

U-Haul Preliminary Development Plan & Special Use Permit

File #PL2022-148 &

File #PL2022-149

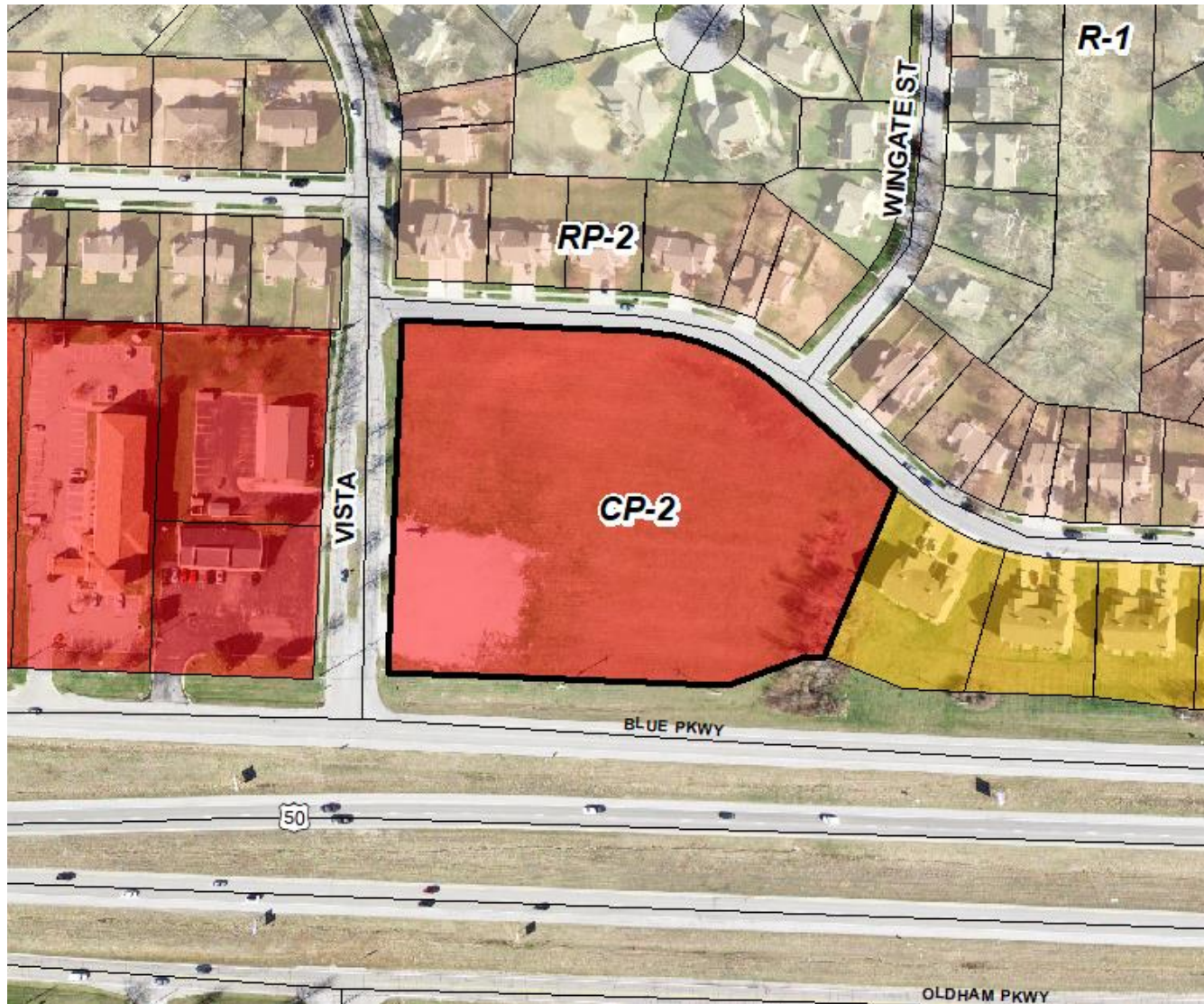
August 23, 2022



LEE'S SUMMIT
MISSOURI

Yours Truly





LS

Aerial and Zoning Map

