

PROJECT TEAM

CLIENT:
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 TEL: (913)-915-2700
 EMAIL: DEVON.COFFEY@MILHAUS.COM

CIVIL ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC.
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 TEL: (785) 550-8994
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 EMAIL: LOGAN.GREEN@KIMLEY-HORN.COM

SURVEYOR:
 J&J SURVEY, LLC
 CONTACT: JOHN B. YOUNG
 TEL: (816)-741-1017
 EMAIL: JOHN@JANDJSURVEY.COM

ARCHITECT:
 DAVIDSON A+E
 CONTACT: JUSTIN D. BRIDGES
 TEL: (913)-451-9390

LANDSCAPE:
 KIMLEY-HORN AND ASSOCIATES, INC.
 CONTACT: ASHLEY SERR
 TEL: (816)-652-0350
 EMAIL: ASHLEY.SERR@KIMLEY-HORN.COM

HISTORIC INFORMATION
 THIS STRUCTURE IS NOT LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

 THIS SITE IS NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE, ACCESSED JUNE 27, 2023.

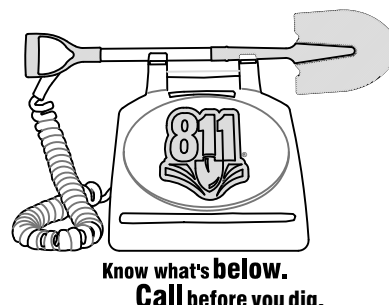
FEMA INFORMATION
 THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAPS 29095C0532G; EFFECTIVE DATE JANUARY 19, 2017. NO LETTERS OF MAP AMENDMENT OR REVISION ARE BEING PROPOSED.

PROJECT SPECIFICATIONS
 THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:
 1. THE CITY OF LEE'S SUMMIT, MO
 2. KANSAS CITY METRO APWA

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATION AND ARE INCORPORATED HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEERING PREPARING THESE PLANS SHALL GOVERN.

OIL AND GAS WELL NOTES
 NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES. PER THE MISSOURI DEPARTMENT OF NATURAL RESOURCES (MGNR) PERMITTED OIL AND GAS DATABASE, ACCESSED DECEMBER 3, 2024.

FIRE CODE
 ALL ISSUES PERTAINING TO LIFE, SAFETY, AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE.

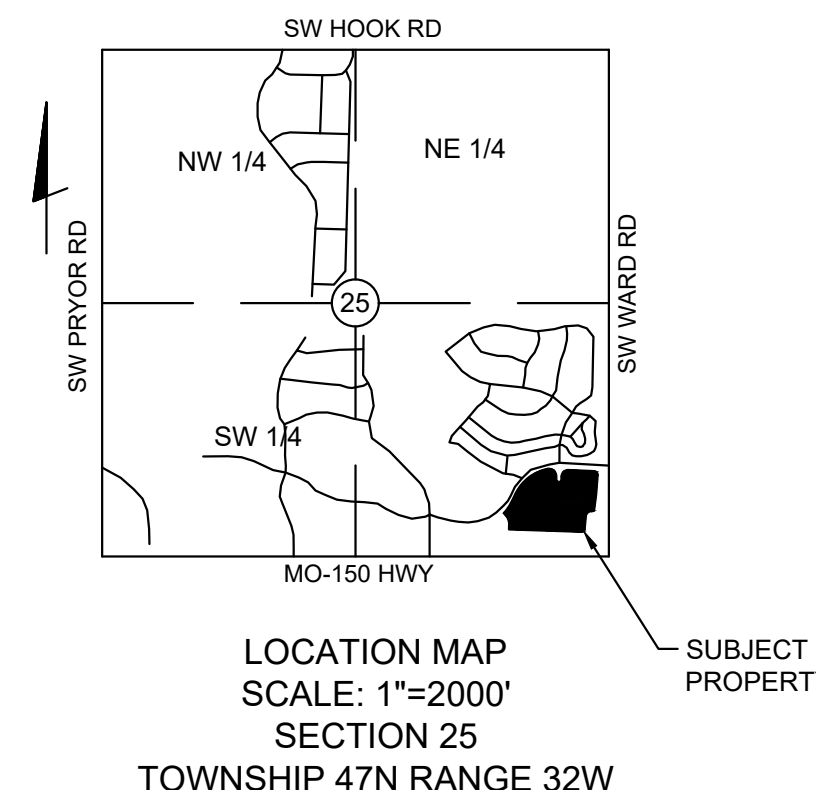


PRELIMINARY DEVELOPMENT PLANS FOR MO 150 HWY & SW WARD RD MULTI-FAMILY DEVELOPMENT

NW CORNER OF SW WARD ROAD & MO-150 HIGHWAY
 LEE'S SUMMIT, MISSOURI

APPROXIMATE TOTAL ACREAGE: 11.46 AC
 LIMITS OF DISTURBANCE: 12.67 AC


WATERSHED: MIDDLE BIG CREEK



| SHEET INDEX | |
|--------------|-----------------------------------|
| SHEET NUMBER | SHEET TITLE |
| C000 | COVER SHEET |
| C100 | ALTA SURVEY |
| C101 | EXISTING CONDITIONS |
| C102 | LAND USE DESIGNATIONS |
| C200 | OVERALL SITE PLAN |
| C201 | ENLARGED SITE PLAN |
| C300 | GRADING AND UTILITY PLAN |
| L100 | LANDSCAPE PLAN |
| L101 | AMENITY SPACE ENLARGEMENT |
| PH100 | PHOTOMETRIC PLAN |
| A1 | BLDG TYPE A - EXTERIOR ELEVATIONS |
| A2 | BLDG TYPE B - EXTERIOR ELEVATIONS |
| A3 | BLDG TYPE C - EXTERIOR ELEVATIONS |
| A4 | EXTERIOR 3D VIEWS |
| A5 | CLUBHOUSE EXTERIOR ELEVATIONS |
| A6 | ELEVATIONS AND PERSPECTIVE |
| A7 | GARAGE ELEVATIONS |
| A8 | TRASH ELEVATIONS |
| A9 | MAIL ELEVATIONS |

LEGAL DESCRIPTION

A tract of land being part of the Southeast Quarter of Section 25, Township 47 North, Range 32 West, in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:
 Commencing at the Southeast corner of said Southeast Quarter;
 Thence North 02°36'29" East, along the East line of said Southeast Quarter, 575.15 feet;
 Thence North 87°23'31" West, 80.02 feet to the West Right-of-Way line of SW Ward Road, as now established, said point also being the Point of Beginning;
 Thence on a curve to the right having an initial tangent bearing South 54°41'29" West, a radius of 35.00 feet and an arc length of 22.75 feet;
 Thence North 88°03'54" West, 5.35 feet;
 Thence on a curve to the left, tangent to the last described course, having a radius 57.46 feet and an arc length of 87.14 feet;
 Thence South 05°03'17" West, 137.84 feet;
 Thence on a curve to the right, tangent to the last described course, having a radius of 28.54 feet and an arc length of 43.27 feet;
 Thence North 88°03'54" West, 759.59 feet;
 Thence North 01°56'06" East, 49.98 feet;
 Thence on a curve to the left, tangent to the last described course, having a radius of 138.80 feet and an arc length of 104.30 feet;
 Thence North 41°07'14" West, 31.46 feet to the South Right-of-Way line of SW Arborwalk Boulevard, as now established;
 Thence along said South Right-of-Way line the following ten courses:
 Thence on a curve to the left, having an initial tangent North 43°36'02" East, having a radius of 430.00 feet and an arc length of 131.07 feet;
 Thence North 26°08'12" East, 110.99 feet;
 Thence on a curve to the right, tangent to the last described course, having a radius of 470.00 feet and an arc length of 434.56 feet;
 Thence on a curve to the right, tangent to the last described course, having a radius of 75.00 feet and an arc length of 129.34 feet;
 Thence South 02°04'46" East, 62.45 feet;
 Thence South 87°28'08" East, 50.00 feet;
 Thence North 02°31'52" East, 57.00 feet;
 Thence on a curve to the right, tangent to the last described course, having a radius of 70.00 feet and an arc length of 109.96 feet;
 Thence South 87°28'08" East, 265.53 feet;
 Thence on a curve to the right, tangent to the last described course, having a radius of 40.00 feet and an arc length of 63.79 feet to the West Right-of-Way line of said SW Ward Road;
 Thence along said West Right-of-Way line the following three courses:
 Thence South 04°28'39" West, 211.75 feet;
 Thence South 07°28'42" West, 158.69 feet to the Point of Beginning.
 Contains 499,350 square feet or 11.46 acres more or less.

SUBMITTED BY:

 PATRICK JOYCE, P.E.
 SENIOR PROJECT MANAGER
 KIMLEY-HORN AND ASSOCIATES, INC.
 _____ DATE _____

APPROVED BY:
 _____ DATE _____

UTILITY AND GOVERNING AGENCY CONTACTS

| UTILITY | AGENCY | CONTACT |
|-------------|---------------------------|--------------|
| WATER | LEE'S SUMMIT WATER DEPT. | 816-969-1900 |
| | JACKSON COUNTY PWSD #13 | 816-578-2249 |
| | CASS COUNTY PWSD #3 | 816-331-1071 |
| NATURAL GAS | MISSOURI GAS ENERGY | 816-756-5252 |
| ELECTRICITY | KANSAS CITY POWER & LIGHT | 888-471-5275 |
| TELEPHONE | AT&T | 800-464-7928 |
| | TIME WARNER | 816-358-8833 |
| CABLE TV | COMCAST | 816-833-3400 |

SURVEY CONTROL POINTS

| POINT # | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|---------|-------------|--------------|-----------|--------------------------|
| 1 | 974540.7400 | 2824139.3700 | 993.4400 | JA-137 |
| 40 | 978301.9100 | 2817160.6800 | 977.8800 | SQUARE CUT IN CURB INLET |
| 41 | 978327.3600 | 2816366.8500 | 1004.5000 | SQUARE CUT IN CURB INLET |
| 50 | 978308.8200 | 2817086.5900 | 981.0700 | "+" CUT IN SIDEWALK |
| 51 | 978327.6100 | 2816255.5100 | 1007.4800 | "+" CUT IN SIDEWALK |

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 KANSAS CITY, MO 64114
 PHONE: 816-652-0350
 MO CERTIFICATE OF AUTHORITY #001912
 EXPIRES: 1/31/24

SCALE:
 AS NOTED
 DESIGNED BY: LG
 DRAWN BY: LG
 CHECKED BY: PJ

PRELIMINARY
 NOT FOR
 CONSTRUCTION



COVER SHEET

**150 & WARD
 MULTIFAMILY
 DEVELOPMENT**
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
 11/25/2025
 KHA PROJECT NO.
 268277000

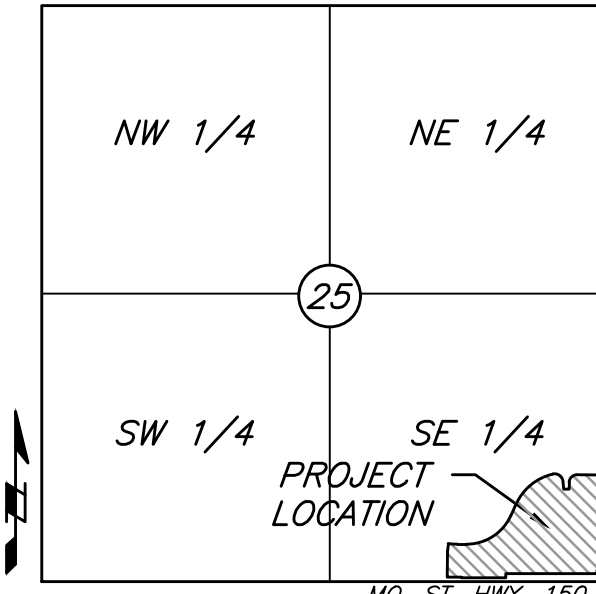
SHEET NUMBER
C000

Drawing name: K:\KAC_LRT\0827000_150 & Ward Multifamily\2 Design\DWG\C000 COVER SHEET.dwg 0000 COVER SHEET Nov 25, 2025 2:28pm By: Logan Green
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and proper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ALTA/NSPS LAND TITLE SURVEY

SE 1/4, SECTION 25, TOWNSHIP 47 NORTH, RANGE 32 WEST

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



TITLE DESCRIPTION:

Tract 1:
 Lot 2002 and Lot 2003, ARBORWALK - 5TH PLAT, LOTS 2001 THRU 2003, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

Tract 2:
 All that part of the Southeast 1/4 of Section 25, Township 47, Range 32, being more particularly described as follows: Beginning at the Northeast corner of Lot 2003, ARBORWALK - 5TH PLAT, LOTS 2001-2003, a subdivision in Lee's Summit, Jackson County, Missouri; thence Northeasterly along a curve to the left, having a radius of 430.00 feet and an arc distance of 326.37 feet; thence North 26 degrees 08 minutes 12 seconds East 110 feet; thence Northeasterly along a curve to the right, having a radius of 470.00 feet and an arc distance of 434.56 feet; thence Southeasterly along a curve to the right, having a radius of 75.00 feet, an arc distance of 129.34 feet; thence South 02 degrees 04 minutes 54 seconds East 62.45 feet; thence South 87 degrees 28 minutes 16 seconds East 50.00 feet; thence North 02 degrees 31 minutes 44 seconds East 57.00 feet; thence Northeasterly along a curve to the right, having a radius of 70.00 feet, an arc distance of 109.96 feet; thence South 67 degrees 28 minutes 08 seconds East 265.66 feet; thence Southeasterly along a curve to the right, a radius of 40.00 feet; an arc distance of 60.52 feet; thence Southwesterly along a curve to the right, having a radius of 10,437.02 feet, an arc distance of 215.03 feet; thence South 07 degrees 26 minutes 42 seconds West 230.61 feet; thence Southwesterly along a curve to the right, having a radius of 10,572.00 feet, an arc distance of 168.89 feet; thence South 04 degrees 03 minutes 55 seconds West 12.00 feet; thence South 03 degrees 06 minutes 01 seconds West 14.64 feet; thence South 66 degrees 00 minutes 58 seconds East 10.00 feet; thence South 10 degrees 22 minutes 02 seconds West 63.64 feet; thence South 40 degrees 43 minutes 06 seconds West 130.68 feet; thence South 01 degrees 51 minutes 56 seconds West 45.00 feet; thence North 86 degrees 08 minutes 04 seconds West 808.65 feet; thence South 02 degrees 06 minutes 17 seconds West 25.71 feet; thence North 87 degrees 53 minutes 43 seconds West 369.36 feet; thence North 02 degrees 06 minutes 17 seconds East 51.07 feet; thence South 87 degrees 54 minutes 12 seconds East 21.50 feet; thence North 02 degrees 05 minutes 48 seconds East 88.00 feet; thence South 87 degrees 54 minutes 12 seconds East 17.60 feet; thence South 84 degrees 32 minutes 58 seconds East 37.95 feet; thence South 87 degrees 54 minutes 12 seconds East 18.50 feet; thence North 02 degrees 05 minutes 48 seconds East 10.00 feet; thence South 87 degrees 54 minutes 12 seconds East 106.00 feet; thence South 02 degrees 05 minutes 48 seconds West 26.00 feet; thence South 87 degrees 54 minutes 12 seconds East 52.00 feet; thence North 02 degrees 05 minutes 48 seconds East 51.50 feet; thence North 87 degrees 54 minutes 12 seconds West 25.50 feet; thence North 02 degrees 05 minutes 48 seconds East 41.50 feet; thence North 87 degrees 54 minutes 12 seconds West 12.50 feet; thence North 02 degrees 05 minutes 48 seconds East 95.00 feet; thence North 20 degrees 17 minutes 45 seconds West 24.80 feet to the point of beginning.

SCHEDULE B - PART II NOTES:

1. Items 1-7, 12 and 13 are non survey related items.
2. An easement granted to the City of Lee's Summit, a municipal corporation, described by instrument recorded June 25, 2001 as Document No. 20010048744. Does not affect subject property but has been shown.
3. Boundaries, streets, grades, set back lines, easements, including but not limited to ingress and egress; cross parking agreement, dedications, including but not limited to sidewalk dedications; shown and or noted on the plat of ARBORWALK - 5TH PLAT, recorded June 1, 2005 as Document No. 20050045420 in Plat Book 87 at Page 28. Does not affect subject property.
4. Terms and provisions of the Restrictions, recorded June 1, 2005 as Document No. 2005 1 0045421, together with the terms and provisions of the Assignment and Assumption of Decedent Rights, recorded August 18, 2014 as Document No. 2014E0068343; but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
5. Boundaries, easements and Assumption of Decedent rights dated February 16, 2022, recorded February 16, 2022 as Document No. 2022E0015432. Affects subject property and is blanket in nature.
6. Boundaries, easements and features shown by the Survey recorded July 9, 2009 as Document No. 2009E00068194. Does not affect subject property but has been shown.

