

# DILLONS

## SUMMIT PARK, LOTS 4-10 NE DOUGLAS ST. LEE'S SUMMIT, MO PFI PROJECT NO. 27480 MAY 26, 2026

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VICINITY MAP  
SCALE: NTS

REVISIONS:


PROJECT #:	27480
DATE:	MAY 26, 2026
DRAWN BY:	EJH
DESIGNER:	JPM
CHECKED BY:	MLB



DILLONS  
NE DOUGLAS ST.  
LEE'S SUMMIT, MO



SEAL:  
**PRELIMINARY  
- NOT FOR  
CONSTRUCTION**

SHEET NUMBER:  
**C-000**

DESCRIPTION:  
COVER SHEET



NORTH  
0 40 80 160  
1 INCH = 80 FEET



EXISTING ZONE LEGEND	
	PI (PLANNED INDUSTRIAL)
	PO (PLANNED OFFICE)
	RP-4 (PLANNED APARTMENT RESIDENTIAL)
	AG (AGRICULTURAL)

**TITLE COMMITMENT DESCRIPTIONS:**

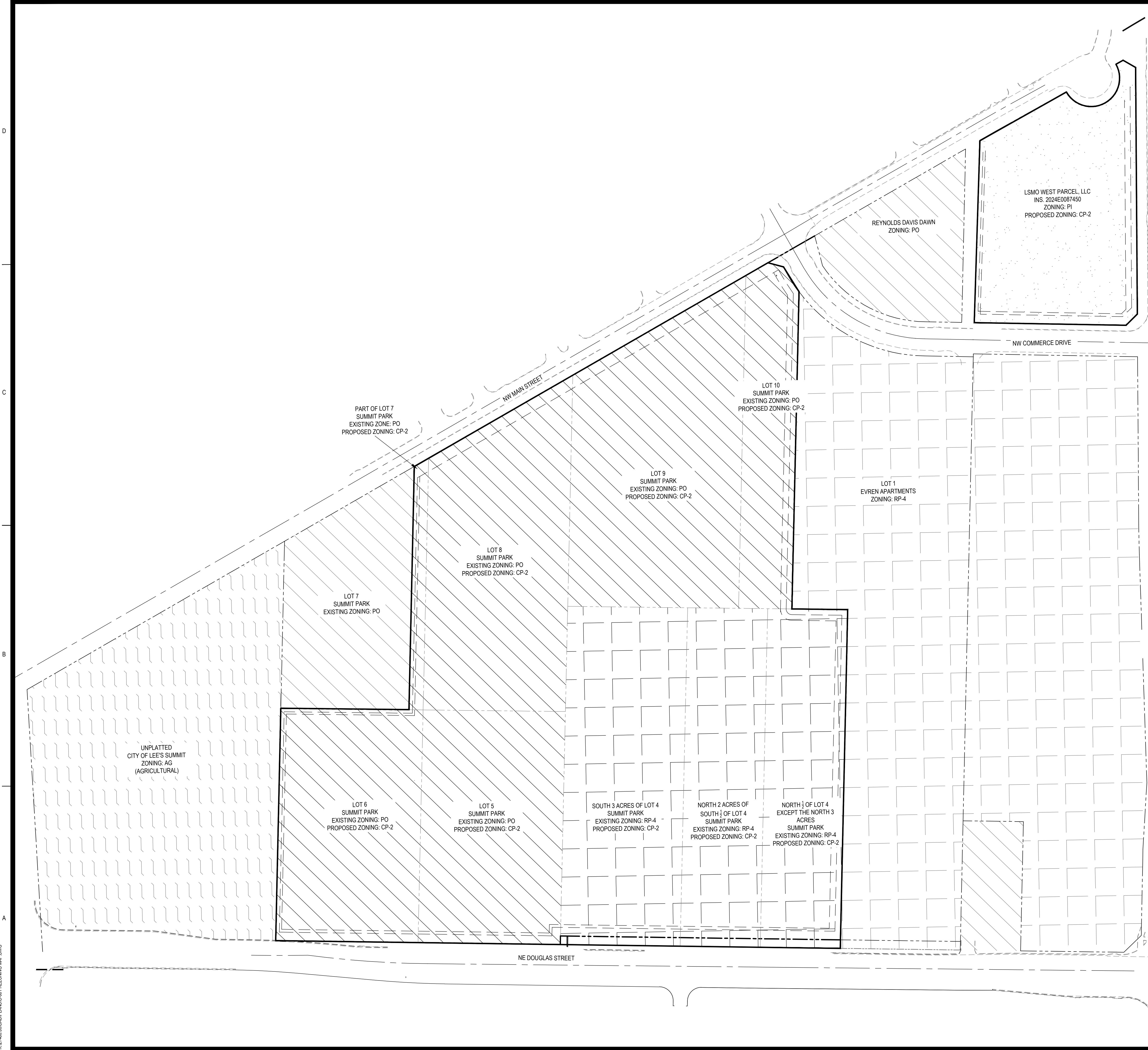
COMMITMENT NUMBER: KCC252116  
THE NORTH TWO ACRES OF THE SOUTH 1/2 OF LOT 4, SUMMIT PARK, A SUBDIVISION OF LAND IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.  
AND:  
THE NORTH 1/2 OF LOT 4, EXCEPT THE NORTH 3 ACRES THEREOF, IN SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

COMMITMENT NUMBER: KCC252117  
ALL OF LOTS 5, 6, 8, AND LOT 7 EXCEPT THE SOUTH 225 FEET THEREOF IN SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AND SUBJECT TO EASEMENTS, RIGHTS OF WAY OF RECORD, AND EXCEPT THAT PART IN ROADS.

COMMITMENT NUMBER: KCC252118  
LOT 9, AND THE SOUTH 1.373 ACRES OF LOT 10, SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

COMMITMENT NUMBER: KCC252119  
THE SOUTH 3 ACRES OF THE SOUTH HALF OF LOT 4, SUMMIT PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE SPECIFICALLY DESCRIBED AS BEING ALL OF THE SOUTH 210.6 FEET OF LOT 4, SUMMIT PARK.

COMMITMENT NUMBER: KCC252463  
THAT PART OF THE FOLLOWING LYING SOUTH OF NE TUDOR ROAD:  
THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 LYING EAST OF MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY IN SECTION 31, TOWNSHIP 48, RANGE 31, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, EXCEPT A TRACT DESCRIBED AS FOLLOWS:  
ALL THAT PORTION OF THE NORTH 25.5 ACRES OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4 LYING EAST OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY IN SECTION 31, TOWNSHIP 48, RANGE 31 DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 48, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE SOUTH ALONG THE EAST LINE OF SAID 1/4 1/4 SECTION, A DISTANCE OF 914.5 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID 1/4 1/4 SECTION, 411.0 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED; SAID TRUE POINT OF BEGINNING BEING IN THE WESTERLY LINE OF PUBLIC ROAD; THENCE NORTH 31 DEGREES 00 MINUTES WEST ALONG AND WITH THE WESTERLY LINE OF PUBLIC ROAD, A DISTANCE OF 267.0 FEET TO A POINT 688.79 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE WEST PARALLEL TO SAID NORTH LINE OF 1/4 1/4 SECTION, 731.4 FEET TO A POINT IN THE EASTERLY LINE OF MISSOURI-PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTHEASTERLY WITH SAID RAILROAD RIGHT OF WAY, ALONG A CURVE TO THE RIGHT (HAVING A RADIUS OF 3175.4 FEET), A DISTANCE OF 234.0 FEET TO A POINT 914.5 FEET SOUTH OF THE NORTH LINE OF SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION; THENCE EAST ALONG THE SOUTH LINE OF 25.5 ACRES TRACT, 812.7 FEET TO THE TRUE POINT OF BEGINNING, AND EXCEPT THAT PART IN STREETS AND ROADS.



REVISIONS:


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**DILLONS**  
NE DOUGLAS ST.  
LEE'S SUMMIT, MO

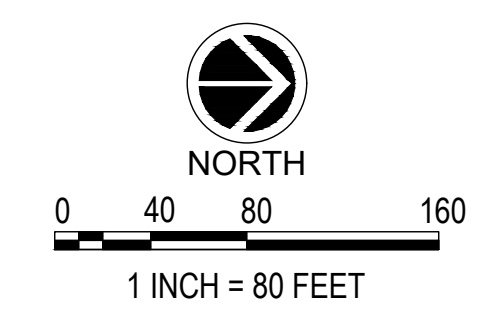


SEAL:  
**PRELIMINARY  
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CONSTRUCTION**

SHEET NUMBER:  
**C-001**

DESCRIPTION:  
REZONING MAP

**SITE DEVELOPMENT PHASING:**  
 DEVELOPMENT OF THE SITE MAY OCCUR IN MULTIPLE PHASES BASED ON MARKET CONDITIONS, DEVELOPER SCHEDULING, AND TENANT NEEDS. IT IS CURRENTLY ANTICIPATED THAT LOTS 1 AND 4 WILL BE DEVELOPED TOGETHER AS THE INITIAL PHASE. LOTS 2 AND 3 MAY BE DEVELOPED IN A SUBSEQUENT PHASE, FOLLOWED BY DEVELOPMENT OF LOT 5. THE FINAL SEQUENCING AND TIMING OF PHASES MAY VARY.



PHASING MAP LEGEND	
	PHASE 1
	PHASE 2
	PHASE 3

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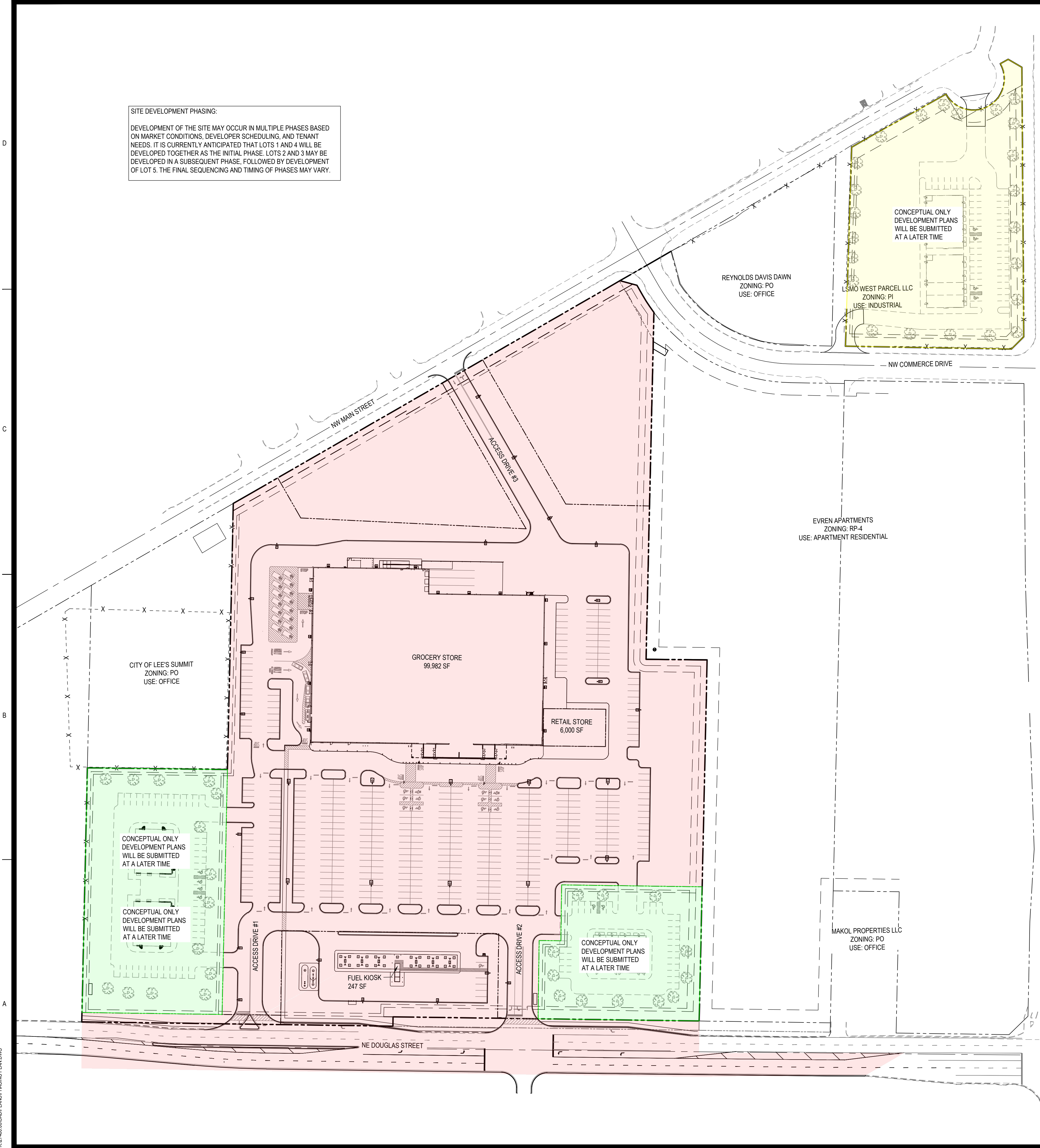
**DILLONS**  
 NE DOUGLAS ST.  
 LEE'S SUMMIT, MO



SEAL:  
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SHEET NUMBER:  
**C-002**

DESCRIPTION:  
 PHASING PLAN



LEGAL DESCRIPTION: A TRACT OF LAND BEING PART OF LOTS 4, 5, 6, 7, 8, 9 AND 10 SUMMIT PARK, A SUBDIVISION RECORDED JUNE 23RD, 1914 AS INSTRUMENT NUMBER 19140096399 IN BOOK 6, PAGE 38, LYING AND SITUATED IN THE SOUTH HALF OF SECTION 31, TOWNSHIP 38 NORTH, RANGE 31 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, SAID TRACT AS SURVEYED BY BRENT E. THOMPSON, PLS - 2006000161, WITH BHC, MO CLS 2006009875-F, BEING MORE PARTICULARLY DESCRIBED ON THIS 14TH DAY OF JANUARY, 2026 BY METES AND BOUNDS AS FOLLOWS:  
 (NOTE: FOR COURSE ORIENTATION THE BEARINGS IN THIS DESCRIPTION ARE BASED WEST LINE OF LOT 6, SUMMIT PARK HAVING A BEARING OF NORTH 01° 39' 49" EAST, REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.)  
 COMMENCING AT THE SOUTHWEST CORNER OF LOT 6, SUMMIT PARK, MONUMENTED BY A 5/8" REINFORCING ROD;  
 THENCE NORTH 01° 39' 49" EAST, 225.00 FEET, ON THE WEST LINE OF SAID LOT 6, TO THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;  
 THENCE NORTH 87° 44' 22" WEST, 427.40 FEET, DEPARTING SAID WEST LINE, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF MAIN STREET AS NOW ESTABLISHED, DESCRIBED BY ROADWAY PLAN SET FROM WALTER P MOORE & ASSOCIATES, INC. FOR CITY PROJECT NUMBER 714, DATED SEPTEMBER 24, 2021;  
 THENCE NORTH 28° 56' 49" WEST, 716.68 FEET, ON SAID EASTERLY RIGHT-OF-WAY LINE, TO ITS INTERSECTION WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF COMMERCE DRIVE AS ESTABLISHED BY RIGHT-OF-WAY DEED, RECORDED AS INSTRUMENT NUMBER 2018E0020780, DATED MARCH 14, 2018;  
 THENCE NORTH 16° 03' 11" EAST, 28.28 FEET, ON SAID SOUTHEASTERLY RIGHT-OF-WAY LINE;  
 THENCE NORTH 61° 03' 11" EAST, 18.63 FEET, CONTINUING ON SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;  
 THENCE NORTHEASTERLY, CONTINUING ON SAID SOUTHEASTERLY RIGHT-OF-WAY LINE AND ON SAID CURVE TO THE LEFT, HAVING A RADIUS OF 280.00 FEET AND AN ARC LENGTH OF 32.73 FEET, WITH A CHORD BEARING OF NORTH 57° 42' 14" EAST AND A CHORD DISTANCE OF 32.71 FEET, TO ITS INTERSECTION WITH THE SOUTH LINE OF LOT 1, EVREN APARTMENTS, A SUBDIVISION RECORDED SEPTEMBER 5TH, 2025 AND FILED AS INSTRUMENT NUMBER 2025E0065852, IN BOOK 1225, PAGE 85;  
 THENCE SOUTH 87° 41' 50" EAST, 557.34 FEET, ON THE SOUTH LINE OF SAID LOT 1;  
 THENCE NORTH 01° 39' 49" EAST, 98.11 FEET, CONTINUING ON SAID SOUTH LINE;  
 THENCE SOUTH 87° 44' 22" EAST, 364.47 FEET, CONTINUING ON SAID SOUTH LINE;  
 THENCE SOUTH 01° 47' 13" WEST, 225.65 FEET;  
 THENCE SOUTH 88° 12' 47" EAST, 89.76 FEET;  
 THENCE SOUTH 01° 47' 13" WEST, 34.94 FEET;  
 THENCE SOUTH 88° 12' 47" EAST, 125.85 FEET, TO ITS INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF DOUGLAS STREET AS ESTABLISHED BY CONVEYANCE OF RIGHT-OF-WAY, RECORDED IN BOOK 555, PAGE 20, DATED OCTOBER 26, 1929;  
 THENCE SOUTH 01° 47' 13" WEST, 232.85 FEET, ON SAID WEST RIGHT-OF-WAY LINE, TO THE NORTH LINE OF LOT 5;  
 THENCE SOUTH 01° 47' 13" WEST, 274.71 FEET, PARALLEL WITH AND 15 FEET WEST OF SAID WEST RIGHT-OF-WAY LINE;  
 THENCE NORTH 87° 44' 22" WEST, 393.62 FEET, TO THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED, SAID TRACT CONTAINING 684,383 SQUARE FEET OR 15.7113 ACRES MORE OR LESS.

K:\27480\00CAD\PLANS\PHASING PLAN.DWG



**PLATTING NOTE:**  
 LOT 4 IS INTENDED TO BE PLATTED AS THE BUILDING FOOTPRINT ONLY. SHARED ACCESS AND PARKING FOR THE SITE SHALL BE PROVIDED THROUGH A BLANKET ACCESS EASEMENT AND SHARED PARKING AGREEMENT TO BE ESTABLISHED WITH THE FINAL PLAT.

**BUILDING AREA CHART**

LOT 1 GROCERY STORE BUILDING:	99,982 SF
FUEL KIOSK:	247 SF
LOT 2 CONCEPTUAL BUILDINGS:	8,662 SF
LOT 3 CONCEPTUAL BUILDING:	5,070 SF
LOT 4 RETAIL STORE:	6,000 SF
LOT 5 CONCEPTUAL BUILDINGS:	10,140 SF

**CONCEPT LAYOUT NOTE:**  
 LOTS 2, 3, AND 5 ARE SHOWN AS CONCEPT PLANS FOR FUTURE DEVELOPMENT. THOSE PARCELS ARE TO INDEPENDENTLY CONTAIN THE REQUIRED PARKING AND LANDSCAPING FOR THE BUILDINGS PROPOSED THEREIN. ARCHITECTURAL ELEVATIONS OF BUILDINGS ON CONSTRUCTED ON THE SUBJECT LOTS WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE SECTION 8.080. USES TO BE CONSTRUCTED ON THE SUBJECT LOTS ARE TO COMPLY WITH THE USES ALLOWED IN DISTRICT CP-2 AS REFLECTED IN ARTICLE 6 OF THE UNIFIED DEVELOPMENT ORDINANCE.



