

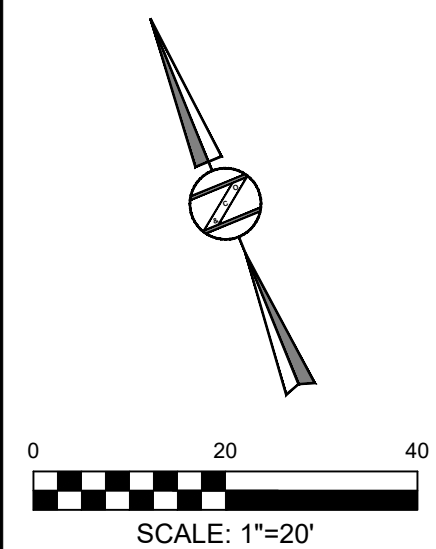
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PRELIMINARY DEVELOPMENT PLAN

Z&Co., LLC

3400 MONTROSE BLVD., #2916
HOUSTON, TX 77006
832-906-9916
MO LICENSE #2024021881

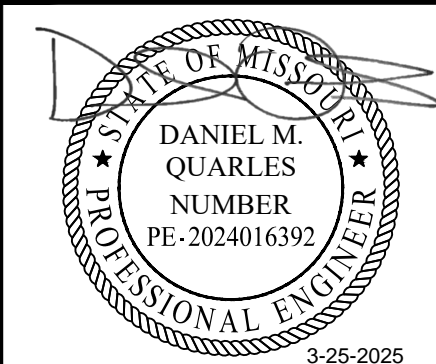
CLIENT:
CHRISTIAN BROTHERS
AUTOMOTIVE
17225 KATY FRWY, SUITE 200
HOUSTON, TX 77094



PROJECT NAME:
CHRISTIAN BROTHER'S
AUTOMOTIVE
110 SW RAINTREE PLAZA
LEE'S SUMMIT, MISSOURI
64082

SUBMITTAL DATE:
JANUARY 2025

DRAWING TITLE:
SITE DIMENSION
AND PAVING
PLAN



PROJECT NUMBER:
24.0049

C-2.0

GENERAL NOTES:

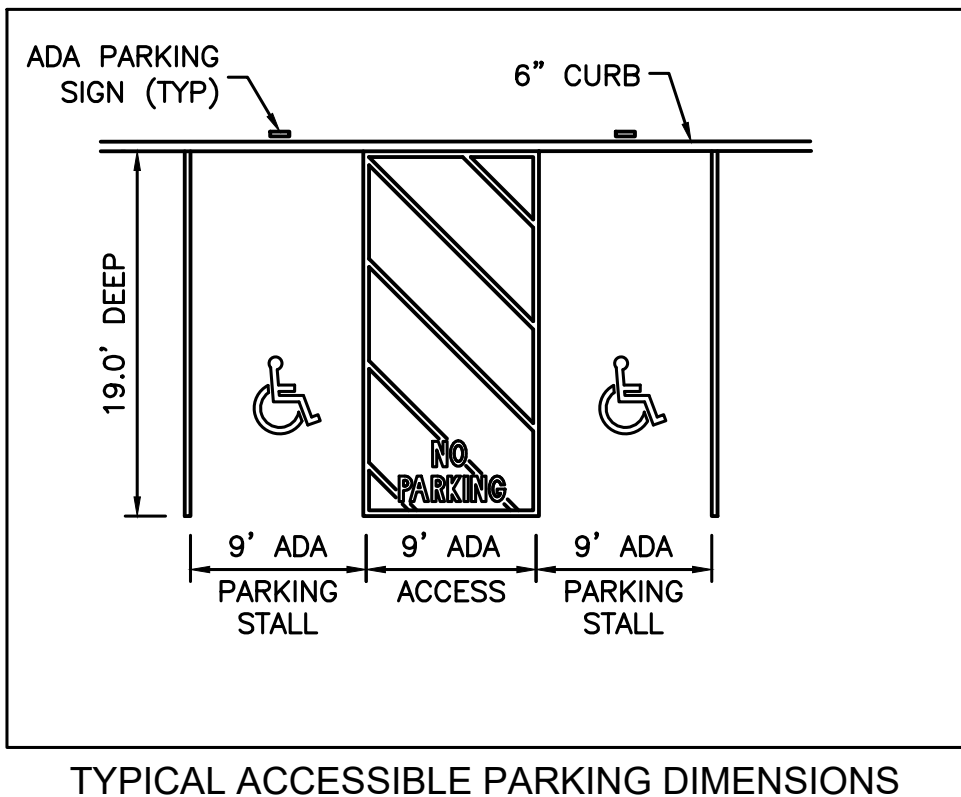
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ALL RADII ARE 2', UNLESS NOTED OTHERWISE.

PARKING ANALYSIS

LAND USE	PARKING RATIO	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
AUTO REPAIR SHOP	3/PER SERVICE BAY	30	48 (INCLUDES 10 SERVICE BAYS)
	2 ADA STALLS FOR 26-50 SPACES	2	2

⊗ KEY NOTES

No.	DESCRIPTION
1	6" CURB TYPE 'C-1' PER CITY OF LEE'S SUMMIT STD DETAIL GEN-4
2	VARIABLE HEIGHT RETAINING WALL WITH 6" CURB ON TOP (NO CURB AT DUMPSTER ENCLOSURE). SEE PER GRADING PLAN & REFERENCE STRUCTURAL PLANS FOR RETAINING WALL DETAILS
3	HANDICAP PARKING SPACE WITH INTERNATIONAL HANDICAP SYMBOL; MAX 2% SLOPE IN ALL DIRECTIONS; SEE TYPICAL DETAIL ON THIS SHEET
4	HANDICAP PARKING SIGN; TYPICAL
5	ADA ROUTE WITH PAINTED WHITE STRIPES, WIDTH PER PLANS, WITH 2% MAX CROSS SLOPE
6	PROP SWQ UNIT w/GRATE TOP
7	4' WIDE PAINTED WHITE PARKING STRIPE (TYPICAL)
8	DUMPSTER ENCLOSURE
9	5' WIDE CONC. SIDEWALK (PUBLIC) PER CITY OF LEE'S SUMMIT STD DETAIL GEN-2
10	ADA RAMP PER CITY OF LEE'S SUMMIT STD DETAIL GEN-3A
11	SAWCUT & REMOVE EXISTING CONCRETE CURB AND GUTTER FOR CONSTRUCTION OF NEW ACCESS DRIVE ~ 47 LF
12	NOT USED
13	MONUMENT SIGN
14	NEW ASPHALT TO EXISTING CONCRETE; MATCH EXISTING ELEVATIONS
15	ELECTRIC TRANSFORMER PAD
16	CURB OFFSET FOR STORM SEWER CURB INLET PER CITY OF LEE'S SUMMIT STD DETAIL STM-1
17	EXTERIOR LIGHT LOCATION
18	CONCRETE FILLED PIPE BOLLARD PER DETAIL
19	NEW CONCRETE SIDEWALK TO MATCH EXISTING CONCRETE SIDEWALK
20	SCREEN WALL FOR GROUND MOUNTED AIR CONDITIONING EQUIPMENT (GMU)
21	GROUND MOUNTED AIR CONDITIONING EQUIPMENT (GMU)
22	ELECTRIC METER
23	NATURAL GAS METER
24	ELECTRIC TRANSFORMER PAD



LEGEND

PARKING SPACE COUNT	⊗
CONCRETE SIDEWALK	
LANDSCAPED AREA	
MIN 1.5" HMAC & 4" BASE (PER GEOTECH REPORT)	
MIN 1.5" HMAC & 5" BASE (PER GEOTECH REPORT)	
MIN 6" CONCRETE PAVEMENT (PER GEOTECH REPORT)	

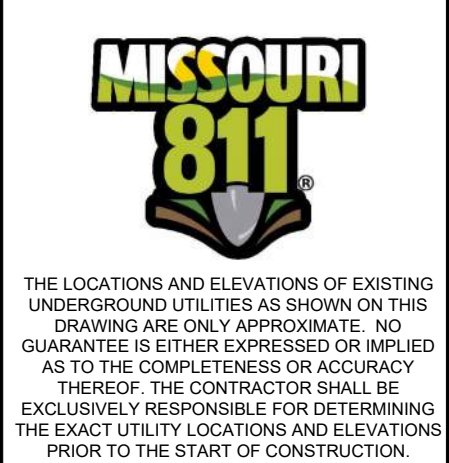
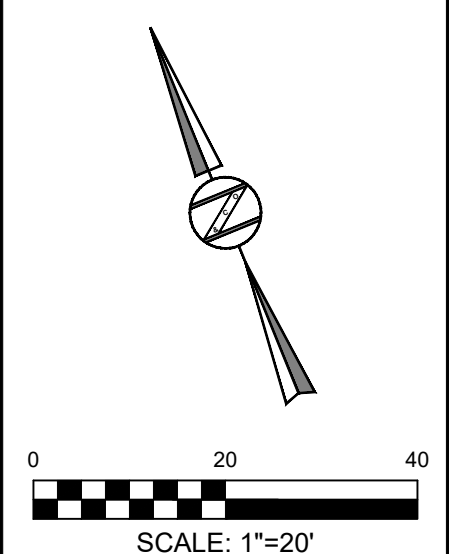
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PRELIMINARY DEVELOPMENT PLAN

Z&Co., LLC

3400 MONTROSE BLVD., #2916
HOUSTON, TX 77006
832-906-9916
MO LICENSE #2024021881

CLIENT:
**CHRISTIAN BROTHERS
AUTOMOTIVE**
17225 KATY FRWY, SUITE 200
HOUSTON, TX 77094

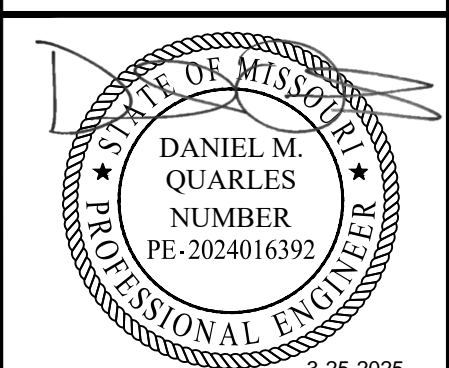


PROJECT NAME:
**CHRISTIAN BROTHER'S
AUTOMOTIVE**
110 SW RAINTREE PLAZA
LEE'S SUMMIT, MISSOURI
64082

SUBMITTAL DATE:
JANUARY 2025

DRAWING TITLE:

**SITE GRADING
AND DRAINAGE
PLAN**



REV	DESCRIPTION	DATE

PROJECT NUMBER:
24.0049

C-3.0

KEY NOTES:

1. ROOF DRAIN PIPE TO CONNECT TO SUBSURFACE DRAINAGE SYSTEM - SEE ROOF DRAIN NOTES ON THIS SHEET
2. ROOF DOWN SPOUT PER ARCHITECTURAL & MEP PLANS - SEE ROOF DRAIN NOTES ON THIS SHEET

ROOF DRAIN NOTES:

1. ALL ROOF DRAINS SHALL BE CONNECTED DIRECTLY TO SUBSURFACE DRAINAGE SYSTEM, UNLESS OTHERWISE NOTED.
2. ROOF DRAIN CONNECTION LEADS SHALL MATCH SUBSURFACE PIPE MATERIAL AND SHALL BE SIZED ACCORDINGLY (SEE MEP PLANS)
3. PROVIDE ADEQUATE TRANSITION BOOTS/ELEMENTS AND MATERIALS FROM ROOF DRAINS TO LEADS. (SEE MEP & ARCH PLANS)

GENERAL NOTES:

1. MAXIMUM CROSS SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.0%. RAMP SLOPES SHALL NOT EXCEED 1-INCH PER FOOT (8.33%). MAXIMUM SLOPES FOR HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
2. SIDEWALK GRADES ARE FLUSH WITH GUTTER AT DRIVES.
3. UNLESS OTHERWISE NOTED, ALL PARKING AND DRIVE AISLE GRADES ARE TO INVERT OF GUTTER. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE, EXCEPT WHERE CURB IS FLUSH WITH PAVEMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
5. BOTTOM OF WALL (BW) GRADES ARE THE FINISHED GRADE ELEVATIONS AT THE BOTTOM OF THE RETAINING WALL AND NOT THE ACTUAL BOTTOM OF THE WALL STRUCTURE.
6. FIELD VERIFY INVERT ELEVATIONS OF EXISTING STORM SEWER STRUCTURES. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.

