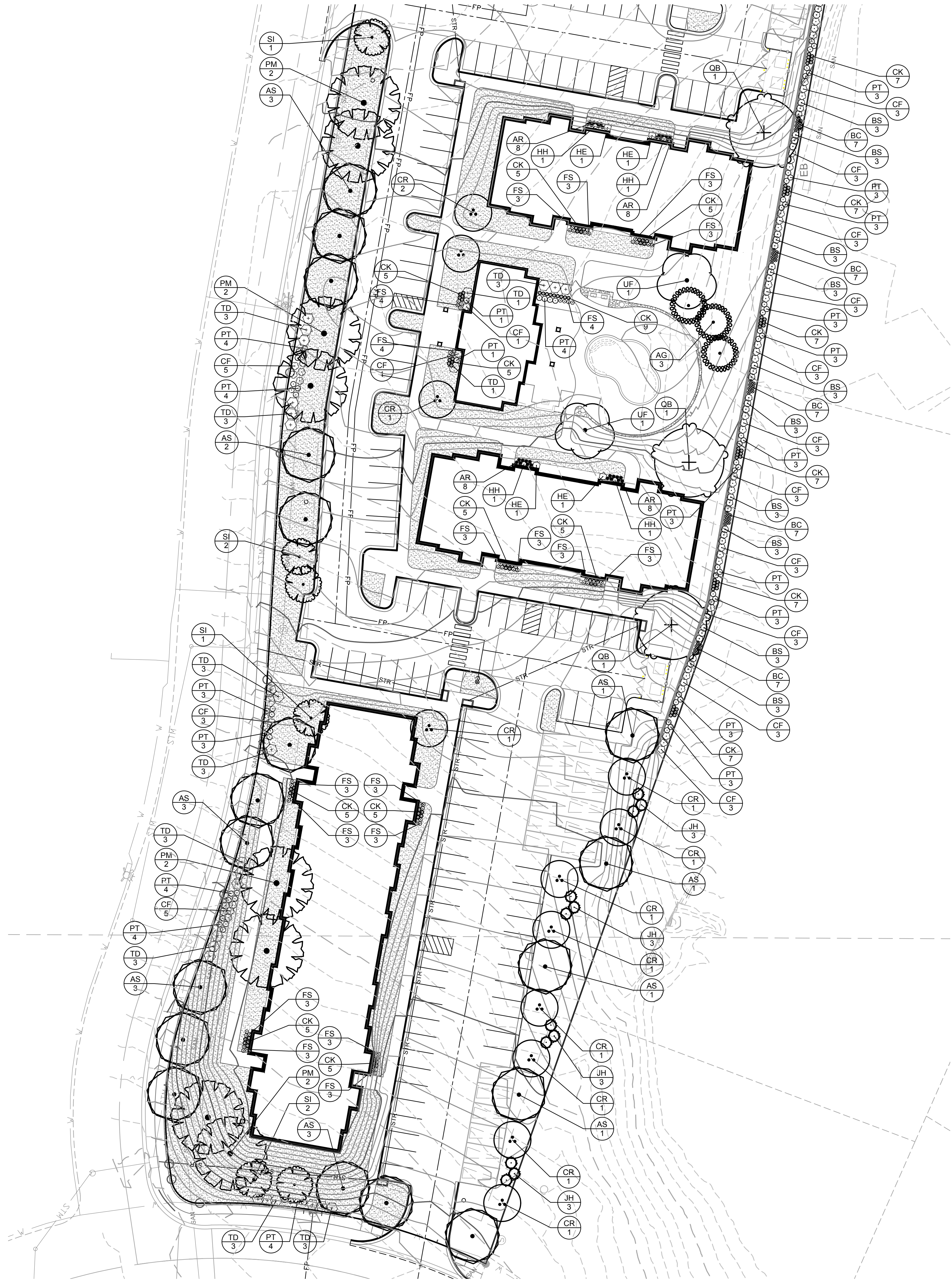
PLANT SCHEDULE SOUTH

| TREES | BOTANICAL / COMMON NAME |
|---|---|
| AS | Acer miyabei 'State Street' / Miyabei Maple |
| CR | Cercis reniformis 'Oklahoma' / Oklahoma Red Bud |
| PM | Platanus x acerifolia 'Morton Circle' TM / Exclamation! London Plane Tree |
| QB | Quercus bicolor / Swamp White Oak |
| SI | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac |
| UF | Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm |
| SHRUBS | BOTANICAL / COMMON NAME |
| BC | Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry |
| CF | Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood |
| FS | Forsythia x intermedia 'Flojor' / Minigold Forsythia |
| PT | Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark |
| TD | Taxus cuspidata 'Densa' / Dense Japanese Yew |
| ANNUALS/PERENNIALS | BOTANICAL / COMMON NAME |
| AR | Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe |
| HE | Hosta x 'Empress Wu' / Empress Wu Hosta |
| HH | Hosta x 'Halcyon' / Halcyon Hosta |
| GRASSES | BOTANICAL / COMMON NAME |
| CK | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass |
| GROUND COVERS | BOTANICAL / COMMON NAME |
|  | Fescue Sod / Heal-Tolerant Fescue Sod |