GENERAL SURVEY NOTES:

- 1.) The plat of ARBORWALK-1ST PLAT, is recorded in Book 82 at Page 50 in the Recorder of Deeds Office in Jackson County, Missouri.
- 2.) The plat of ARBORWALK-5TH PLAT, is recorded in Book 1-87 at Page 28 in the Recorder of Deeds Office in Jackson County, Missouri.
- 3.) Title Report # KCC222158, dated September 8, 2022 at 8:00 AM provided by Chicago Title Insurance Company, was provided by client.
- 4.) Basis of Bearings was established by the Missouri State Plane Coordinate System from GPS Observation.
- 5.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 2909SC0532G, effective January 20, 2017.
- 6.) The subject property contains 892,586 square feet or 20.49 acres.

UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SURVEYORS RECOMMENDED PROPERTY DESCRIPTION:

A tract of land being part of the Southeast Quarter of Section 25, Township 47 North, Range 32 West, in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

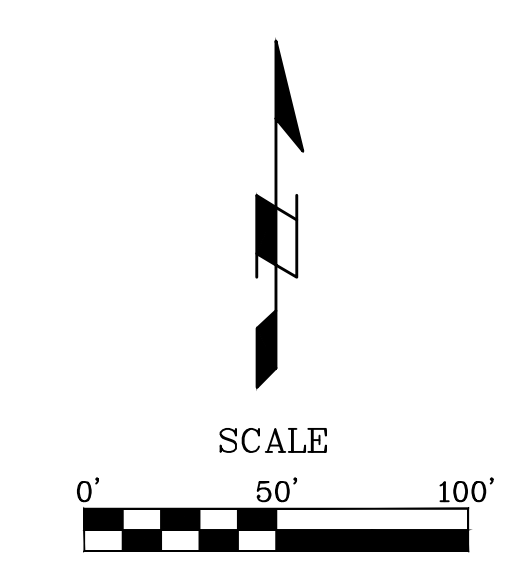
Commencing at the Southeast corner of said Southeast Quarter; Thence North 02°36'29" East, along the East line of said Southeast Quarter, 575.15 feet; Thence North 87°23'31" West, 80.02 feet to the West Right-of-Way line of SW Ward Road, as now established, said point also being the Point of Beginning; Thence on a curve to the right, having an initial tangent bearing South 54°41'29" West, a radius of 35.00 feet and an arc length of 22.75 feet; Thence North 88°03'54" West, 5.35 feet; Thence on a curve to the left, tangent to the last described curve, having a radius of 57.46 feet and an arc length of 87.14 feet; Thence South 05°03'17" West, 137.84 feet; Thence on a curve to the right, tangent to the last described curve, having a radius of 28.54 feet and an arc length of 43.27 feet; Thence North 88°03'54" West, 759.59 feet; Thence North 01°56'06" East, 49.98 feet; Thence on a curve to the left, tangent to the last described curve, having a radius of 138.80 feet and an arc length of 104.30 feet; Thence North 41°07'14" West, 31.46 feet to the South Right-of-Way line of SW Arborwalk Boulevard, as now established; Thence along said South Right-of-Way line the following ten courses: Thence on a curve to the left, having an initial tangent North 43°36'02" East, having a radius of 430.00 feet and an arc length of 131.07 feet; Thence North 26°08'12" East, 110.99 feet; Thence on a curve to the right, tangent to the last described curve, having a radius of 75.00 feet and an arc length of 129.34 feet; Thence South 02°04'46" East, 62.45 feet; Thence South 87°28'08" East, 50.00 feet; Thence North 02°31'52" East, 57.00 feet; Thence on a curve to the right, tangent to the last described curve, having a radius of 70.00 feet and an arc length of 109.96 feet; Thence South 87°28'08" East, 265.53 feet; Thence on a curve to the right, tangent to the last described curve, having a radius of 40.00 feet and an arc length of 63.79 feet to the West Right-of-Way line of said SW Ward Road; Thence along said West Right-of-Way line the following three courses: Thence South 04°28'39" West, 211.75 feet; Thence South 07°28'42" West, 158.69 feet to the Point of Beginning. Contains 499,350 square feet or 11.46 acres more or less.

| Point # | Northing | Easting | Elevation | Description |
|---------|-----------|------------|-----------|--------------------------|
| 1 | 974540.74 | 2824139.37 | 993.44 | JA-137 |
| 40 | 978301.91 | 2817160.68 | 977.88 | SQUARE CUT IN CURB INLET |
| 41 | 978327.36 | 2816366.85 | 1004.50 | SQUARE CUT IN CURB INLET |
| 50 | 978308.82 | 2817086.59 | 981.07 | "+" CUT IN SIDEWALK |
| 51 | 978327.61 | 2816255.51 | 1007.48 | "+" CUT IN SIDEWALK |

BENCHMARK:
 JA-137: KC Metro Aluminum GRS Disk, located approximately 0.7 miles South of intersection Highway 150 and Highway 291, 32' East of the center of Highway 291.
 Elevation = 993.44

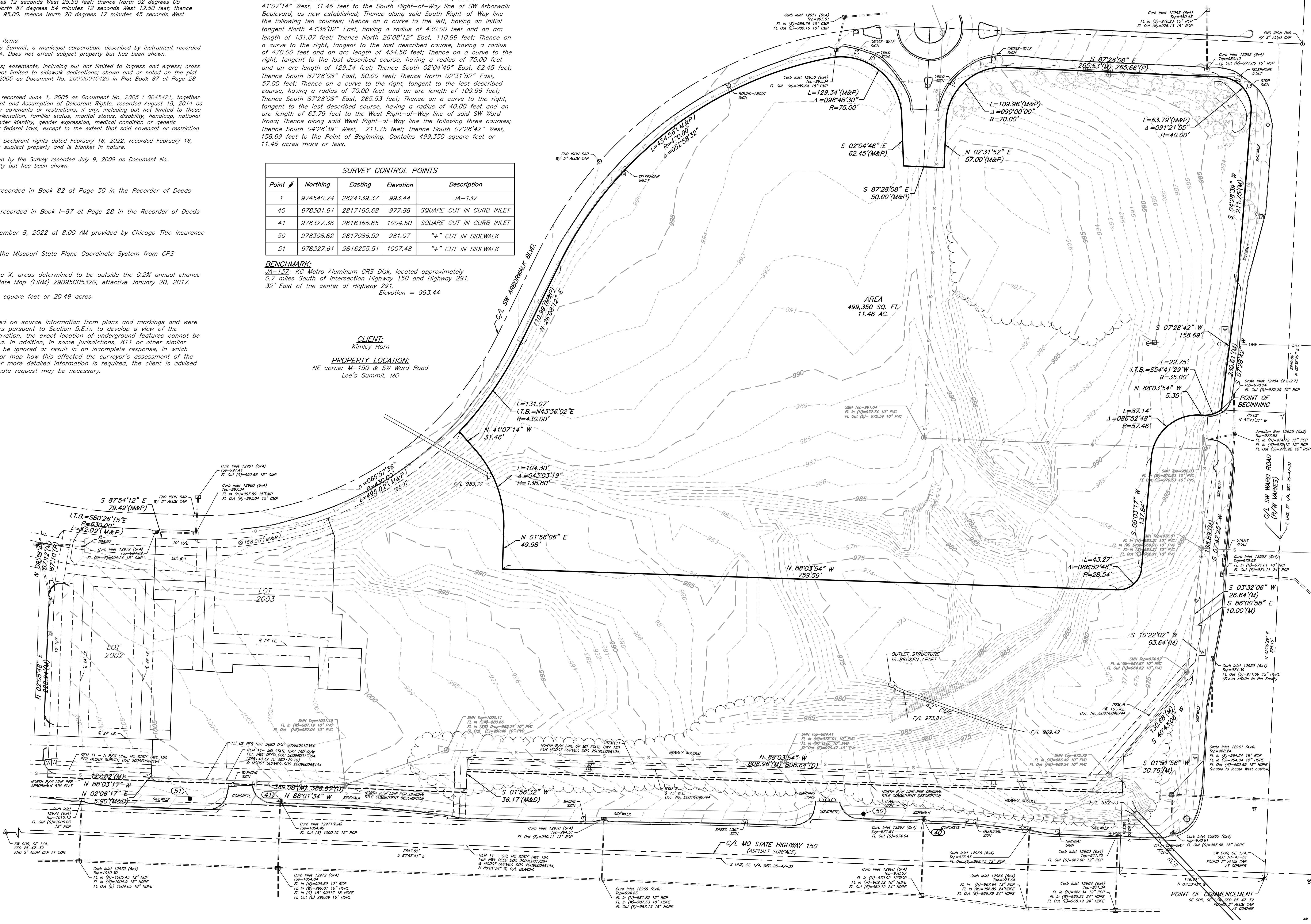
CLIENT:
 Kimley Horn

PROPERTY LOCATION:
 NE corner M-150 & SW Ward Road
 Lee's Summit, MO

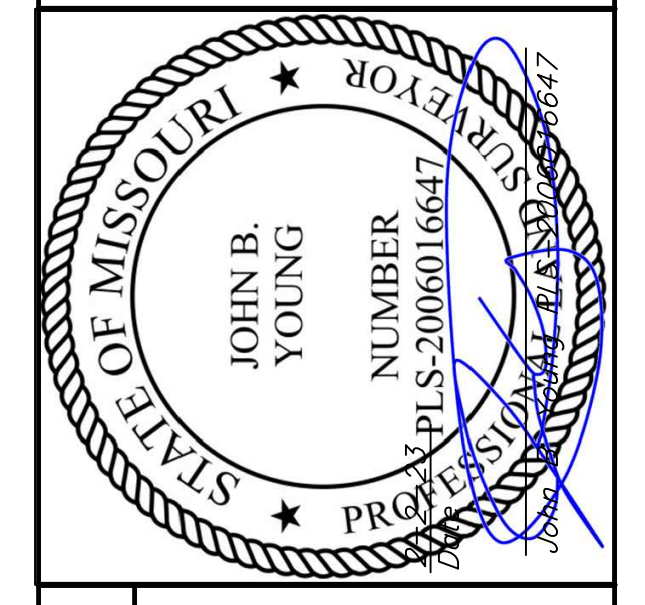


LEGEND

- ◆ - BENCHMARK
- △ - SECTION CORNER AS NOTED
- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (P) - PLATTED DISTANCE
- (M) - MEASURED DISTANCE
- (D) - DESCRIBED DISTANCE IN MODOT R/W PLANS
- I.E. - INGRESS/EGRESS EASEMENT
- W/E - WATER EASEMENT
- U/E - UTILITY EASEMENT
- - EXISTING TREE
- - WATER METER
- - WATER VALVE
- - FIRE HYDRANT
- - SANITARY MANHOLE
- - STORM MANHOLE
- - POWER POLE
- - LIGHT POLE
- - TRAFFIC SIGNAL POLE
- - GUY WIRE
- - TELEPHONE PEDESTAL
- - SIGN AS NOTED
- - FIBER OPTIC MARKER
- S - SANITARY SEWER LINE
- DHE - STORM LINE
- OHE - OVERHEAD ELECTRIC
- W - UNDERGROUND WATER
- WS - WATER SERVICE
- T - TELEPHONE
- FO - FIBER OPTIC LINE
- CATV - CABLE
- - TREE LINE



CERTIFICATION:
 To Milhaus Properties LLC, an Indiana limited liability company and Chicago Title Insurance Company:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7a, 8, 9, 10, 12 and 13 of Table A hereof. The field work was completed on the 26th day of October, 2022.



| | | |
|---|--------------------------------|----------|
| 1 | INITIAL SURVEY | 10-29-22 |
| 2 | ADDED CONTOURS/TOPOGRAPHY | 11-17-22 |
| 3 | REVISED BOUNDARY | 12-14-22 |
| 4 | REVISED BOUNDARY & DESCRIPTION | 02-02-23 |

SHEET 1 OF 1

Location: S: 22.408 - NE Corner M-150 & SW Ward Rd \DRAWINGS\2023\01.31-ALTA.22.408ALTA.dwg -Feb. 02, 2023--8:33am
 6500 NW TOWER DR., SUITE 100 • PLATTE WOODS, MO 64151
 PHONE (816)414-1017 • FAX (816)414-1018

SURVEY LEGEND

- ⊕ - BENCHMARK
- △ - SECTION CORNER AS NOTED
- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (P) - PLATTED DISTANCE
- (M) - MEASURED DISTANCE
- (D) - DESCRIBED DISTANCE IN MODOT RW PLANS
- I.E. - INGRESS/EGRESS EASEMENT
- W/E - WATER EASEMENT
- U/E - UTILITY EASEMENT
- ⊙ - EXISTING TREE
- ⊙ - WATER METER
- ⊙ - WATER VALVE
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- ⊙ - LIGHT POLE
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- ⊙ - GUY WIRE
- ⊙ - TELEPHONE PEDESTAL
- ⊙ - SIGN AS NOTED
- ⊙ - FIBER OPTIC MARKER
- S - SANITARY SEWER LINE
- - STORM LINE
- OHE - OVERHEAD ELECTRIC
- W - UNDERGROUND WATER
- WS - WATER SERVICE
- T - TELEPHONE
- FO - FIBER OPTIC LINE
- CATV - CABLE
- - TREE LINE

FLOODPLAIN INFORMATION
 ACCORDING TO FEMA FLOOD MAP 29095C0532G, THE SITE IS LOCATED IN "ZONE X", DESCRIBED AS AN AREA OF MINIMAL FLOOD HAZARD.

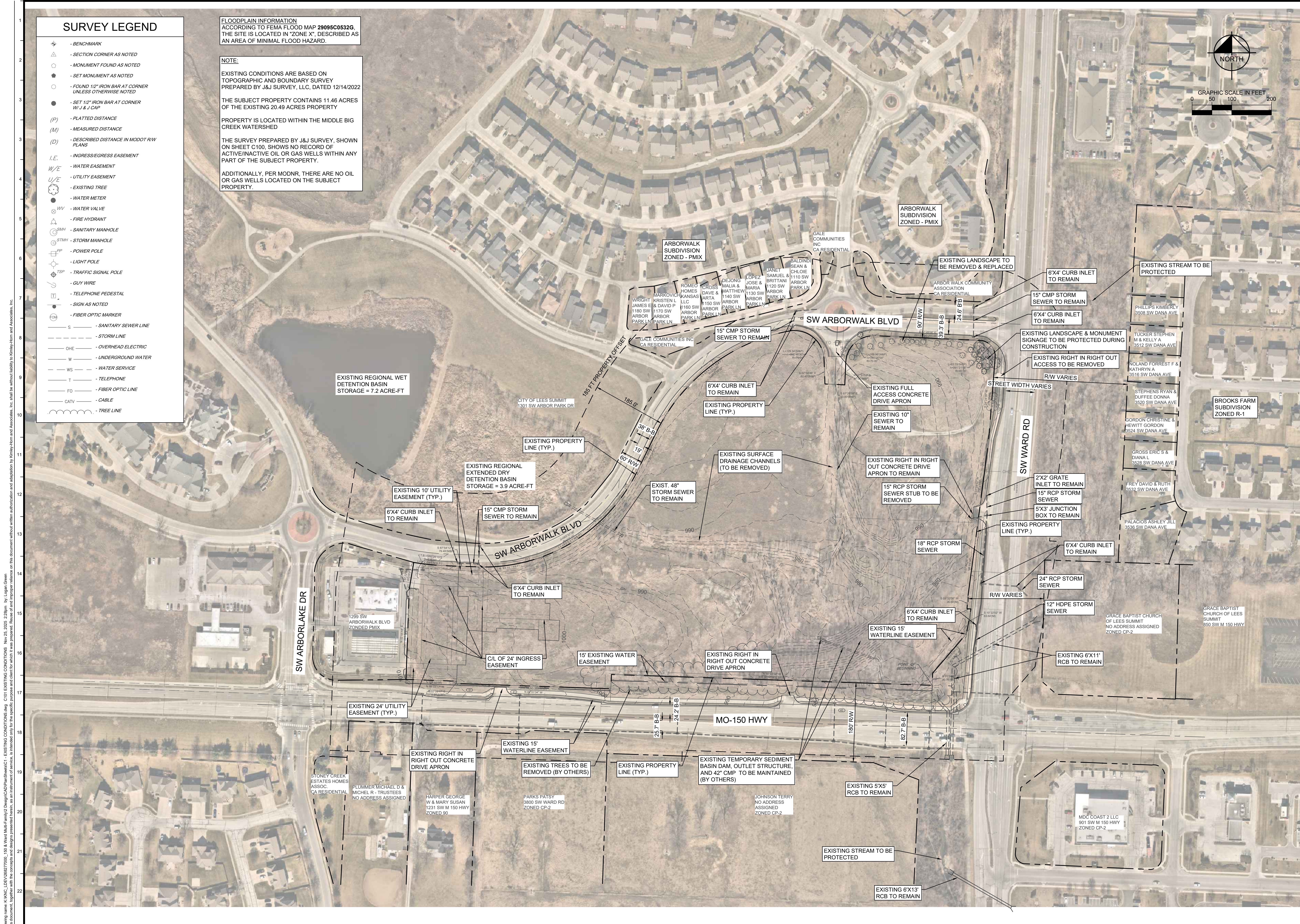
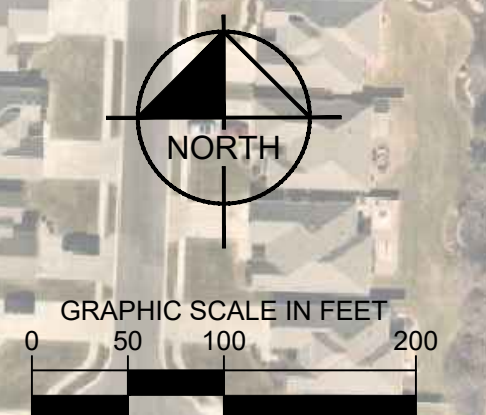
NOTE:
 EXISTING CONDITIONS ARE BASED ON TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY J&J SURVEY, LLC, DATED 12/14/2022

THE SUBJECT PROPERTY CONTAINS 11.46 ACRES OF THE EXISTING 20.49 ACRES PROPERTY

PROPERTY IS LOCATED WITHIN THE MIDDLE BIG CREEK WATERSHED

THE SURVEY PREPARED BY J&J SURVEY, SHOWN ON SHEET C100, SHOWS NO RECORD OF ACTIVE/INACTIVE OIL OR GAS WELLS WITHIN ANY PART OF THE SUBJECT PROPERTY.