STORM STRUCTURES

NAME	TYPE	RIM/TOP	INVERT IN	INVERT OUT
1	FIELD INLET	1003.00		
2	CURB INLET	1001.49		
3	FIELD INLET	998.60		
4	CURB INLET	1000.53		
5	FIELD INLET	998.10		
6	GRATE INLET	1001.82		
7	FIELD INLET	1002.90		
8	TEE	1000.64		

STORM PIPES

NAME	SIZE	LENGTH	SLOPE	MATERIAL	INVERT UP	INVERT DOWN
P1-2		121		HDPE		
P2-3		53		HDPE		
P3-4		54		HDPE		
P4-5		17		HDPE		
P6-7		62		HDPE		
P7-8		99		HDPE		
P8-5		53		HDPE		
P5-OUT		26		RCP		

SPOT ELEVATION ABBREVIATIONS

BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
G	GUTTER
HP	HIGH POINT
MEG	MATCH EXIST GRADE
MEP	MATCH EXIST PAVEMENT
RIM	RIM OF MH, JB OR INLET
SW	TOP OF SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
TP	TOP OF PAVEMENT
TW	TOP OF WALL

LEGEND

SPOT ELEVATION	XX:00.00
PAVEMENT VALLEY/SLOPE	1.0%
CONTOUR LINE (EXISTING)	60
CONTOUR LINE (PROPOSED)	60
GRADE BREAK	GB
SWALE	CURB GRATE/FIELD
STORM SEWER INLETS	
STORM SEWER PIPE	STM
ROOF DRAIN PIPE	RD
DRAINAGE AREA NAME	AREA X
DRAINAGE AREA (ACRES)	0.000 AC
DRAINAGE AREA	

PROJECT BENCHMARK:

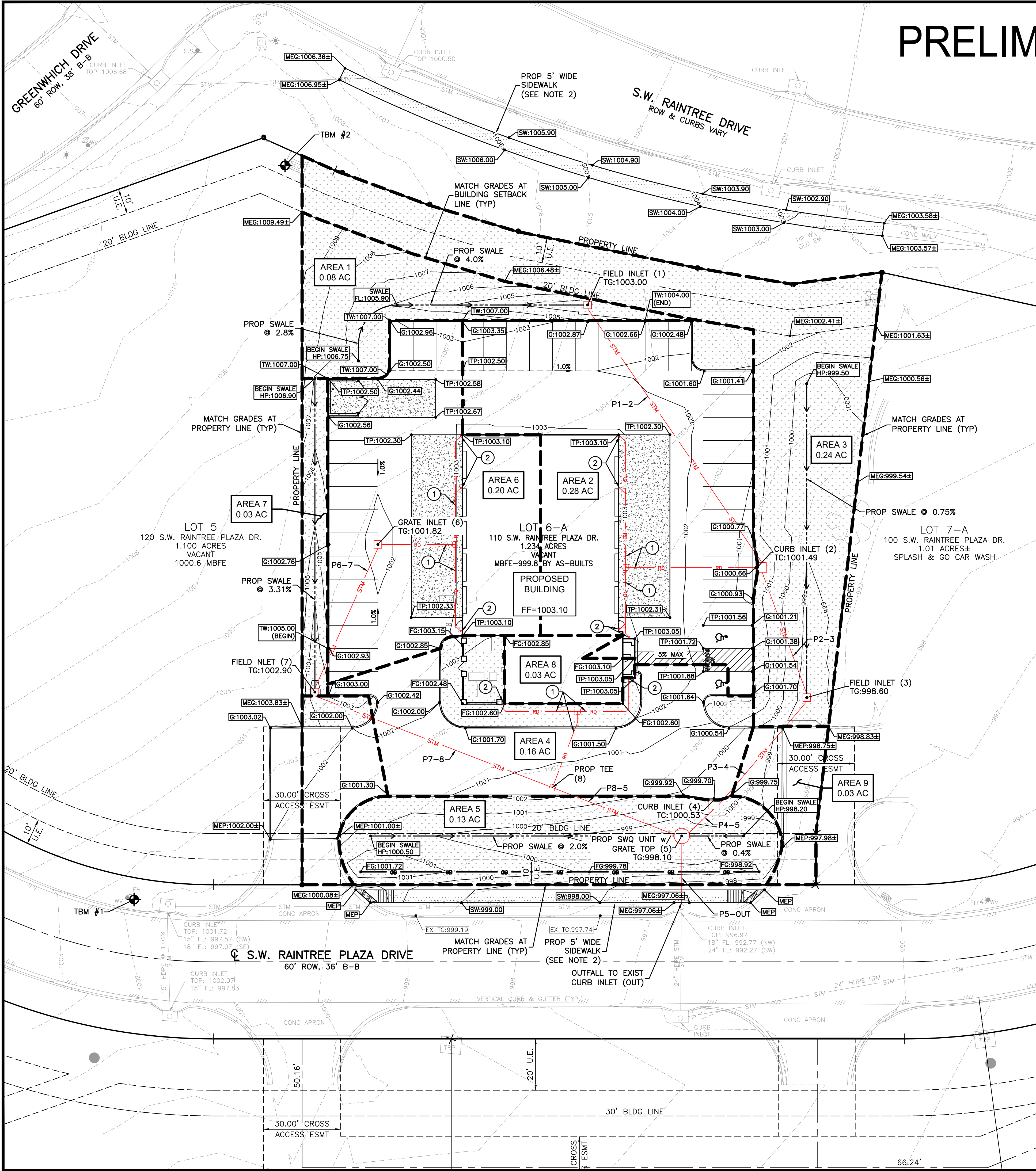
TBM #1
FRONT CORNER CURB INLET, 53' WEST OF THE SOUTHWEST CORNER LOT 6-A
ELEVATION = 1001.72

TBM #2
FRONT CENTER CURB INLET, 50' NORTHEAST OF THE MOST SOUTHERLY CORNER OF LOT 6-A
ELEVATION = 1996.97

TBM #3
FRONT CENTER CURB INLET, 52' NORTHWEST OF THE MOST NORTHERLY CORNER OF LOT 6-A
ELEVATION = 1005.50

FLOODPLAIN NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) No. 29095C0532G, DATED: JANUARY 20, 2017, THE PROJECT TRACT IS WITHIN FLOOD HAZARD ZONE 'X', DEFINED AS AREA OF MINIMAL FLOOD HAZARD.



PRELIMINARY DEVELOPMENT PLAN

GENERAL NOTES:

- UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICT OR DISCREPANCIES.
- SEE PROJECT MEP PLANS FOR UTILITY CONDUIT LOCATIONS AND CONTINUATION OF UTILITES TO BUILDING.

① WATER KEY NOTES

#	DESCRIPTION
1	FIELD LOCATE EXIST 8" WATER LINE & INSTALL 8"x6" TAPPING SLEEVE & VALVE w/BOX
2	INSTALL 6" DIP CLASS 50 FIRE LINE (PUBLIC)
3	INSTALL 6" DOUBLE CHECK DETECTOR CHECK IN VAULT PER CITY OF LEE'S SUMMIT DETAIL WAT-12
4	INSTALL 6" DIP CLASS 50 FIRE LINE (PRIVATE)
5	INSTALL FIRE HYDRANT & GATE VALVE PER CITY OF LEE'S SUMMIT DETAIL WAT-7 (PRIVATE)
6	FIELD LOCATE EXIST 8" WATER LINE & INSTALL 1" SERVICE CONNECTION W/CORPORATION STOP (DOMESTIC) PER CITY OF LEE'S SUMMIT DETAIL WAT-11
7	INSTALL 1" TYPE 'K' COPPER SERVICE LINE (DOMESTIC)
8	INSTALL 1" TEE FOR IRRIGATION METER
9	INSTALL 1" TYPE 'K' COPPER SERVICE LINE (IRRIGATION)
10	INSTALL 1" WATER METER (DOMESTIC)
11	INSTALL 1" WATER METER (IRRIGATION)
12	INSTALL 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY (DOMESTIC)
13	INSTALL 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY (IRRIGATION)
14	INSTALL 1" PVC SCH 40 DOMESTIC WATER LINE
15	INSTALL 1" PVC SCH 40 IRRIGATION LINE; SEE IRRIGATION PLANS FOR CONTINUATION
16	1" DOMESTIC WATER LINE BUILDING CONNCECTION (SEE MEP PLANS FOR CONTINUATION)
17	INSTALL (2) 1"x45" BENDS, RESTRAINED
18	CAUTION!! WATER AND STORM CROSSING, MAINTAIN 2' MINIMUM VERTICAL CLEARANCE. RE-ALIGN WATER LINE AS NECESSARY
19	INSTALL 6" DIP TEE, RESTRAINED
20	6" FIRE LINE BUILDING CONNCECTION (SEE MEP PLANS FOR CONTINUATION)
21	FIRE DEPARTMENT CONNECTION (FDC)

① SANITARY SEWER KEY NOTES

#	DESCRIPTION
1	FIELD LOCATE EXISTING SANITARY SEWER SERVICE LINE & INSTALL CLEANOUT
2	PROPOSED 4" SANITARY SEWER PIPE @ 1.0% (PRIVATE)
3	PROPOSED CLEANOUT
4	PROPOSED SAMPLE WELL
5	PROPOSED 750 GAL OIL/SAND SEPARATOR
6	PROPOSED DOUBLE CLEANOUT; SEE MEP PLANS
7	SANITARY SEWER CONNECTION TO BUILDING; SEE MEP PLANS FOR CONTINUATION
8	SANITARY & STORM PIPE CROSSING

Ⓐ MISCELLANEOUS KEY NOTES

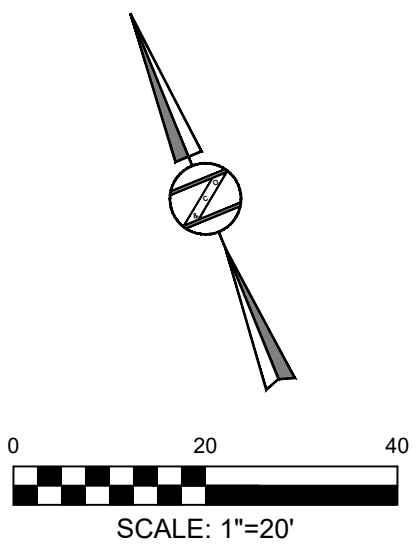
#	DESCRIPTION
A	ELECTRIC METER & DISCONNECT SWITCH LOCATION; SEE ELECTRICAL PLANS
B	NATURAL GAS METER LOCATION; SEE MEP PLANS
C	EXTERIOR WALL MOUNTED SITE LIGHT PER LIGHTING PLAN
F	AIR CONDITIONING EQUIPMENT BEHIND SCREEN WALL; PER MEP PLANS
G	ELECTRIC TRANSFORMER PAD

Z&Co., LLC

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CLIENT:

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AUTOMOTIVE**
17225 KATY FRWY, SUITE 200
HOUSTON, TX 77094



THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

PROJECT NAME:

**CHRISTIAN BROTHER'S
AUTOMOTIVE**
110 SW RAINTREE PLAZA
LEE'S SUMMIT, MISSOURI
64082

SUBMITTAL DATE:
JANUARY 2025

DRAWING TITLE:

UTILITY PLAN

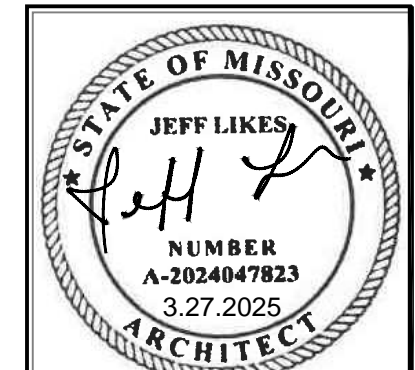
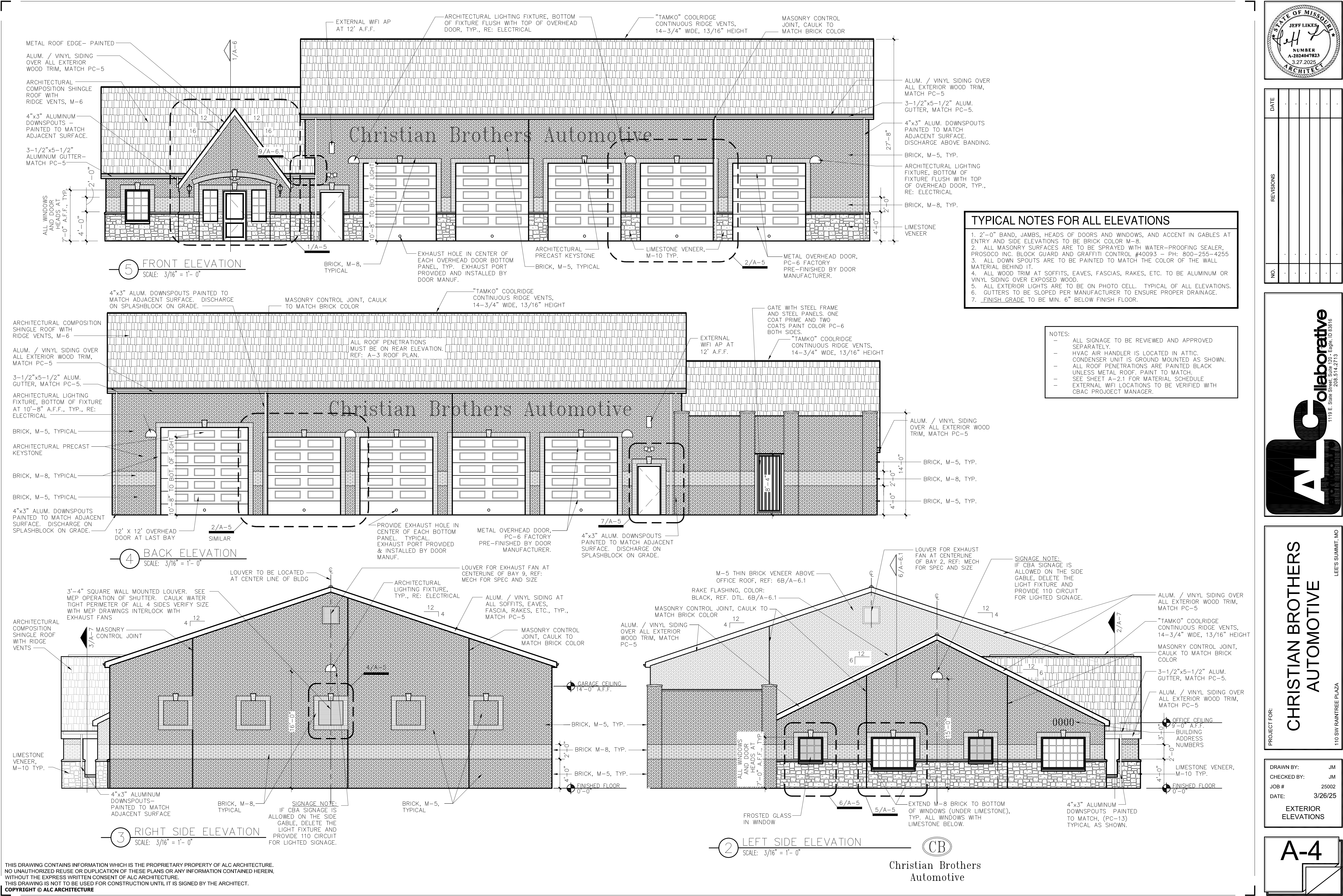


REV	DESCRIPTION	DATE
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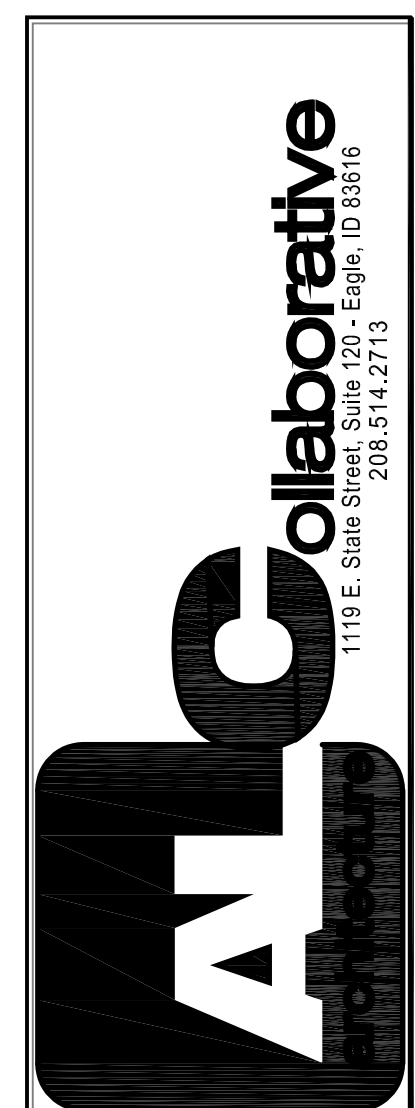
PROJECT NUMBER:
24.0049

C-4.0

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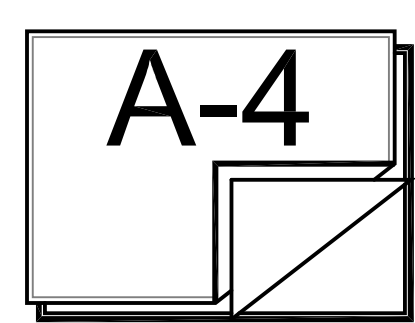


DATE									
REVISIONS									
NO.									



PROJECT FOR:
**CHRISTIAN BROTHERS
AUTOMOTIVE**
LEES SUMMIT, MO
110 SW RAINTREE PLAZA

DRAWN BY: JM
CHECKED BY: JM
JOB # 25002
DATE: 3/26/25
**EXTERIOR
ELEVATIONS**

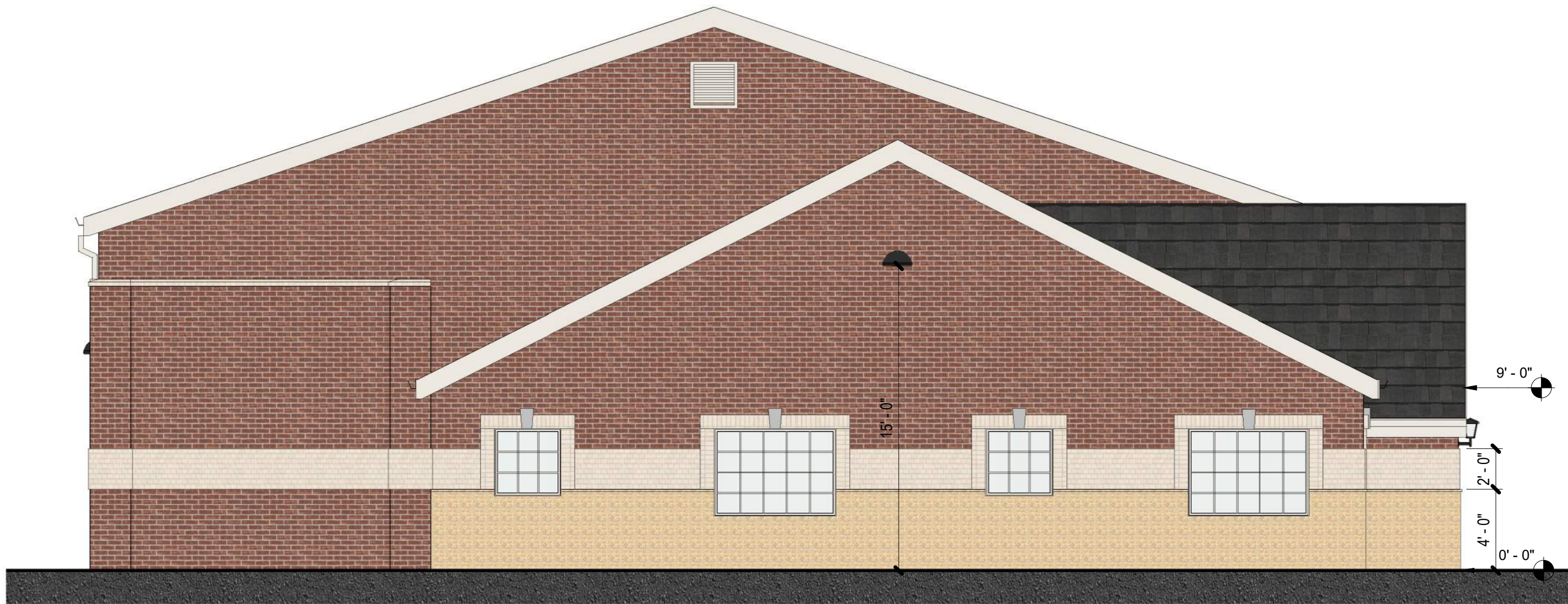




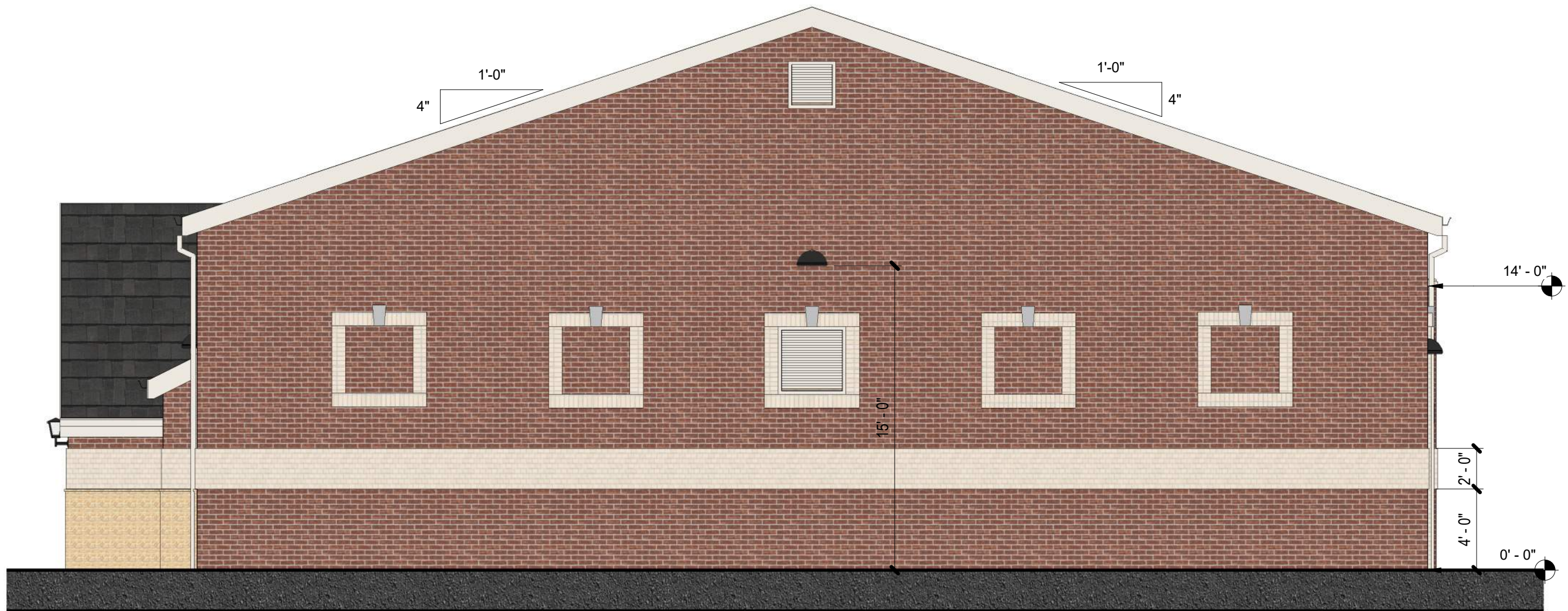
2 SOUTH ELEVATION
3/16" = 1'-0"