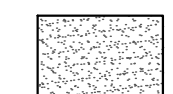
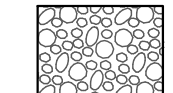
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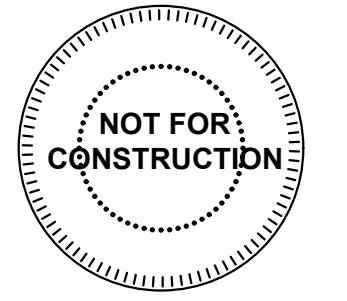
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PLANT LEGEND (SEE FULL SCHEDULE ON L0.05)

| | |
|---------------------------|--|
| TREES | BOTANICAL / COMMON NAME |
| AS | Acer miyabei 'State Street' / Miyabei Maple |
| AG | Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry |
| CR | Cercis reniformis 'Oklahoma' / Oklahoma Red Bud |
| PM | Platanus x acerifolia 'Morton Circle' TM / Exclamation! London Plane Tree |
| QB | Quercus bicolor / Swamp White Oak |
| SI | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac |
| UF | Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm |
| SHRUBS | BOTANICAL / COMMON NAME |
| CF | Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood |
| FS | Forsythia x intermedia 'Flojor' / Minigold Forsythia |
| PT | Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark |
| TD | Taxus cuspidata 'Densa' / Dense Japanese Yew |
| ANNUALS/PERENNIALS | BOTANICAL / COMMON NAME |
| AR | Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe |
| HE | Hosta x 'Empress Wu' / Empress Wu Hosta |
| HH | Hosta x 'Halcyon' / Halcyon Hosta |
| GRASSES | BOTANICAL / COMMON NAME |
| CK | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass |

| | |
|---|---------------------------------------|
| GROUND COVERS | BOTANICAL / COMMON NAME |
|  | Fescue Sod / Heal-Tolerant Fescue Sod |
|  | Rock Mulch / River Rock Mulch |



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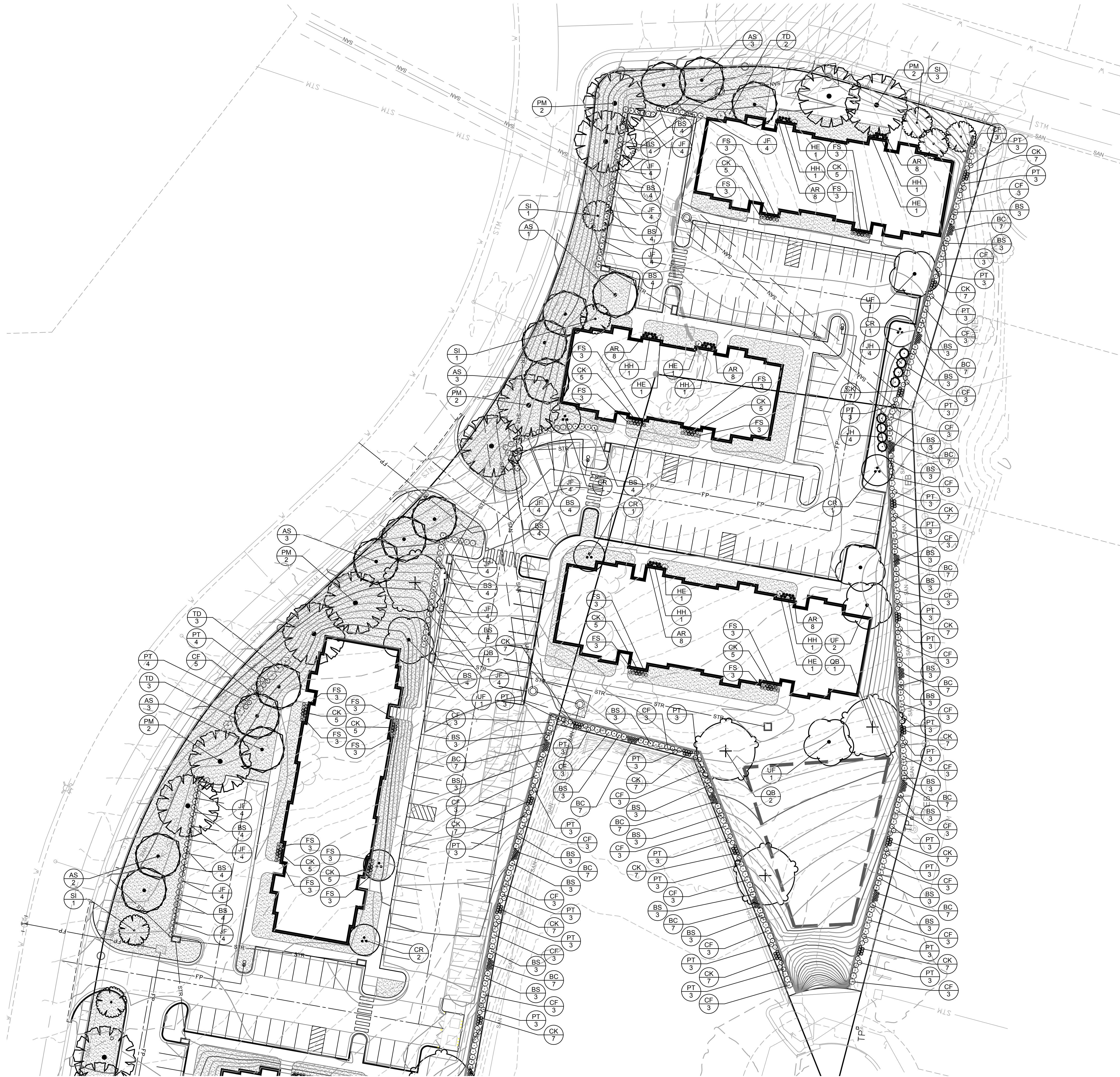
CHAPEL RIDGE