Number of Lots – 1 total

Acres – 4.11

Zoning

CP-2

Building Area

88,404 sq. ft. – office/self-storage

10,559 sq. ft. – U-Box building

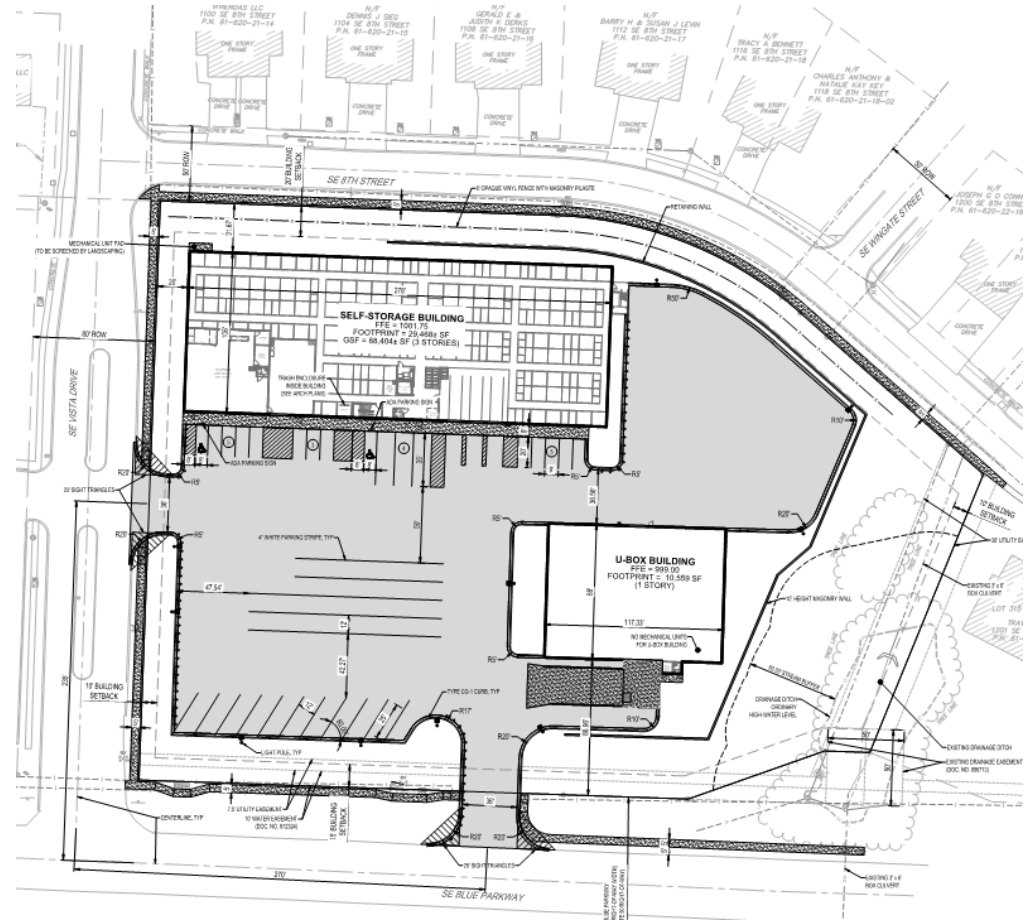
98,963 total sq. ft.

FAR – 0.55 (0.55 max in CP-2)