ADDITIONALLY, PER MODNR, THERE ARE NO OIL OR GAS WELLS LOCATED ON THE SUBJECT PROPERTY.



Drawing name: K:\KAC_L\268277000_150 & Ward Multifamily\2 Design\DWG\Sheet\C101 - EXISTING CONDITIONS.rvt
 Nov 25, 2025 2:28pm by Logan Green
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review of and proper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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Kimley-Horn
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 KANSAS CITY, MO 64110, SUITE 150
 PHONE: 816.652.0088
 FAX: 816.652.0089
 MO CERTIFICATE OF AUTHORITY #001912
 EXPIRES: 1/31/24

SCALE: AS NOTED
 DESIGNED BY: LG
 DRAWN BY: LG
 CHECKED BY: PJ

PRELIMINARY
 NOT FOR CONSTRUCTION

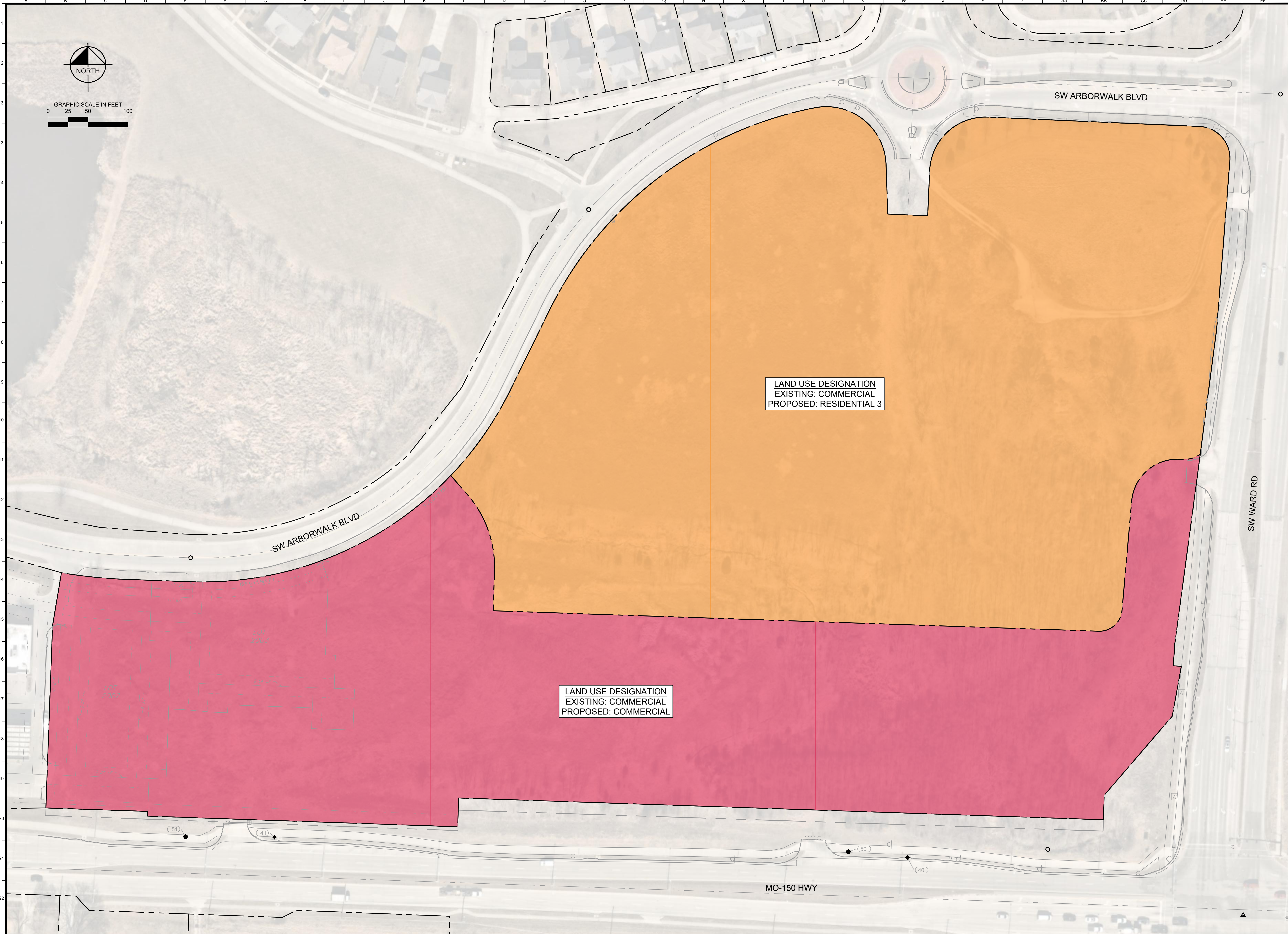
MILHAUS

EXISTING CONDITIONS

150 & WARD
 MULTIFAMILY DEVELOPMENT
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE: 11/25/2025
 KHA PROJECT NO. 268277000
 SHEET NUMBER C101

Drawing name: K:\KAC_LIE\268277000_150 & Ward Multifamily\Design\Drawings\C102 LAND USE DESIGNATIONS.dwg C102 LAND USE DESIGNATIONS Rev 25, 2025 2:28pm By: Logan Green
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SW ARBORWALK BLVD

SW WARD RD

LAND USE DESIGNATION
 EXISTING: COMMERCIAL
 PROPOSED: RESIDENTIAL 3

LAND USE DESIGNATION
 EXISTING: COMMERCIAL
 PROPOSED: COMMERCIAL

MO-150 HWY

| | | | |
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| No. | REVISIONS | DATE | BY |
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 PHONE: 816.665.0086
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 MO CERTIFICATE OF AUTHORITY #001912
 EXPIRES: 12/31/24

SCALE: AS NOTED
 DESIGNED BY: LG
 DRAWN BY: LG
 CHECKED BY: PJ

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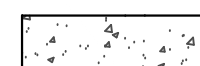
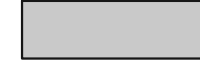
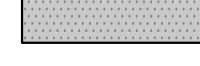
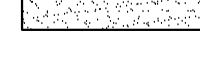

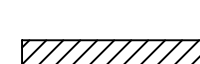

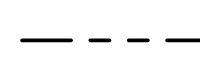
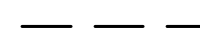

LAND USE DESIGNATIONS

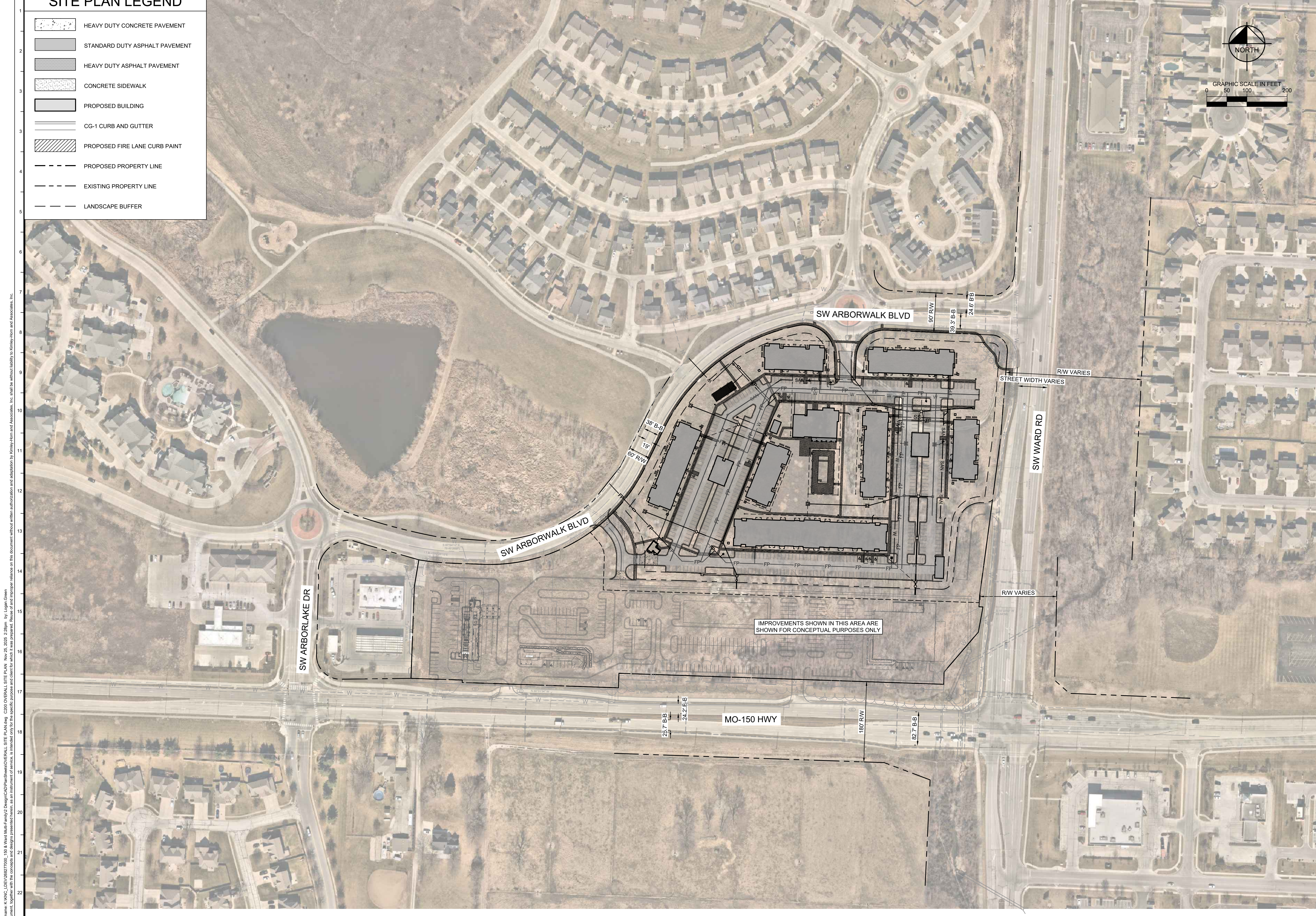
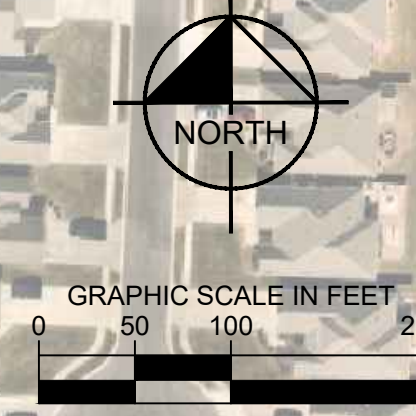
150 & WARD
 MULTIFAMILY
 DEVELOPMENT
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
 11/25/2025
 KHA PROJECT NO.
 268277000
 SHEET NUMBER

C102

SITE PLAN LEGEND

-  HEAVY DUTY CONCRETE PAVEMENT
-  STANDARD DUTY ASPHALT PAVEMENT
-  HEAVY DUTY ASPHALT PAVEMENT
-  CONCRETE SIDEWALK
-  PROPOSED BUILDING
-  CG-1 CURB AND GUTTER
-  PROPOSED FIRE LANE CURB PAINT
-  PROPOSED PROPERTY LINE
-  EXISTING PROPERTY LINE
-  LANDSCAPE BUFFER



IMPROVEMENTS SHOWN IN THIS AREA ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY

Drawing name: K:\KAC_LB\268277000_150 & Ward Multifamily\2 Design\CD\Overall Site Plan.dwg C200 OVERALL SITE PLAN Nov 25, 2025, 2:28pm by Logan Green
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| DESIGNED BY: | LG |
| DRAWN BY: | LG |
| CHECKED BY: | PJ |

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CONSTRUCTION**



**OVERALL SITE
PLAN**

**150 & WARD
MULTIFAMILY
DEVELOPMENT**
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
11/25/2025
 KHA PROJECT NO.
268277000
 SHEET NUMBER