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LEE'S SUMMIT, MISSOURI

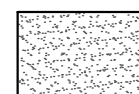
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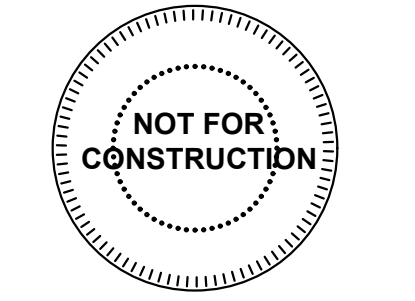
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PLANT SCHEDULE TOP

| TREES | BOTANICAL / COMMON NAME |
|---|---|
| AS | Acer miyabei 'State Street' / Miyabei Maple |
| CR | Cercis reniformis 'Oklahoma' / Oklahoma Red Bud |
| PM | Platanus x acerifolia 'Morton Circle' TM / Exclamation! London Plane Tree |
| QB | Quercus bicolor / Swamp White Oak |
| SI | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac |
| UF | Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm |
| SHRUBS | BOTANICAL / COMMON NAME |
| BS | Buxus microphylla 'Sprinter' / Sprinter Boxwood |
| CF | Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood |
| FS | Forsythia x intermedia 'Flojoir' / Minigold Forsythia |
| JF | Juniperus chinensis 'Sea Green' / Sea Green Juniper |
| PT | Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark |
| TD | Taxus cuspidata 'Densa' / Dense Japanese Yew |
| ANNUALS/PERENNIALS | BOTANICAL / COMMON NAME |
| AR | Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe |
| HE | Hosta x 'Empress Wu' / Empress Wu Hosta |
| HH | Hosta x 'Halcyon' / Halcyon Hosta |
| GRASSES | BOTANICAL / COMMON NAME |
| CK | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass |
| GROUND COVERS | BOTANICAL / COMMON NAME |
|  | Fescue Sod / Heal-Tolerant Fescue Sod |



A NEW MULTI-FAMILY DEVELOPMENT FOR:

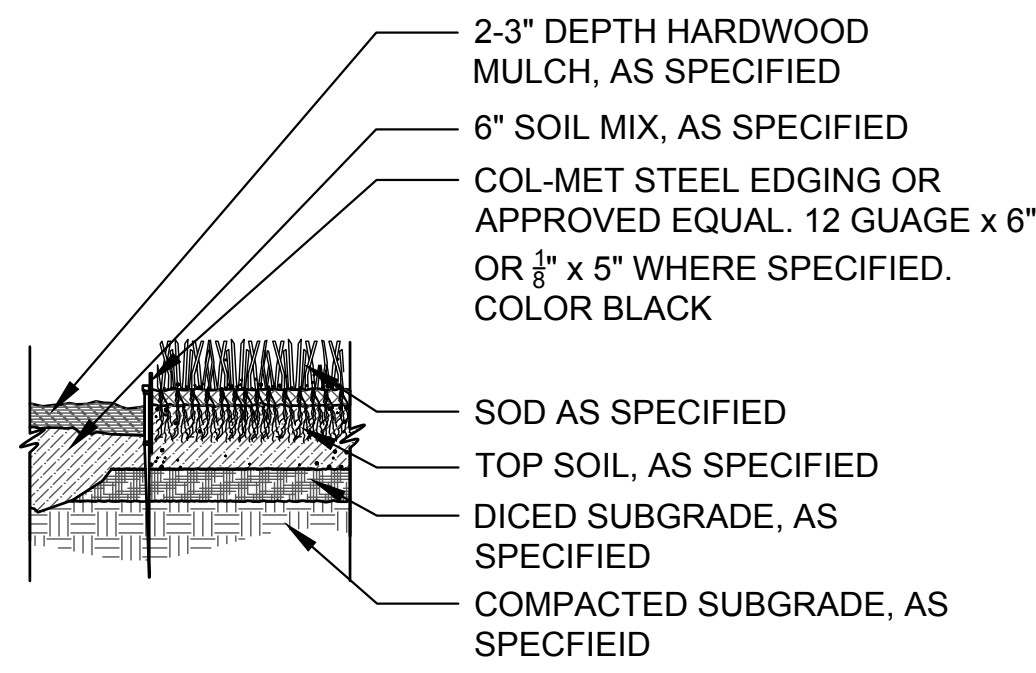
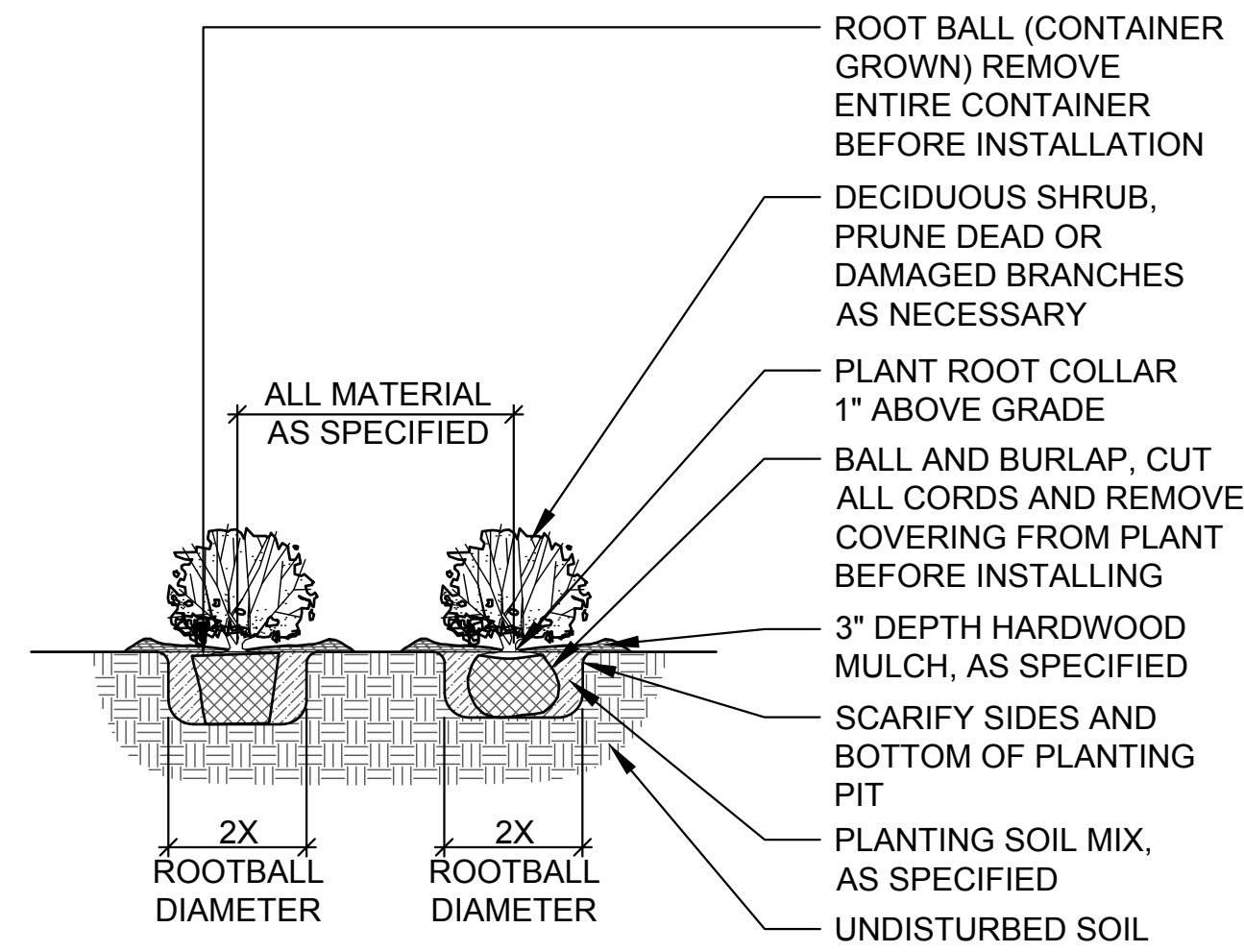
CHAPEL RIDGE