3 NORTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"

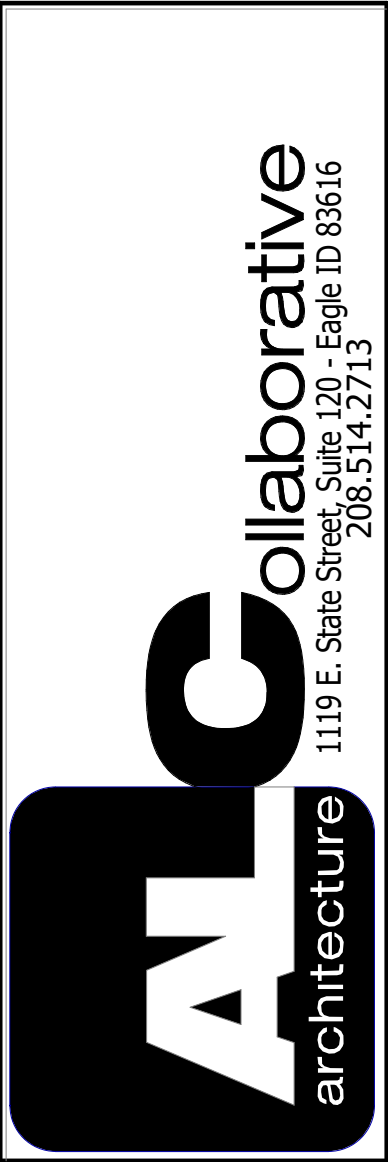


1 EAST ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND	
PC-5 SHERWIN-WILLIAMS PAINT SW7001 MARSHMALLOW	
PC-6 SHERWIN-WILLIAMS PAINT SW6258 TRICORN BLACK	
M-6 ROOF SHINGLES CERTAINTED LANDMARK 30 AR COLOR: MOIRE BLACK	
M-5 ACME BRICK CO. 8" x 2 1/4" MODULAR BRICK COLOR: BURGUNDY MORTAR: WHITE	
M-8 ACME BRICK CO. 8" x 2 1/4" MODULAR BRICK COLOR: GLACIER WHITE MORTAR: WHITE	
M-10 4" NATURAL LIMESTONE SALADO QUARRY MORTAR: WHITE	



REVISION		DATE
#	DESCRIPTION	

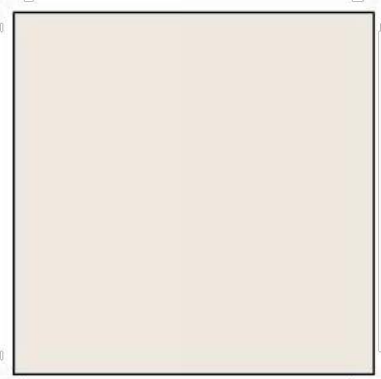


PROJECT FOR:
**CHRISTIAN BROTHERS
AUTOMOTIVE**
110 SW RAINTREE PLAZA | LEE'S SUMMIT, MO.

DRAWN: CLC
CHECKED: JL
JOB #: 25002
DATE: 03.07.2025

COLOR
ELEVATIONS

G1.2



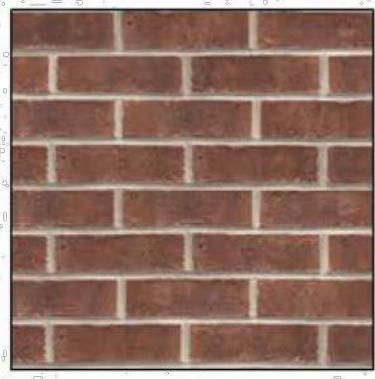
PC-5
SHERWIN-WILLIAMS PAINT
SW 7001 MARSHMALLOW



PC-6
SHERWIN-WILLIAMS PAINT
SW 6258 TRICORN BLACK



M-6
ROOF SHINGLES:
CERTAINTEED LANDMARK 30
COLOR: MOIRE BLACK



M-5
ACME BRICK CO.
8" X 2 1/2" MODULAR BRICK
COLOR: BURGANDY
MORTAR: WHITE



M-8
ACME BRICK CO.
8" X 2 1/2" MODULAR BRICK
COLOR: GLACIER WHITE
MORTAR: WHITE

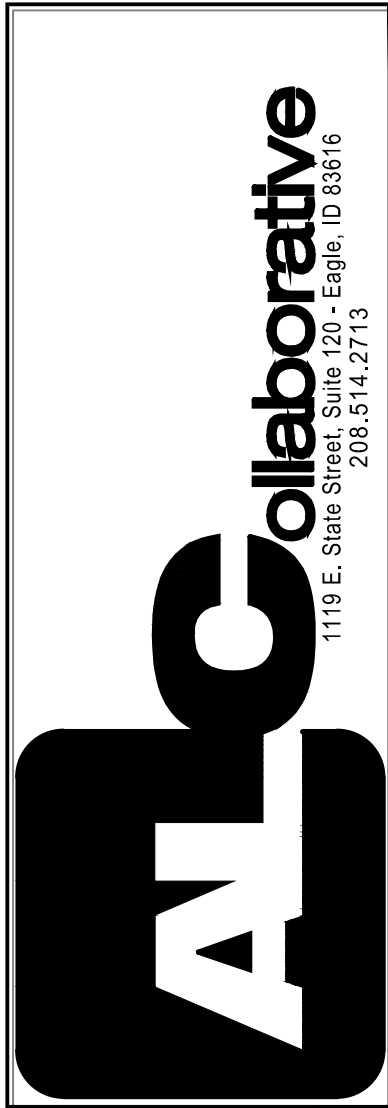


M-10
4" NATURAL LIMESTONE
SALADO QUARRY
MORTAR: WHITE

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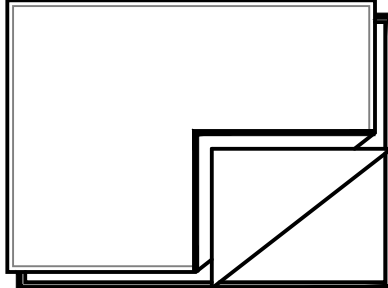


NO.	REVISIONS	DATE



PROJECT FOR:
**CHRISTIAN BROTHERS
AUTOMOTIVE**
110 SW RAINTREE PLAZA
LEES SUMMIT, MO

DRAWN BY: JM
CHECKED BY: JM
JOB #: 25002
DATE: 3/27/25





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NO.	REVISIONS	DATE

ALC

collaborative

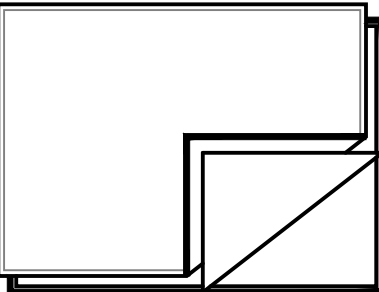
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208.514.2713