C200

SITE SUMMARY TABLE

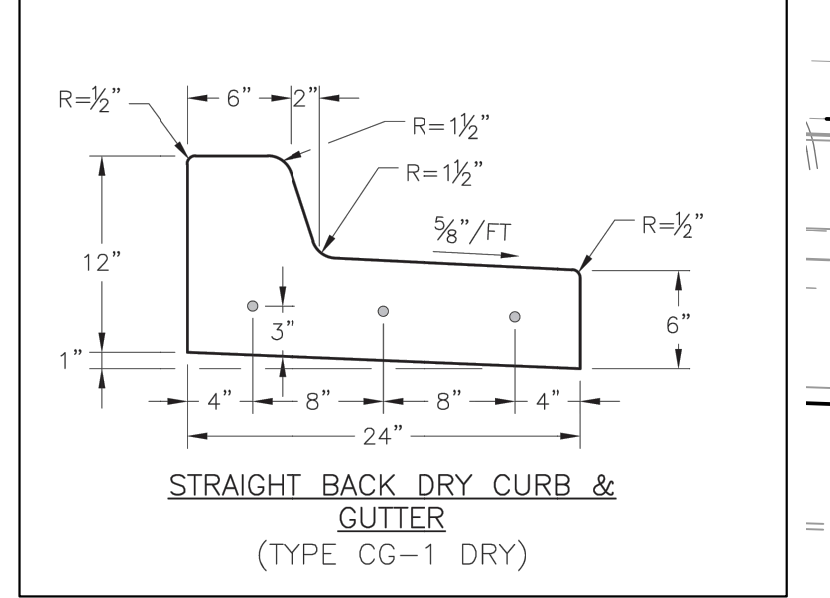
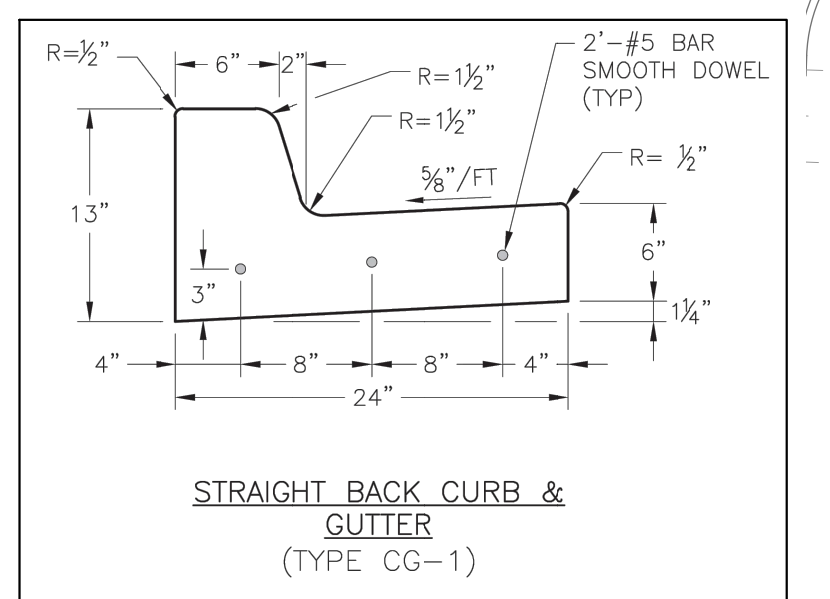
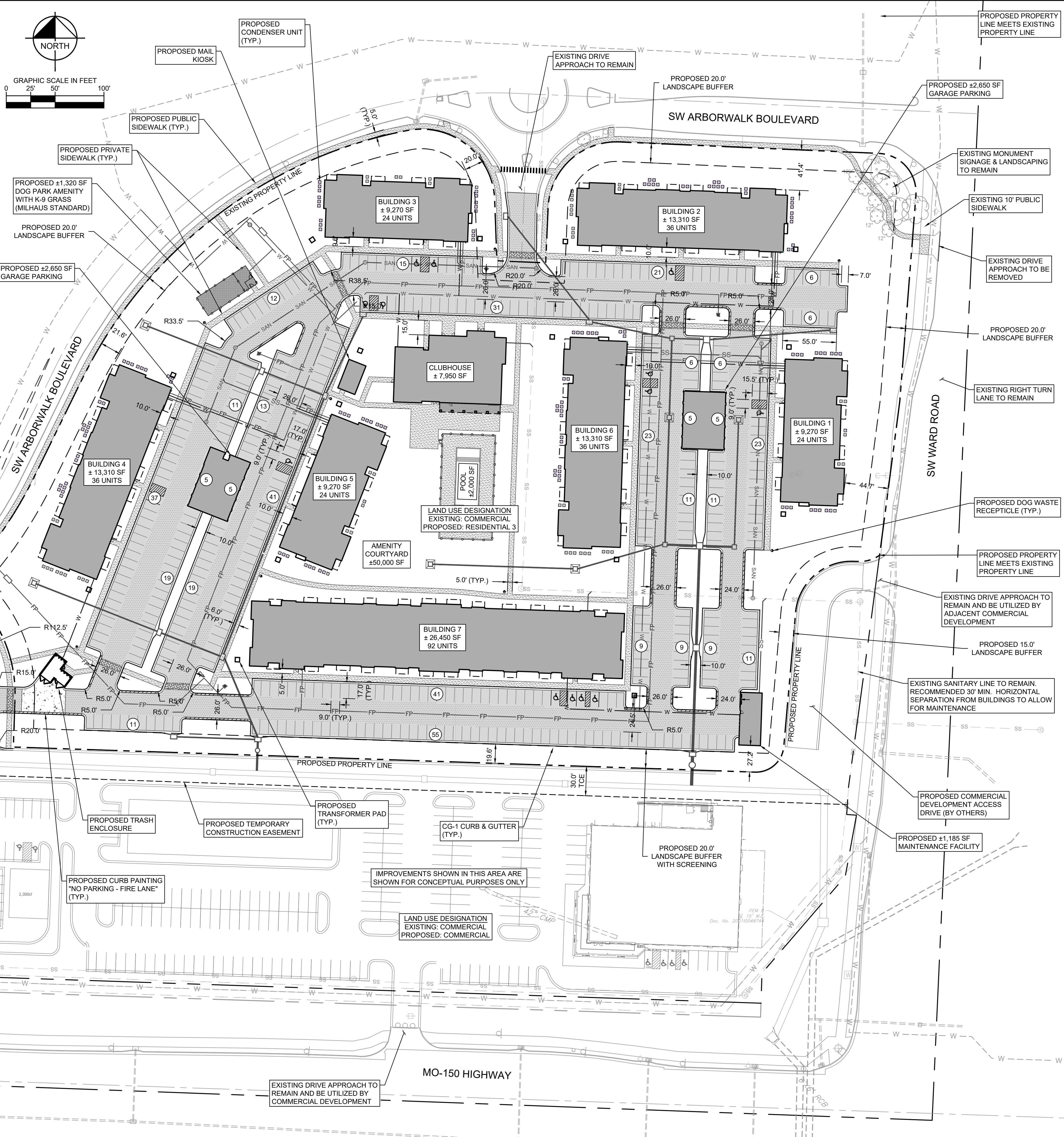
| ZONING | | |
|---|---------|-------|
| Existing | | PMIX |
| Proposed | | PMIX |
| APPROXIMATE TOTAL LAND AREA | | |
| Existing | 11.46 | Acres |
| RIGHT-OF-WAY | | |
| Existing | 0.00 | Acres |
| Proposed | 0.00 | Acres |
| APPROXIMATE NET LAND AREA | | |
| Existing | 11.46 | Acres |
| Proposed | 11.46 | Acres |
| OPEN SPACE AREA | | |
| Proposed | 3.78 | Acres |
| % of Site | 33.01% | |
| PROPOSED USES | | |
| Multi-Family | | |
| BUILDING INFORMATION | | |
| Number of Buildings | 8 | |
| 3 Story Building Height (ft) | 37'-1" | |
| 4 Story Building Height (ft) | 52'-9" | |
| Number of Units | 272 | |
| Total Gross Floor Area (SF) | 102,140 | |
| BUILDING COVERAGE, FAR & UNITS/ACRE | | |
| Building Coverage | 20.46% | |
| FAR | 0.63 | |
| Units/Acre | 23.73 | |
| OFF-STREET VEHICLE PARKING | | |
| Surface Stalls Provided | 454 | |
| Garage Stalls Provided | 20 | |
| Total Stalls Provided | 474 | |
| Total Stall Required* | 552* | |
| Surface Parking Ratio (Stalls/Unit) | 1.67 | |
| Garage Parking Ratio (Stalls/Unit) | 0.07 | |
| Total Parking Ratio (Stalls/Unit) | 1.74 | |
| LAND COVER RATIO | | |
| Total Impervious Area (Acres) | 6.37 | |
| Total Impervious Area (Percent) | 55.62 | |
| PRIVATE COMMON SPACE | | |
| Common Space Required (SF) (400 SF/UNIT) | 108,800 | |
| % of Common Space to be Used as Recreation | 40% | |
| Recreation Space Required (SF) | 43,520 | |
| Common Space Provided (SF) | 164,774 | |
| Recreation Space Provided (SF) | 51,320 | |
| * An Alternate Parking Plan Per Section 8.540 of Lee's Summit UDO was provided to compute total parking stalls required for the proposed development. | | |

SITE PLAN LEGEND

- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- PROPOSED BUILDING
- CG-1 CURB AND GUTTER
- PROPOSED FIRE LANE CURB PAINT
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER

SITE PLAN NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED SHALL BE 3-FEET, TYPICAL.
- ALL SIDEWALKS ADJACENT TO PARKING STALLS SHALL BE 6 FEET WIDE. ALL OTHER SIDEWALKS SHALL BE 5 FEET WIDE.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
- ALL PROPOSED SITE COMPONENTS, INCLUDING BUT NOT LIMITED TO SIGNAGE, EXTERIOR LIGHT FIXTURES, TRASH ENCLOSURES, AND GENERAL SITE LAYOUT, SHALL CONFORM TO THE M-150 CORRIDOR DEVELOPMENT OVERLAY (CDO) DISTRICT DESIGN STANDARDS, CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE ARTICLE 5, DIVISION VI, SECTION 5.510.



| | |
|---|------------|
| DATE | |
| REVISIONS | |
| No. | |
| DESIGNED BY: LG | |
| DRAWN BY: LG | |
| CHECKED BY: PJ | |
| SCALE: AS NOTED | |
| PRELIMINARY NOT FOR CONSTRUCTION | |
| | |
| ENLARGED SITE PLAN | |
| 150 & WARD MULTIFAMILY DEVELOPMENT DEVELOPMENT 150 HIGHWAY & SW WARD ROAD LEE'S SUMMIT, MISSOURI, 64082 | |
| ORIGINAL ISSUE: | 11/25/2025 |
| KHA PROJECT NO. | 268277000 |
| SHEET NUMBER | C201 |

Drawing name: K:\KAC_L\268277000_150 & Ward Multifamily\2 Design\CAD\DWG\SitePlan.dwg Nov 25, 2025 2:28pm by Logan Green
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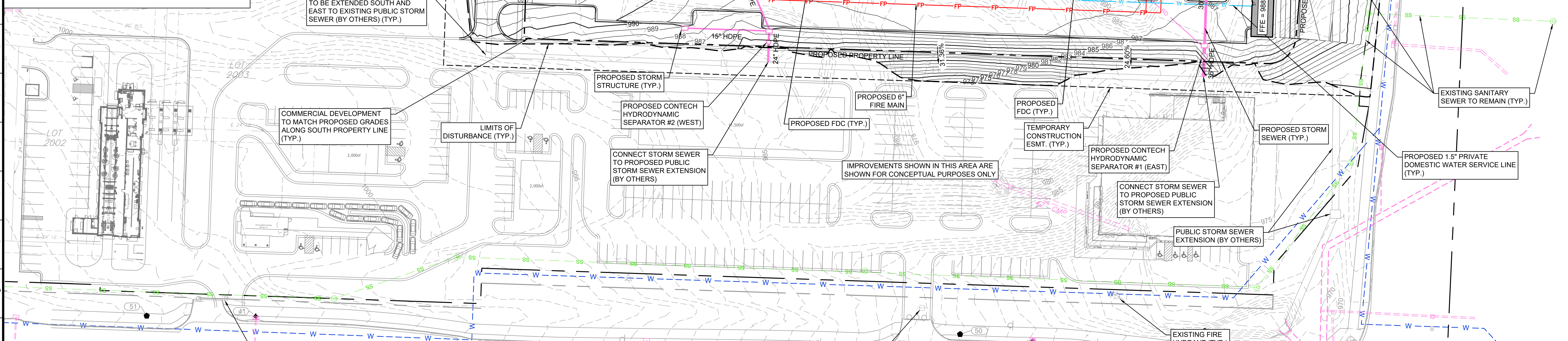
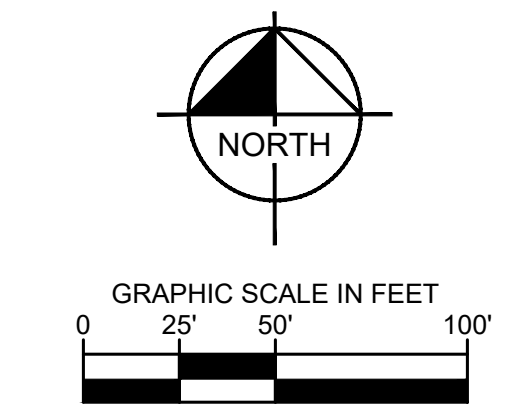
GRADING & UTILITY LEGEND

- PROPOSED BUILDING
- CG-1 CURB AND GUTTER
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER
- 700 FINISH GRADE MAJOR CONTOUR
- 701 FINISH GRADE MINOR CONTOUR
- 700 EXISTING GRADE MAJOR CONTOUR
- 701 EXISTING GRADE MINOR CONTOUR
- PROPOSED STORM STRUCTURE
- PROPOSED STORM PIPE
- EXISTING STORM STRUCTURE
- EXISTING STORM PIPE
- PROPOSED SANITARY SEWER MANHOLES
- PROPOSED PRIVATE SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING PUBLIC SANITARY SEWER PIPE
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING WATER STRUCTURE
- EXISTING FIRE HYDRANT
- EXISTING FIBER OPTIC VAULT
- EXISTING FIBER OPTIC LINE
- EXISTING POWER STRUCTURE

GRADING & UTILITY NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND UTILITIES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-GRADE ELEVATIONS FOR ALL PAVED AND UN-PAVED AREAS.
3. ALL GRADING OPERATIONS (EXCAVATION, FILL, COMPACTION, ETC.) SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
4. THE GEOTECHNICAL ENGINEER WILL BE DESIGNATED AND PAID FOR BY THE OWNER.
5. NO PAVEMENTS SHALL BE PLACED PRIOR TO APPROVAL OF THE SUB-GRADE BY THE GEOTECHNICAL ENGINEER.
6. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL "DRY" CURB & GUTTER.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE INDICATED.
9. PROPOSED SANITARY SEWER MAIN SHALL BE PUBLIC
10. PROPOSED STORM SEWER SHALL BE PRIVATE
11. PROPOSED WATER MAIN SHALL BE PRIVATE

LIMITS OF DISTURBANCE: 12.67 AC



| HYDRODYNAMIC SEPARATOR CALCULATIONS | | | |
|-------------------------------------|-----------------|---------------|-----------------|
| HDS #1 (EAST) | | HDS #2 (WEST) | |
| C | 0.80 | C | 0.80 |
| INTENSITY | 10.20 (IN./HR.) | INTENSITY | 10.20 (IN./HR.) |
| AREA | 5.9 AC. | AREA | 4.1 AC. |
| Q | 49 CFS | Q | 33 CFS |
| HDS UNIT | CDS 3035-6-C | HDS UNIT | CDS 3025-6-C |

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| | | | |

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 EXPIRES: 1/31/24

SCALE: AS NOTED
 DESIGNED BY: LG
 DRAWN BY: LG
 CHECKED BY: PJ



GRADING AND UTILITY PLAN

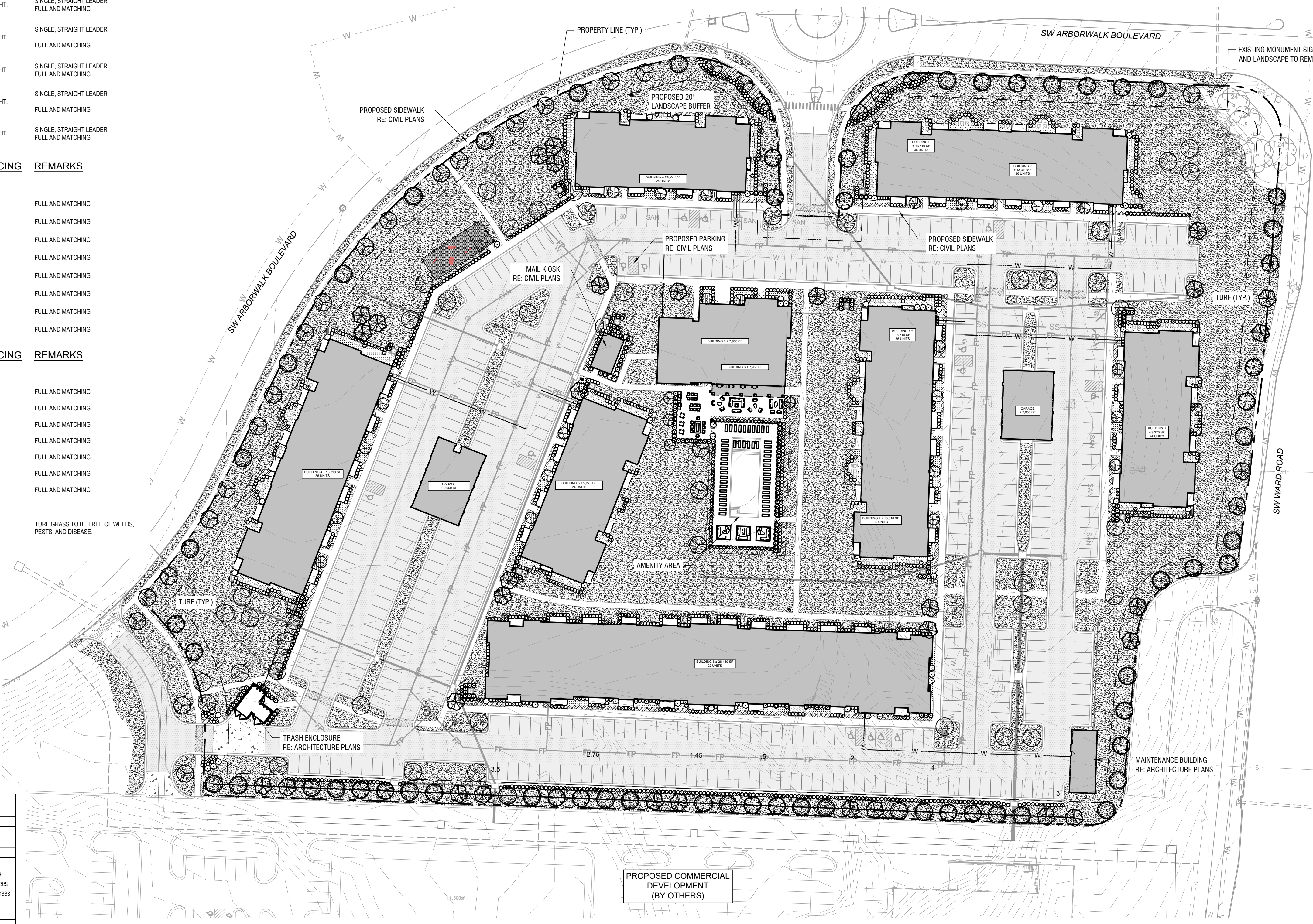
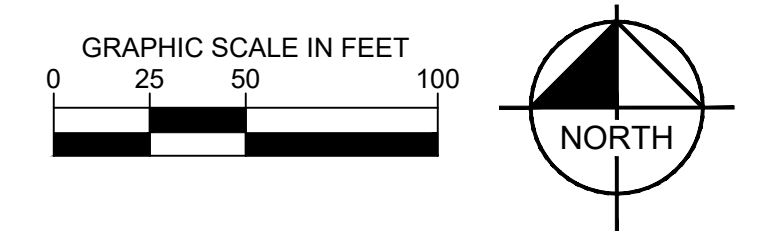
150 & WARD MULTIFAMILY DEVELOPMENT
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE: 11/25/2025
 KHA PROJECT NO. 268277000
 SHEET NUMBER
C300