NE AKIN BLVD. & NE MEADOWVIEW DR.
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG
● 01.31.2018 - DRAWING RELEASE

REVISIONS

DATE
11/01/2021
JOB NO.
696921
DRAWN BY:
AJD
SHEET NO.



5 SHRUB AND PERENNIAL PLANTING
1/2" = 1'-0" 329333-04

6 METAL EDGING
1" = 1'-0" 329413.23-08

PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL / COMMON NAME | CONT | CAL |
|--------------------|------|------------|--|-------|-----------|
| | AS | 40 | Acer miyabei 'State Street' / Miyabei Maple | B & B | 3"Cal |
| | AG | 3 | Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry | B & B | 3"Cal |
| | CR | 20 | Cercis reniformis 'Oklahoma' / Oklahoma Red Bud | B & B | 3"Cal |
| | JH | 20 | Juniperus virginiana 'Hillspire' / Hillspire Eastern Redcedar | B & B | 6'-8' Ht. |
| | PM | 23 | Platanus x acerifolia 'Morton Circle' TM / Exclamation! London Plane Tree | B & B | 3"Cal |
| | QB | 10 | Quercus bicolor / Swamp White Oak | B & B | 3"Cal |
| | SI | 15 | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac | B & B | 3"Cal |
| | UF | 12 | Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm | B & B | 3"Cal |
| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | CONT | |
| | BC | 209 | Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry | 2 gal | |
| | BS | 230 | Buxus microphylla 'Sprinter' / Sprinter Boxwood | 2 gal | |
| | CF | 205 | Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood | 2 gal | |
| | FS | 164 | Forsythia x intermedia 'Flojor' / Minigold Forsythia | 2 gal | |
| | JF | 56 | Juniperus chinensis 'Sea Green' / Sea Green Juniper | 2 gal | |
| | PT | 226 | Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark | 2 gal | |
| | TD | 41 | Taxus cuspidata 'Densa' / Dense Japanese Yew | 2 gal | |
| ANNUALS/PERENNIALS | CODE | QTY | BOTANICAL / COMMON NAME | CONT | |
| | AR | 96 | Astilbe japonica 'Rheinland' / Rheinland Japanese Astilbe | 1 gal | |
| | HE | 12 | Hosta x 'Empress Wu' / Empress Wu Hosta | 1 gal | |
| | HH | 12 | Hosta x 'Halcyon' / Halcyon Hosta | 1 gal | |
| GRASSES | CODE | QTY | BOTANICAL / COMMON NAME | CONT | |
| | CK | 356 | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | 1 gal | |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME | CONT | |
| | FH | 183,722 sf | Fescue Sod / Heal-Tolerant Fescue Sod | SF | |
| | RR | 271 sf | Rock Mulch / River Rock Mulch | SF | |

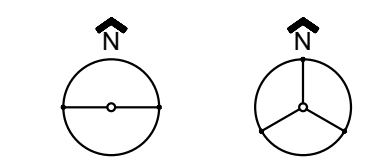
*TREE CALIPER MEASURED AT 6" ABOVE FINISH GRADE OR ROOTBALL, PRE CITY CODE SEC 8.750.4