**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER AND THE OWNER'S EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

- SITE TBM #1**  
ELEVATION: 1015.01  
CHISELED SQUARE ON N FACE OF INLET
  - SITE TBM #2**  
ELEVATION: 1031.01  
CHISELED SQUARE NW FACE PED SIGNAL
  - SITE TBM #3**  
ELEVATION: 1042.57  
CHISELED PLUS ON SW BOLT OF FIRE HYDRANT
  - SITE TBM #4**  
ELEVATION: 1058.50  
CHISELED SQUARE ON N FACE TL CONCRETE BASE
  - SITE TBM #5**  
ELEVATION: 994.97  
RAILROAD SPIKE IN E FACE OF UTILITY POLE
- NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**SPECIAL FLOOD HAZARD STATEMENT**

ACCORDING TO THE FEMA/FIRM COMMUNITY PANEL NO. 29095C0417G, EFFECTIVE SEPTEMBER 29, 2006 THE PROPERTY SHOWN HEREON IS LOCATED IN A "X" NO SHADING (AREA OF MINIMAL FLOOD HAZARD) OR FLOOD ZONE "D" (AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE), AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.).

**SITE PLAN DATA CHART**

PROJECT NAME:	DILLONS - LEE'S SUMMIT	
SUBDIVISION:	SUMMIT PARK STATION	
LOT NUMBER:	1-5	
PROPERTY ADDRESS:	NE DOUGLAS ST. LEE'S SUMMIT, MO	
PARCEL ID:	52-900-04-13-00-0-00-000, 52-900-04-14-00-0-00-000, 52-900-04-15-00-0-00-000, 52-900-04-16-00-0-00-000, 52-900-04-17-00-0-00-000, 52-900-04-18-00-0-00-000, 52-900-04-20-00-0-00-000, & 52-900-04-25-00-0-00-000	
EXISTING ZONING:	RP-4 & PO	
PROPOSED ZONING:	CP-2	
ACREAGE OF SITE:	21.41 ACRES (EXCLUDING ROW DEDICATION)	
MINIMUM SETBACKS:	FRONT YARD: 15' SIDE YARD: 10' REAR YARD: 20'	
OWNER:	DILLONS FOOD STORES DIVISION THE KROGER CO MID-CENTRAL REGION 2700 EAST 4TH AVE HUTCHINSON, KS 67501	
ENGINEER:	PICKERING FIRM, INC. MARVIN L. BROWN, PE 6363 POPLAR AVENUE, SUITE 300 MEMPHIS, TN 38119 901.726.0810x1287 mbrown@pickeringfirm.com	
PROPOSED USE:	GROCERY STORE, RESTAURANT/RETAIL, AUTOMOTIVE SERVICE STATION	
BUILDING SQUARE FEET:	99,982 SF	
GROCERY FLOOR AREA RATIO (FAR):	17.78%	
FUEL STATION FLOOR AREA RATIO (FAR):	0.05%	
RETAIL FLOOR AREA RATIO (FAR):	100%	
PERVIOUS/IMPERVIOUS AREA:	GROCERY/FUEL: PERVIOUS AREA PROVIDED: 25.9% IMPERVIOUS AREA PROVIDED: 74.1% RETAIL (LOT 4): PERVIOUS AREA PROVIDED: 0% IMPERVIOUS AREA PROVIDED: 100% OUTPARCEL LOT 2: PERVIOUS AREA (CONCEPTUAL): 45% IMPERVIOUS AREA (CONCEPTUAL): 55% OUTPARCEL LOT 3: PERVIOUS AREA (CONCEPTUAL): 45% IMPERVIOUS AREA (CONCEPTUAL): 55% OUTPARCEL LOT 5: PERVIOUS AREA (CONCEPTUAL): 56% IMPERVIOUS AREA (CONCEPTUAL): 44% TRACT "A": PERVIOUS AREA: 100% IMPERVIOUS AREA: 0% TRACT "B": PERVIOUS AREA: 100% IMPERVIOUS AREA: 0% PARKING: 4 SPACES PER 1000 GFA GROCERY, FUEL, & RETAIL SHOP: REQUIRED: 423 PROVIDED: 434 (INCLUDING 13 ADA)	

\* PARKING IN ACCORDANCE WITH ZONING ORDINANCE REQUIREMENTS

**REVISIONS:**


**PROJECT #:** 27480  
**DATE:** MAY 26, 2026  
**DRAWN BY:** E.J.H.  
**DESIGNER:** J.P.M.  
**CHECKED BY:** M.L.B.

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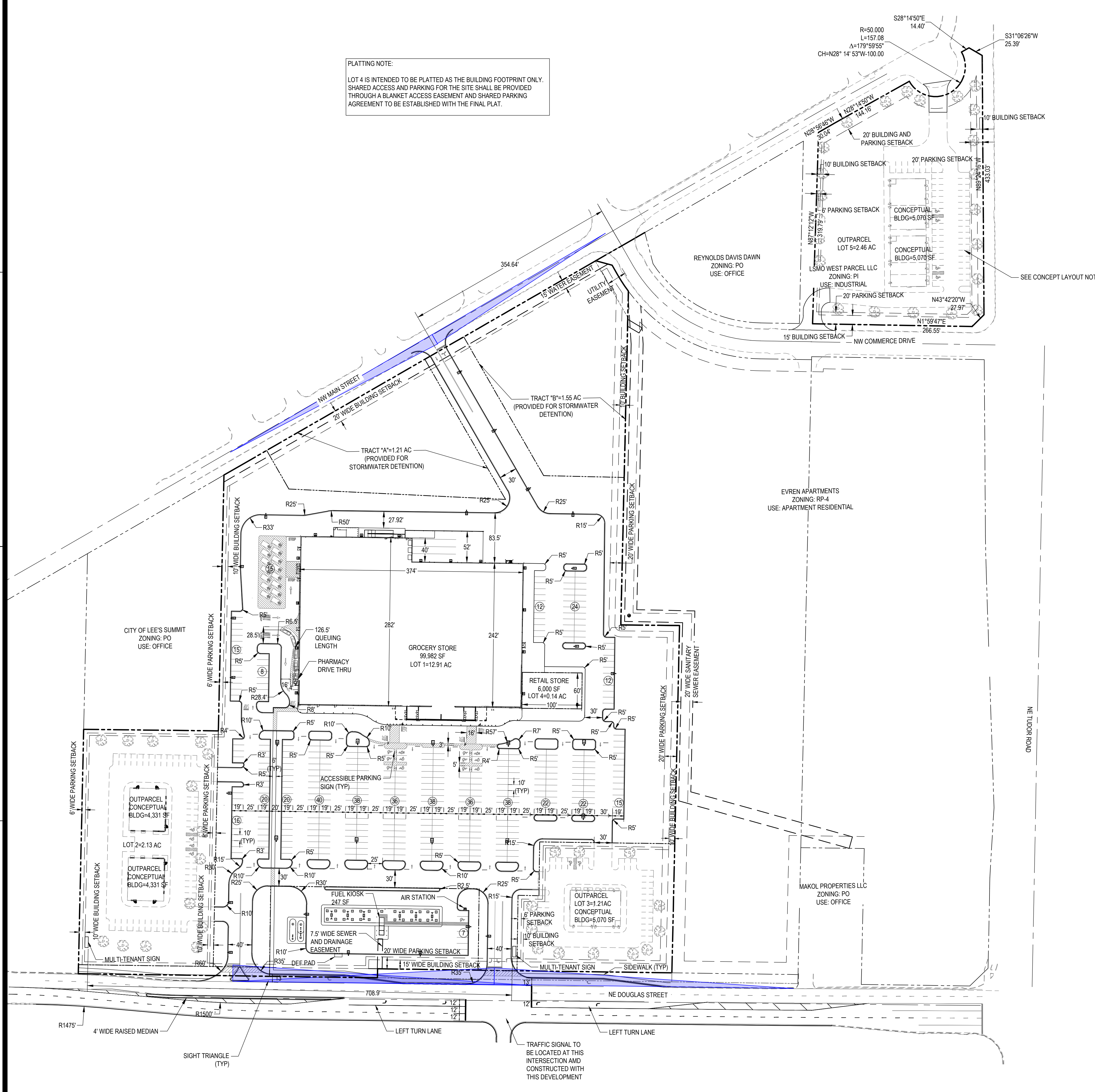


SEAL:  
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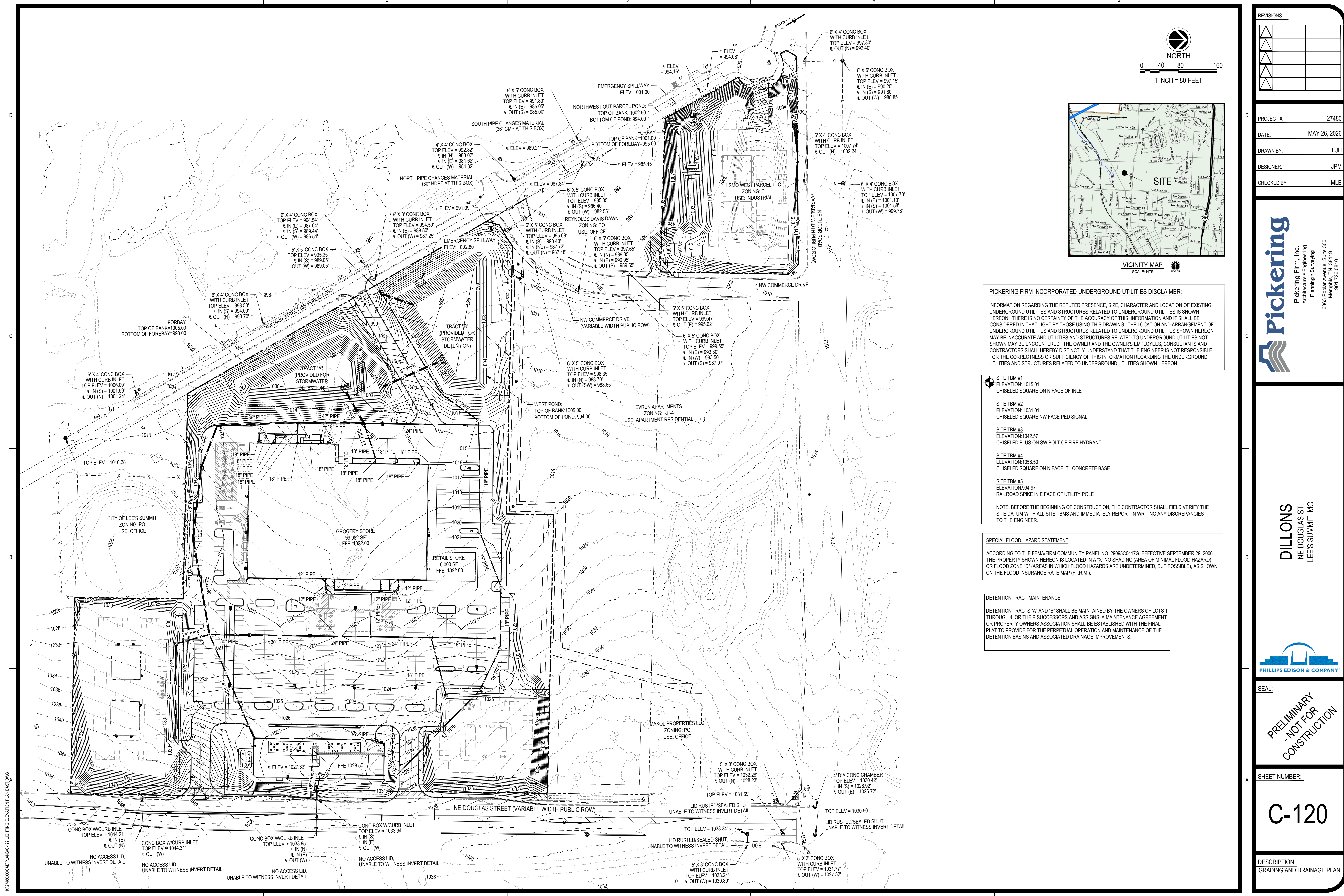
**SHEET NUMBER:**

**C-110**

**DESCRIPTION:**  
 SITE PLAN

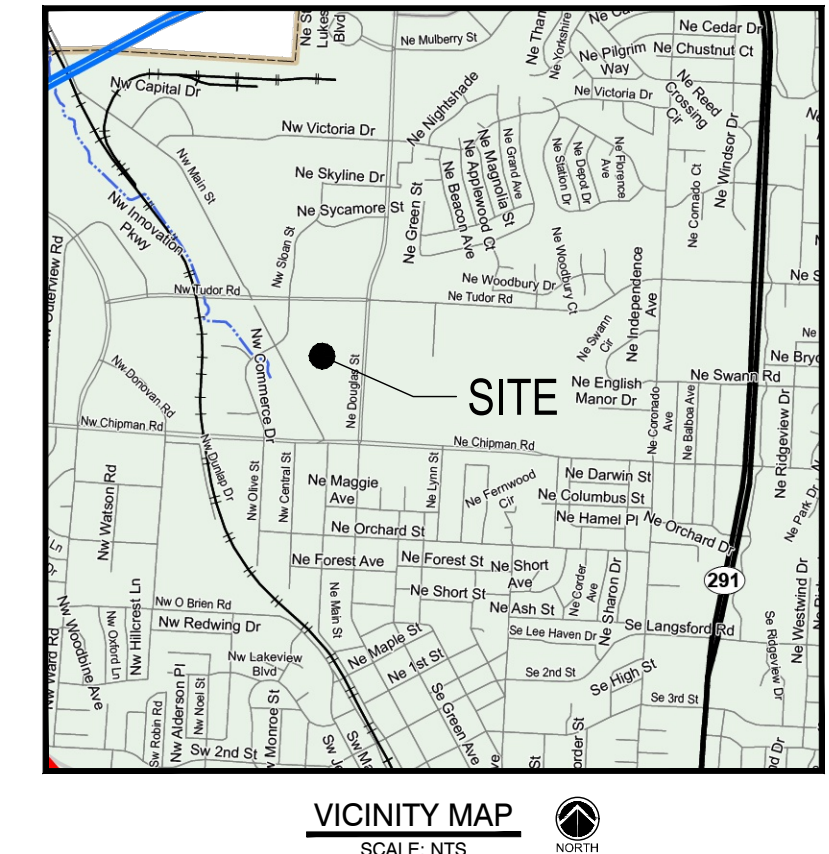


K:\27480\00\CAD\PLANS\C-110 SITE PLAN.DWG



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- SITE TBM #1**  
ELEVATION: 1015.01  
CHISELED SQUARE ON N FACE OF INLET
  - SITE TBM #2**  
ELEVATION: 1031.01  
CHISELED SQUARE NW FACE PED SIGNAL
  - SITE TBM #3**  
ELEVATION: 1042.57  
CHISELED PLUS ON SW BOLT OF FIRE HYDRANT
  - SITE TBM #4**  
ELEVATION: 1058.50  
CHISELED SQUARE ON N FACE TL CONCRETE BASE
  - SITE TBM #5**  
ELEVATION: 994.97  
RAILROAD SPIKE IN E FACE OF UTILITY POLE
- NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**SPECIAL FLOOD HAZARD STATEMENT**  
 ACCORDING TO THE FEMA/FIRM COMMUNITY PANEL NO. 29095C0417G, EFFECTIVE SEPTEMBER 29, 2006 THE PROPERTY SHOWN HEREON IS LOCATED IN A "X" NO SHADING (AREA OF MINIMAL FLOOD HAZARD) OR FLOOD ZONE "D" (AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE), AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.).

**DETENTION TRACT MAINTENANCE:**  
 DETENTION TRACTS "A" AND "B" SHALL BE MAINTAINED BY THE OWNERS OF LOTS 1 THROUGH 4, OR THEIR SUCCESSORS AND ASSIGNS. A MAINTENANCE AGREEMENT OR PROPERTY OWNERS ASSOCIATION SHALL BE ESTABLISHED WITH THE FINAL PLAT TO PROVIDE FOR THE PERPETUAL OPERATION AND MAINTENANCE OF THE DETENTION BASINS AND ASSOCIATED DRAINAGE IMPROVEMENTS.