Drawing name: K:\KAC_LITE\268277000_150 & Ward Multifamily\2 Design\CAD\Drawings\Sheet\1 - GRADING AND UTILITY PLAN Nov 25, 2025 2:38pm by: Logan Green
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NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | CONT. | SIZE | SPACING | REMARKS |
|-------------------------|------------|-----|---|-------------|-----------------|---------------|---|
| CONIFEROUS TREES | | | | | | | |
| TG | 36 | | THUJA STANDISHII * PULICATA / GREEN GIANT / GREEN GIANT ARBORVITAE | B & B | 8' - 10' HT. | | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| SHADE TREES | | | | | | | |
| CI | 42 | | CARYA ILLINOENSIS / PECAN HICKORY | B & B | 2" CAL. MIN. | 12' - 14' HT. | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| LT | 25 | | LIRIODENDRON TULIPIFERA 'AURO-MARGINATUM' / MAJESTIC BEAUTY TULIPTREE | B & B | 2" CAL. MIN. | 12' - 14' HT. | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| MA | 34 | | MAGNOLIA ACUMINATA / CUMCUMBERTREE | B & B | 2" CAL. MIN. | 12' - 14' HT. | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| MG | 27 | | MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S SOUTHERN BOGUE MAGNOLIA | B & B | 2" CAL. MIN. | 12' - 14' HT. | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| QL | 29 | | QUERCUS LYRATA / OVERCUP OAK | B & B | 2" CAL. MIN. | 12' - 14' HT. | SINGLE, STRAIGHT LEADER FULL AND MATCHING |
| SHRUBS | | | | | | | |
| BG | 212 | | BUXUS * 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD | CONT. | 3" HT. MIN. | 42" O.C. | FULL AND MATCHING |
| CE | 12 | | COLOCASIA ESCULENTA 'PINK CHINA' / PINK CHINA ELEPHANT EAR | 3 GAL. MIN. | 2" HT. MIN. | 24" O.C. | FULL AND MATCHING |
| HO | 384 | | HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA | CONT. | 3" HT. MIN. | 42" O.C. | FULL AND MATCHING |
| IG | 434 | | ILEX GLABRA 'DENSEA' / DENSE INKERRY HOLLY | CONT. | 3" HT. MIN. | 42" O.C. | FULL AND MATCHING |
| JR | 182 | | JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER | CONT. | 4" HT. MIN. | 48" O.C. | FULL AND MATCHING |
| MS | 57 | | MAGNOLIA * 'ROSE MARIE' / ROSE MARIE MAGNOLIA | CONT. | 3" HT. MIN. | 48" O.C. | FULL AND MATCHING |
| RC | 472 | | RHODODENDRON * 'CUNNINGHAM'S WHITE' (H-2) / CUNNINGHAM'S WHITE RHODODENDRON | CONT. | 3" HT. MIN. | 42" O.C. | FULL AND MATCHING |
| TM | 79 | | TAXUS * 'MEDIA' / HICKS' / HICKS' ANGLO-JAPANESE YEW | CONT. | 3" HT. MIN. | 42" O.C. | FULL AND MATCHING |
| GROUND COVERS | | | | | | | |
| BM | 850 | | BRUNNERA MACROPHYLLA 'JACK FROST' / JACK FROST BRUNNERA | CONT. | 8" HT. X 10" W. | 15" O.C. | FULL AND MATCHING |
| HR | 559 | | HOSTA 'ROYAL STANDARD' / ROYAL STANDARD PLANTAIN LILY | CONT. | 8" HT. X 10" W. | 30" O.C. | FULL AND MATCHING |
| HW | 231 | | HELLEBORUS X 'WALHELIVOR' / IVORY PRINCE HELLEBORE | CONT. | 8" HT. X 10" W. | 18" O.C. | FULL AND MATCHING |
| IP | 682 | | IRIS PALLIDA 'VARIEGATA' / VARIEGATED SWEET IRIS | CONT. | 8" HT. X 10" W. | 15" O.C. | FULL AND MATCHING |
| LS | 3,942 | | LIRIOPE SPICATA / CREEPING LILYTURF | CONT. | 8" HT. X 10" W. | 15" O.C. | FULL AND MATCHING |
| NH | 406 | | NARCISSUS SP. / HARDY NARCISSUS | CONT. | 8" HT. X 10" W. | 15" O.C. | FULL AND MATCHING |
| PT | 389 | | PARTHENOISSUS TRICUSPIDATA / JAPANESE CREEPER | CONT. | 8" HT. X 10" W. | 40" O.C. | FULL AND MATCHING |
| TURF | | | | | | | |
| TURF | 175,609 SF | | TALL FESCUE / FESTUCA ARUNDINACEA | TURF | N/A | N/A | TURF GRASS TO BE FREE OF WEEDS, PESTS, AND DISEASE. |



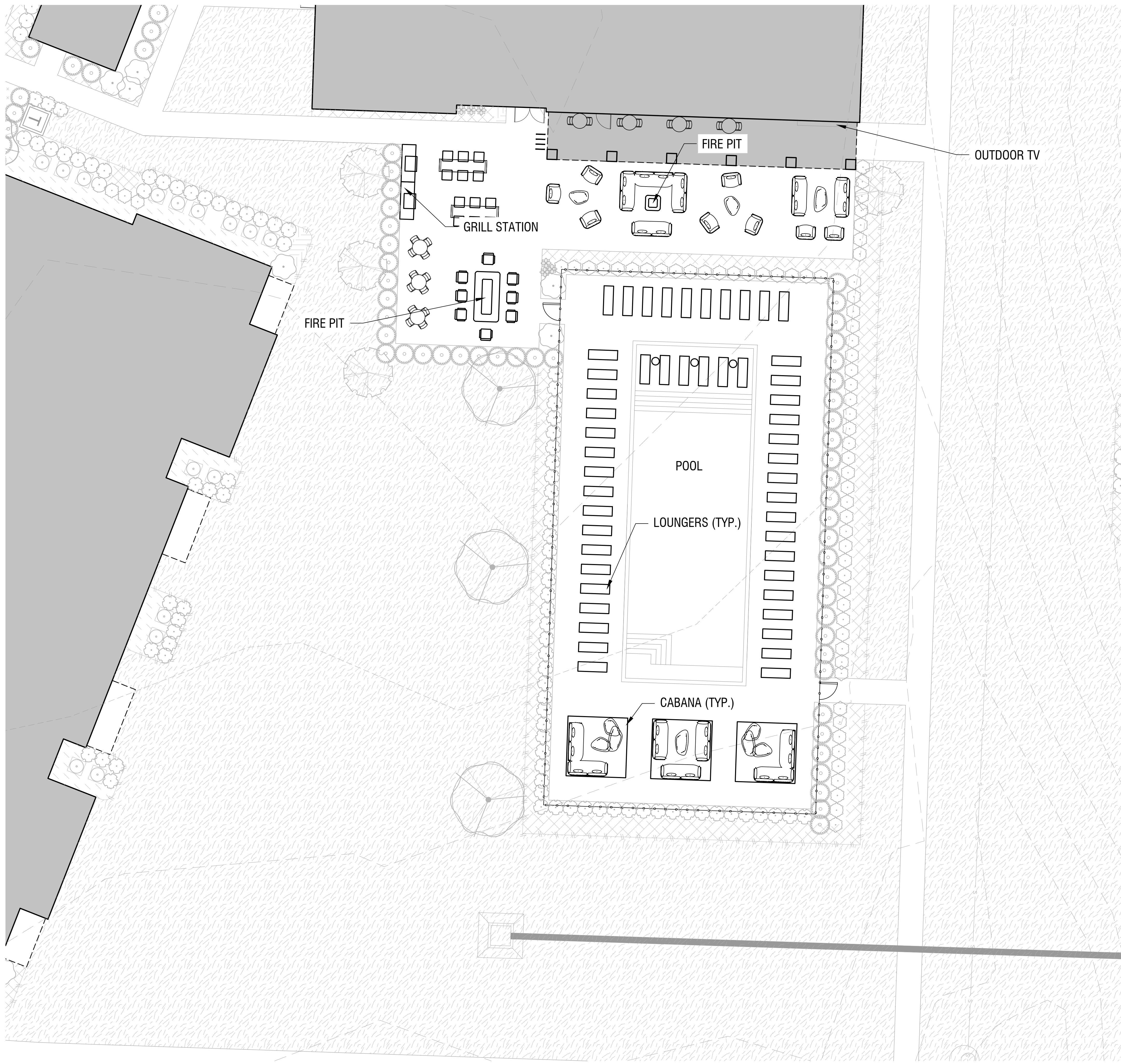
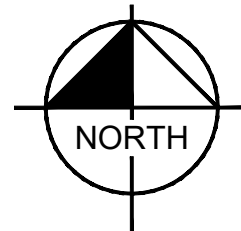
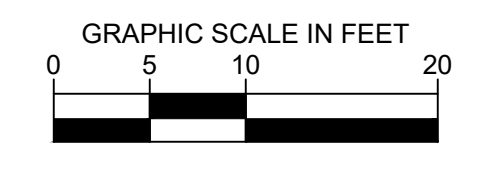
| Lee Summit, Missouri - Landscape Data Table | | |
|--|---|---|
| Site Area: 11.46 acres (499,197 SF) - Zoning PMIX | | |
| | REQUIRED | PROVIDED |
| Section 8.790 - Landscape Minimum Requirements | | |
| A. Street Frontage | | |
| One tree shall be planted for each 30 feet of street frontage (public or private) within the landscape setback | Yes | Yes |
| SW Ward Rd - 325 LF / 30' = 11 Trees SW Arborwalk Blvd - 1,299 LF / 30' = 44 Trees Private Commercial Drive (W) - 161 LF / 30' = 6 Trees Private Commercial Drive (SE) - 1,055 LF / 30' = 36 Trees | SW Ward Rd - 11 Trees SW Arborwalk Blvd - 44 Trees Private Comm. Drive (W) - 6 Trees Private Comm. Drive (SE) - 36 Trees | SW Ward Rd - 11 Trees SW Arborwalk Blvd - 44 Trees Private Comm. Drive (W) - 6 Trees Private Comm. Drive (SE) - 36 Trees |
| A minimum of 20 feet wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet. | Yes | Yes |
| One shrub shall be provided for every 20 feet of street frontage within the landscape setback abutting street frontage. | Yes | Yes |
| SW Ward Rd - 325 LF / 20' = 17 Shrubs SW Arborwalk Blvd - 1,299 LF / 20' = 65 Shrubs Private Commercial Drive (W) - 161 LF / 20' = 9 Shrubs Private Commercial Drive (SE) - 1,055 LF / 20' = 53 Shrubs | SW Ward Rd - 17 Shrubs SW Arborwalk Blvd - 65 Shrubs Private Comm. Drive (W) - 9 Shrubs Private Comm. Drive (SE) - 53 Shrubs | SW Ward Rd - 17 Shrubs SW Arborwalk Blvd - 65 Shrubs Private Comm. Drive (W) - 9 Shrubs Private Comm. Drive (SE) - 53 Shrubs |
| B. Open Yard Areas | | |
| The minimum open yard area landscaping requirements shall be two shrubs per 5,000 SF of total lot area (excluding building footprint area). | 158 Shrubs | 158 Shrubs |
| 499,197 SF Lot Area - 106,129 SF Building Footprint = 393,068 SF / 5,000 = 79 * 2 = 158 Shrubs | | |
| In addition to the trees required based on street frontage, additional trees shall be required at a ratio of one tree for every 5,000 SF of lot area not covered by buildings/structures. | 79 Trees | 79 Trees |
| 499,197 SF Lot Area - 117,767 SF Building Footprint = 381,430 SF / 5,000 = 79 Trees | | |
| Section 8.810 - Parking Lot Landscaping and Trees | | |
| Landscape islands, strips or other planting areas shall be located within the parking lot and constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. | 8,757 SF Landscape Island Planting Areas | 8,757 SF Landscape Island Planting Areas |
| 175,139 SF Area Devoted to Park * 5% = 8,757 SF Landscape Island Planting Areas | | |
| A landscape island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space. | Yes | Yes |
| Section 8.820 - Screening, Parking Lot | | |
| For any parking lot designed or intended to accommodate five cars or more and any area set aside for loading or unloading of trucks or vans, if such parking lot or loading area is visible from a street right of way, a visual screen shall be provided as required below. | Yes | Yes |
| Screening to a height of two and one-half feet must be provided along the edge of parking lot or loading area closest to and parallel to the street. A driveway to the parking lot or loading area may interrupt the screening. | Yes | Yes |
| Planted only screening: a hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application. | Yes | Yes |
| 325 LF Northeast Parking Frontage / 40' * 12 = 98 Shrubs 595 LF South Parking Frontage / 40' * 12 = 179 Shrubs | 277 Shrubs | 277 Shrubs |

- PLANTING NOTES:**
- REFER TO LANDSCAPE SPECIFICATIONS FOR REQUIRED PRE-CONSTRUCTION SUBMITTALS.
 - CONTRACTOR SHALL SOD TO LIMITS OF DISTURBANCE.
 - ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
 - LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
 - TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
 - PLANTS MASSSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
 - PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS—REFERENCE LANDSCAPE PLAN.
 - ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH—REFERENCE LANDSCAPE PLAN.
 - LAY BUFFALOGRASS SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE BUFFALOGRASS SOD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
 - CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
 - ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER LANDSCAPE DETAILS (12" DEPTH MIN.). FINISHED GRADES OF LANDSCAPE BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
 - ALL SOD AREAS SHALL RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5; AND BE FREE OF TRASH, DEBRIS, INSECTS, STONES, WEEDS, AND TWIGGS/BRANCHES. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
 - FERTILIZER: FERTILIZE SEEDED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE. FERTILIZE SODDED AREAS WITH THE SAME FERTILIZER TYPE AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION G FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.

| | |
|---|------------|
| SCALE: | AS NOTED |
| DESIGNED BY: | CMS |
| DRAWN BY: | CMS |
| CHECKED BY: | AMS |
| DATE: | |
| REVISIONS: | |
| | |
| | |
| OVERALL LANDSCAPE PLAN | |
| 150 & WARD MULTIFAMILY DEVELOPMENT 150 HIGHWAY & SW WARD ROAD LEE'S SUMMIT, MISSOURI 64082 | |
| ORIGINAL ISSUE: | 10/27/2025 |
| KHA PROJECT NO: | 268277000 |
| SHEET NUMBER: | L100 |

Drawing name: C:\Users\CARSON\OneDrive\Documents\150Ward\150Ward_L100_Landscape_Plan.dwg Oct 27, 2025 6:00pm By: Carven Sibber
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Drawing name: C:\Users\CARSON\OneDrive\Desktop\150\150.dwg LANDSCAPE ENLARGEMENT Oct 27, 2025 8:00pm by: Carson Schaefer
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PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME

CONIFEROUS TREES

TG THUJA STANDISHII * PLOCATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE

SHADE TREES

CI CARYA ILLINOENSIS / PECAN HICKORY

LT LIRIODENDRON TULIPIFERA 'AURO-MARGINATUM' / MAJESTIC BEAUTY® TULIPTREE

MA MAGNOLIA ACUMINATA / CUCUMBERTREE

MG MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S SOUTHERN BOGUE MAGNOLIA

QL QUERCUS LYRATA / OVERCUP OAK

SHRUBS

BG BUXUS * 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD

CE COLOCASIA ESCULENTA 'PINK CHINA' / PINK CHINA ELEPHANT EAR

HQ HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA

IG ILEX GLABRA 'DENSA' / DENSA INKBERRY HOLLY

JS JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER

MR MAGNOLIA * 'ROSE MARIE' / ROSE MARIE MAGNOLIA

RC RHODODENDRON * 'CUNNINGHAM'S WHITE' (H-2) / CUNNINGHAM'S WHITE RHODODENDRON

TM TAXUS * MEDIA 'HICKSII' / HICK'S ANGLO-JAPANESE YEW

GROUND COVERS

BM BRUNNERA MACROPHYLLA 'JACK FROST' / JACK FROST BRUNNERA

HR HOSTA ROYAL STANDARD / ROYAL STANDARD PLANTAIN LILY

HW HELLEBORUS X 'WALHELVOR' / IVORY PRINCE HELLEBORE

IP IRIS PALLIDA 'VARIEGATA' / VARIEGATED SWEET IRIS

LS LIRIOPE SPICATA / CREEPING LILYTURF

NH NARCISSUS SP. / HARDY NARCISSUS

PT PARTHENOISSIS TRICUSPIDATA / JAPANESE CREEPER

TURF

TURF TALL FESCUE / FESTUCA ARUNDINACEA

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |

Kimley»Horn
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LEE'S SUMMIT, MISSOURI 64082
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MO CERTIFICATE OF AUTHORITY #02030605
EXPIRES: 12/31/26