1 PLANT SCHEDULE
NTS

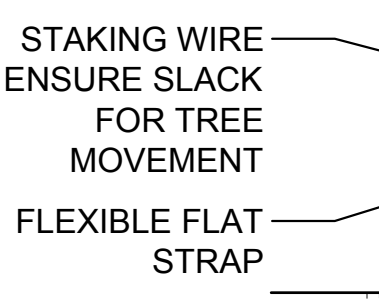
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES, IRRIGATION PIPING AND DRAINAGE STRUCTURES BEFORE COMMENCING WORK. INFORMATION SHOWN ON PLAN IS FROM AVAILABLE INFORMATION AND ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO ANY OF THE PREVIOUSLY LISTED ITEMS.
- CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN PRIOR TO PLANTING. QUANTITIES PROVIDED ARE FOR CONVENIENCE ONLY AND CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND INSTALLING THE QUANTITY OF PLANT MATERIALS SHOWN ON THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL TO BE SPACED AS SHOWN, UNLESS OTHERWISE NOTED.
- LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE STAKED OR LAID OUT IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NO SUBSTITUTION (INCL. CULTIVARS) SHALL BE ACCEPTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSI STANDARDS.
- ALL TREES & MULCH BEDS (UNLESS ROCK MULCH) SHALL RECEIVE 3" MIN. OF SHREDDED DARK BROWN PREMIUM HARDWOOD MULCH, AS DETAILED. ADD PREEN OR SNAPSHOT TO BEDS BEFORE & AFTER MULCHING FROM MARCH 1 TO OCTOBER 1. IF WINTER INSTALLATION, RETURN NEXT SPRING & INSTALL PREEN/SNAPSHOT WITH NEW MULCH.
- TREE TIES SHALL BE DEWITT 20" STRAPS FOR TREE STAKING. USE 10 GAUGE ELECTRIC WIRE. TREES AND STAKES SHALL BE STRAIGHT, PLUMB AND TAUT. TREE STAKES TO BE REMOVED WINTER OF YEAR 2 AFTER INSTALLATION.
- CONTRACTOR SHALL THOROUGHLY WATER IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING UNTIL SUBSTANTIAL COMPLETION. CONTRACTOR REQUIRED TO COORDINATE WATERING WITH THE OWNER AFTER SUBSTANTIAL COMPLETION.
- ALL AREAS OF THE SITE DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS BEDS / PAVEMENT AREAS SHALL BE SODDED WITH 90% TURF-TYPE TALL FESCUE AND 10% BLUEGRASS MIX SOD.
- ALL LANDSCAPED AND TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATED SYSTEM. THE CONTRACTOR SHALL PROVIDE A DESIGN TO COVER THE NEW LANDSCAPE AREAS WITH HEAD TO HEAD COVERAGE. ONLY RAINBIRD OR HUNTER IRRIGATION PARTS & EQUIPMENT ARE TO BE USED. DRIP IS PERMITTED. THE DESIGN SHALL PROVIDE ALL PIPES, HEADS, VALVES, CONTROLLER, WIRE, AND SLEEVES. SLEEVES SHALL BE INSTALLED BY THE GENERAL CONTRACTOR AND COORDINATED WITH THE LANDSCAPE / IRRIGATION CONTRACTOR. 4" PVC SLEEVES RECOMMENDED. PLACE SLEEVES AND MARK CLEARLY ABOVE GROUND FOR EASE OF FINDING. COORDINATE BACKFLOW, TAP & METER WITH THE GENERAL CONTRACTOR (GC) AND THE GC'S LICENSED PLUMBER. THE IRRIGATION DESIGN / SUBMITTALS SHALL BE SUBMITTED TO THE OWNER AND OWNER'S REPRESENTATIVE & LA FOR APPROVAL PRIOR TO ORDERING OR INSTALLING ANY MATERIALS FOR THE IRRIGATION SYSTEM. GC SHALL MAKE SURE THAT THE METER & BACKFLOW ARE COVERED IN THE BID, AS THE IRRIGATION CONTRACTOR IS LIKELY TO EXCLUDE THESE ITEMS FROM THE IRRIGATION BED. COORDINATE THESE ITEMS AND SLEEVES.
- NO TREES SHALL BE PLANTED OVER TOP OF ANY UTILITY LINES OR PIPES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANTING AND ANY MODIFICATIONS TO TREE LOCATIONS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND APPROVED BY THE CITY PRIOR TO PLANTING.
- ALL PLANT MATERIALS AND IRRIGATION SYSTEM SHALL BE GUARANTEED FOR 1 YEAR FROM DATE OF SUBSTANTIAL COMPLETION, UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS. PLANT MATERIALS WILL BE ONE TIME REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
- CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THIS LANDSCAPE PLAN IS DESIGNED TO BE IN CONFORMANCE WITH THE LEE'S SUMMIT, MISSOURI UNIFIED DEVELOPMENT STANDARDS. THE LANDSCAPE ARCHITECT WILL COORDINATE CLOSELY WITH THE CITY OF LEE'S SUMMIT, MISSOURI TO MAKE SURE FINAL DEVELOPMENT AND PERMIT PLANS ARE IN CONFORMANCE WITH THIS CODE.