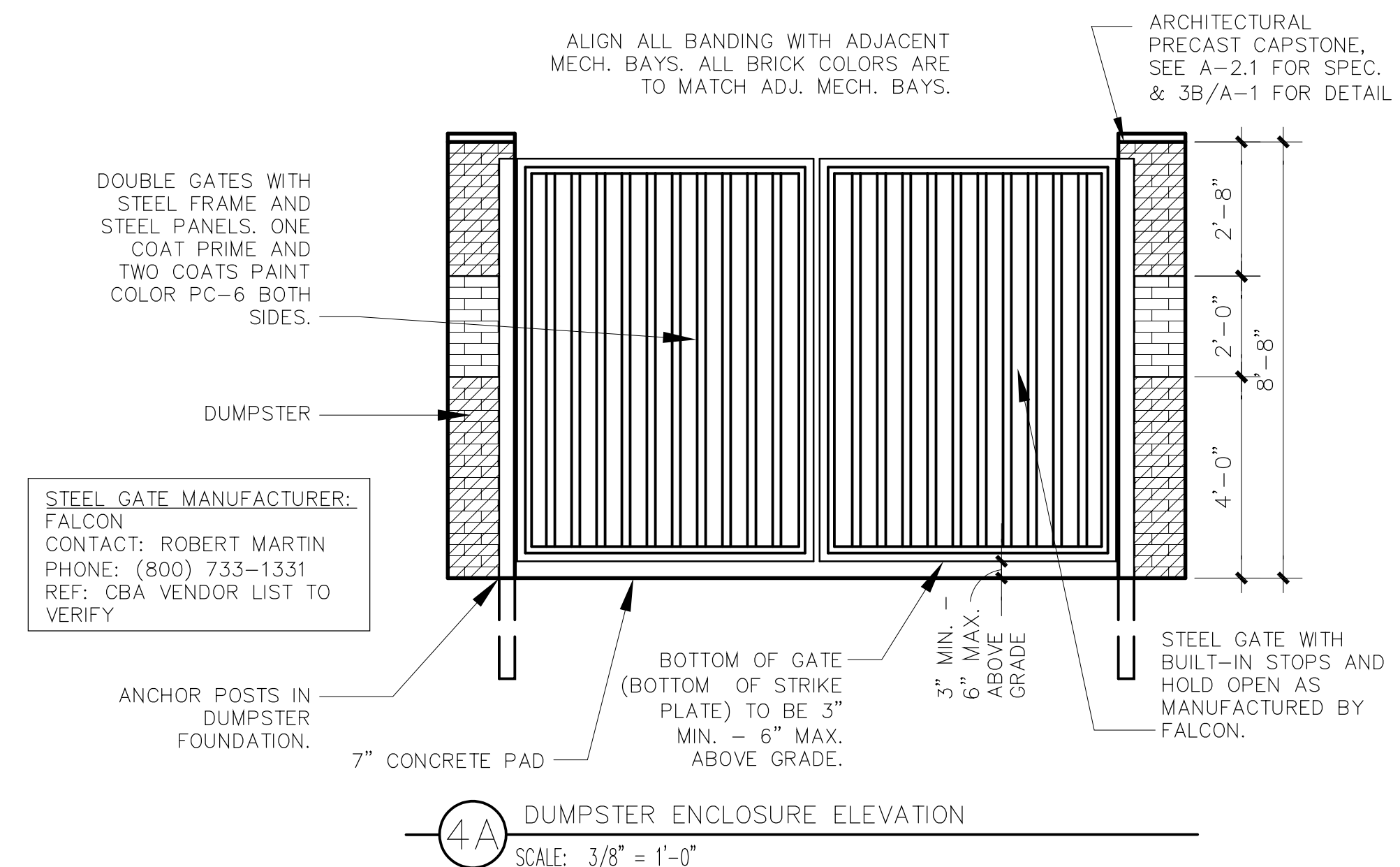
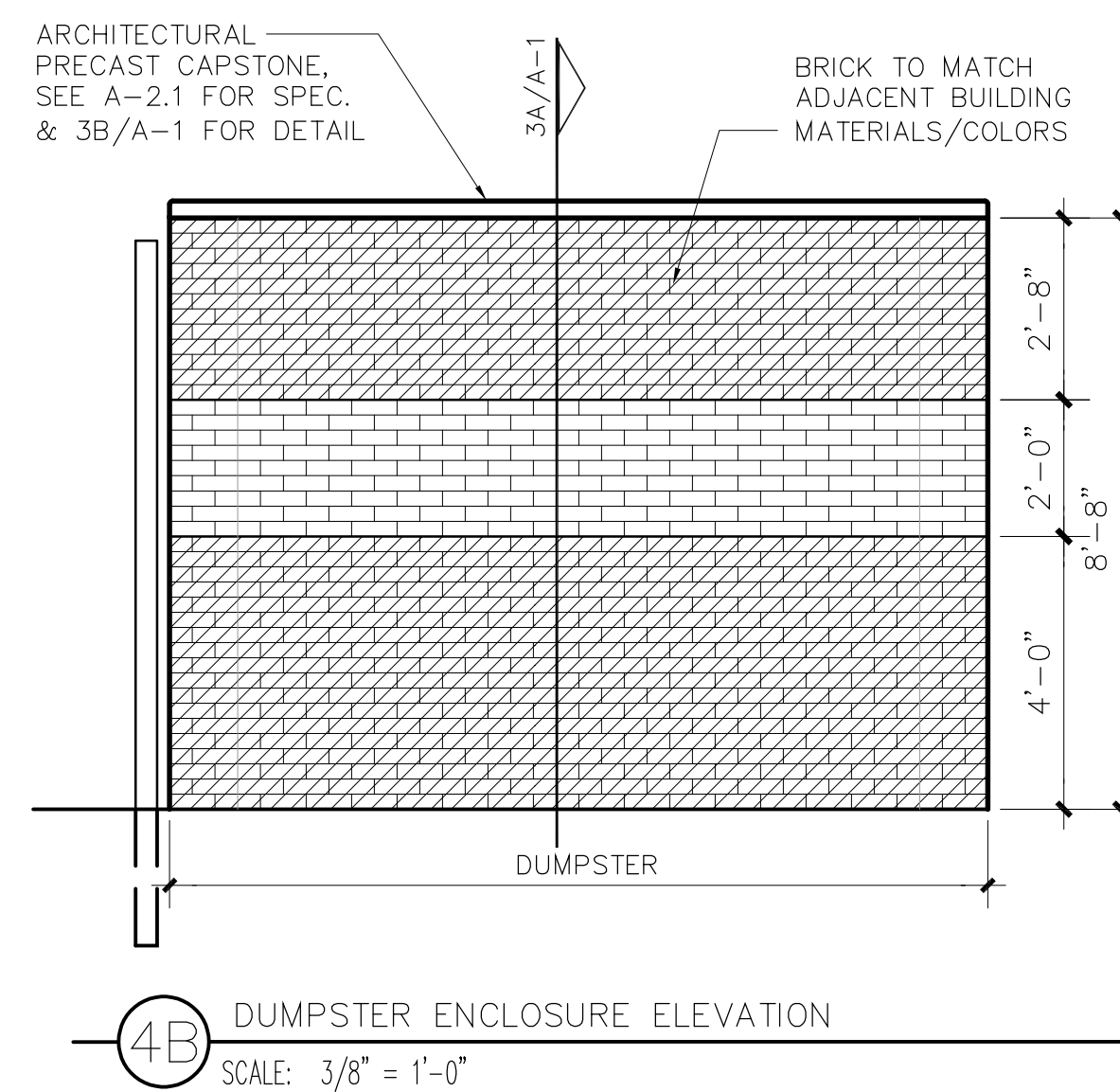
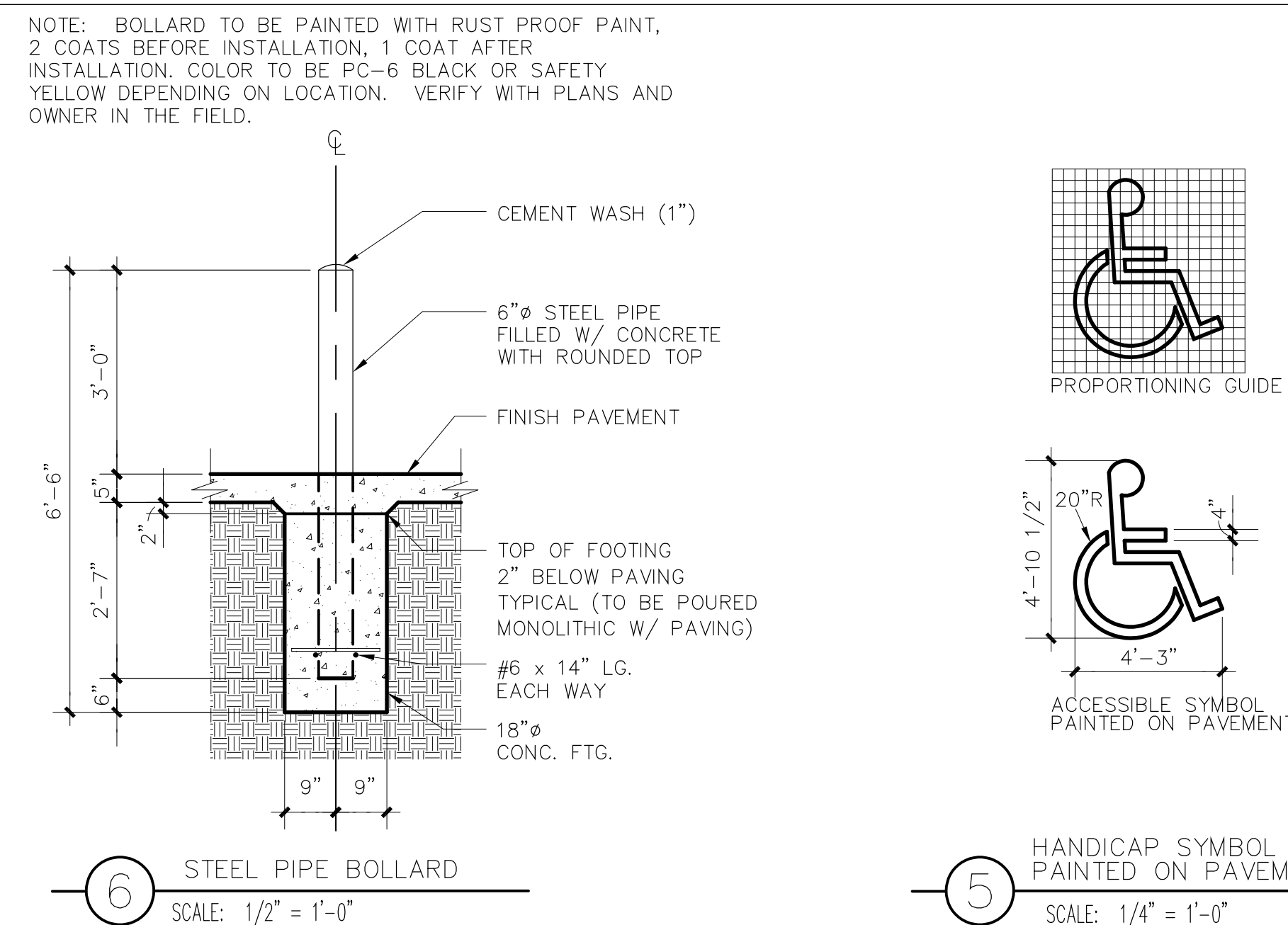
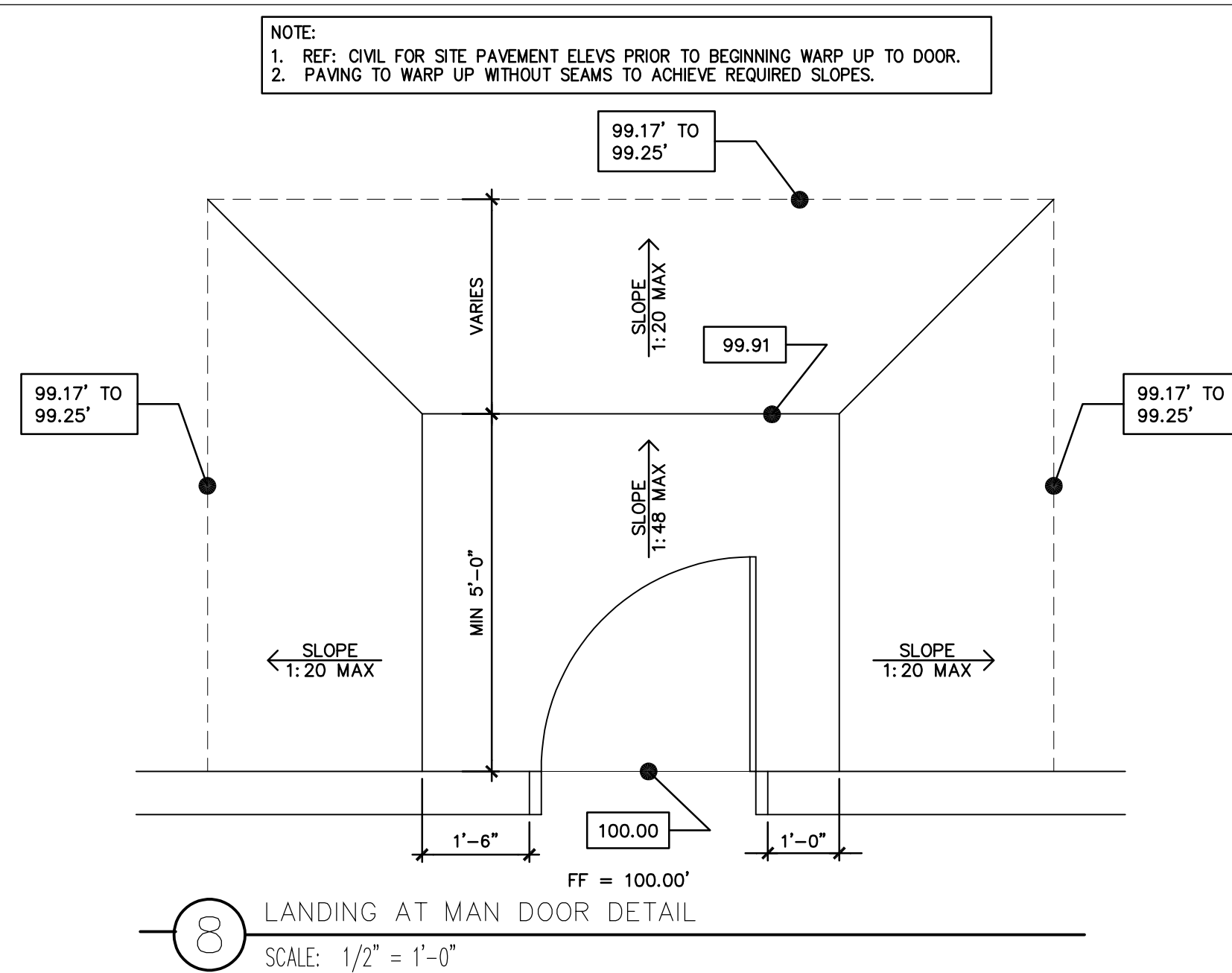
PROJECT FOR:

CHRISTIAN BROTHERS
AUTOMOTIVE

1110 SW RAINTREE PLAZA
LEE'S SUMMIT, MO

DRAWN BY:	JM
CHECKED BY:	JM
JOB #	25002
DATE:	3/27/25



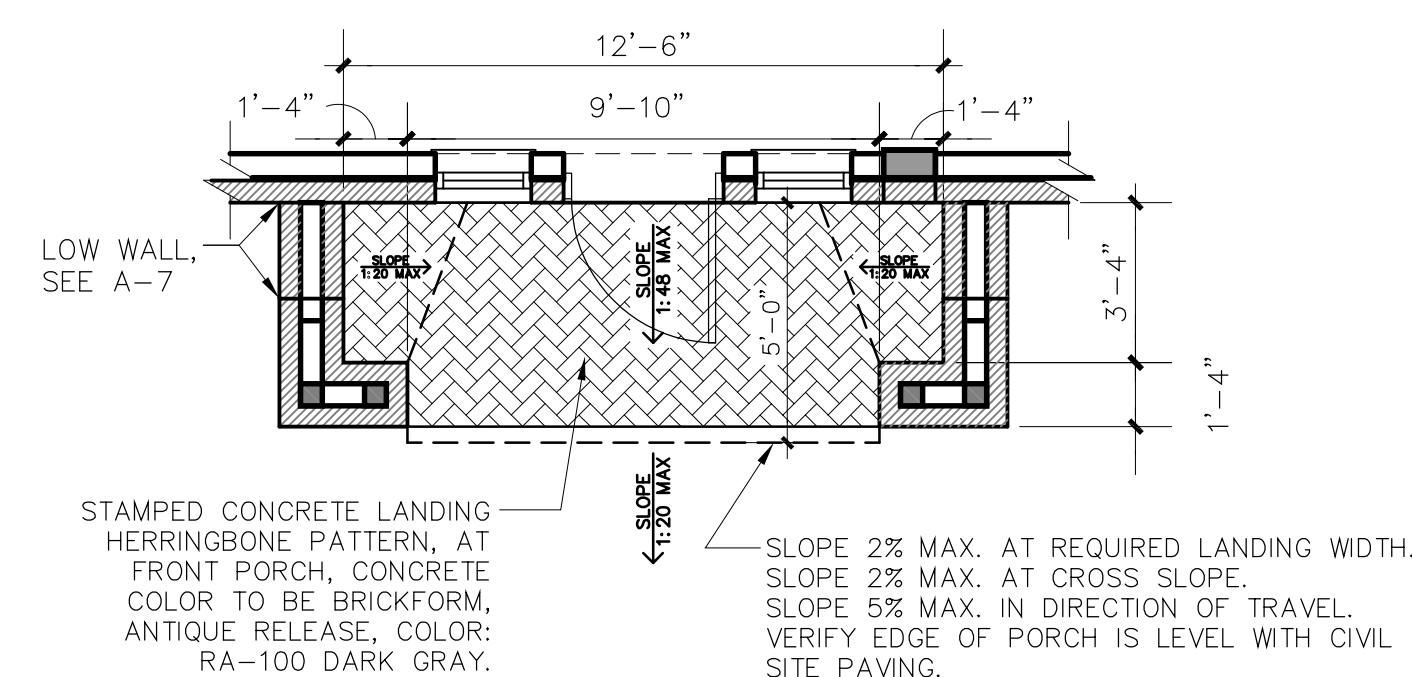
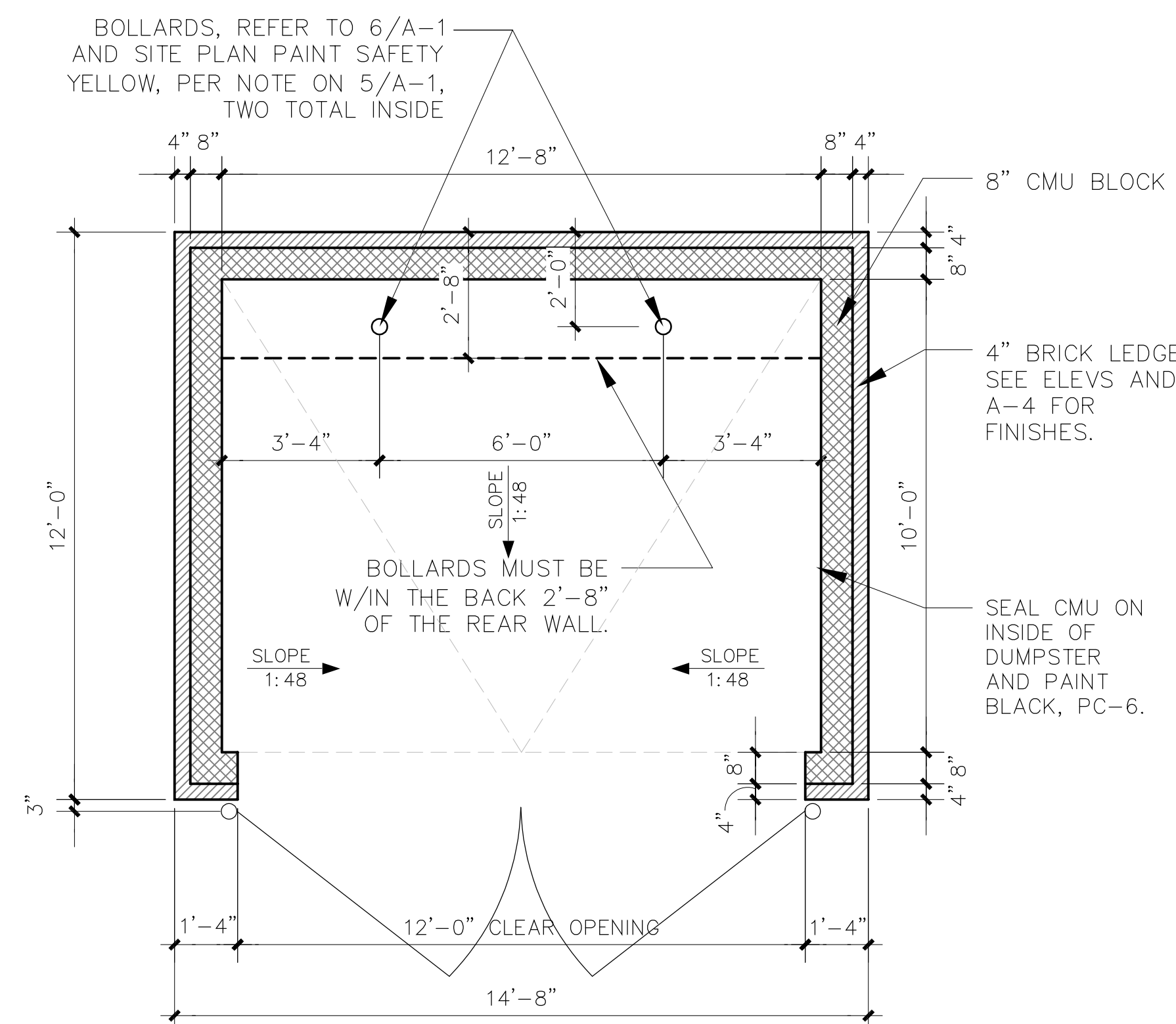
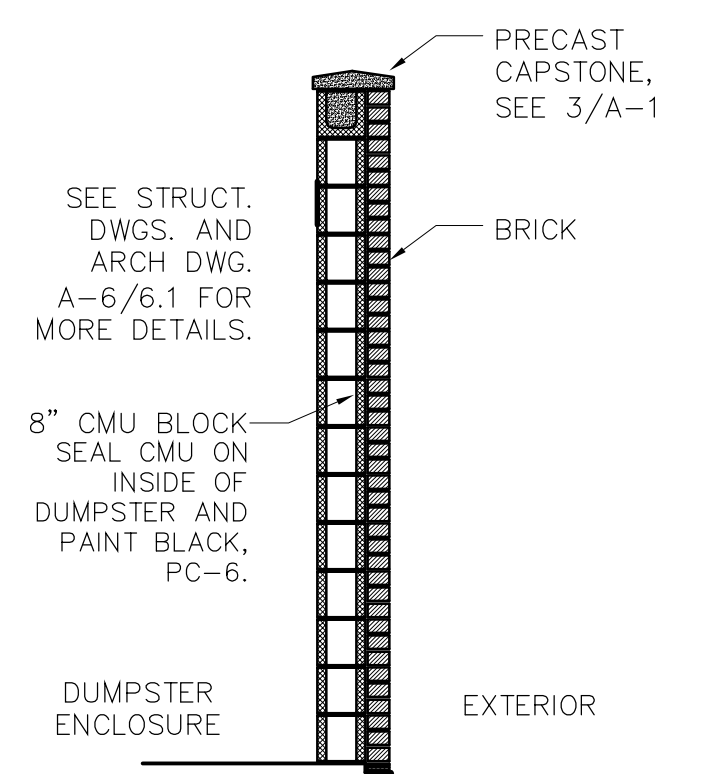
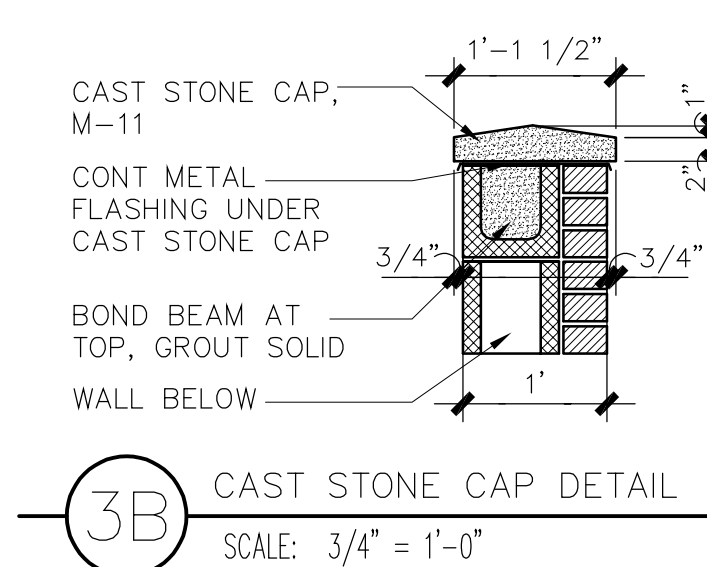


GENERAL NOTES

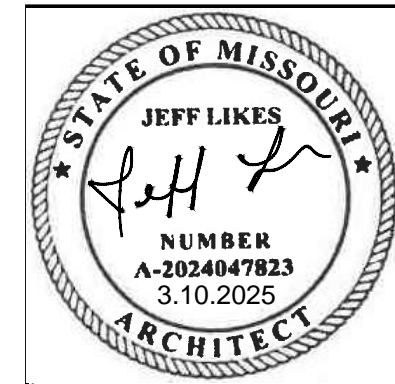
1. BASE INFORMATION WAS TAKEN FROM PROPERTY DESCRIPTION PLANS ON THIS PAGE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ALIGN WITH EXISTING FEATURES.
2. SMOOTH TRANSITION IS REQUIRED BETWEEN ALL EXISTING AND NEW PAVEMENTS.
3. ROADWAY AND ACCESS CLEARANCES ARE SHOWN TO FACE OF CURB AND END OF PARKING SPACES. ALL PARKING SPACES ARE AS SHOWN BY CIVIL.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGED IN COMPLIANCE WITH LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. THE LIGHTING ON THE SITE SHALL COMPLY WITH THE LOCAL ZONING ORDINANCE AND STATE ENERGY CODE AS REQUIRED.
6. THE DUMPSTER IS TO BE ENCLOSED WITH MASONRY WALLS TO MATCH THE BUILDING EXTERIOR. THE ENCLOSURE GATES SHALL BE OPAQUE AND CONSTRUCTED OF PAINTED STEEL FRAME AND STEEL PANELS. SEE A-4 FOR MORE INFORMATION ON DUMPSTER ENCLOSURE AND BUILDING EXTERIOR.
7. ALL OFF SITE EASEMENTS MUST BE FILED PRIOR TO START OF CONSTRUCTION.
8. IRRIGATION SYSTEM SHALL BE PROVIDED AND INCLUDED IN THE BASE BID. THE REQUIRED AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL HAVE SEPARATE ZONES FOR LAWN AND PLANT BEDDING AREAS. LAYOUT PER THE MANUFACTURERS RECOMMENDATIONS WITH OWNERS APPROVAL REQUIRED.