SCALE: AS NOTED
DESIGNED BY: CMS
DRAWN BY: CMS
CHECKED BY: AMS

**PRELIMINARY
NOT FOR
CONSTRUCTION**



**AMENITY
SPACE
HARDSCAPE
PLAN**

**150 & WARD
MULTIFAMILY
DEVELOPMENT**
150 HIGHWAY & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
10/27/2025

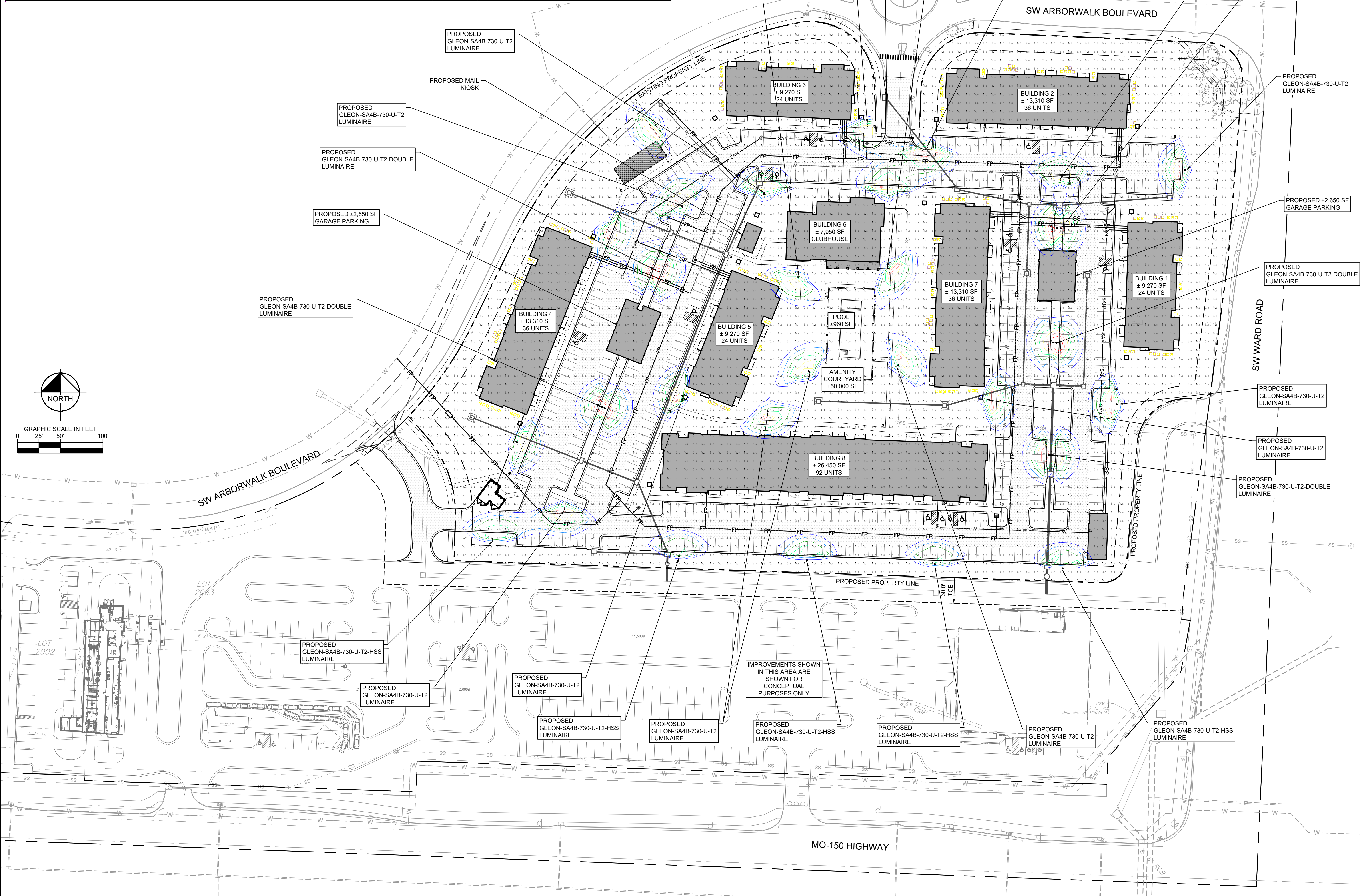
KHA PROJECT NO.
268277000

SHEET NUMBER

L101

| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description |
|--------|-----|----------------------------|-------------|-------------------|-------|-------------------------|
| | 5 | GLEON-SA4B-730-U-T2-HSS | Single | N.A. | 1.000 | GLEON-SA4B-730-U-T2-HSS |
| | 5 | GLEON-SA4A-730-U-T2-DOUBLE | Back-Back | N.A. | 1.000 | GLEON-SA4A-730-U-T2 |
| | 19 | GLEON-SA4B-730-U-T2 | Single | N.A. | 1.000 | GLEON-SA4B-730-U-T2 |

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|--------------------------|-------------|-------|------|------|-----|---------|---------|
| Photometric Calculations | Illuminance | Fc | 1.23 | 10.4 | 0.0 | N.A. | N.A. |



Drawing name: K:\KAC_L\268277000_150 & Ward Multifamily\2 Design\CAD\PH100 PHOTOMETRIC PLAN Nov 10, 2025 8:36am by Logan Green
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| | | | |

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 EXPIRES: 1/31/24

SCALE: AS NOTED
 DESIGNED BY: LG
 DRAWN BY: LG
 CHECKED BY: PJ

PRELIMINARY
 NOT FOR
 CONSTRUCTION



**PHOTOMETRIC
 PLAN**

**150 & WARD
 MULTIFAMILY
 DEVELOPMENT**
 150 HIGHWAY & SW WARD ROAD
 LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
 11/10/2025
 KHA PROJECT NO.
 268277000
 SHEET NUMBER

PH100



1 BLDG A-Front Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Parking - All Buildings



2 BLDG A- Rear Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Street at Buildings 1, 3,

Material Percentage Breakdown

| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
|-------------------|------------|-----|--------------|-------|-------|---------|
| Building A | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 40% | 9% | 9% | 13% | 29% | 100% |
| Rear | 49% | 10% | 5% | 11% | 25% | 100% |
| Left | 45% | 16% | 9% | 13% | 17% | 100% |
| Right | 45% | 16% | 9% | 13% | 17% | 100% |

Exterior Material Finish Legend

| | |
|--|--|
| 1 Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray | 9 Canopies Framed in Canopy with Cement Panel Finish Color: Black |
| 1a Rowlock Sill - Same as 01 | 10 Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black |
| 2 Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte | 11 Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black |
| 3 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte | 12 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding infill Color: Black Magic Texture: Smooth / Matte |
| 4 Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Smooth / Matte | W1 Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E |
| 5 Fiber Cement Panel Siding / Horizontal lap Siding Color: Taupe Tone Texture: Smooth / Matte | S1 Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E |
| 6 Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth | D1 Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White |
| 7 Pre-finished Metal Coping Color: Match Trim | D2 Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| 8 Pre-finished Aluminum Railings Color: Black | D3 Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| | D4 Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding |
| | D5 Single Door 3'-0" x 8'-8" Exterior HM Door & Frame Color: Door & Frames painted Black |
| | R1 Architectural Shingles Color: Black |

Note: All brick lintels shall be galvanized; do not paint.



3 BLDG A-Right Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Street at Buildings 1 & 3



4 BLDG A-Left Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Street at Buildings 1 & 3

a proposed development for: Milhaus
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

date
11-10-2025
drawn by
TJM
checked by
TJM
revisions

sheet number
PDP - A1
Bldg Type A - Exterior Elevations

drawing type
preliminary
project number
22239



1 BLDG B-Front Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Parking - All Buildings



2 BLDG B-Rear Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2 & 4

Material Percentage Breakdown

| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
|-------------------|------------|-----|--------------|-------|-------|---------|
| Building B | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 42% | 15% | 5% | 10% | 28% | 100% |
| Rear | 43% | 10% | 11% | 10% | 26% | 100% |
| Left | 44% | 16% | 10% | 13% | 17% | 100% |
| Right | 44% | 16% | 10% | 13% | 17% | 100% |

Exterior Material Finish Legend

| | |
|--|--|
| 1 Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray | 9 Canopies Framed in Canopy with Cement Panel Finish Color: Black |
| 1a Rowlock Sill - Same as 01 | 10 Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black |
| 2 Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte | 11 Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black |
| 3 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte | 12 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Infill Color: Black Magic Texture: Smooth / Matte |
| 4 Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Smooth / Matte | W1 Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E |
| 5 Fiber Cement Panel Siding / Horizontal Lap Siding Color: Taupe Tone Texture: Smooth / Matte | S1 Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E |
| 6 Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth | D1 Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White |
| 7 Pre-finished Metal Coping Color: Match Trim | D2 Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| 8 Pre-finished Aluminum Railings Color: Black | D3 Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| | D4 Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding |
| | D5 Single Door 3'-0" x 8'-0" Exterior HM Door & Frame Color: Door & Frames painted Black |
| | R1 Architectural Shingles Color: Black |

Note: All brick lintels shall be galvanized; do not paint.



3 BLDG B-Right Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2 & 4



4 BLDG B-Left Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2

a proposed development for: Milhaus
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

date
11-10-2025
drawn by
TJM
checked by
TJM
revisions

sheet number
PDP - A2

Blgd Type B - Exterior Elevations

drawing type
preliminary
project number
22239



1 BLDG C-Front Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking



2 BLDG C-Rear Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Greenspace

| Exterior Material Finish Legend | |
|--|---|
| 1 Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray | 9 Canopies Framed in Canopy with Cement Panel Finish Color: Black |
| 1a Rowlock Sill - Same as 01 | 10 Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black |
| 2 Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte | 11 Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black |
| 3 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte | 12 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Infill Color: Black Magic Texture: Smooth / Matte |
| 4 Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Smooth / Matte | W1 Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E |
| 5 Fiber Cement Panel Siding / Horizontal lap Siding Color: Taupe Tone Texture: Smooth / Matte | S1 Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E |
| 6 Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth | D1 Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White |
| 7 Pre-finished Metal Coping Color: Match Trim | D2 Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| 8 Pre-finished Aluminum Railings Color: Black | D3 Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black |
| | D4 Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding |
| | D5 Single Door 3'-0" x 8'-8" Exterior HM Door & Frame Color: Door & Frames painted Black |
| | R1 Architectural Shingles Color: Black |

Note: All brick lintels shall be galvanized; do not paint.

| Material Percentage Breakdown | | | | | | |
|-------------------------------|------------|-----|--------------|-------|-------|---------|
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
| Building C | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 34% | 19% | 3% | 18% | 26% | 100% |
| Rear | 33% | 22% | 3% | 16% | 26% | 100% |
| Left | 58% | 0% | 0% | 31% | 11% | 100% |
| Right | 58% | 0% | 0% | 31% | 11% | 100% |



4 BLDG C-Left Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking



3 BLDG C-Right Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking

a proposed development for: Milhaus
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

date
11-10-2025
drawn by
TJM
checked by
TJM
revisions

sheet number
PDP - A3
Bldg Type C - Exterior Elevations

drawing type
preliminary
project number
22239



2 3D Building B
 scale:



1 3D Building A
 scale:



3 3D Building C
 scale:

a proposed development for: Milhaus
150 & Ward Multi-Family
 150 Highway & SW Ward Road
 Lee's Summit, Missouri 64082

date
 11-10-2025
 drawn by
 TJM
 checked by
 TJM
 revisions



sheet number
PDP - A4
 Exterior 3d Views

drawing type
 preliminary
 project number
 22239

Exterior Material Finish Legend

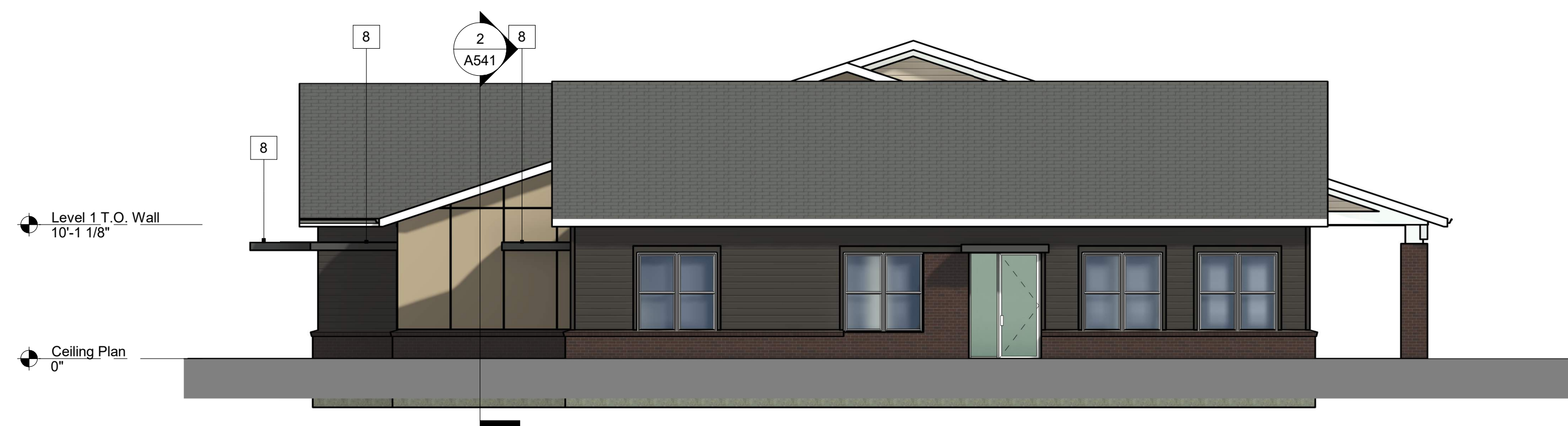
| | |
|----|--|
| 1 | Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray |
| 1a | Rowlock Sill - Same as 01 |
| 2 | Fiber Cement Siding - 6" Horizontal Lap Siding Color: Urbane Bronze Texture: Cedar Mill |
| 3 | Fiber Cement Siding - 6" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte |
| 4 | Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Stucco |
| 5 | Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: Off-White or matched to siding Texture: Smooth at 8" Lapp Texture to Match Siding at 6" Lapp |
| 6 | Aluminum Canopies Pre Manufactured Bolt on Canopy Color: Black |
| 7 | Fiber Cement Panel w/ Batten System Color: Taupe Tone Texture: Stucco |
| 8 | Aluminum Canopies Pre Manufactured Bolt on Canopy Color: Black |
| R1 | Architectural Shingles Color: Black |
| W1 | Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E |

Material Percentage Breakdown

| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
|------------------|------------|-----|--------------|-------|-------|---------|
| Clubhouse | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 39% | 2% | 19% | 12% | 28% | 100% |
| Rear | 47% | 11% | 2% | 17% | 23% | 100% |
| Left | 56% | 0% | 20% | 13% | 11% | 100% |
| Right | 37% | 0% | 17% | 22% | 24% | 100% |



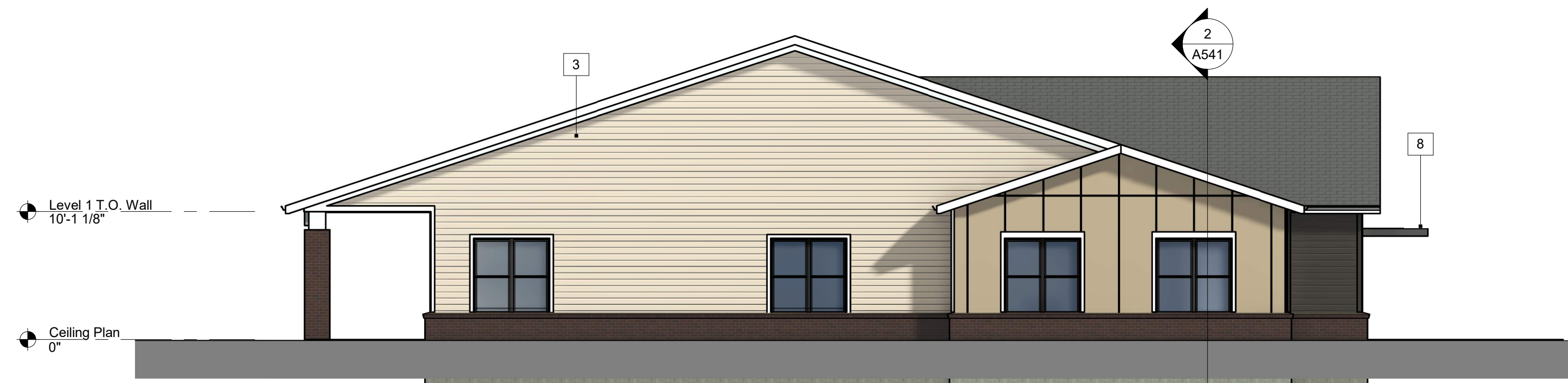
1 Front
scale: 1/8" = 1'-0"
Elevation Faces Parking