**DILLONS**  
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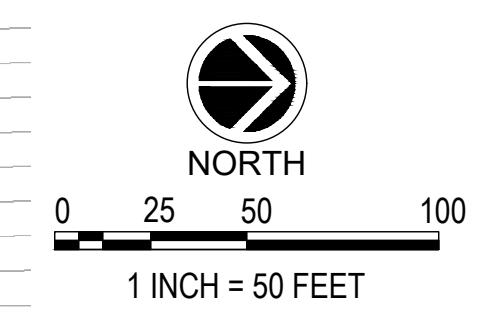
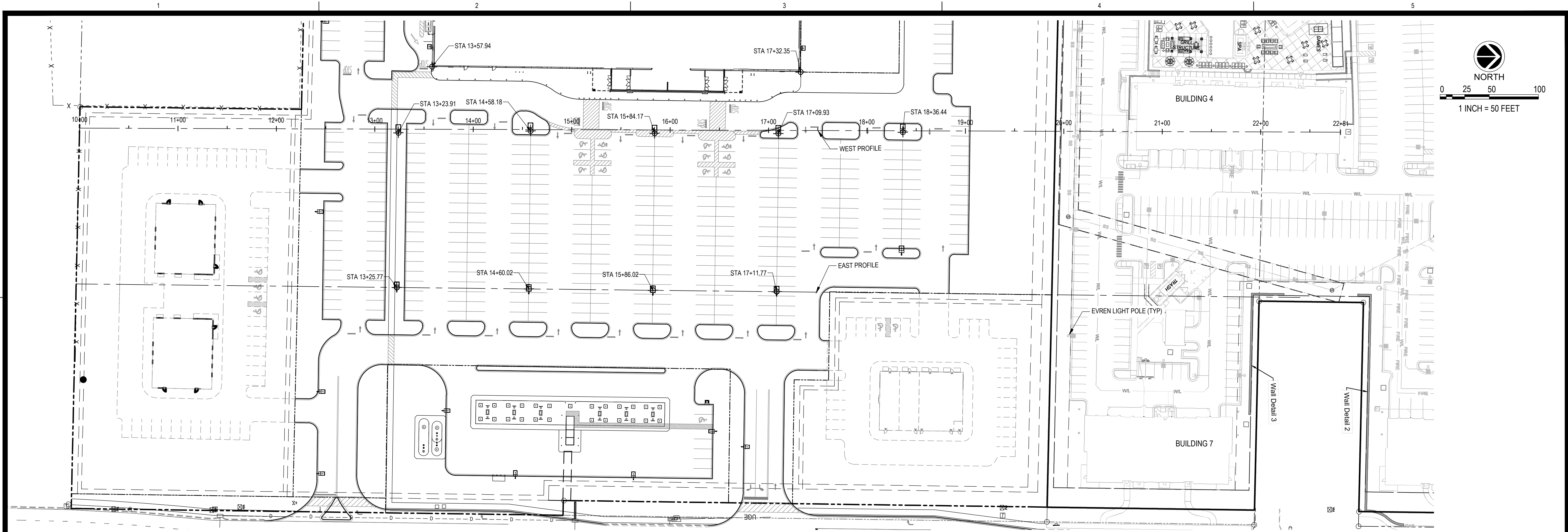


SEAL:  
**PRELIMINARY**  
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SHEET NUMBER:  
**C-120**

DESCRIPTION:  
 GRADING AND DRAINAGE PLAN

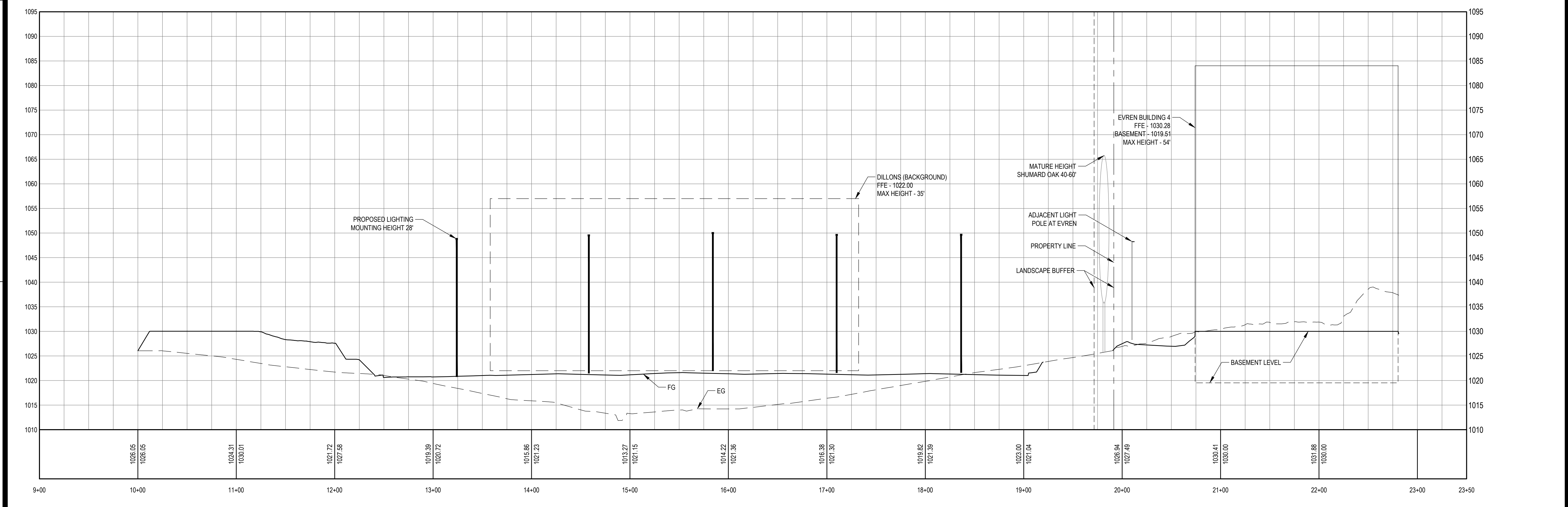
K:\27480\00\CD\PLANS\C-122 LIGHTING ELEVATION PLAN EAST.DWG



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**1 WEST PROFILE**  
 H: 1"=50' V: 1"=10'

DILLONS  
 NE DOUGLAS ST.  
 LEE'S SUMMIT, MO

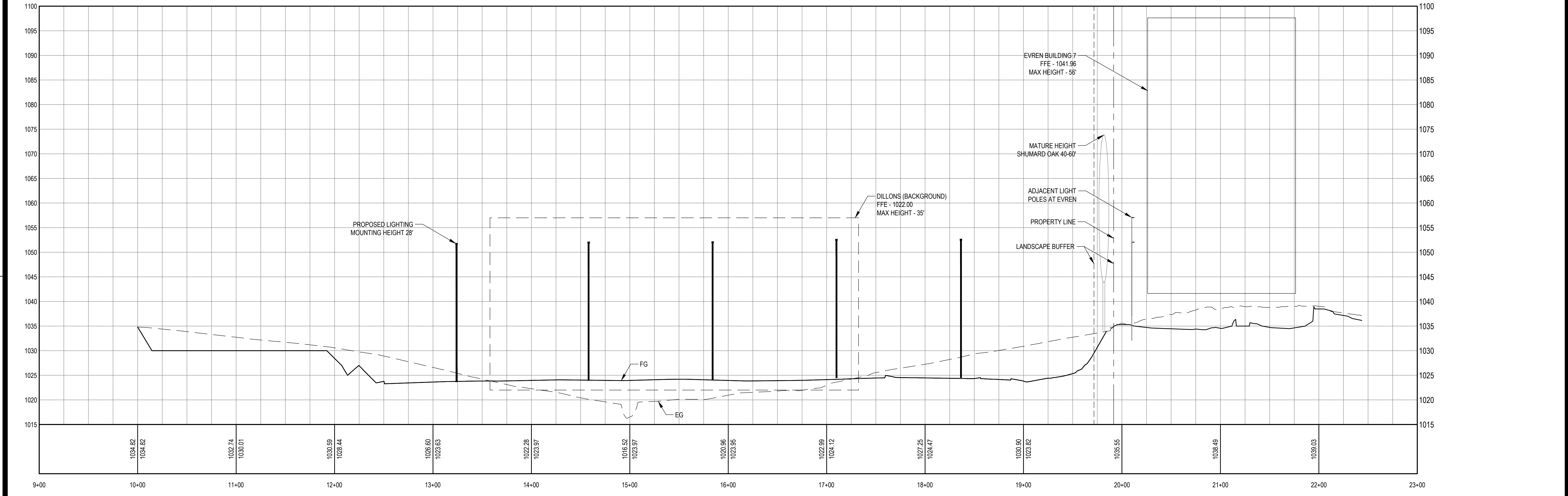
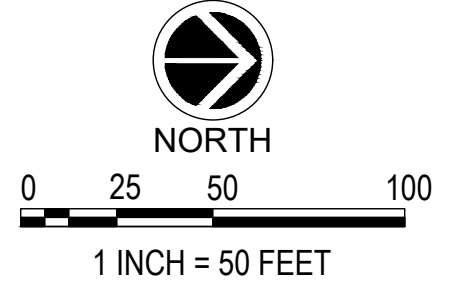
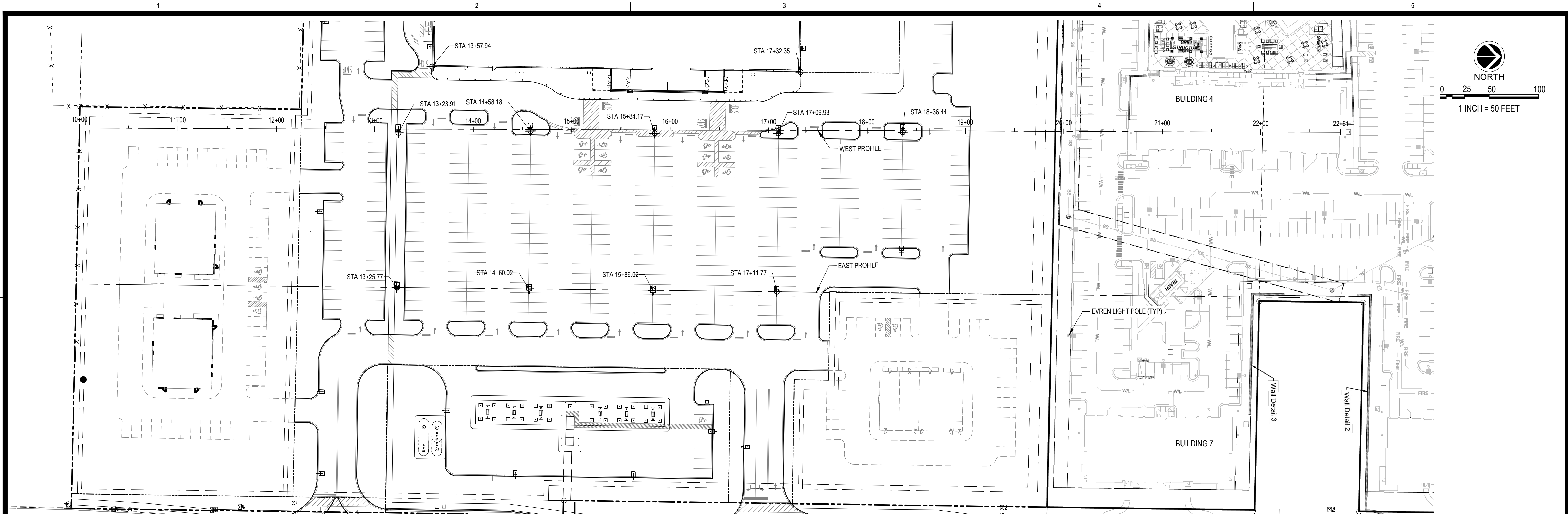


SEAL:  
**PRELIMINARY  
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SHEET NUMBER:  
**C-121**

DESCRIPTION:  
 LIGHTING ELEVATION PLAN  
 WEST

K:\27480\00\CADD\PLANS\C-122 LIGHTING ELEVATION PLAN EAST.DWG



**2 EAST PROFILE**  
H: 1"=50' V: 1"=10'

REVISIONS:


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 LEE'S SUMMIT, MO



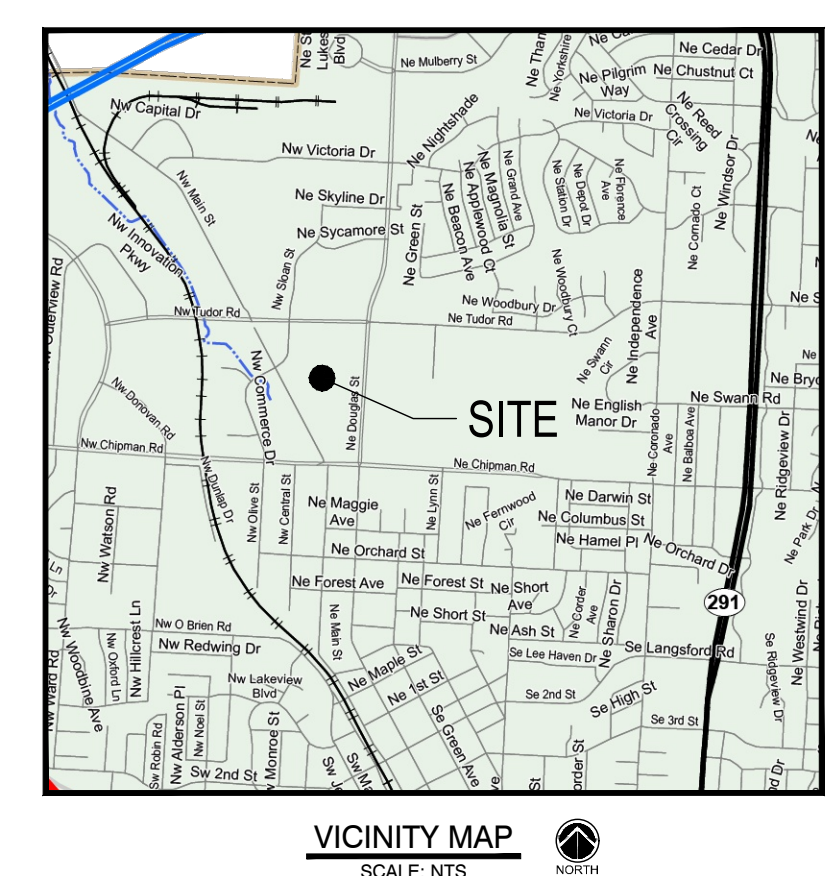
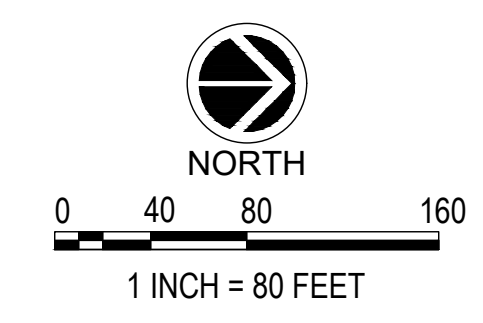
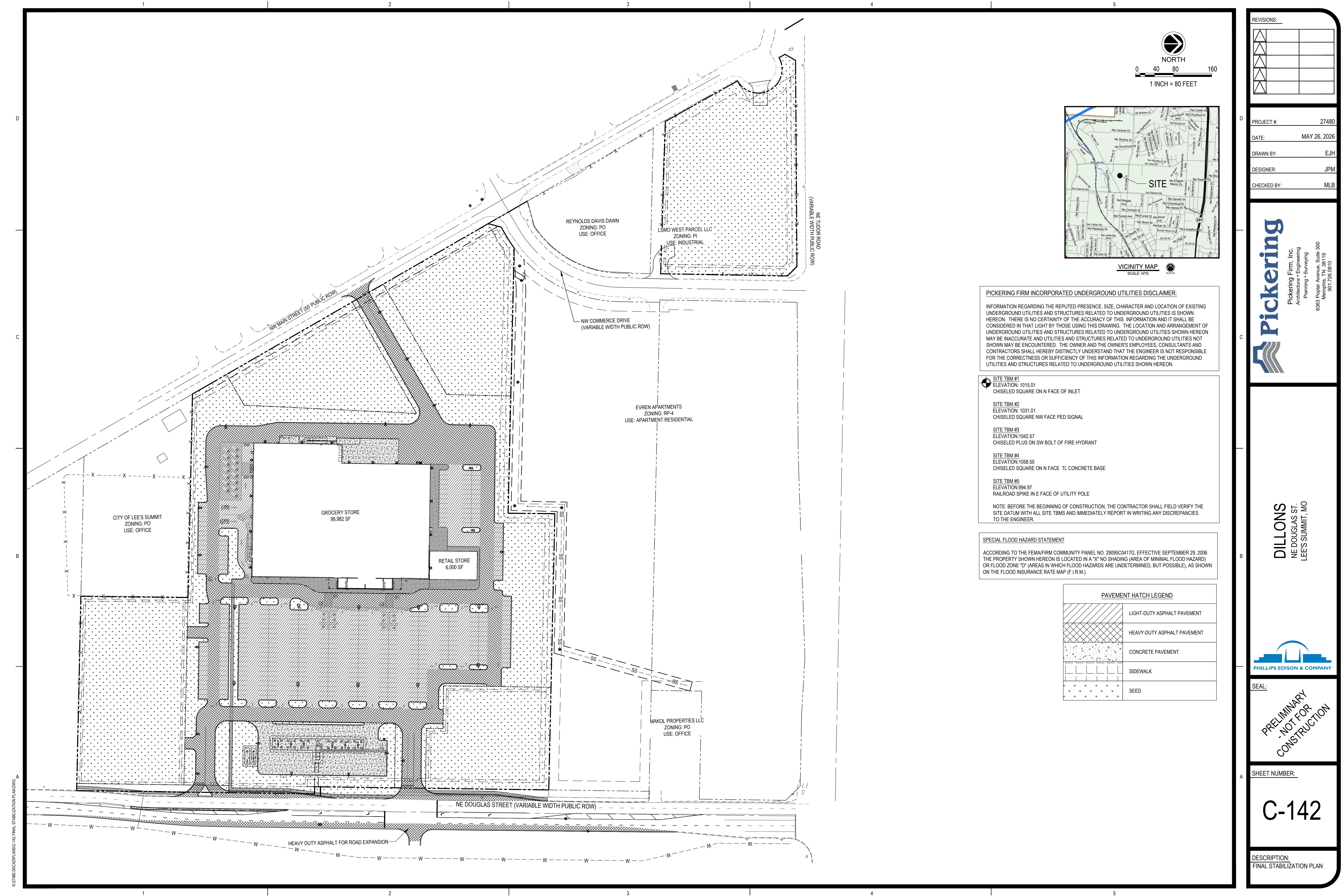
SEAL:  
**PRELIMINARY**  
**- NOT FOR**  
**CONSTRUCTION**

SHEET NUMBER:  
**C-122**

DESCRIPTION:  
 LIGHTING ELEVATION PLAN  
 EAST

K:\27480\00\CADD\PLANS\C-122 LIGHTING ELEVATION PLAN EAST.DWG





REVISIONS:


PROJECT # 27480  
 DATE: MAY 26, 2026  
 DRAWN BY: EJH  
 DESIGNER: JPM  
 CHECKED BY: MLB

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6363 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0810

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
 INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER AND THE OWNER'S EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

- SITE TBM #1**  
 ELEVATION: 1015.01  
 CHISELED SQUARE ON N FACE OF INLET
  - SITE TBM #2**  
 ELEVATION: 1031.01  
 CHISELED SQUARE NW FACE PED SIGNAL
  - SITE TBM #3**  
 ELEVATION: 1042.57  
 CHISELED PLUS ON SW BOLT OF FIRE HYDRANT
  - SITE TBM #4**  
 ELEVATION: 1058.50  
 CHISELED SQUARE ON N FACE TL CONCRETE BASE
  - SITE TBM #5**  
 ELEVATION: 994.97  
 RAILROAD SPIKE IN E FACE OF UTILITY POLE
- NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**SPECIAL FLOOD HAZARD STATEMENT**  
 ACCORDING TO THE FEMA/FIRM COMMUNITY PANEL NO. 29095C0417G, EFFECTIVE SEPTEMBER 29, 2006 THE PROPERTY SHOWN HEREON IS LOCATED IN A "X" NO SHADING (AREA OF MINIMAL FLOOD HAZARD) OR FLOOD ZONE "D" (AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE), AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.).