DRIVEWAY CURB AND PAVING NOTES

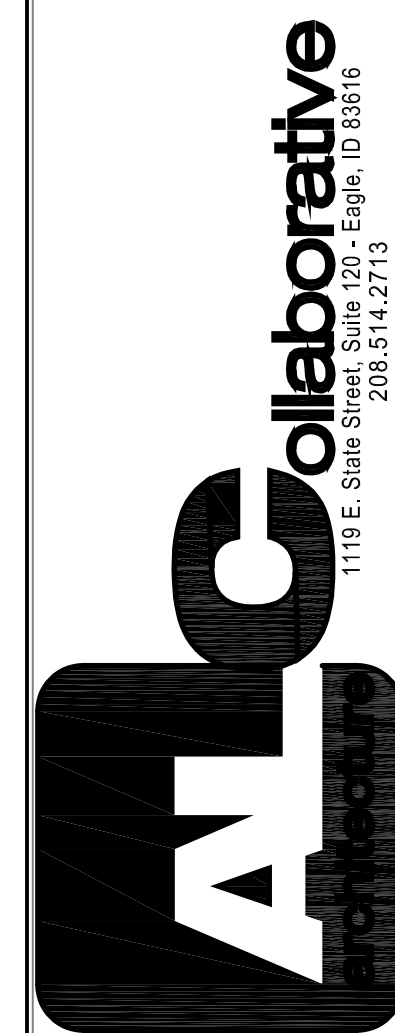
1. CIVIL ENGINEERING DRAWING SUPERCEDE INFORMATION ON THIS DRAWING. NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES.
2. SIDEWALK, DRIVEWAY, CURB, AND LINE AND GRADE SHALL BE SET BY CIVIL ENGINEER.
3. SIDEWALKS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
4. DRIVEWAYS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
5. CURB AND GUTTER SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
6. PROVIDE 1/2" EXPANSION MATERIAL AT INTERVALS OF 20'-0" (MAXIMUM) THROUGHOUT ENTIRE LENGTH OF SIDEWALK.
7. PROVIDE 1/2" EXPANSION MATERIAL BETWEEN WHERE SIDEWALKS ABUT TO A FIRE HYDRANT OR UTILITY POLE.
8. IN THE EVENT THAT MORE THAN ONE DRIVEWAY IS CONSTRUCTED FOR ACCESSING THE PROPERTY FROM THE SAME STREET APPROACH, MAINTAIN MINIMUM SEPARATION BETWEEN DRIVES AS REQUIRED BY LOCAL ZONING ORDINANCE, TRAFFIC AND TRANSPORTATION REGULATIONS, AND/OR BUILDING CODE.
9. SURFACE BETWEEN DRIVEWAYS, FROM TOP OF CURB TO SIDEWALK AND FROM SIDEWALK TO PROPERTY LINE MAY BE EITHER CONCRETE OR DIRT, OR AS REQUIRED BY ORDINANCE AND ORDINANCE AND CODES AS MADE REFERENCE TO IN #8 ABOVE.



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NO.	REVISIONS	DATE
1		1
2		1
3		1
4		1
5		1
6		1



PROJECT FOR:

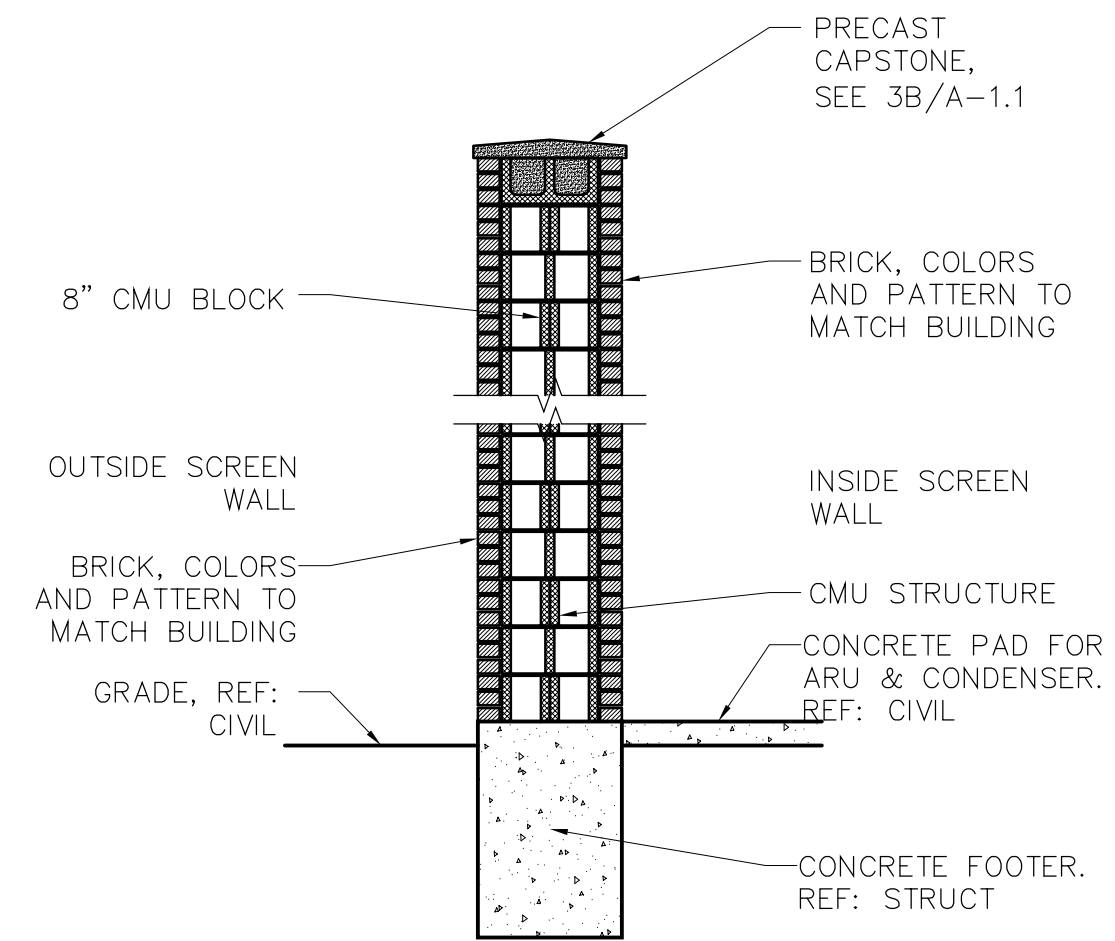
**CHRISTIAN BROTHERS
AUTOMOTIVE**

10 SW RAINTREE PLAZA
LEE'S SUMMIT,

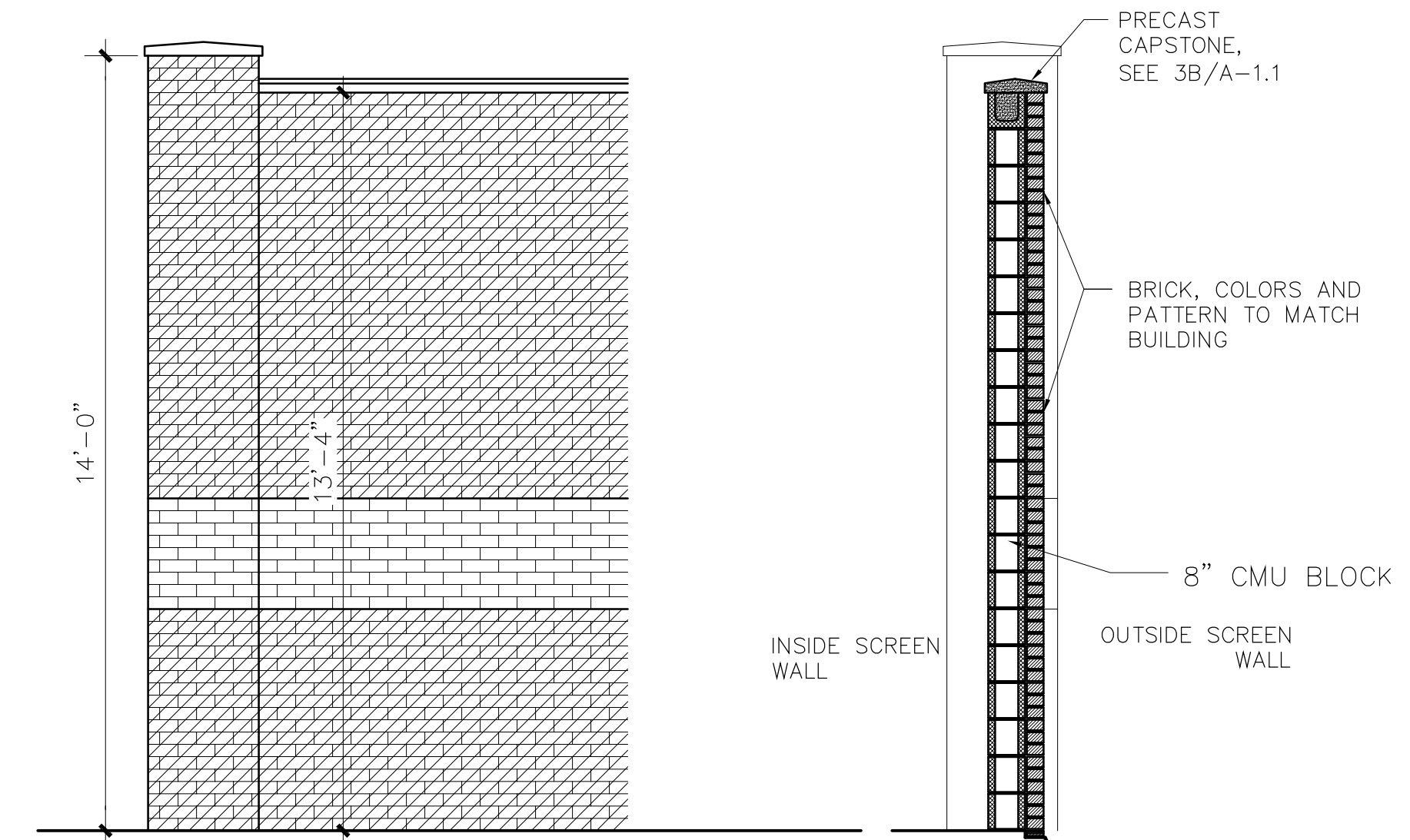
DRAWN BY: JM
CHECKED BY: JM
JOB # 25002
DATE: 2/19/25