2 Right
scale: 1/8" = 1'-0"
Elevation Faces Greenspace



3 Rear
scale: 1/8" = 1'-0"
Elevation Faces Greenspace



4 Left
scale: 1/8" = 1'-0"
Elevation Faces Greenspace

a proposed development for: **Milhaus**
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

date
11-10-2025
drawn by
TJM
checked by
TJM
revisions

sheet number
PDP-A5
Clubhouse Exterior Elevations

drawing type
preliminary
project number
22239



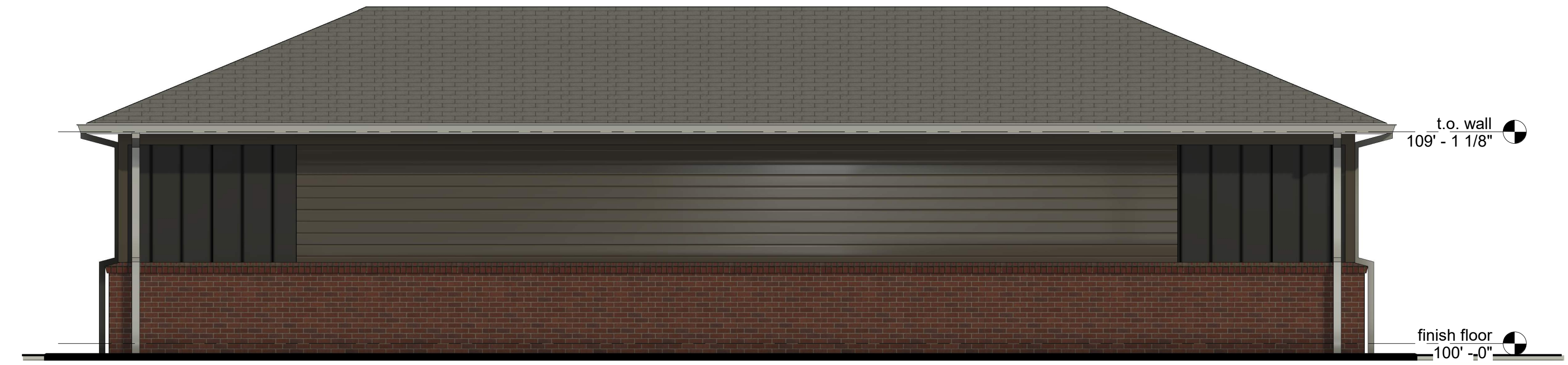
1 East Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



2 North Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



3 West Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



4 South Elevation
scale: 1/4" = 1'-0"
Elevation Faces Street



5 Perspective
scale: NTS

| Exterior Material Finish Legend | |
|---------------------------------|--|
| 1 | Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray |
| 1a | Rowlock Sill - Same as 01 |
| 2 | Fiber Cement Siding - 6" Horizontal Lap Siding Color: Urbane Bronze Texture: Cedar Mill |
| 4 | Fiber Pane w/ Batten System Color: Black Magic Texture: Smooth / Matte |
| 6 | Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: Off-White Texture: Smooth at 8" Lapp Texture to Match Siding at 6" Lapp |
| R1 | Architectural Shingles Color: Black |

| Material Percentage Breakdown | | | | | | |
|-------------------------------|------------|-----|--------------|-------|-------|---------|
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
| Maintenance | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 46% | 22% | 0% | 32% | 0% | 100% |
| Rear | 42% | 15% | 0% | 43% | 0% | 100% |
| Left | 36% | 21% | 0% | 43% | 0% | 100% |
| Right | 36% | 21% | 0% | 43% | 0% | 100% |

Note: All brick lintels shall be galvanized; do not paint.

a proposed development for: Milhaus
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

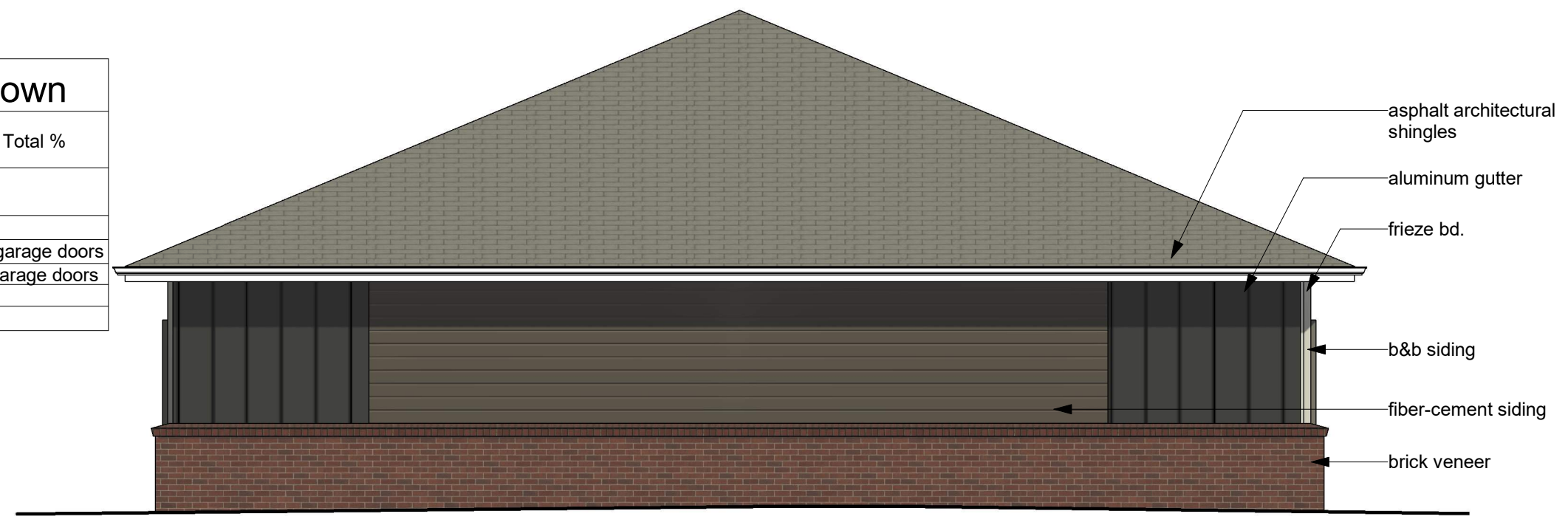
date
11-10-2025
drawn by
DAE
checked by
TJM
revisions

sheet number
PDP-A6
Elevations and Perspective

drawing type
Preliminary
project number
22239

Material Percentage Breakdown

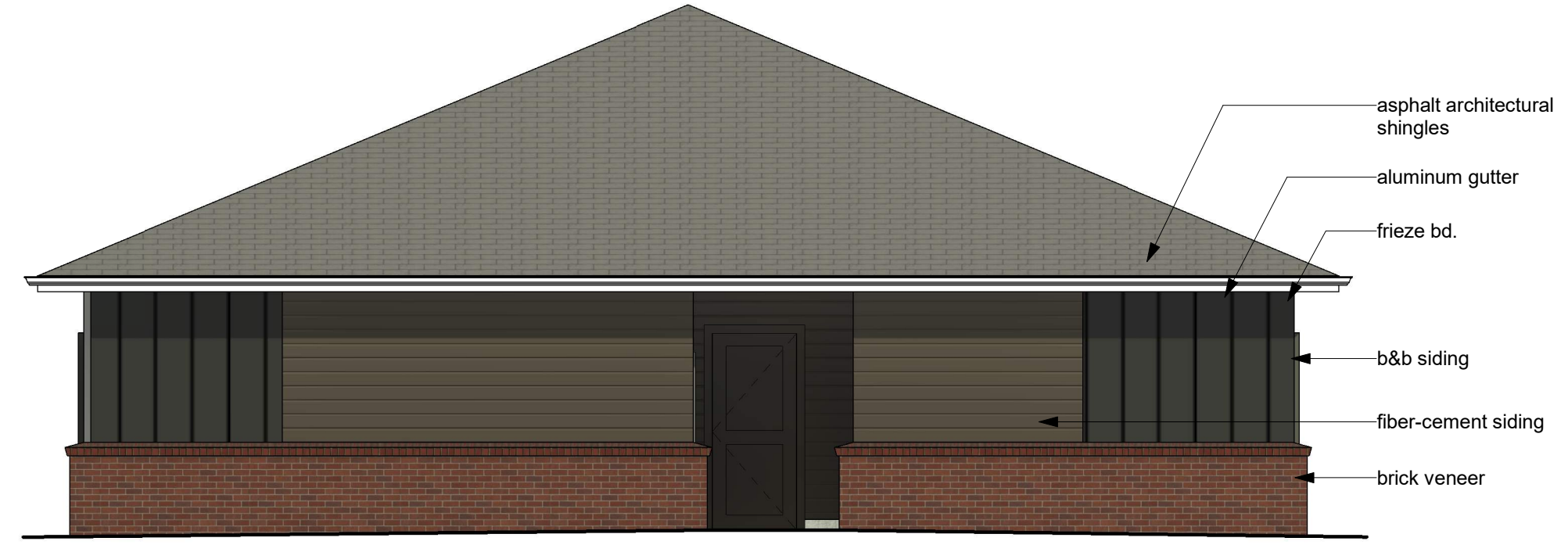
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
|-----------------|---|-----|--------------|-------|-------|---------|
| Garage 2 | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 20% Lap, 12% B&B, 12% brick, 56% metal garage doors | | | | | |
| Rear | 26% Lap, 12% B&B, 17% brick, 45% metal garage doors | | | | | |
| Left | 39% Lap, 22% B&B, 39% brick | | | | | |
| Right | 43% Lap, 22% B&B, 35% brick | | | | | |



2 Garage #2 North Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevations Faces Parking



1 Garage #2 West Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevations Faces Parking



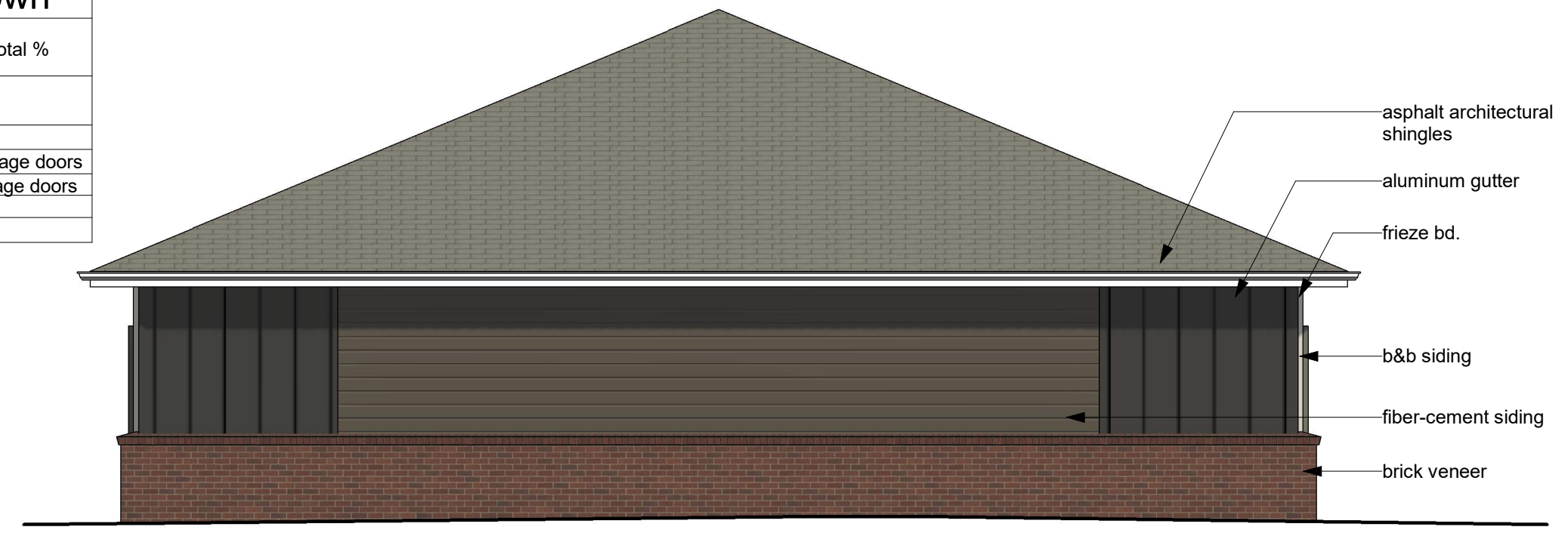
4 Garage #2 South Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevation Faces Parking



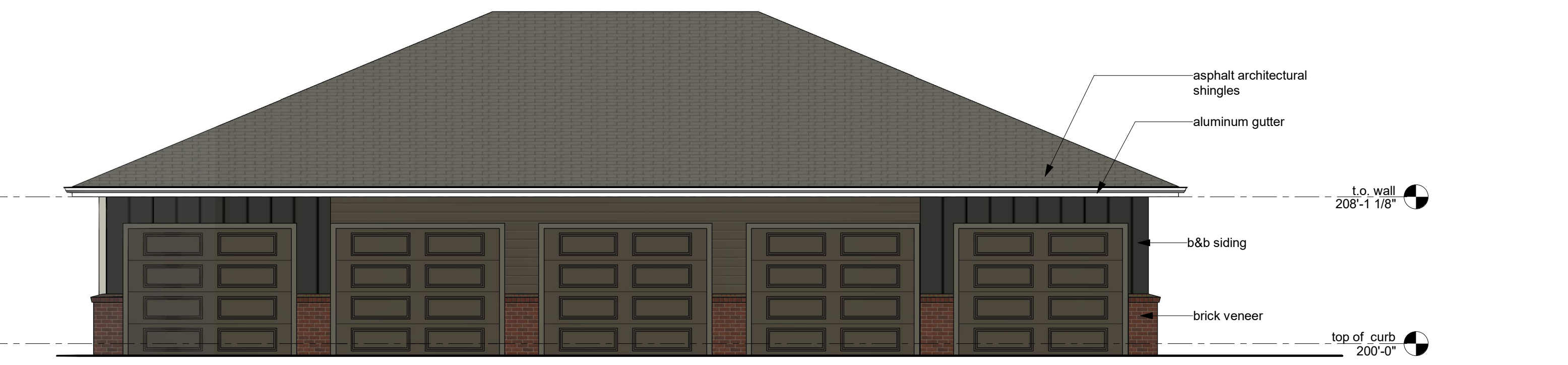
3 Garage #2 East Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevation Faces Parking

Material Percentage Breakdown

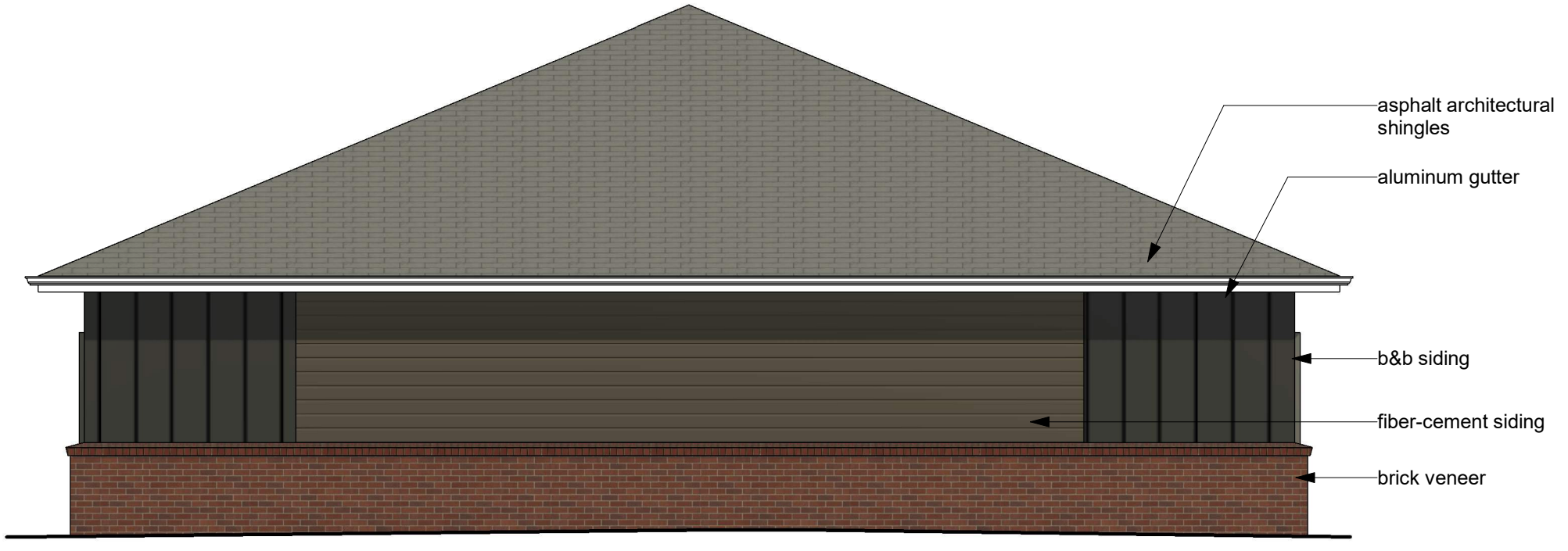
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
|-----------------|--|-----|--------------|-------|-------|---------|
| Garage 1 | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 18% Lap, 12% B&B, 8% brick, 62% metal garage doors | | | | | |
| Rear | 18% Lap, 12% B&B, 8% brick, 62% metal garage doors | | | | | |
| Left | 39 Lap, 22% B&B, 39% brick | | | | | |
| Right | 39 Lap, 22% B&B, 39% brick | | | | | |