Parking

17 proposed

16 required



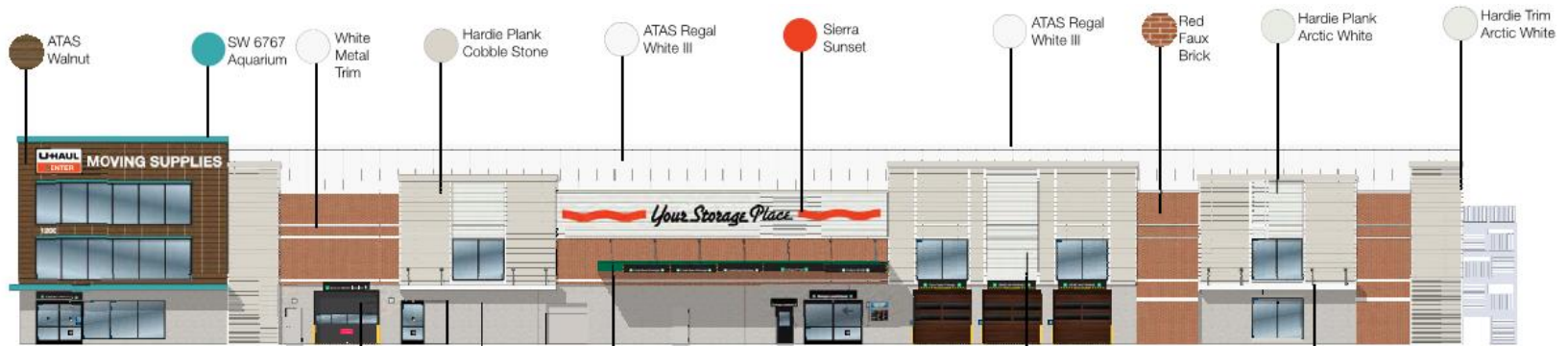
Project Information

GLASS = 805 SF (20%)
 MASONRY = 938 SF (23%)
 ARCHITECTURAL METAL PANEL = 2,351 SF (57%)



WEST ELEVATION - BLDG. A

Scale: 1" = 20'



SOUTH ELEVATION - BLDG. A

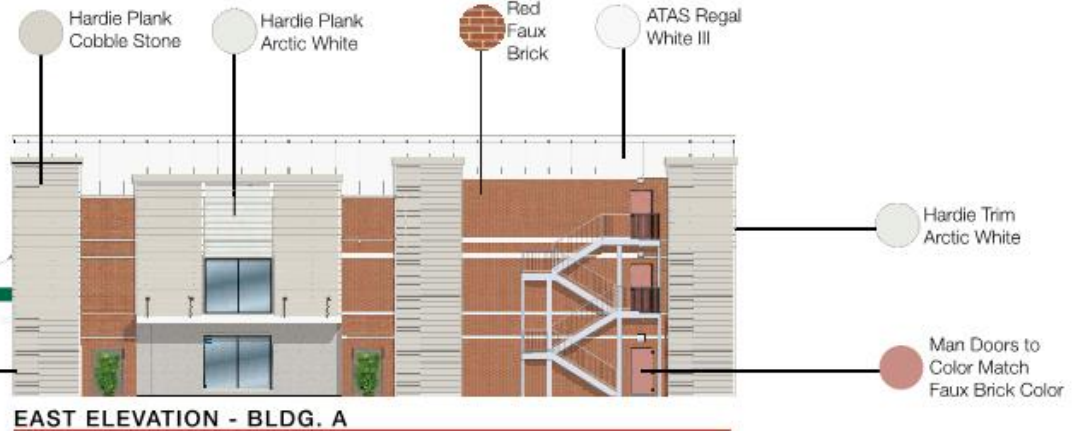
Scale: 1" = 20'

GLASS = 1,080 SF (10%)
 MASONRY = 4,060 SF (38%)
 ARCHITECTURAL METAL PANEL = 5,581 SF (52%)

GLASS = 160 SF (4%)
 MASONRY = 1,731 SF (42%)
 ARCHITECTURAL METAL PANEL = 2,203 SF (54%)

MBCI
 U-Haul
 Green

Hardie Trim
 Arctic White



EAST ELEVATION - BLDG. A



NORTH ELEVATION - BLDG. A

Scale: 1" = 20'

GLASS = 0 SF (0%)
 MASONRY = 4,453 SF (42%)
 ARCHITECTURAL METAL PANEL = 6,268 SF (58%)

ATAS Ascot White

Aggregate
 Concrete



Elevations – Office/self-storage



EAST ELEVATION - BLDG. B

Scale: 1" = 20'

GLASS = 160 SF (5%)
 MASONRY = 1,212 SF (34%)
 ARCHITECTURAL METAL PANEL = 2,184 SF (61%)



NORTH ELEVATION - BLDG. B

Scale: 1" = 20'

GLASS = 261 SF (6%)
 MASONRY = 1,960 SF (42%)
 ARCHITECTURAL METAL PANEL = 2,270 SF (52%)



WEST ELEVATION - BLDG. B

Scale: 1" = 20'