**PAVEMENT HATCH LEGEND**

	LIGHT-DUTY ASPHALT PAVEMENT
	HEAVY-DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	SIDEWALK
	SEED

**DILLONS**  
 NE DOUGLAS ST.  
 LEE'S SUMMIT, MO



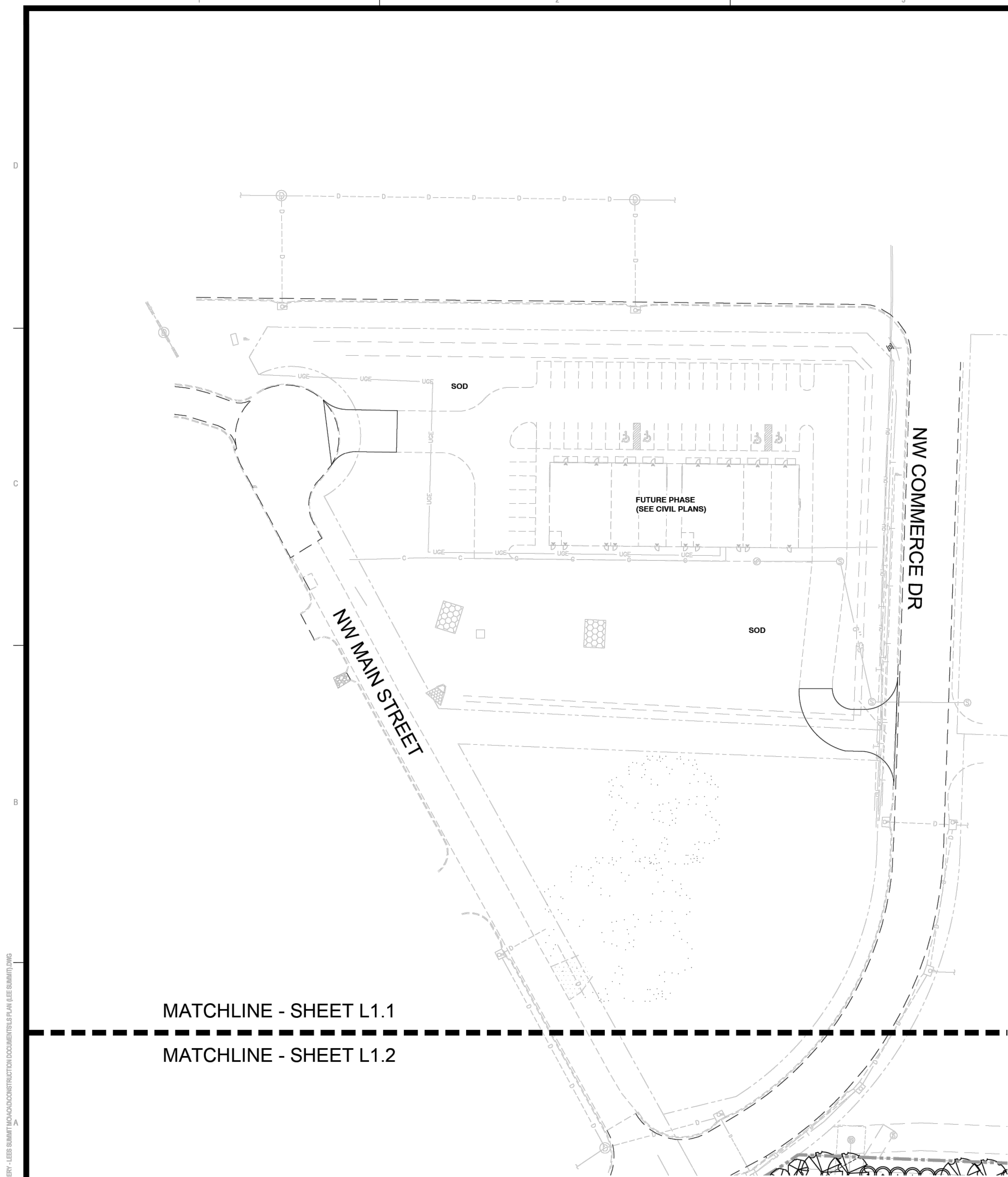
SEAL:  
**PRELIMINARY**  
**-NOT FOR**  
**CONSTRUCTION**

SHEET NUMBER:  
**C-142**

DESCRIPTION:  
 FINAL STABILIZATION PLAN

K:\27480\00\CADD\PLANS\C-142 FINAL STABILIZATION PLAN.DWG

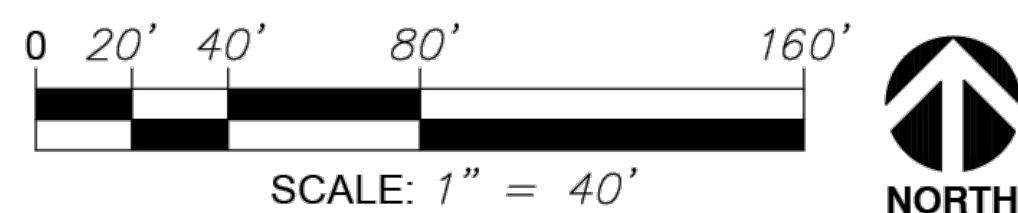




MATCHLINE - SHEET L1.1

MATCHLINE - SHEET L1.2

LANDSCAPE CONCEPTUAL PLAN - NORTHWEST  
SCALE: 1" = 40'



**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	UNIT	COMMENTS
<b>HIGH IMPACT BUFFER</b>							
	22	<i>Celtis occidentalis</i>	Common Hackberry	2.5" Cal.	B&B	EA	Well branched, full to ground
	101	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly	8' - 10' HT	Pot	EA	6' - 8' Ht. min.
	67	<i>Juniperus virginiana</i>	Eastern Redcedar	8' Ht.	Pot	EA	Well branched, full to ground
	52	<i>Picea abies</i>	Norway Spruce	8' Ht.	Pot	EA	Well branched, full to ground
	18	<i>Quercus shumardii</i>	Shumard Oak	2.5" Cal.	B&B	EA	Well branched, full to ground
	89	<i>Thuja x 'Green Giant'</i>	Green Giant Arborvitae	8' Ht.	Pot	EA	Well branched, full to ground
	18	<i>Ulmus x 'Frontier'</i>	Frontier Elm	2.5" Cal.	B&B	EA	Well branched, full to ground
<b>INTERIOR TREES</b>							
	5	<i>Acer buergerianum</i>	Trident Maple	1.5" Cal.	B&B	EA	Well branched, full to ground
	11	<i>Amelanchier alnifolia</i>	Serviceberry	1.5" Cal.	B&B	EA	Well branched, full to ground
	6	<i>Cercis canadensis</i>	Eastern Redbud	1.5" Cal.	B&B	EA	Well branched, full to ground
	7	<i>Ginkgo biloba 'Fastigiata'</i>	Fastigate Maidenhair Tree	1.5" Cal.	B&B	EA	Well branched, full to ground
	13	<i>Ulmus davidiana japonica 'JFS-Bieberich'</i>	Emerald Sunshine® Elm	1.5" Cal.	B&B	EA	Well branched, full to ground
<b>STREET FRONTAGE</b>							
	14	<i>Acer rubrum</i>	Red Maple	3.5" Cal.	B&B	EA	Uniform branching, dominant leader
	6	<i>Carpinus caroliniana</i>	American Hornbeam	3.5" Cal.	B&B	EA	Well branched, full to ground
	6	<i>Celtis laevigata</i>	Sugar Hackberry	3.5" Cal.	B&B	EA	Well branched, full to ground
	56	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	3' Ht.	Pot	EA	
	44	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	3' Ht.	Pot	EA	
	2	<i>Quercus macrocarpa</i>	Burr Oak	3.5" Cal.	B&B	EA	Well branched, full to ground
	10	<i>Ulmus parvifolia</i>	Lacebark Elm	3.5" Cal.	B&B	EA	Well branched, full to ground
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	UNIT	COMMENTS
<b>INTERIOR SHRUBS</b>							
	16	<i>Diervilla x 'G2X88544'</i>	Kodiak® Orange Diervilla	24" Ht.			
	89	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	24" Ht.	Pot	FA	Full plant, free of weeds
	13	<i>Ilex cornuta 'Burfordii Nana'</i>	Dwarf Burford Holly	24" Ht.	Pot	EA	Full plant, free of weeds
	102	<i>Ilex crenata 'Helleri'</i>	Heler Japanese Holly	24" Ht.	Pot	EA	Full plant, free of weeds
	158	<i>Juniperus x 'Grey Owl'</i>	Grey Owl Juniper	24" Ht.	Pot	EA	Full plant, free of weeds
	151	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	24" Ht.	Pot	EA	Full plant, free of weeds
	68	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Arrowwood Viburnum	24" Ht.			
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	COMMENTS	SPACING
<b>GROUND COVERS</b>							
	119,525 sf	<i>Festuca arundinacea</i>	Tall Fescue	sod	Fill Area	See Detail	
	2,132	<i>Linopoe muscari 'Big Blue'</i>	Big Blue Lilyturf	1 gal.	Fill Area	Weed-free and actively growing	18" o.c.

REVISIONS:


PROJECT #: 27480  
DATE: APRIL 7, 2026  
DRAWN BY: DT  
DESIGNER: DT  
CHECKED BY: DT

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0610

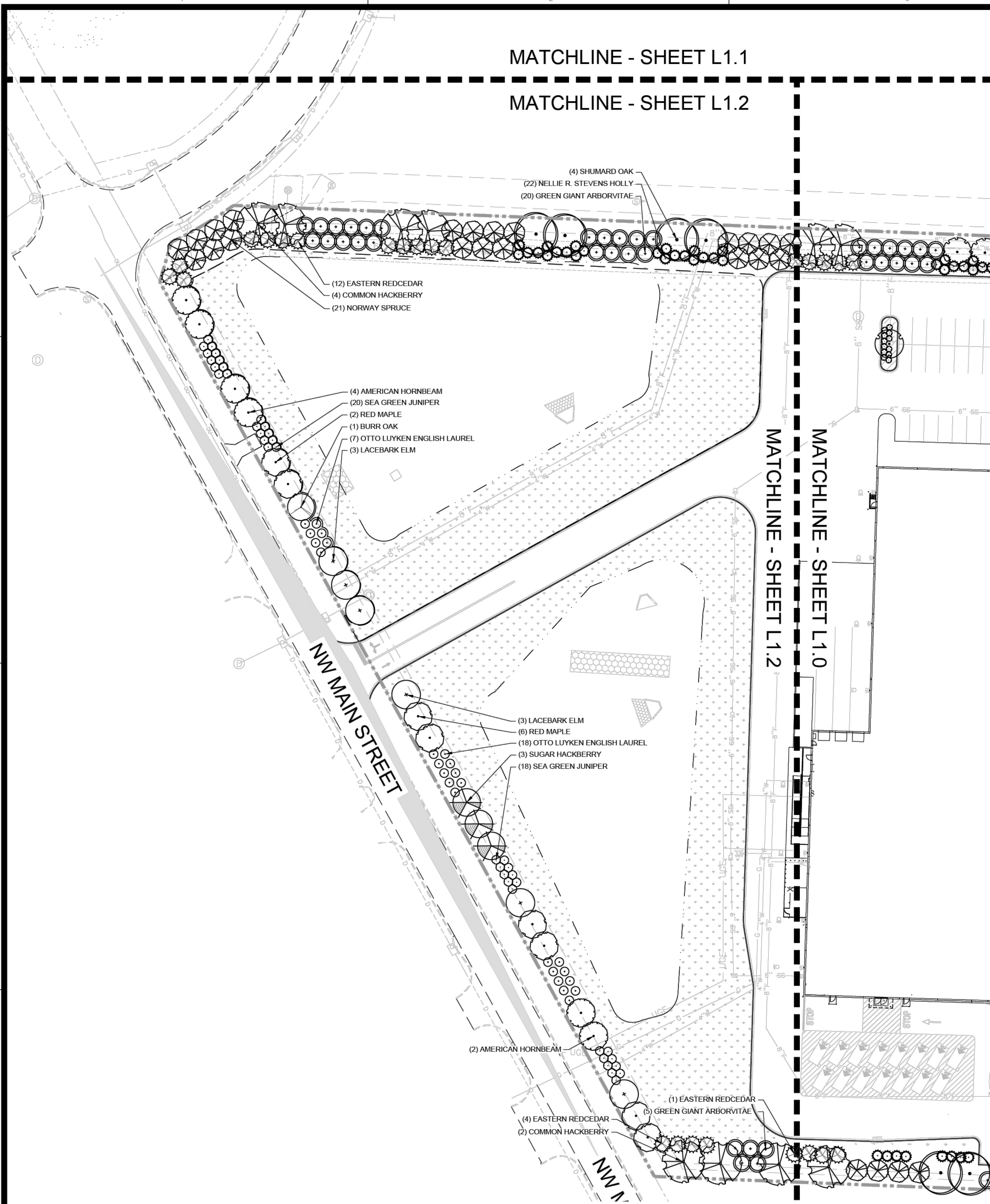
DILLONS  
NE DOUGLAS ST.  
LEE'S SUMMIT, MO

SEAL:  
PRELIMINARY  
- NOT FOR  
CONSTRUCTION

SHEET NUMBER:  
**L1.1**

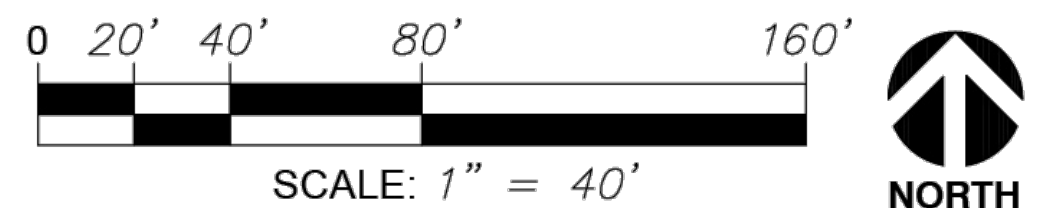
DESCRIPTION:  
LANDSCAPE PLAN

MOT JOB FILE: 202718 - PICKERING - GROCERY - LEES SUMMIT MO (CONSTRUCTION DOCUMENTS) PLAN (LEE SUMMIT) DWG



**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	UNIT	COMMENTS
<b>HIGH IMPACT BUFFER</b>							
	22	<i>Celtis occidentalis</i>	Common Hackberry	2.5" Cal.	B&B	EA	Well branched, full to ground
	101	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly	8'-10" HT	Pot	EA	6' - 8' HT. min.
	67	<i>Juniperus virginiana</i>	Eastern Redcedar	8' HT.	Pot	EA	Well branched, full to ground
	52	<i>Picea abies</i>	Norway Spruce	8' HT.	Pot	EA	Well branched, full to ground
	18	<i>Quercus shumardii</i>	Shumard Oak	2.5" Cal.	B&B	EA	Well branched, full to ground
	89	<i>Thuja x 'Green Giant'</i>	Green Giant Arborvitae	8' HT.	Pot	EA	Well branched, full to ground
	18	<i>Ulmus x 'Frontier'</i>	Frontier Elm	2.5" Cal.	B&B	EA	Well branched, full to ground
<b>INTERIOR TREES</b>							
	5	<i>Acer buergerianum</i>	Trident Maple	1.5" Cal.	B&B	EA	Well branched, full to ground
	11	<i>Amelanchier alnifolia</i>	Serviceberry	1.5" Cal.	B&B	EA	Well branched, full to ground
	6	<i>Cercis canadensis</i>	Eastern Redbud	1.5" Cal.	B&B	EA	Well branched, full to ground
	7	<i>Ginkgo biloba 'Fastigiata'</i>	Fastigiate Maidenhair Tree	1.5" Cal.	B&B	EA	Well branched, full to ground
	13	<i>Ulmus davidiana japonica 'JFS-Bieberich'</i>	Emerald Sunshine® Elm	1.5" Cal.	B&B	EA	Well branched, full to ground
<b>STREET FRONTAGE</b>							
	14	<i>Acer rubrum</i>	Red Maple	3.5" Cal.	B&B	EA	Uniform branching, dominant leader
	6	<i>Carpinus caroliniana</i>	American Hornbeam	3.5" Cal.	B&B	EA	Well branched, full to ground
	6	<i>Celtis laevigata</i>	Sugar Hackberry	3.5" Cal.	B&B	EA	Well branched, full to ground
	56	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	3' HT.	Pot	EA	
	44	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	3' HT.	Pot	EA	
	2	<i>Quercus macrocarpa</i>	Burr Oak	3.5" Cal.	B&B	EA	Well branched, full to ground
	10	<i>Ulmus parvifolia</i>	Lacebark Elm	3.5" Cal.	B&B	EA	Well branched, full to ground
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	UNIT	COMMENTS
<b>INTERIOR SHRUBS</b>							
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	89	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	24" HT.	Pot	FA	Full plant, free of weeds
	13	<i>Ilex cornuta 'Burfordii Nana'</i>	Dwarf Burford Holly	24" HT.	Pot	EA	Full plant, free of weeds
	102	<i>Ilex crenata 'Helleri'</i>	Heler Japanese Holly	24" HT.	Pot	EA	Full plant, free of weeds
	158	<i>Juniperus x 'Grey Owl'</i>	Grey Owl Juniper	24" HT.	Pot	EA	Full plant, free of weeds
	151	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	24" HT.	Pot	EA	Full plant, free of weeds
	68	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Arrowwood Viburnum	24" HT.			
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	COMMENTS	SPACING
<b>GROUND COVERS</b>							
	119,525 sf	<i>Festuca arundinacea</i>	Tall Fescue	sod	Fill Area	See Detail	
	2,132	<i>Liriope muscari 'Big Blue'</i>	Big Blue Lilyturf	1 gal.	Fill Area	Weed-free and actively growing	18" o.c.