2 LANDSCAPE NOTES
NTS

STAKING ORIENTATION



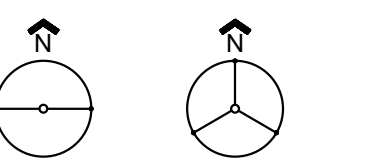
2 STAKES - 3" CAL. OR LESS
3 STAKES - GREATER THAN 3" CAL.



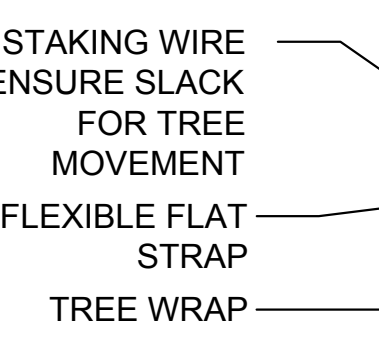
STAKING WIRE ENSURE SLACK FOR TREE MOVEMENT
FLEXIBLE FLAT STRAP
TREE WRAP

4 CONIFEROUS TREE PLANTING
1/2" = 1'-0" 329343.01-01

STAKING ORIENTATION



2 STAKES 3 STAKES
2 STAKES - 3" CAL. OR LESS
3 STAKES - GREATER THAN 3" CAL.



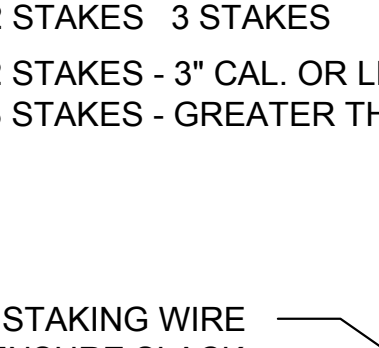
STAKING WIRE ENSURE SLACK FOR TREE MOVEMENT
FLEXIBLE FLAT STRAP
TREE WRAP

3 DECIDUOUS TREE PLANTING
1/2" = 1'-0" 329343.02-01

STAKING ORIENTATION



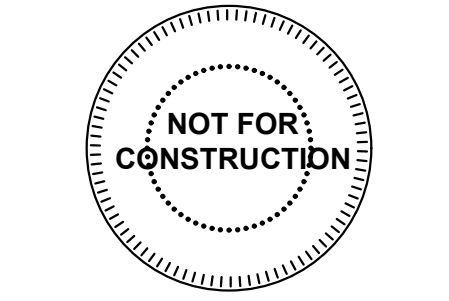
2 STAKES 3 STAKES
2 STAKES - 3" CAL. OR LESS
3 STAKES - GREATER THAN 3" CAL.



STAKING WIRE ENSURE SLACK FOR TREE MOVEMENT
FLEXIBLE FLAT STRAP
TREE WRAP

EVERGREEN TREE, DO NOT CUT OR DAMAGE LEADER, PRUNE DEAD OR DAMAGED BRANCHES AS NECESSARY
ARBOR TIE OR EQUIVALENT, AS SPECIFIED
STEEL FENCE POST OR SIMILAR
ROOT BASE 1" ABOVE GRADE, MINIMUM
3" DEPTH HARDWOOD MULCH, AS SPECIFIED
REMOVE TOP 1/3 OF BURLAP, TWINE, ROPE AND BASKET FROM ROOTBALL
SCARIFY SIDES AND BOTTOM OF PLANTING PIT
PLANTING SOIL MIX AS SPECIFIED
UNDISTURBED SOIL

DECIDUOUS TREE, PRUNE DEAD OR DAMAGED BRANCHES AS NECESSARY
ARBOR TIE OR EQUIVALENT, AS SPECIFIED
STEEL FENCE POST OR SIMILAR
ROOT BASE 1" ABOVE GRADE, MINIMUM
3" DEPTH HARDWOOD MULCH, AS SPECIFIED
REMOVE TOP 1/3 OF BURLAP, TWINE, ROPE AND BASKET FROM ROOTBALL
SCARIFY SIDES AND BOTTOM OF PLANTING PIT
PLANTING SOIL MIX AS SPECIFIED
UNDISTURBED SOIL



ELEVATION MATERIAL LEGEND

- ① BOARD & BATTEN SIDING
- ② LAP SIDING
- ③ 'WOOD-LOOK' PANEL
- ④ BRICK OR STONE VENEER
- ⑤ ASPHALT SHINGLE ROOF
- ⑥ METAL ROOF
- ⑦ VERTICAL METAL SIDING
- ⑧ CEMENTITIOUS STUCCO
- ⑨ SPLIT-FACE BLOCK (COLOR TO MATCH BUILDING STONE / MASONRY VENEER)