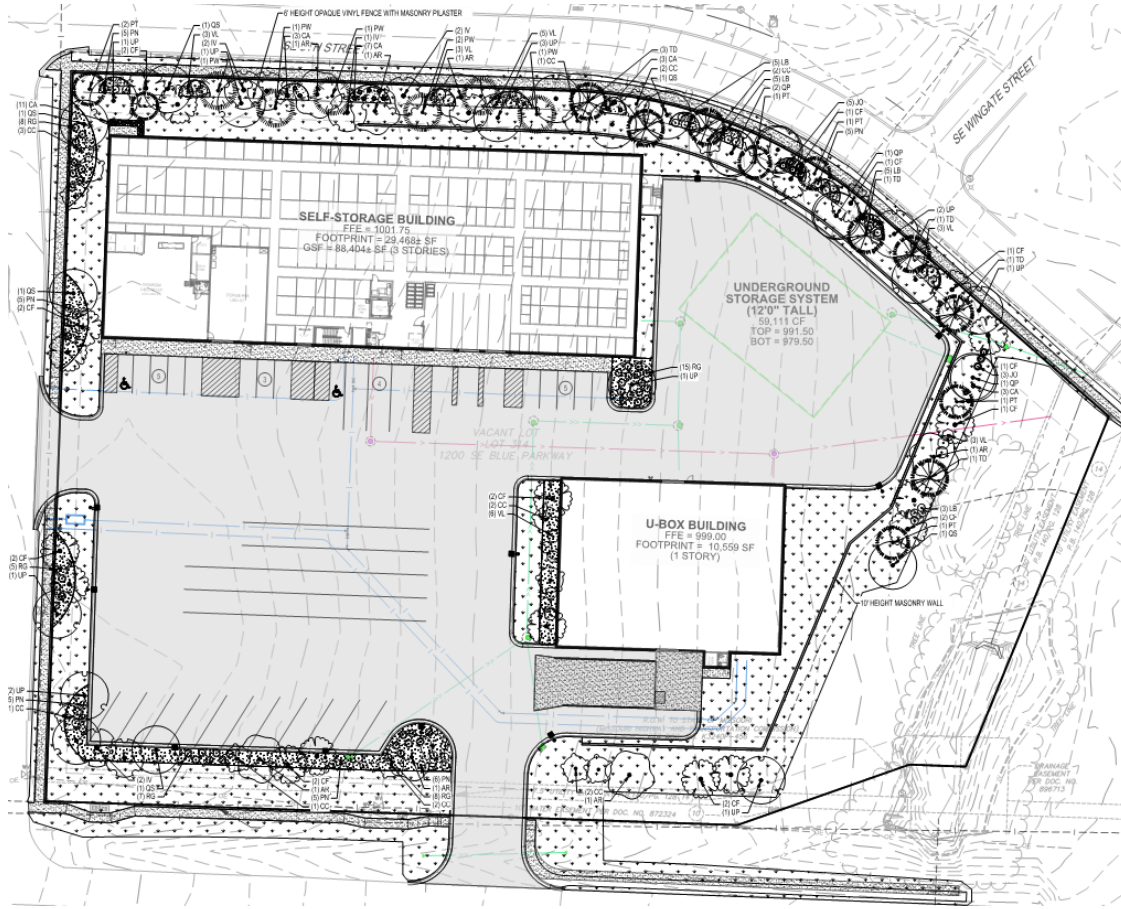
GLASS = 614 SF (17%)
 MASONRY = 910 SF (26%)
 ARCHITECTURAL METAL PANEL = 2,032 SF (57%)



SOUTH ELEVATION - BLDG. B

Scale: 1" = 20'

GLASS = 100 SF (2%)
 MASONRY = 1,747 SF (37%)
 ARCHITECTURAL METAL PANEL = 2,868 SF (61%)



Landscape/Buffer

- An indoor climate-controlled storage facility is a use permitted in the CP-2 with approval of a special use permit.
- The proposed use is consistent with the Commercial land use designation for the property under the Comprehensive Plan.
- The proposed use is consistent and compatible with service-oriented commercial businesses along the US 50 Hwy corridor and serves as a transitional use between the residential uses to the north and highway to the south.
- A high-impact landscape buffer is required along the north and east property boundaries adjacent to the residential uses. Landscaping plus fencing (both vinyl and masonry) comprise the required buffer.
- Access to the site is gained via SE Vista Dr and SE Blue Pkwy.

Public comments and concerns expressed at the July 14, 2022, Planning Commission meeting are summarized below.

- Negative impact on surrounding residential property values
- Increased general traffic and truck traffic through the surrounding residential neighborhoods
- Building height (proposed 3-story) is imposing on adjacent residences. Suggested reduction in height to 2-stories.
- Size of buildings impedes visibility of adjacent commercial across SE Vista Dr to the west
- Concerns over building and site maintenance
- Concerns over dumping of unwanted items by customers

1. The development shall be in accordance with the preliminary development plan dated June 27, 2022, and the building renderings and elevations dated June 14, 2022.
2. The special use permit shall be granted for a period of 30 years.