1 LANDSCAPE CONCEPTUAL PLAN – SOUTHWEST  
SCALE: 1"=40'

REVISIONS:


PROJECT #: 27480  
DATE: APRIL 7, 2026  
DRAWN BY: DT  
DESIGNER: DT  
CHECKED BY: DT



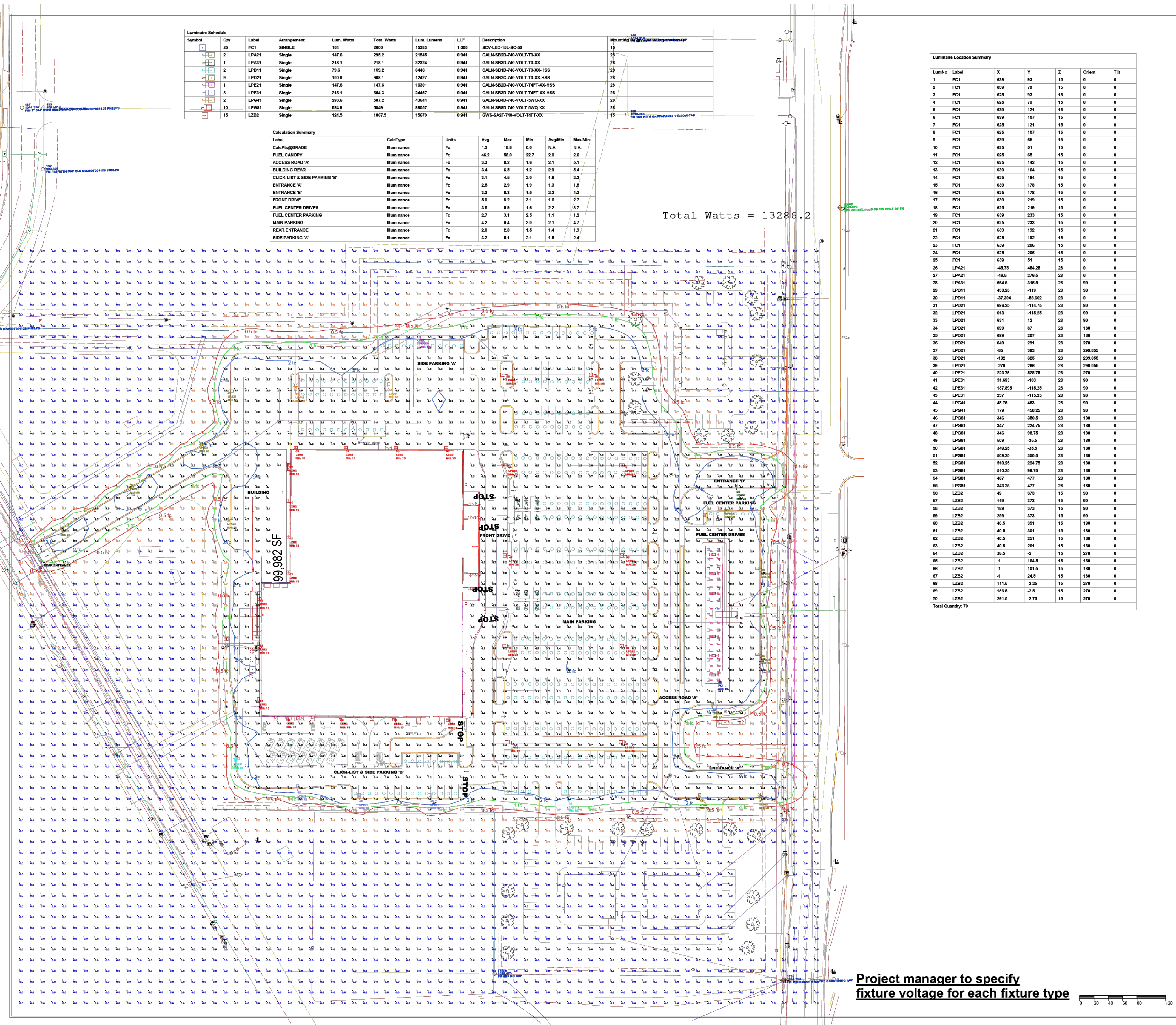
DILLONS  
NE DOUGLAS ST.  
LEE'S SUMMIT, MO

SEAL:  
PRELIMINARY  
- NOT FOR  
CONSTRUCTION

SHEET NUMBER:  
**L1.2**

DESCRIPTION:  
LANDSCAPE PLAN

MOT JOB FILE 2024718 - PICKERING - GROCERY - LEE'S SUMMIT MO (CONSTRUCTION DOCUMENTS) PLAN (LEE SUMMIT).DWG



Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LLF	Description	Mounting Height (feet)
[Symbol]	28	FC1	Single	154	2090	15383	1.000	QWS-LD-48-90-80	25'
[Symbol]	2	LPA21	Single	147.6	295.2	21465	0.941	QALN-85D-74D-VOL-T3-XX	25'
[Symbol]	1	LPA31	Single	218.1	218.1	32324	0.941	QALN-85D-74D-VOL-T3-XX	25'
[Symbol]	2	LPO11	Single	79.8	159.6	8486	0.941	QALN-85D-74D-VOL-T3-XX-HSS	25'
[Symbol]	9	LPO21	Single	108.9	980.1	15247	0.941	QALN-85D-74D-VOL-T3-XX-HSS	25'
[Symbol]	1	LPE21	Single	147.6	147.6	16301	0.941	QALN-85D-74D-VOL-T4FT-XX-HSS	25'
[Symbol]	3	LPE31	Single	218.1	654.3	24407	0.941	QALN-85D-74D-VOL-T4FT-XX-HSS	25'
[Symbol]	2	LPO41	Single	236.5	473.2	45644	0.941	QALN-85D-74D-VOL-T5-9W-XX	25'
[Symbol]	10	LPO81	Single	564.9	5649	88067	0.941	QALN-85D-74D-VOL-T5-9W-XX	25'
[Symbol]	15	L282	Single	124.5	1867.5	19879	0.941	QWS-S4ZF-74D-VOL-T4FT-XX	15'

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
CalcTypeGRADE	Illuminance	Fc	1.3	18.8	0.0	N/A	N/A
FUEL CANOPY	Illuminance	Fc	48.2	88.0	22.7	2.9	2.6
ACCESS ROAD 'A'	Illuminance	Fc	3.3	6.2	1.6	2.1	6.1
BUILDING REAR	Illuminance	Fc	3.4	6.5	1.2	2.9	8.4
CLICK-LIST & SIDE PARKING 'B'	Illuminance	Fc	3.1	4.9	2.0	1.8	2.3
ENTRANCE 'W'	Illuminance	Fc	2.5	2.9	1.9	1.9	1.9
ENTRANCE 'E'	Illuminance	Fc	3.3	6.3	1.8	2.2	4.2
FRONT DRIVE	Illuminance	Fc	5.0	6.2	3.1	1.6	2.7
FUEL CENTER DRIVES	Illuminance	Fc	2.5	5.9	1.6	2.2	3.7
FUEL CENTER PARKING	Illuminance	Fc	2.7	3.1	2.5	1.1	1.2
MAIN PARKING	Illuminance	Fc	4.2	9.4	2.0	2.1	4.7
REAR ENTRANCE	Illuminance	Fc	2.0	2.8	1.5	1.4	1.9
SIDE PARKING 'C'	Illuminance	Fc	3.2	5.1	2.1	1.9	2.4

Total Watts = 13286.2

Luminaire	Label	X	Y	Z	Orientation	Tilt
1	FC1	639	80	15	0	0
2	FC1	639	79	15	0	0
3	FC1	625	83	15	0	0
4	FC1	625	79	15	0	0
5	FC1	639	121	15	0	0
6	FC1	639	107	15	0	0
7	FC1	625	121	15	0	0
8	FC1	625	107	15	0	0
9	FC1	639	66	15	0	0
10	FC1	625	61	15	0	0
11	FC1	625	66	15	0	0
12	FC1	625	142	15	0	0
13	FC1	639	164	15	0	0
14	FC1	625	164	15	0	0
15	FC1	639	178	15	0	0
16	FC1	625	178	15	0	0
17	FC1	639	219	15	0	0
18	FC1	625	219	15	0	0
19	FC1	639	233	15	0	0
20	FC1	625	233	15	0	0
21	FC1	639	192	15	0	0
22	FC1	625	192	15	0	0
23	FC1	639	206	15	0	0
24	FC1	625	206	15	0	0
25	FC1	639	81	15	0	0
26	LPA21	-45.75	454.25	28	0	0
27	LPA21	-46.5	276.5	28	0	0
28	LPA21	564.5	216.5	28	90	0
29	LPO11	420.25	-119	28	90	0
30	LPO11	-37.284	-85.602	28	0	0
31	LPO21	595.25	-114.75	28	90	0
32	LPO21	613	-115.25	28	90	0
33	LPO21	631	12	28	90	0
34	LPO21	699	87	28	180	0
35	LPO21	699	207	28	180	0
36	LPO21	649	291	28	270	0
37	LPO21	-49	283	28	299.055	0
38	LPO21	-152	325	28	299.055	0
39	LPO21	-279	268	28	299.055	0
40	LPE21	223.75	229.75	28	270	0
41	LPE21	51.893	-103	28	90	0
42	LPE21	137.895	-115.25	28	90	0
43	LPE21	227	-115.25	28	90	0
44	LPO41	48.75	453	28	90	0
45	LPO41	179	408.25	28	90	0
46	LPO81	346	350.5	28	180	0
47	LPO81	347	224.75	28	180	0
48	LPO81	345	98.75	28	180	0
49	LPO81	309	-35.5	28	180	0
50	LPO81	348.25	-35.5	28	180	0
51	LPO81	505.25	350.5	28	180	0
52	LPO81	510.25	224.75	28	180	0
53	LPO81	510.25	98.75	28	180	0
54	LPO81	497	477	28	180	0
55	LPO81	343.25	477	28	180	0
56	L282	49	373	15	90	0
57	L282	119	373	15	90	0
58	L282	189	373	15	90	0
59	L282	259	373	15	90	0
60	L282	40.5	291	15	180	0
61	L282	40.5	291	15	180	0
62	L282	40.5	291	15	180	0
63	L282	40.5	291	15	180	0
64	L282	34.5	2	15	270	0
65	L282	-1	164.5	15	180	0
66	L282	-1	101.5	15	180	0
67	L282	-1	24.5	15	180	0
68	L282	111.5	-2.5	15	270	0
69	L282	186.5	-2.5	15	270	0
70	L282	251.5	-2.5	15	270	0

**COOPER**  
Lighting Solutions  
Applications Engineering  
1121 Highway 74 South  
Peachtree City, GA 30269  
Tel no. 770-486-4500  
Fax no. 770-486-4599  
mkt.lightingapplications@cooperlighting.com

**COOPER**  
Lighting Solutions  
We make no representation as to the completeness, currency or accuracy of information contained in this document. The user of this data shall be responsible for the accuracy and completeness of all measurements, calculations and other data extracted from this document. The user of this data shall be responsible for the accuracy and completeness of all measurements, calculations and other data extracted from this document. The user of this data shall be responsible for the accuracy and completeness of all measurements, calculations and other data extracted from this document. The user of this data shall be responsible for the accuracy and completeness of all measurements, calculations and other data extracted from this document.

Project Name:  
**KROGER 615 DIL #152**  
Lees Summit, MO  
Client:  
**The Kroger Co.**  
Bill Selkirk  
Drawn By:  
**AA**  
Date:  
**4/3/2026**  
Scale:  
**1" = 40'**  
Project No:  
**26000051 r2.AGI**

REVISIONS:


PROJECT # 27480  
DATE: MAY 26, 2026  
DRAWN BY: E.J.H.  
DESIGNER: J.P.M.  
CHECKED BY: M.L.B.

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0810

**DILLONS**  
NE DOUGLAS ST.  
LEES SUMMIT, MO

**PHILLIPS EDISON & COMPANY**

SEAL:  
**PRELIMINARY**  
**- NOT FOR**  
**CONSTRUCTION**

SHEET NUMBER:  
**P-100**

DESCRIPTION:  
PHOTOMETRICS PLAN





**FRONT (EAST) ELEVATION AREA = 11,375 SF**

CLASS 1/2 MATERIALS:

GLAZING	1,245 SF	11%
GROUND FACE CMU (BL-01)	2,933 SF	26%
GROUND FACE CMU (BL-03)	2,328 SF	20%
GROUND FACE CMU (BL-04)	528 SF	5%
METAL PANEL (MP-01)	342 SF	3%
METAL PANEL (MP-02)	1,546 SF	14%
METAL PANEL (MP-03)	744 SF	6%
<b>CLASS 1/2 TOTAL %</b>		<b>85%</b>

CLASS 3 MATERIALS:

COMBED FACE CMU (BL-05)	189 SF	2%
SPLIT FACE CMU (BL-02)	950 SF	8%

CLASS 4 MATERIALS:

METAL TRIM	513 SF	4%
METAL TRIM (PM-01)	109 SF	1%
METAL TRIM (PM-02)	219 SF	2%
METAL TRIM (PM-03)	185 SF	1%
HOLLOW METAL DOORS	57 SF	1%

**LEFT (SOUTH) ELEVATION AREA = 8,204 SF**

CLASS 1/2 MATERIALS:

GLAZING	251 SF	3%
GROUND FACE CMU (BL-01)	3,720 SF	46%
GROUND FACE CMU (BL-03)	2,654 SF	32%
GROUND FACE CMU (BL-04)	0 SF	0%
METAL PANEL (MP-01)	91 SF	1%
METAL PANEL (MP-02)	384 SF	5%
METAL PANEL (MP-03)	44 SF	1%
<b>CLASS 1/2 TOTAL %</b>		<b>88%</b>

CLASS 3 MATERIALS:

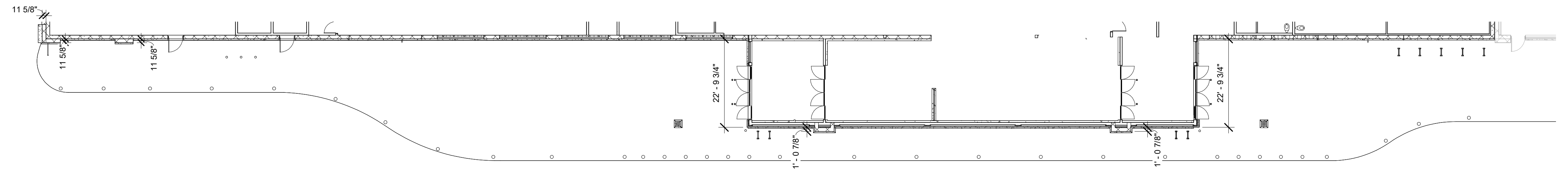
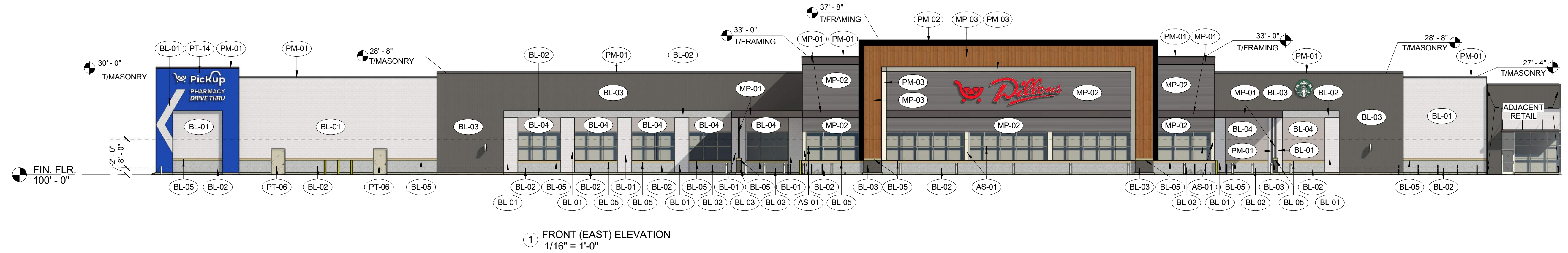
COMBED FACE CMU (BL-05)	99 SF	1%
SPLIT FACE CMU (BL-02)	582 SF	7%

CLASS 4 MATERIALS:

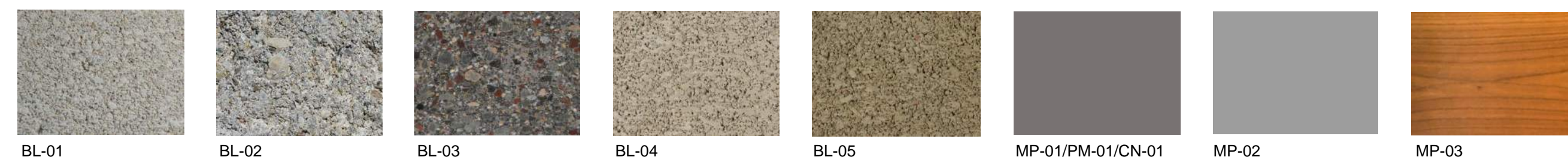
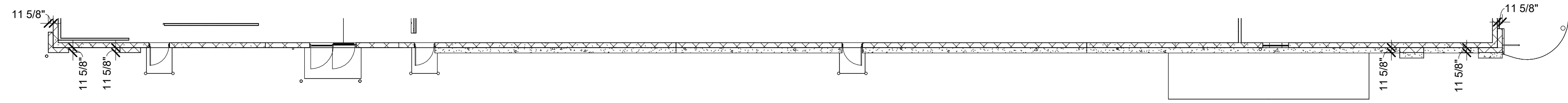
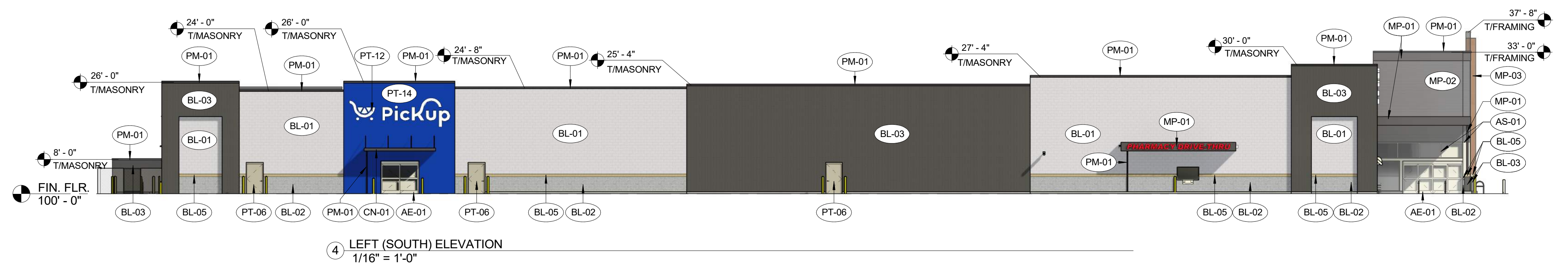
METAL TRIM (PM-01)	108 SF	1%
HOLLOW METAL DOORS	271 SF	3%

\*ALL GLAZING NOTED IS TRANSPARENT.