NOTE: ALL MATERIALS LISTED ABOVE INTERCHANGEABLE BASED ON MARKET AVAILABILITY AT TIME OF CONSTRUCTION



④ EXTERIOR ELEVATION
CLUBHOUSE - RIGHT ELEVATION



③ EXTERIOR ELEVATION
CLUBHOUSE - REAR ELEVATION



② EXTERIOR ELEVATION
CLUBHOUSE - LEFT ELEVATION



① EXTERIOR ELEVATION
CLUBHOUSE - FRONT ELEVATION

ELEVATION MATERIAL LEGEND

- ① BOARD & BATTEN SIDING
- ② LAP SIDING
- ③ 'WOOD-LOOK' PANEL
- ④ BRICK OR STONE VENEER
- ⑤ ASPHALT SHINGLE ROOF
- ⑥ METAL ROOF
- ⑦ VERTICAL METAL SIDING
- ⑧ CEMENTITIOUS STUCCO
- ⑨ SPLIT-FACE BLOCK (COLOR TO MATCH BUILDING STONE / MASONRY VENEER)

NOTE: ALL MATERIALS LISTED ABOVE INTERCHANGEABLE BASED ON MARKET AVAILABILITY AT TIME OF CONSTRUCTION



② EXTERIOR ELEVATION
BUILDING TYPE 'A' - LEFT & RIGHT ELEVATIONS



① EXTERIOR ELEVATION
BUILDING TYPE 'A' - FRONT & REAR ELEVATIONS

ELEVATION MATERIAL LEGEND

- ① BOARD & BATTEN SIDING
- ② LAP SIDING
- ③ WOOD-LOOK PANEL
- ④ BRICK OR STONE VENEER
- ⑤ ASPHALT SHINGLE ROOF
- ⑥ METAL ROOF
- ⑦ VERTICAL METAL SIDING
- ⑧ CEMENTITIOUS STUCCO
- ⑨ SPLIT-FACE BLOCK
(COLOR TO MATCH BUILDING STONE / MASONRY VENEER)

NOTE: ALL MATERIALS LISTED ABOVE INTERCHANGEABLE BASED ON MARKET AVAILABILITY AT TIME OF CONSTRUCTION



② EXTERIOR ELEVATION
BUILDING TYPES 'C' & 'D' - LEFT & RIGHT ELEVATIONS



① EXTERIOR ELEVATION
BUILDING TYPES 'C' & 'D' - FRONT ELEVATION

ELEVATION MATERIAL LEGEND

- ① BOARD & BATTEN SIDING
- ② LAP SIDING
- ③ WOOD-LOOK PANEL
- ④ BRICK OR STONE VENEER
- ⑤ ASPHALT SHINGLE ROOF
- ⑥ METAL ROOF
- ⑦ VERTICAL METAL SIDING
- ⑧ CEMENTITIOUS STUCCO
- ⑨ SPLIT-FACE BLOCK
(COLOR TO MATCH BUILDING STONE / MASONRY VENEER)

NOTE: ALL MATERIALS LISTED ABOVE INTERCHANGEABLE BASED ON MARKET AVAILABILITY AT TIME OF CONSTRUCTION



② EXTERIOR ELEVATION
BUILDING TYPES 'C' & 'D' - LEFT & RIGHT ELEVATIONS



① EXTERIOR ELEVATION
BUILDING TYPES 'C' & 'D' - FRONT ELEVATION

| ELEVATION MATERIAL LEGEND | |
|---------------------------|---|
| ① | BOARD & BATTEN SIDING |
| ② | LAP SIDING |
| ③ | 'WOOD-LOOK' PANEL |
| ④ | BRICK OR STONE VENEER |
| ⑤ | ASPHALT SHINGLE ROOF |
| ⑥ | METAL ROOF |
| ⑦ | VERTICAL METAL SIDING |
| ⑧ | CEMENTITIOUS STUCCO |
| ⑨ | SPLIT-FACE BLOCK (COLOR TO MATCH BUILDING STONE / MASONRY VENEER) |

**NOTE: ALL MATERIALS LISTED ABOVE INTERCHANGEABLE
BASED ON MARKET AVAILABILITY AT TIME OF CONSTRUCTION**



③ EXTERIOR ELEVATION
CARPORT - SIDE ELEVATION



⑤ EXTERIOR ELEVATION
TRASH ENCLOSURE - FRONT ELEVATION



② EXTERIOR ELEVATION
CARPORT - FRONT ELEVATION



④ EXTERIOR ELEVATION
DETACHED GARAGE - SIDE ELEVATION



① EXTERIOR ELEVATION
DETACHED GARAGE - FRONT ELEVATION