6 Garage #1 North Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



5 Garage #1 West Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



8 Garage #1 South Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking

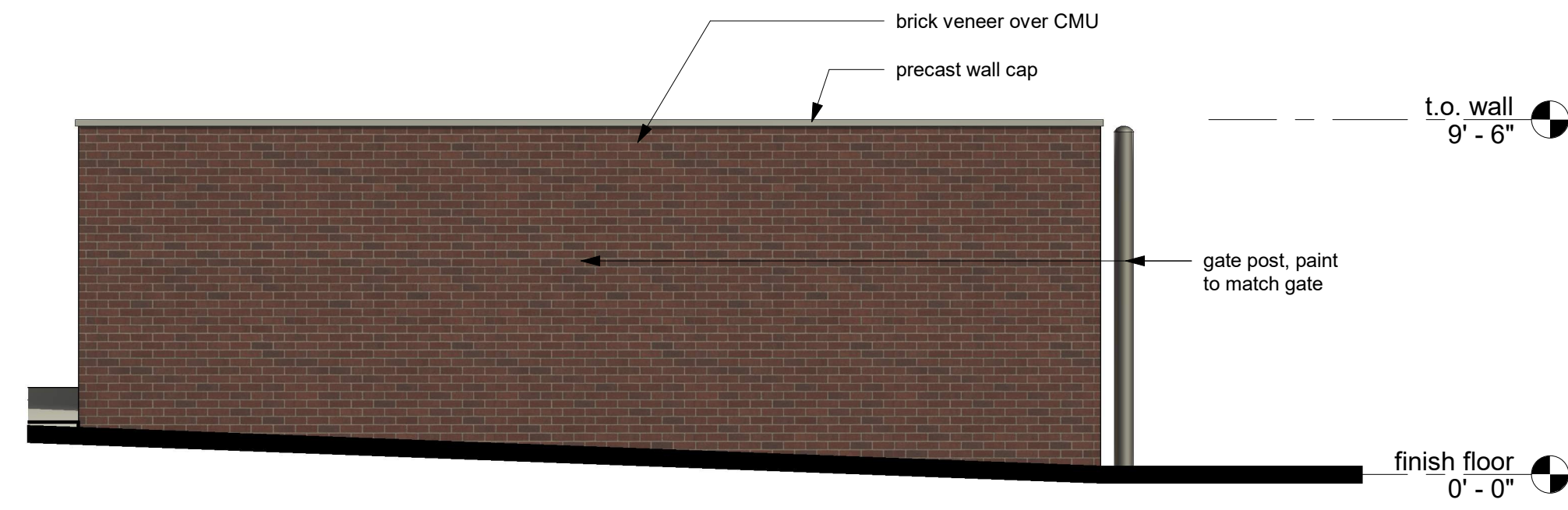


7 Garage #1 East Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking

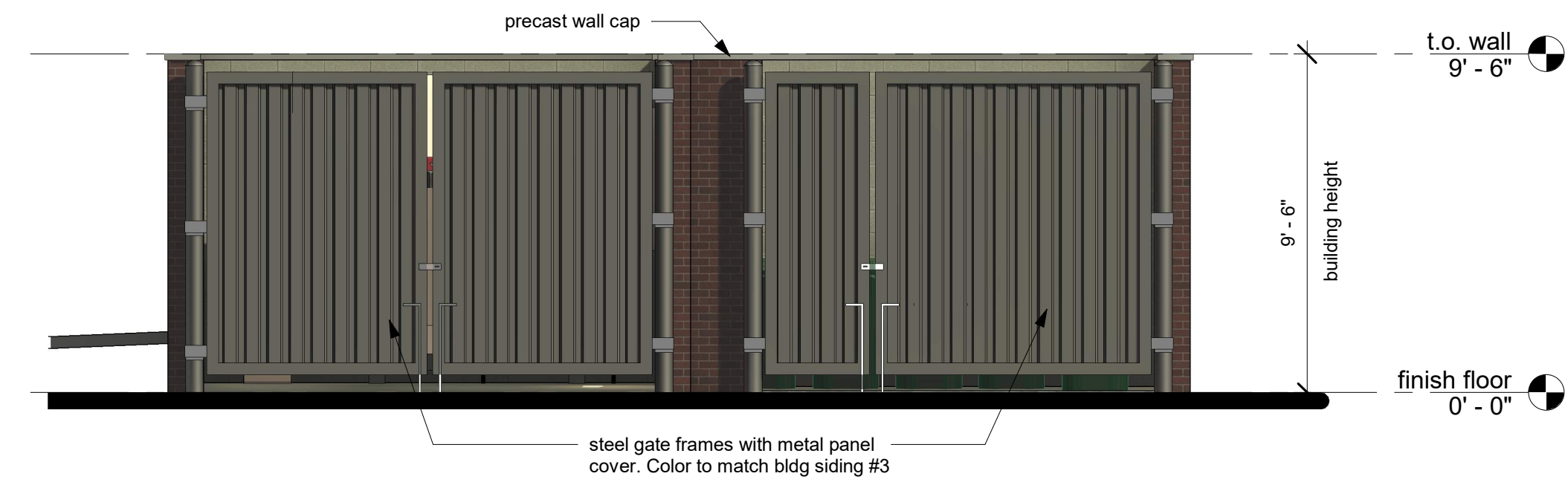
a proposed development for: Milhaus
150 & Ward Multi-Family
 150 Highway & SW Ward Road
 Lee's Summit, Missouri 64082

date
11-10-2025
drawn by
TJM
checked by
TJM
revisions

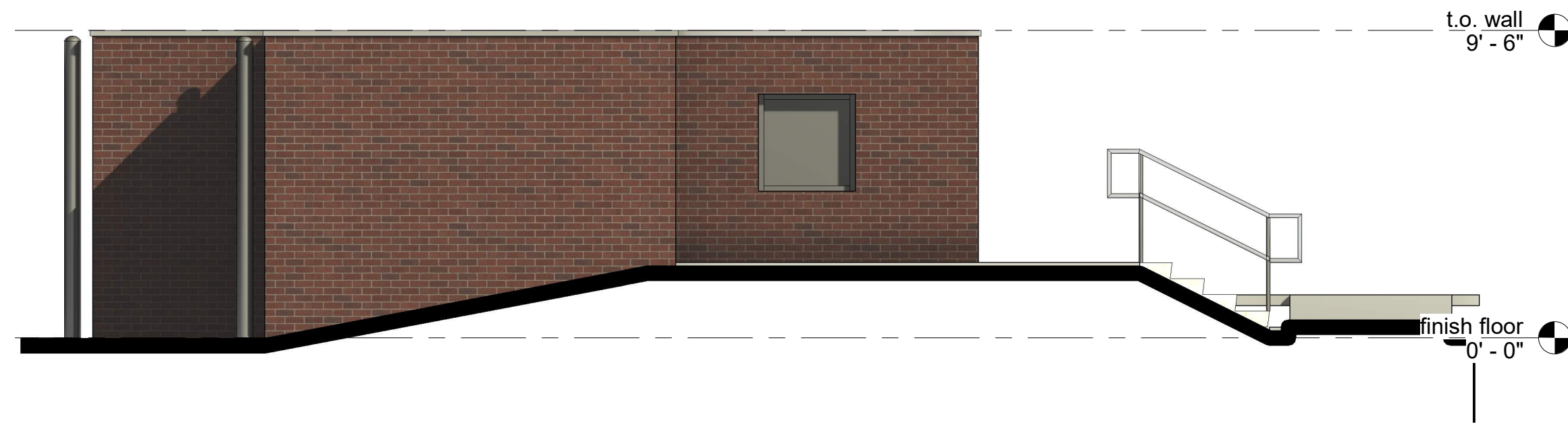
sheet number
PDP-A7
Garage- Elevations
drawing type
preliminary
project number
22239



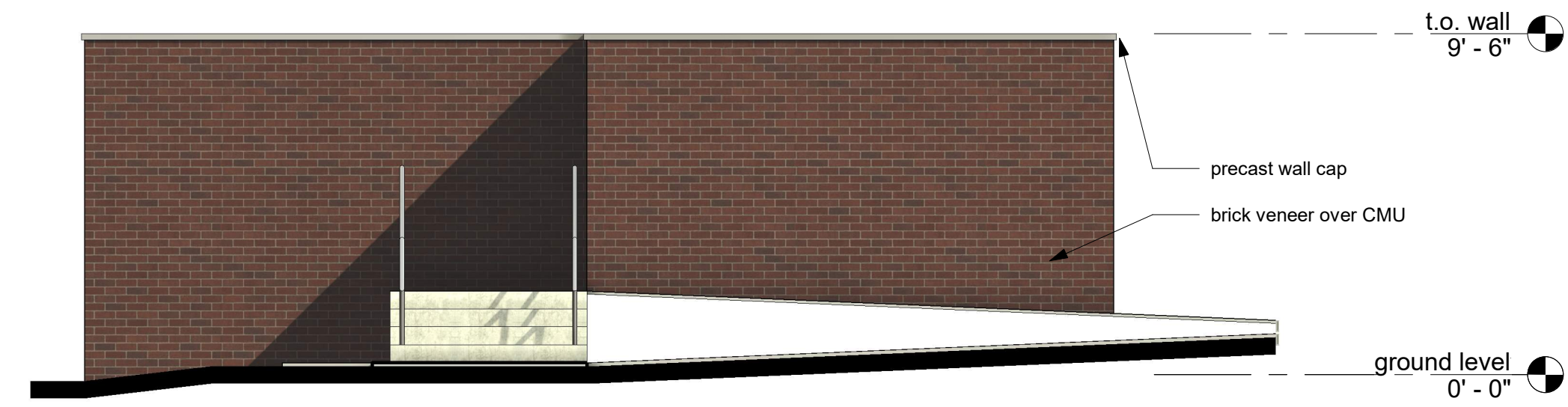
1 Plan West
scale: 1/4" = 1'-0"



2 Plan South
scale: 1/4" = 1'-0"



3 Plan East
scale: 1/4" = 1'-0"



4 Plan North
scale: 1/4" = 1'-0"

| Material Percentage Breakdown | | | | | | |
|-------------------------------|-----------------------------------|-----|--------------|-------|-------|---------|
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
| Trash | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | | | | | | |
| Rear | | | | | | |
| Left | 100% brick with metal panel gates | | | | | |
| Right | 100% brick with metal panel gates | | | | | |

a proposed development for: Milhaus
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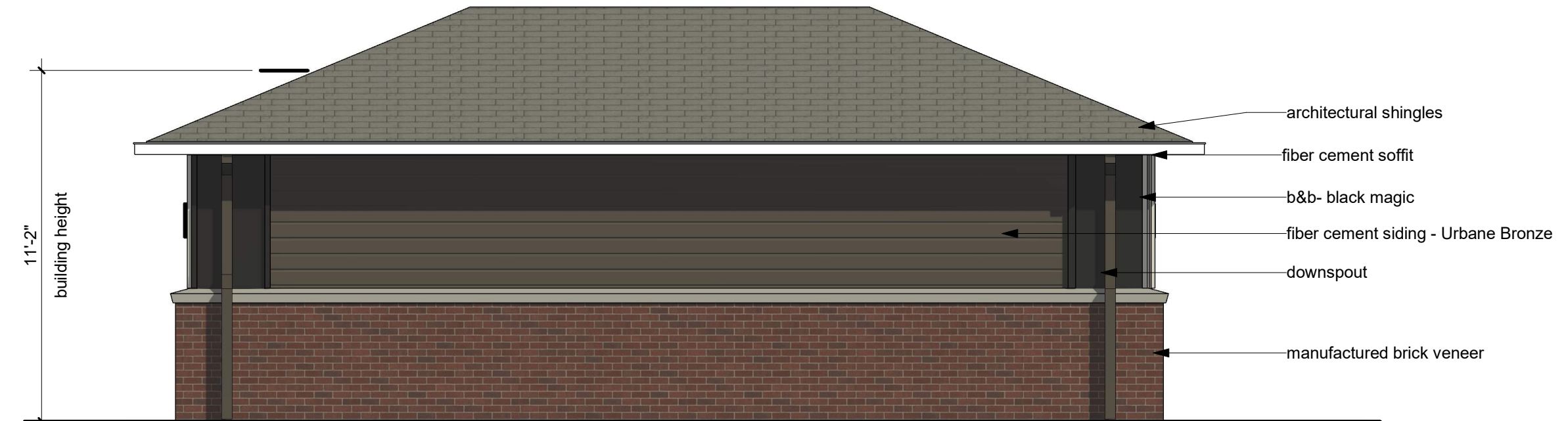
sheet number
PDP-A8
Trash - Elevations

drawing type
Preliminary
project number
22239

| Material Percentage Breakdown | | | | | | |
|-------------------------------|------------|-----|--------------|-------|-------|---------|
| Material: | Lap Siding | B&B | Siding Panel | Brick | Glass | Total % |
| Mail | | | | | | |
| UDO Class: | 2 | 2 | 2 | 1 | 1 | |
| Front | 41% | 8% | 0% | 51% | 0% | 100% |
| Rear | 41% | 8% | 0% | 51% | 0% | 100% |
| Left | 41% | 8% | 0% | 51% | 0% | 100% |
| Right | 41% | 8% | 0% | 51% | 0% | 100% |



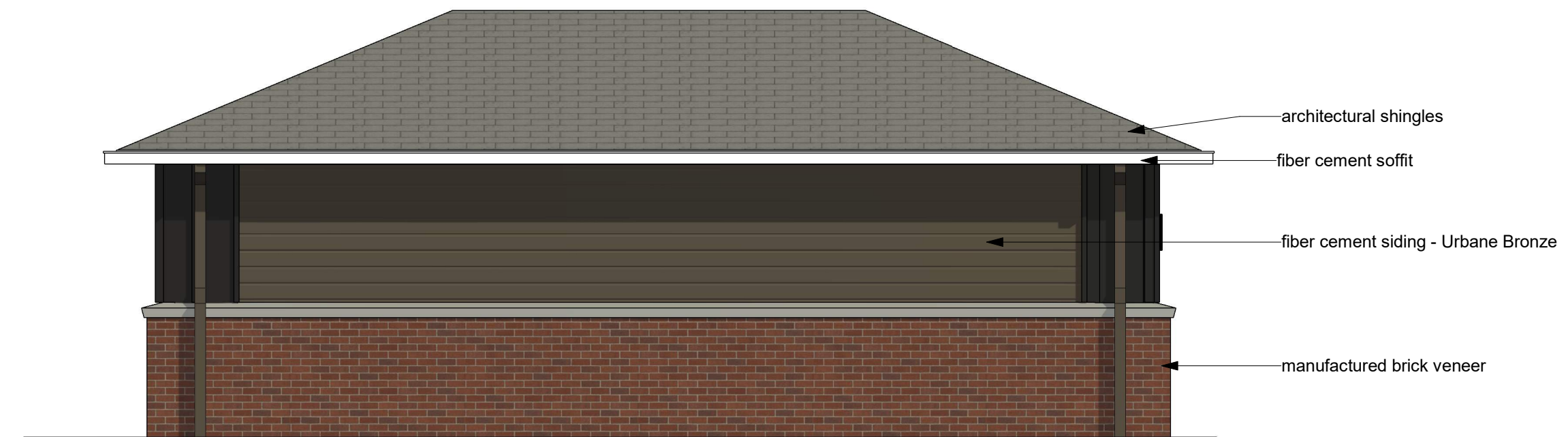
2 Right Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



1 Front Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



4 Left Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



3 Rear Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking

a proposed development for: **Milhaus**
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

date
11-10-2025
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sheet number
PDP-A9
Mail - Elevations

drawing type
preliminary
project number
22239