ROOFING: TPO MEMBRANE, NOT VISIBLE - CLASS 3



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MATERIAL	DESCRIPTION	MANUFACTURER	FINISH
AE-01	PREFINISHED ALUMINUM STOREFRONT DOOR	STANLEY	CLEAR ANODIZED
AS-01	PREFINISHED ALUMINUM STOREFRONT		CLEAR ANODIZED
BL-01	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	720WR
BL-02	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE	BASALITE	800WR
BL-03	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	807WR
BL-04	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	900WR
BL-05	DECORATIVE, INTEGRALLY COLORED CMU - COMBED FACE PRECISION	BASALITE	923WR
CN-01	PREMANUFACTURED CANOPY	ARCHITECTURAL FABRICATIONS INC.	SLATE GRAY
MP-01	METAL PANEL - SMOOTH	ATAS INT.	SLATE GRAY
MP-02	METAL PANEL - CORRUGATED	ATAS INT.	SILVERSMITH
MP-03	METAL WALL PANEL, WOOD GRAIN FINISH	LONGBOARD	LIGHT CHERRY
PM-01	PREFINISHED METAL		SLATE GRAY
PM-02	PREFINISHED METAL		MATTE BLACK
PM-03	PREFINISHED METAL		WHITE
PT-06	PAINTED METAL	SHERWIN WILLIAMS	MINDFUL GRAY SW7016
PT-07	PAINTED METAL	SHERWIN WILLIAMS	GAUNTLET GRAY SW7019
PT-08	PAINT	SHERWIN WILLIAMS	SW4084 SAFETY YELLOW
PT-12	PAINT	SHERWIN WILLIAMS	WHITE
PT-14	PAINT	SHERWIN WILLIAMS	KROGER BLUE PMS 2728C
SO-01	VINYL SOFFIT PANEL	CERTAINTTEED	GRANITE GRAY

**BACK (WEST) ELEVATION AREA = 9,272 SF**

CLASS 1/2 MATERIALS:

GLAZING	0 SF	0%
GROUND FACE CMU (BL-01)	3,255 SF	35%
GROUND FACE CMU (BL-03)	5,296 SF	57%
GROUND FACE CMU (BL-04)	0 SF	0%
METAL PANEL (MP-01)	0 SF	0%
METAL PANEL (MP-02)	0 SF	0%
METAL PANEL (MP-03)	0 SF	0%
<b>CLASS 1/2 TOTAL %</b>		<b>92%</b>

CLASS 3 MATERIALS:

COMBED FACE CMU (BL-05)	74 SF	1%
SPLIT FACE CMU (BL-02)	443 SF	5%

CLASS 4 MATERIALS:

METAL TRIM (PM-01)	105 SF	1%
HOLLOW METAL DOORS	99 SF	1%

**RIGHT (NORTH) ELEVATION AREA = 8,126 SF**

CLASS 1/2 MATERIALS:

GLAZING	326 SF	4%
GROUND FACE CMU (BL-01)	2,965 SF	37%
GROUND FACE CMU (BL-03)	3,362 SF	42%
GROUND FACE CMU (BL-04)	0 SF	0%
METAL PANEL (MP-01)	142 SF	2%
METAL PANEL (MP-02)	368 SF	4%
METAL PANEL (MP-03)	44 SF	1%
<b>CLASS 1/2 TOTAL %</b>		<b>90%</b>

CLASS 3 MATERIALS:

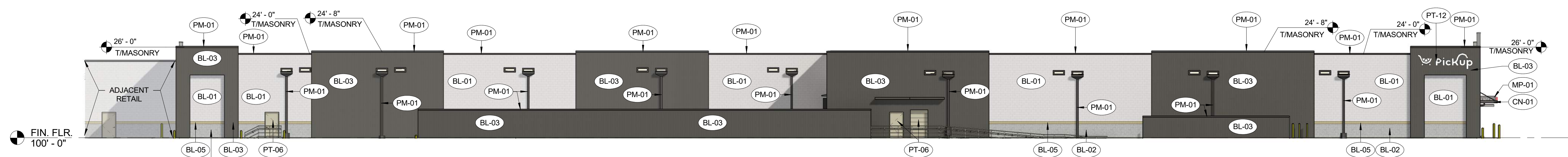
COMBED FACE CMU (BL-05)	101 SF	1%
SPLIT FACE CMU (BL-02)	607 SF	7%

CLASS 4 MATERIALS:

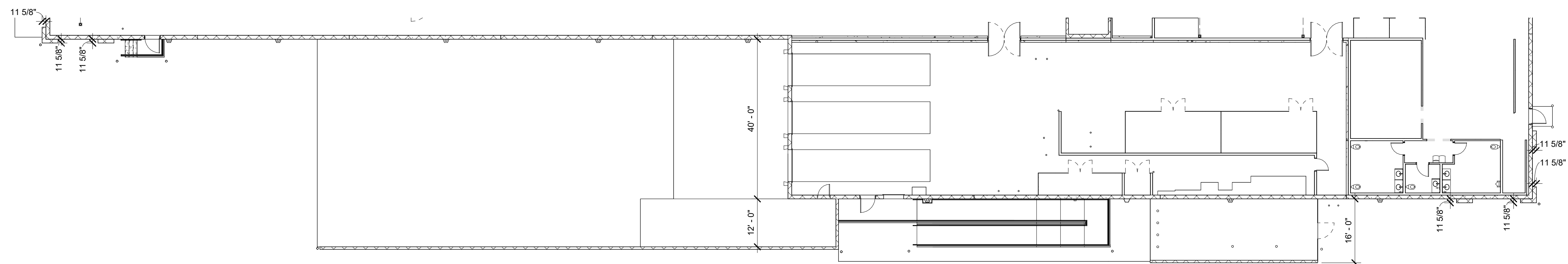
METAL TRIM (PM-01)	103 SF	1%
HOLLOW METAL DOORS	88 SF	1%

\*ALL GLAZING NOTED IS TRANSPARENT.

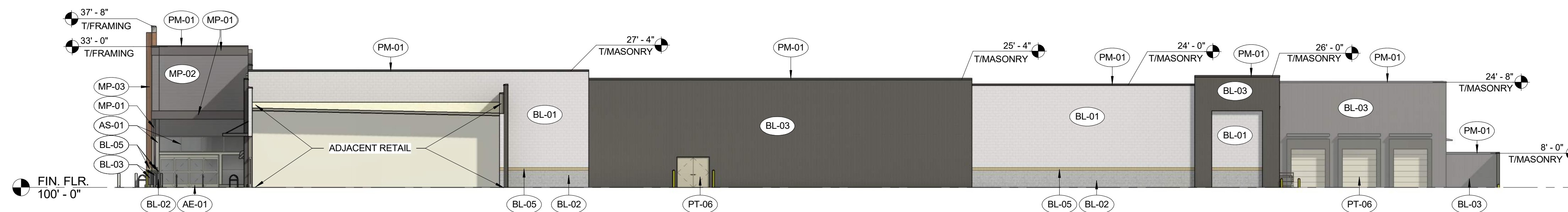
ROOFING: TPO MEMBRANE, NOT VISIBLE - CLASS 3



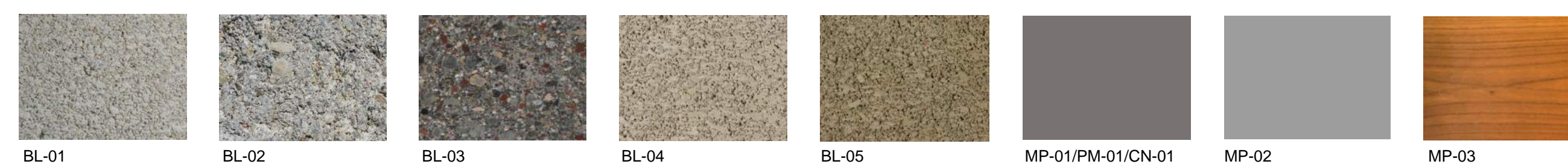
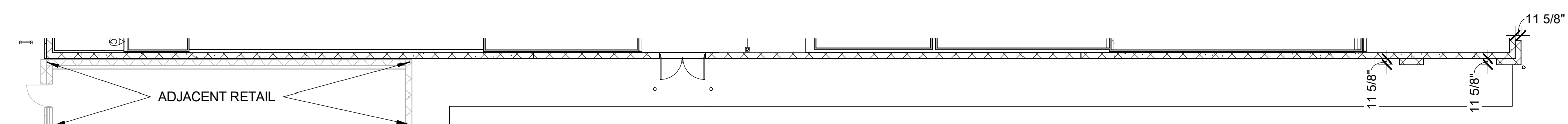
① BACK (WEST) ELEVATION  
1/16" = 1'-0"



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② RIGHT (NORTH) ELEVATION  
1/16" = 1'-0"



EXTERIOR FINISHES			
MATERIAL	DESCRIPTION	MANUFACTURER	FINISH
AE-01	PREFINISHED ALUMINUM STOREFRONT DOOR	STANLEY	CLEAR ANODIZED
AS-01	PREFINISHED ALUMINUM STOREFRONT		CLEAR ANODIZED
BL-01	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	720WR
BL-02	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE	BASALITE	800WR
BL-03	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	807WR
BL-04	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	900WR
BL-05	DECORATIVE, INTEGRALLY COLORED CMU - COMBED FACE PRECISION	BASALITE	923WR
CN-01	PREMANUFACTURED CANOPY	ARCHITECTURAL FABRICATIONS INC.	SLATE GRAY
MP-01	METAL PANEL - SMOOTH	ATAS INT.	SLATE GRAY
MP-02	METAL PANEL - CORRUGATED	ATAS INT.	SILVERSMITH
MP-03	METAL WALL PANEL, WOOD GRAIN FINISH	LONGBOARD	LIGHT CHERRY
PM-01	PREFINISHED METAL		SLATE GRAY
PM-02	PREFINISHED METAL		MATTE BLACK
PM-03	PREFINISHED METAL		WHITE
PT-06	PAINTED METAL	SHERWIN WILLIAMS	MINDFUL GRAY SW7016
PT-07	PAINTED METAL	SHERWIN WILLIAMS	GAUNTLET GRAY SW7019
PT-08	PAINT	SHERWIN WILLIAMS	SW4084 SAFETY YELLOW
PT-12	PAINT	SHERWIN WILLIAMS	WHITE
PT-14	PAINT	SHERWIN WILLIAMS	KROGER BLUE PMS 2728C
SO-01	VINYL SOFFIT PANEL	CERTAINTTEED	GRANITE GRAY



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DILLON'S #152

NE DOUGLAS ST  
LEE'S SUMMIT, MO

JOB #: 2026002 DATE: 03/27/2026

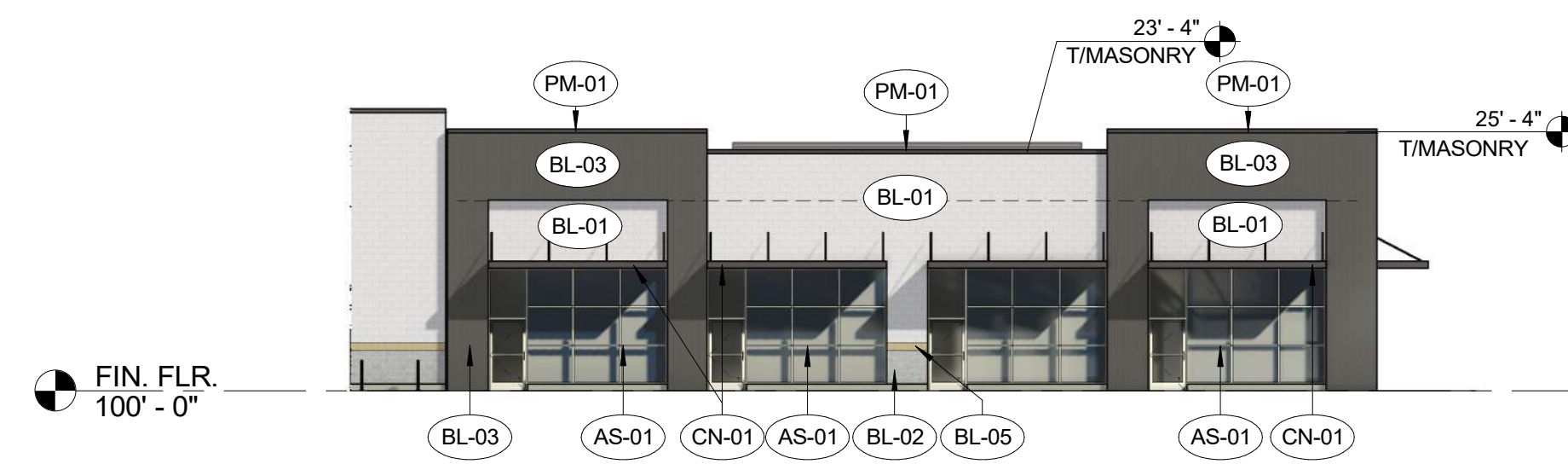
SCALE: 1/16" = 1'-0"

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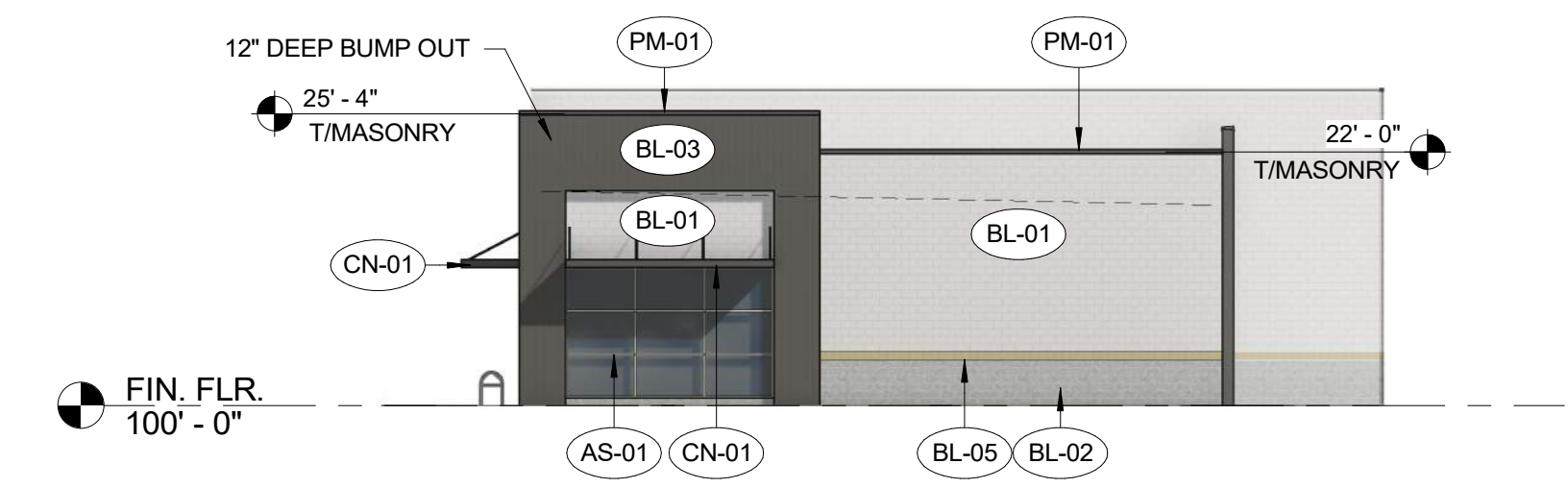
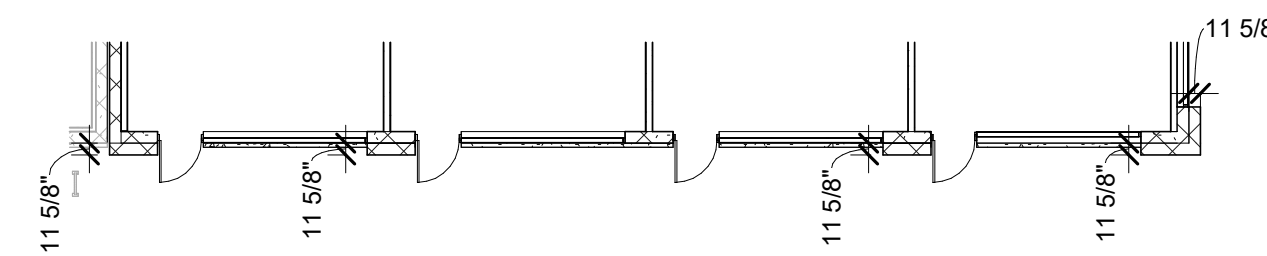
<b>FRONT (EAST) ELEVATION AREA = 3,020 SF</b>		
CLASS 1/2 MATERIALS:		
• GLAZING	840 SF	27%
• GROUND FACE CMU (BL-01)	658 SF	22%
• GROUND FACE CMU (BL-03)	663 SF	22%
CLASS 1/2 TOTAL %		71%
CLASS 3 MATERIALS:		
• COMBED FACE CMU (BL-05)	3 SF	1%
• SPLIT FACE CMU (BL-02)	16 SF	1%
CLASS 4 MATERIALS:		
• METAL TRIM (PM-01)	840 SF	27%
<b>BACK (WEST) ELEVATION AREA = 2,070 SF</b>		
CLASS 1/2 MATERIALS:		
• GROUND FACE CMU (BL-01)	1,257 SF	61%
• GROUND FACE CMU (BL-03)	386 SF	17%
CLASS 1/2 TOTAL %		78%
CLASS 3 MATERIALS:		
• COMBED FACE CMU (BL-05)	44 SF	2%
• SPLIT FACE CMU (BL-02)	264 SF	13%
CLASS 4 MATERIALS:		
• METAL TRIM (PM-01)	22 SF	1%
• HOLLOW METAL DOORS	117 SF	6%
<b>RIGHT (NORTH) ELEVATION AREA = 1,445 SF</b>		
CLASS 1/2 MATERIALS:		
• GLAZING	216 SF	15%
• GROUND FACE CMU (BL-01)	714 SF	50%
• GROUND FACE CMU (BL-03)	323 SF	22%
CLASS 1/2 TOTAL %		97%
CLASS 3 MATERIALS:		
• COMBED FACE CMU (BL-05)	23 SF	1%
• SPLIT FACE CMU (BL-02)	142 SF	1%
CLASS 4 MATERIALS:		
• METAL TRIM (PM-01)	27 SF	1%

\*ALL GLAZING NOTED IS TRANSPARENT.

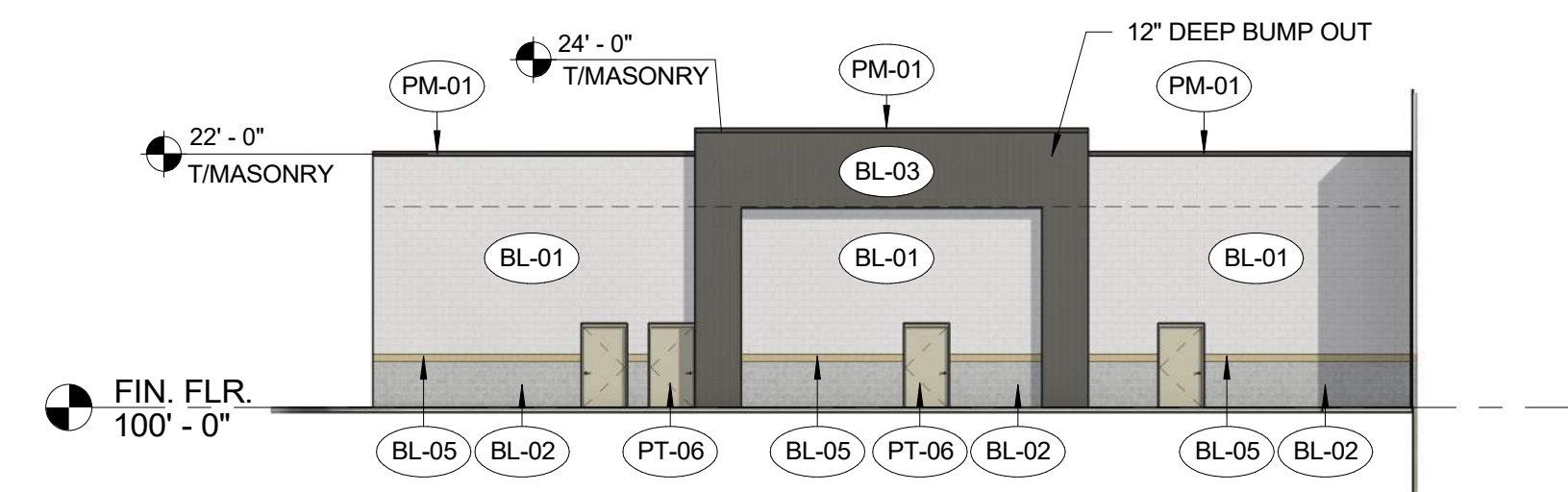
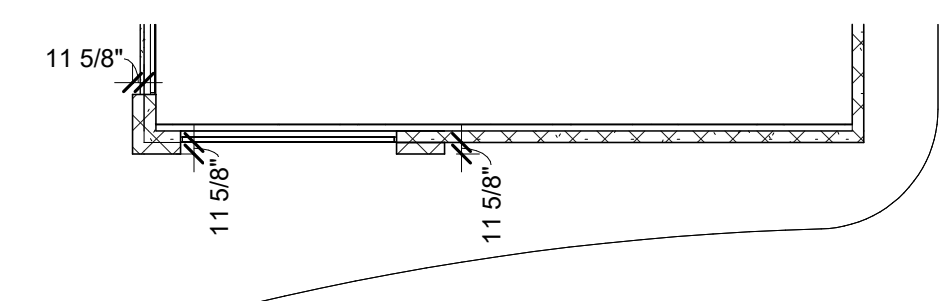
ROOFING: TPO MEMBRANE, NOT VISIBLE - CLASS 3



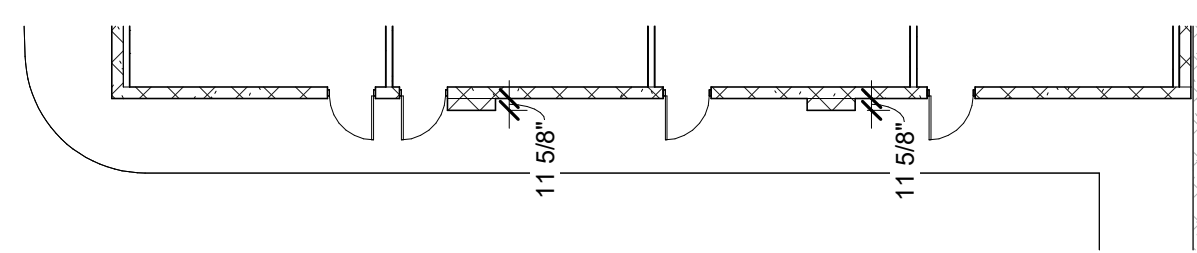
① FRONT (EAST) RETAIL ELEVATION  
1/16" = 1'-0"



② RIGHT (NORTH) RETAIL ELEVATION  
1/16" = 1'-0"



③ BACK (WEST) RETAIL ELEVATION  
1/16" = 1'-0"

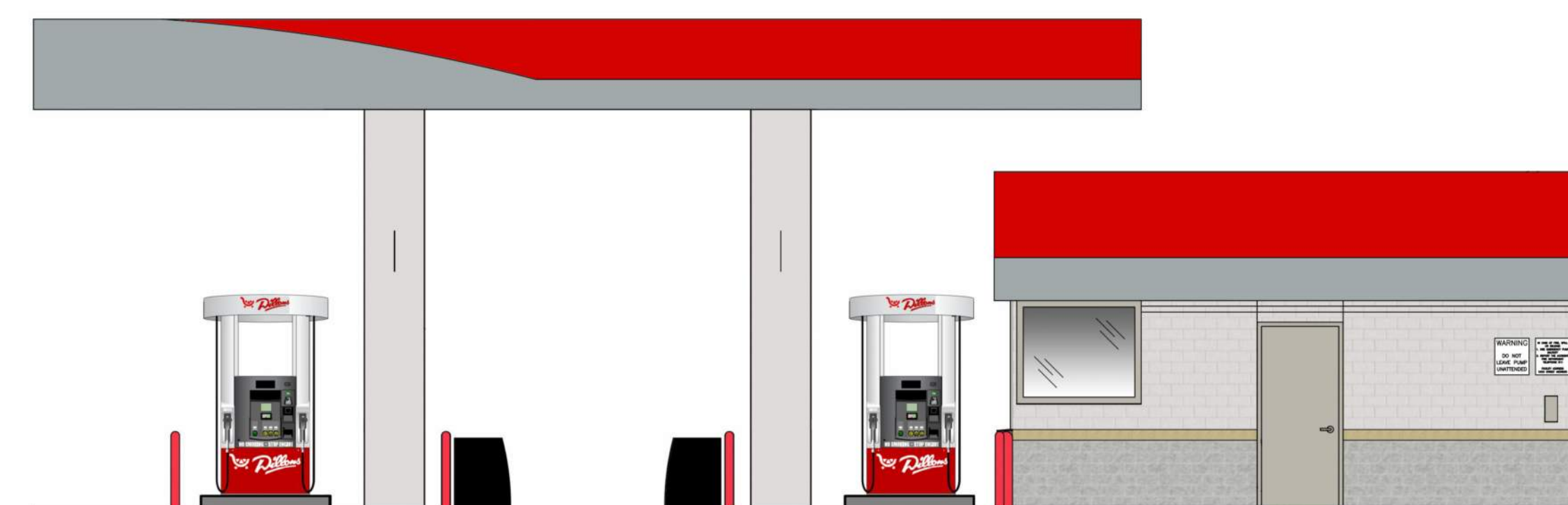
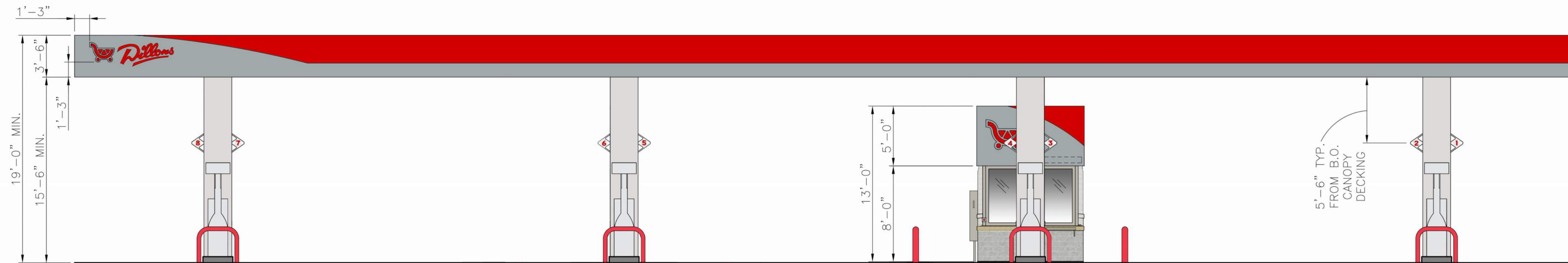


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EXTERIOR FINISHES

MATERIAL	DESCRIPTION	MANUFACTURER	FINISH
AE-01	PREFINISHED ALUMINUM STOREFRONT DOOR	STANLEY	CLEAR ANODIZED
AS-01	PREFINISHED ALUMINUM STOREFRONT		CLEAR ANODIZED
BL-01	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	720WR
BL-02	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE	BASALITE	800WR
BL-03	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	807WR
BL-05	DECORATIVE, INTEGRALLY COLORED CMU - COMBED FACE PRECISION	BASALITE	923WR
CN-01	PREMANUFACTURED CANOPY	ARCHITECTURAL FABRICATIONS INC.	SLATE GRAY
PM-01	PREFINISHED METAL		SLATE GRAY
PT-06	PAINTED METAL	SHERWIN WILLIAMS	MINDFUL GRAY SW7016





**FRONT ELEVATION AREA = 1,825 SF**

CLASS 1/2 MATERIALS:

- GLAZING 464 SF 25%
- GROUND FACE CMU (BL-01) 601 SF 33%
- GROUND FACE CMU (BL-03) 629 SF 35%
- CLASS 1/2 TOTAL % 93%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 12 SF 1%
- SPLIT FACE CMU (BL-02) 75 SF 4%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 44 SF 2%

**BACK ELEVATION AREA = 1,666 SF**

CLASS 1/2 MATERIALS:

- GLAZING 144 SF 9%
- GROUND FACE CMU (BL-01) 850 SF 51%
- GROUND FACE CMU (BL-03) 406 SF 24%
- CLASS 1/2 TOTAL % 84%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 35 SF 2%
- SPLIT FACE CMU (BL-02) 205 SF 12%

CLASS 4 MATERIALS:

- METAL TRIM 26 SF 2%

**RIGHT ELEVATION AREA = 1,368 SF**

CLASS 1/2 MATERIALS:

- GLAZING 368 SF 27%
- GROUND FACE CMU (BL-01) 538 SF 39%
- GROUND FACE CMU (BL-03) 323 SF 24%
- CLASS 1/2 TOTAL % 90%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 15 SF 1%
- SPLIT FACE CMU (BL-02) 88 SF 6%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 36 SF 3%

**LEFT ELEVATION AREA = 1,458 SF**

CLASS 1/2 MATERIALS:

- GLAZING 165 SF 11%
- GROUND FACE CMU (BL-01) 759 SF 52%
- GROUND FACE CMU (BL-03) 323 SF 22%
- CLASS 1/2 TOTAL % 85%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 27 SF 2%
- SPLIT FACE CMU (BL-02) 159 SF 11%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 25 SF 2%

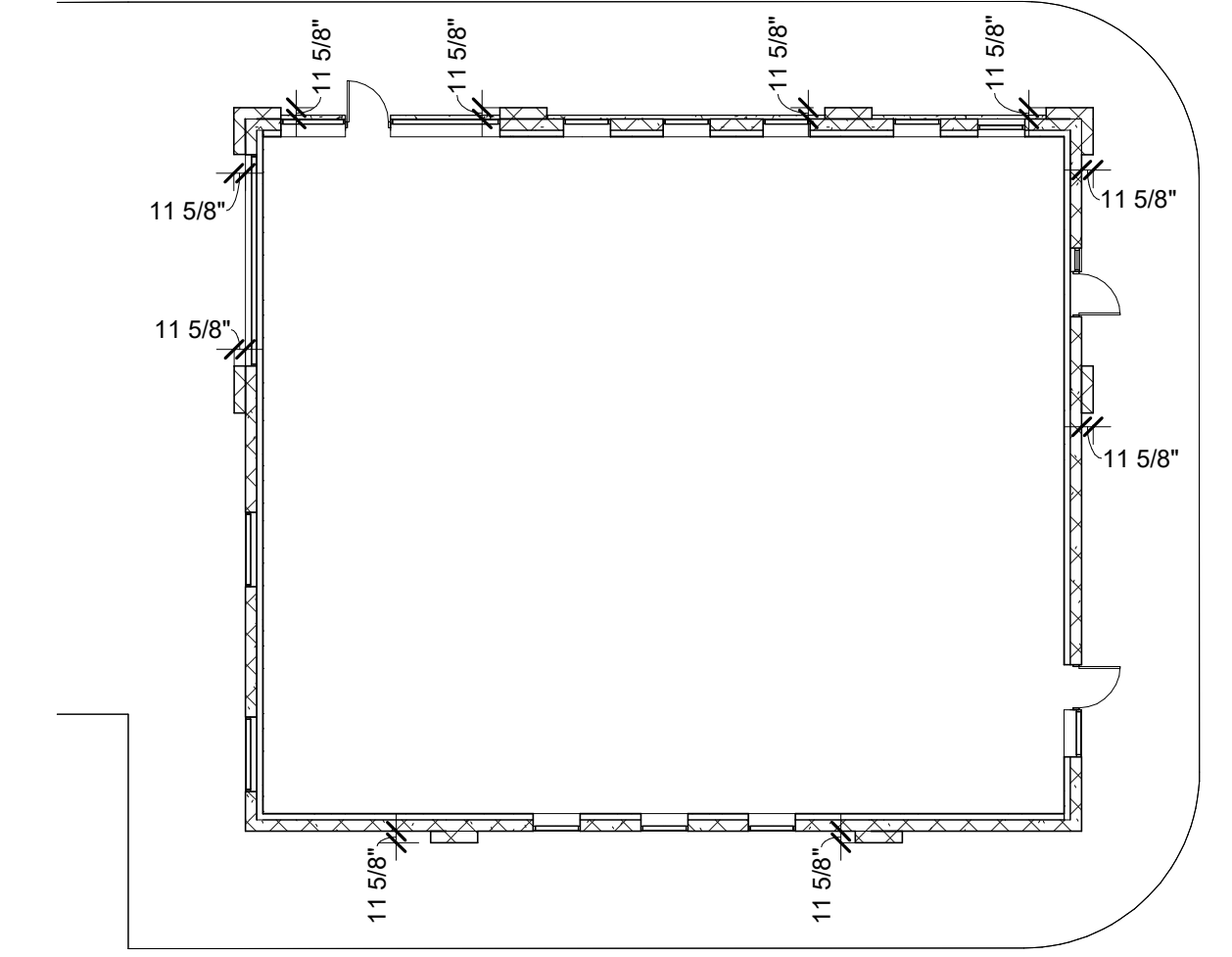
\*ALL GLAZING NOTED IS TRANSPARENT.  
ROOFING: TPO MEMBRANE, NOT VISIBLE - CLASS 3



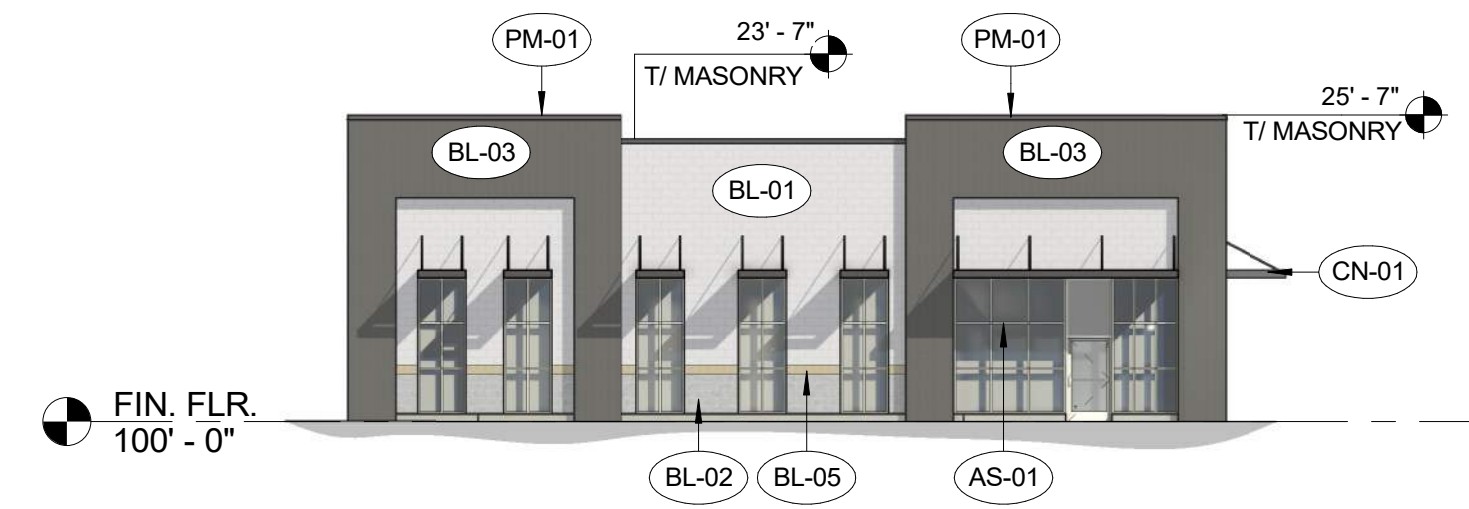
1 FRONT PERSPECTIVE



2 BACK PERSPECTIVE



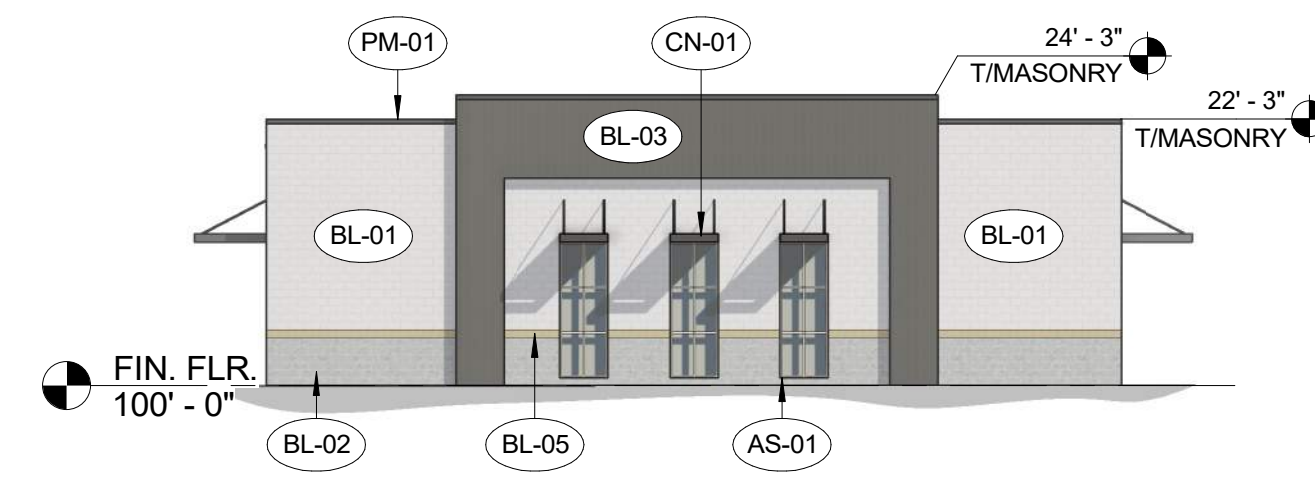
3 LOTS 3 & 4 TYPICAL FLOOR PLAN  
1/16" = 1'-0"



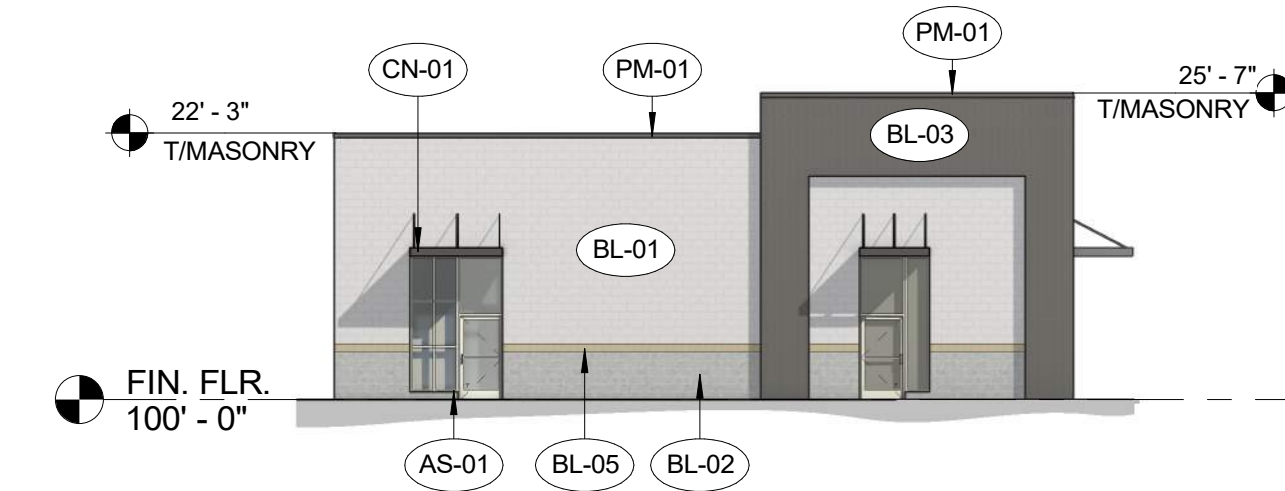
4 FRONT ELEVATION  
1/16" = 1'-0"



5 SIDE ELEVATION  
1/16" = 1'-0"



6 BACK ELEVATION  
1/16" = 1'-0"



7 SIDE ELEVATION  
1/16" = 1'-0"

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EXTERIOR FINISHES			
MATERIAL	DESCRIPTION	MANUFACTURER	FINISH
AE-01	PREFINISHED ALUMINUM STOREFRONT DOOR	STANLEY	CLEAR ANODIZED
AS-01	PREFINISHED ALUMINUM STOREFRONT		CLEAR ANODIZED
BL-01	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	720WR
BL-02	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE	BASALITE	800WR
BL-03	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	807WR
BL-05	DECORATIVE, INTEGRALLY COLORED CMU - COMBED FACE PRECISION	BASALITE	923WR
CN-01	PREMANUFACTURED CANOPY	ARCHITECTURAL FABRICATIONS INC.	SLATE GRAY
PM-01	PREFINISHED METAL		SLATE GRAY



**FRONT ELEVATION AREA = 2,131 SF**

CLASS 1/2 MATERIALS:

- GLAZING 746 SF 35%
- GROUND FACE CMU (BL-01) 670 SF 31%
- GROUND FACE CMU (BL-03) 613 SF 29%
- CLASS 1/2 TOTAL % 95%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 6 SF 1%
- SPLIT FACE CMU (BL-02) 33 SF 1%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 63 SF 3%

**BACK ELEVATION AREA = 1,959 SF**

CLASS 1/2 MATERIALS:

- GROUND FACE CMU (BL-01) 1,121 SF 57%
- GROUND FACE CMU (BL-03) 406 SF 21%
- CLASS 1/2 TOTAL % 78%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 38 SF 2%
- SPLIT FACE CMU (BL-02) 226 SF 11%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 21 SF 1%
- HOLLOW METAL DOORS 147 SF 8%

**RIGHT ELEVATION AREA = 1,443 SF**

CLASS 1/2 MATERIALS:

- GLAZING 216 SF 15%
- GROUND FACE CMU (BL-01) 713 SF 49%
- GROUND FACE CMU (BL-03) 323 SF 22%
- CLASS 1/2 TOTAL % 86%

CLASS 3 MATERIALS:

- COMBED FACE CMU (BL-05) 24 SF 2%
- SPLIT FACE CMU (BL-02) 140 SF 10%

CLASS 4 MATERIALS:

- METAL TRIM (PM-01) 27 SF 2%

**LEFT ELEVATION AREA = 1,443 SF**

CLASS 1/2 MATERIALS:

- GLAZING 216 SF 15%
- GROUND FACE CMU (BL-01) 713 SF 49%
- GROUND FACE CMU (BL-03) 323 SF 22%
- CLASS 1/2 TOTAL % 86%

CLASS 3 MATERIALS:

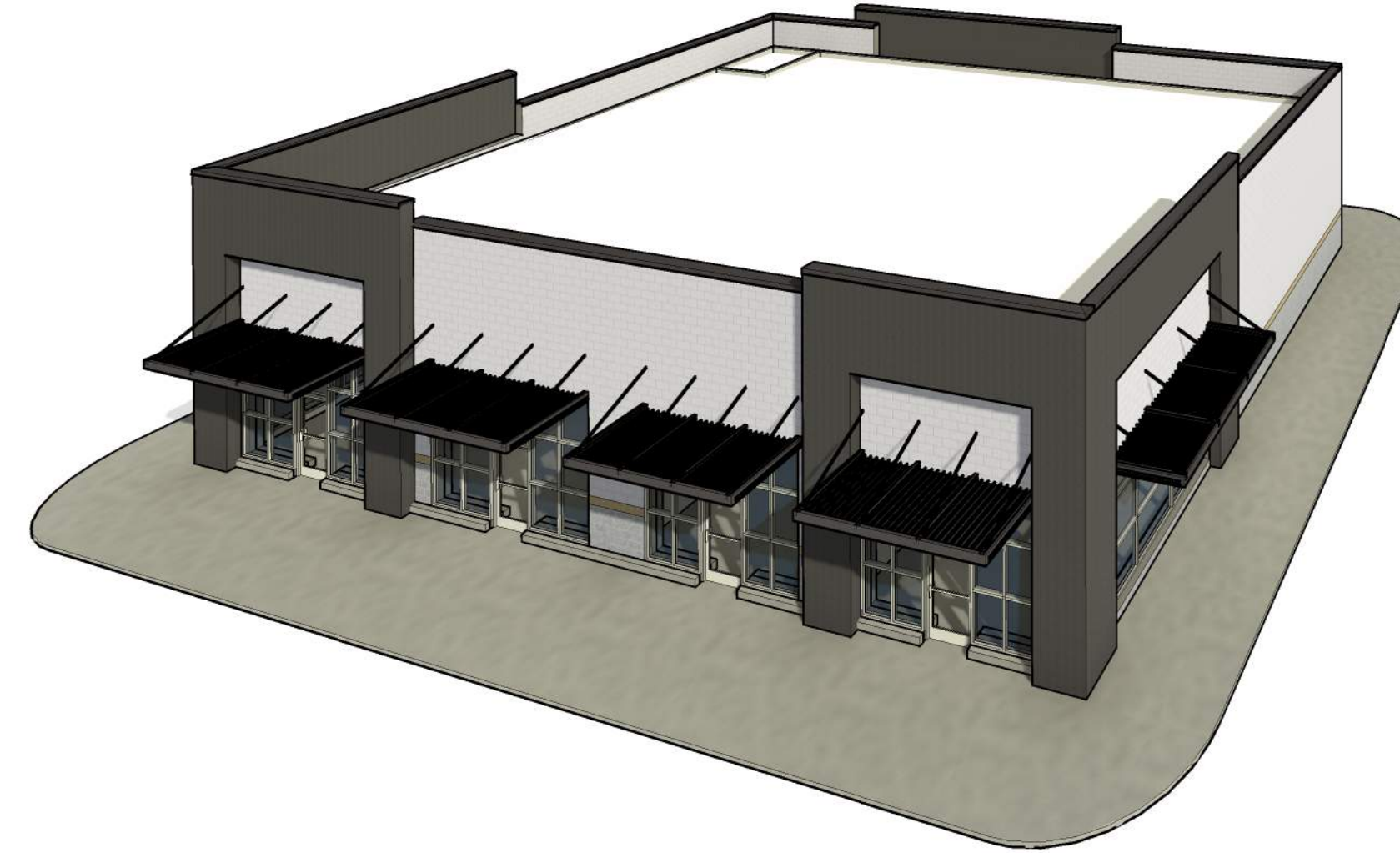
- COMBED FACE CMU (BL-05) 24 SF 2%
- SPLIT FACE CMU (BL-02) 140 SF 10%

CLASS 4 MATERIALS:

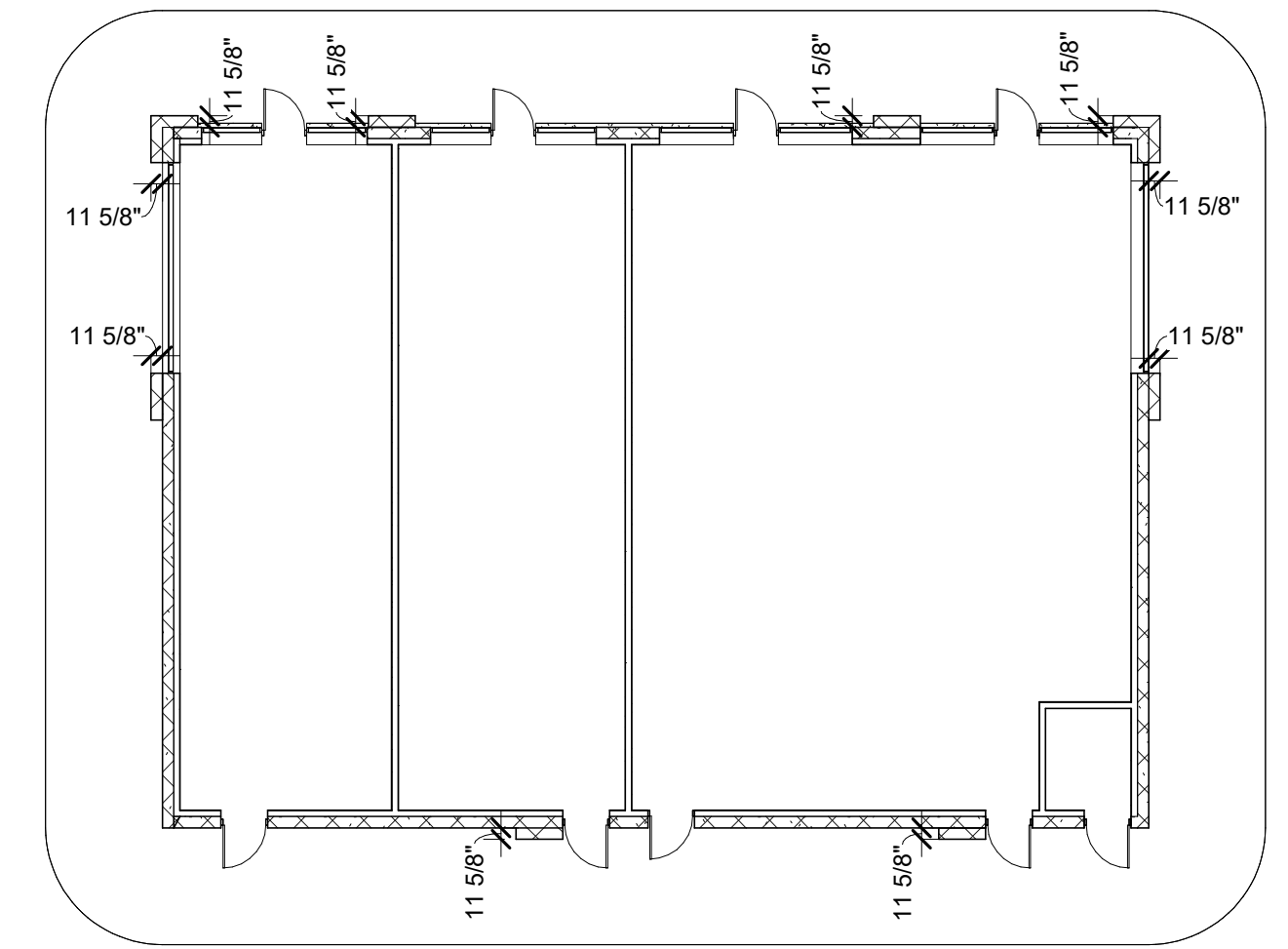
- METAL TRIM (PM-01) 27 SF 2%



1 BACK PERSPECTIVE



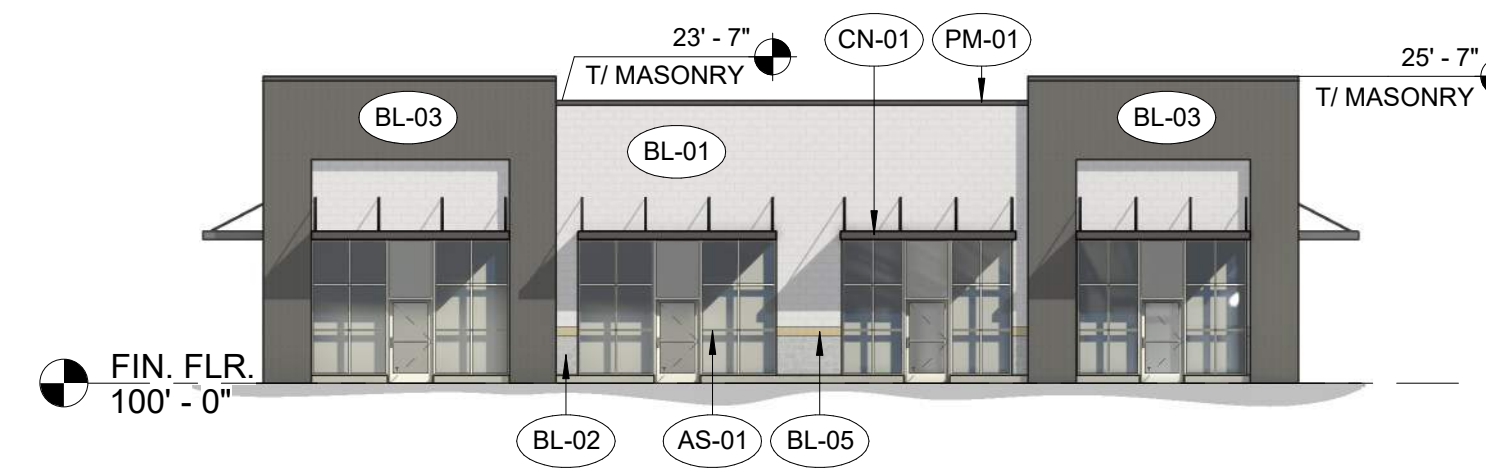
2 FRONT PERSPECTIVE



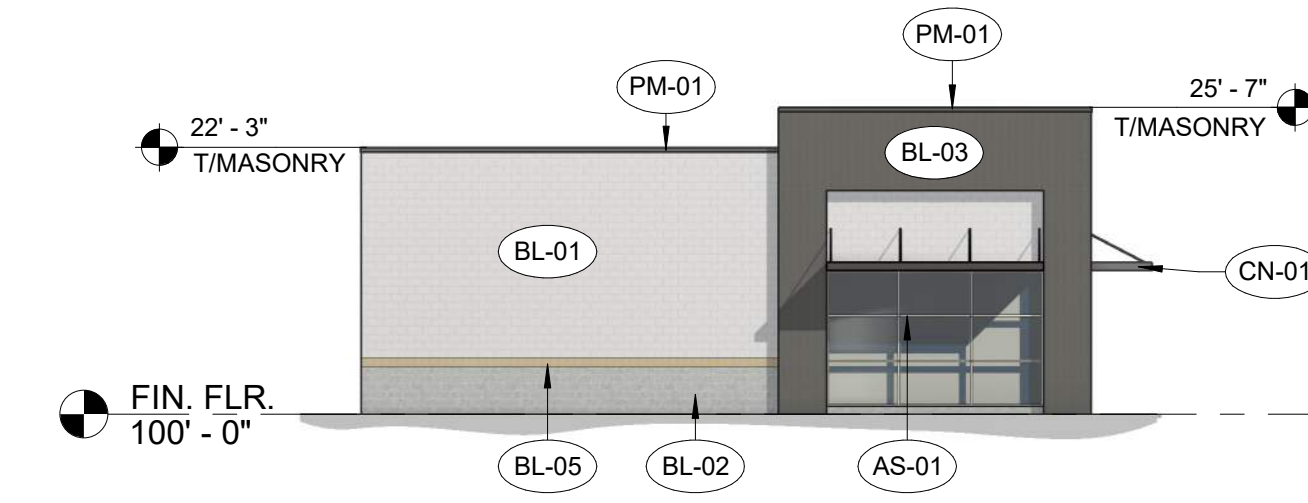
3 LOT 5 FLOOR PLAN  
1/16" = 1'-0"

\*ALL GLAZING NOTED IS TRANSPARENT.

ROOFING: TPO MEMBRANE, NOT VISIBLE - CLASS 3

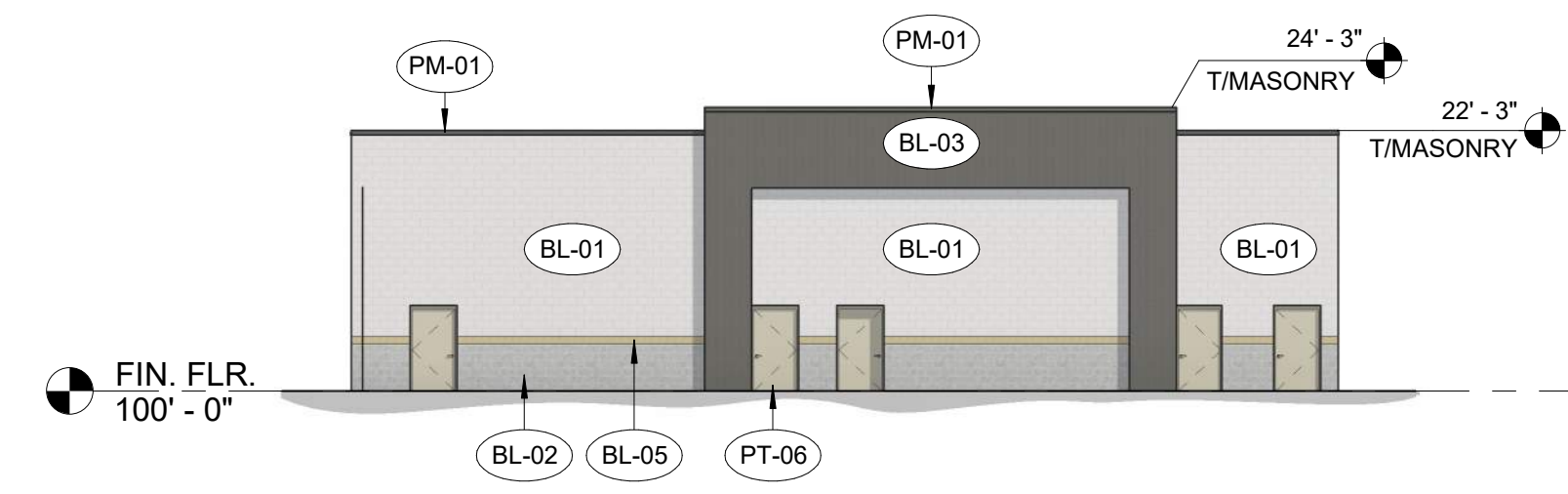


4 FRONT ELEVATION  
1/16" = 1'-0"



5 SIDE ELEVATION  
1/16" = 1'-0"

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6 BACK ELEVATION  
1/16" = 1'-0"



7 SIDE ELEVATION  
1/16" = 1'-0"

EXTERIOR FINISHES			
MATERIAL	DESCRIPTION	MANUFACTURER	FINISH
AE-01	PREFINISHED ALUMINUM STOREFRONT DOOR	STANLEY	CLEAR ANODIZED
AS-01	PREFINISHED ALUMINUM STOREFRONT		CLEAR ANODIZED
BL-01	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	720WR
BL-02	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE	BASALITE	800WR
BL-03	DECORATIVE, INTEGRALLY COLORED CMU - GROUND FACE	BASALITE	807WR
BL-05	DECORATIVE, INTEGRALLY COLORED CMU - COMBED FACE PRECISION	BASALITE	923WR
CN-01	PREMANUFACTURED CANOPY	ARCHITECTURAL FABRICATIONS INC.	SLATE GRAY
PM-01	PREFINISHED METAL		SLATE GRAY
PT-06	PAINTED METAL	SHERWIN WILLIAMS	MINDFUL GRAY SW7016