**SITE
DETAILS**

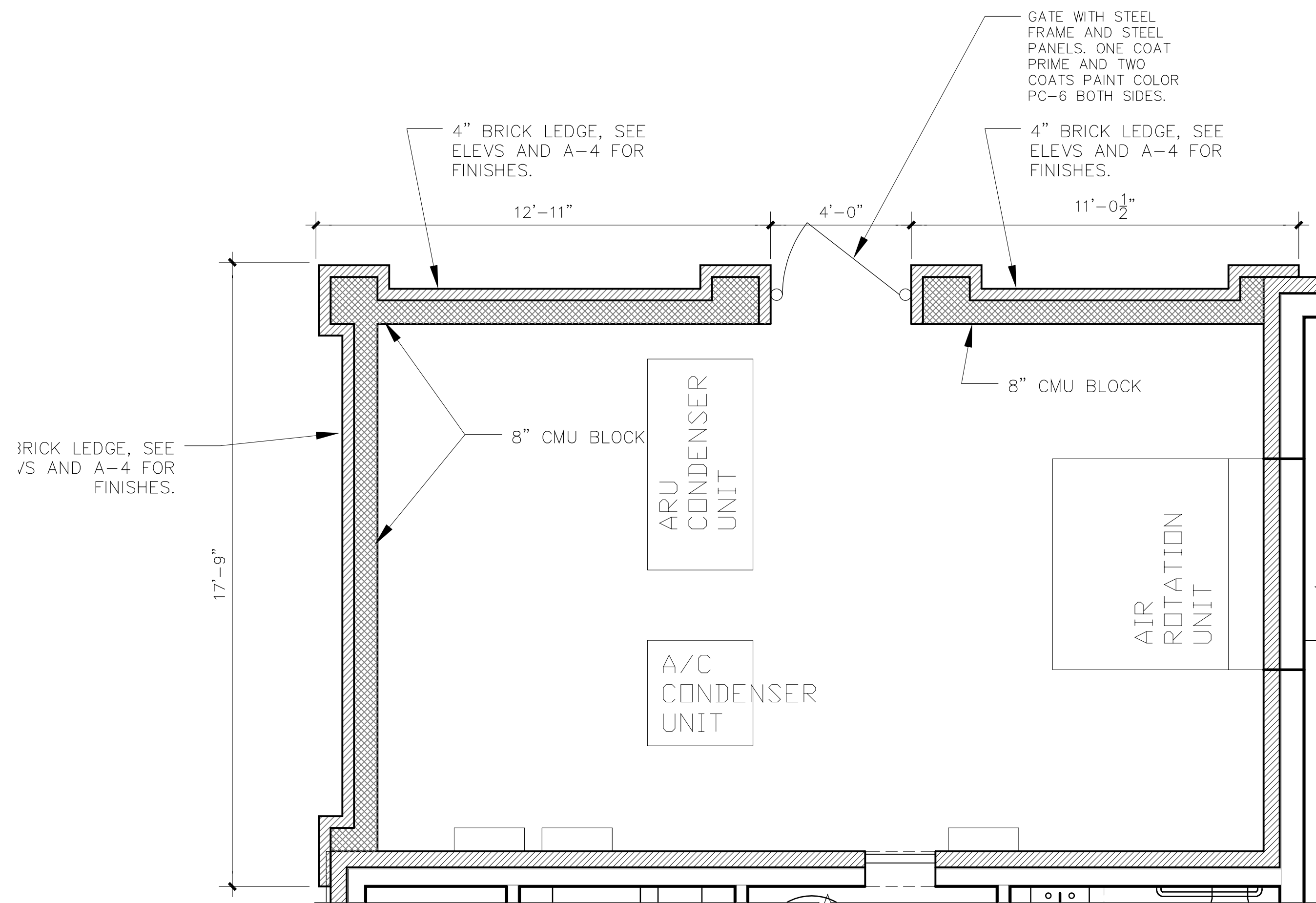
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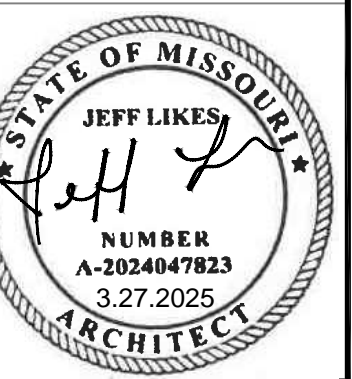
3 SCREEN WALL COLUMN SECTION
SCALE: 3/8" = 1'-0"



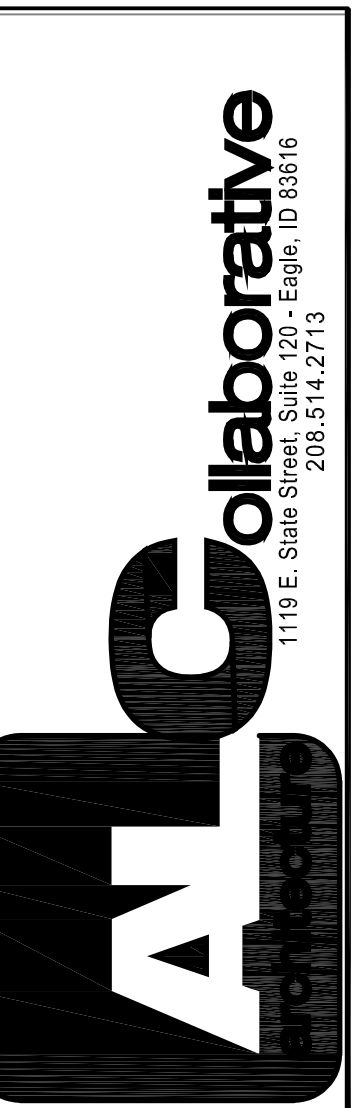
2 SCREEN WALL ELEVATION & SECTION
SCALE: 3/8" = 1'-0"



1 SCREEN WALL FLOOR PLAN
SCALE: 3/8" = 1'-0"



NO.	REVISIONS	DATE

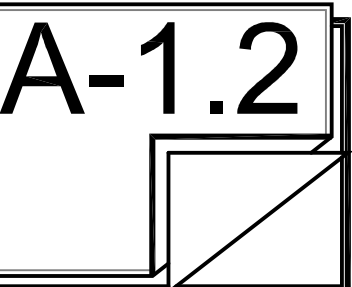


PROJECT FOR:

**CHRISTIAN BROTHERS
AUTOMOTIVE**

110 SW RAINTREE PLAZA
LEES SUMMIT, MO

DRAWN BY:	JM
CHECKED BY:	JM
JOB #	25002
DATE:	3/26/25
SITE DETAILS	



Schedule									
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF
	G1		2	Sternberg Lighting	1W-E250LED-1RND35T5-MDL03-/FL/50DWB/BK	1W-E250LED-1RND35T5-MDL03-/FL/50DWB/BK	1	2505	1
	L		1	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	PR840DD10 - PR8M34MDMW - 4000K	HALO 8" ROUND DOWNLIGHT, MEDIUM LENS, MATTE WHITE FINISH	1	4611	1
	F		8	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	ISW-SA1D-740-U-SL4	IMPACT ELITE LED WEDGE LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	16	345	1
	B		5	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA3A-740-U-T2-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 615mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II OPTICS WITH HOUSE SIDE SHIELD	48	213	1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE PATHS AND PARKING SPACES		3.3 fc	24.6 fc	0.0 fc	N/A	N/A
property line		0.1 fc	0.3 fc	0.0 fc	N/A	N/A

Product	Lighting	PR840DD10 / PR8M34MDMW	Type	L
Manufacturer	Notes		Date	

HALO Commercial
PR810/PR815/PR820/PR830/PR840 | PR8M12/PR8M24

Brush LED new construction shallow lensed downlight

Typical Applications:
Office, Healthcare, Hospitality, Institutional, Retail, Classroom

Product Certifications:
ETL, UL, FCC, RoHS, Energy Star

Product Features:
• New construction downlight, 1,000 to 4,000 lumens
• Medium and wide interchangeable lens distributions. Wall wash accessory kit option
• Matte White, Matte Black and Matte Metallic Silver finishes
• Dimmable color temperature: 3000K, 3500K and 4000K CCT, 90 CRI
• Universal voltage 120V/277V. Standard 5-10V driver dim to 1%

Dimensional and Mounting Details



Product	Lighting	ISWSA1D740USL4BK	Type	F
Manufacturer	Notes		Date	

McGraw-Edison
Impact Elite LED

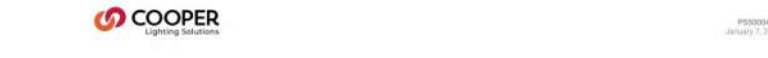
Wall Mount Luminaire

Typical Applications:
Office, Healthcare, Hospitality, Institutional, Retail, Classroom

Product Certifications:
ETL, UL, FCC, RoHS, Energy Star

Product Features:
• New construction downlight, 1,000 to 4,000 lumens
• Medium and wide interchangeable lens distributions. Wall wash accessory kit option
• Matte White, Matte Black and Matte Metallic Silver finishes
• Dimmable color temperature: 3000K, 3500K and 4000K CCT, 90 CRI
• Universal voltage 120V/277V. Standard 5-10V driver dim to 1%

Dimensional Details



Sternberg Lighting
GENESIS 3.0

Custom lighting solutions, expert in engineering, installation & service

Product Certification:
ETL, UL, FCC, RoHS, Energy Star

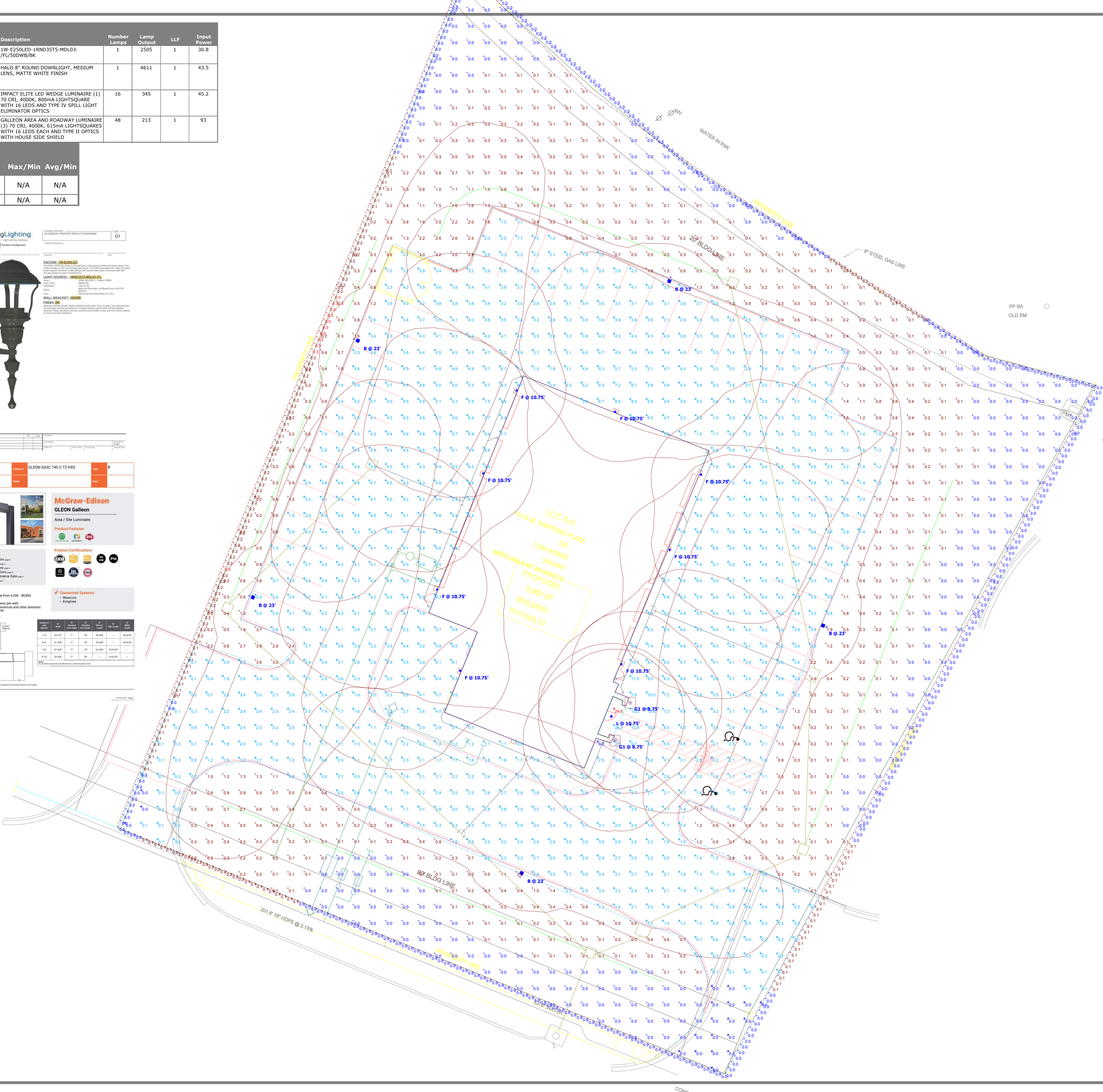
Product Features:
• New construction downlight, 1,000 to 4,000 lumens
• Medium and wide interchangeable lens distributions. Wall wash accessory kit option
• Matte White, Matte Black and Matte Metallic Silver finishes
• Dimmable color temperature: 3000K, 3500K and 4000K CCT, 90 CRI
• Universal voltage 120V/277V. Standard 5-10V driver dim to 1%

Product	Lighting	GLEON SA3C 740 U T2 HSS	Type	B
Manufacturer	Notes		Date	

McGraw-Edison
GLEON Galleon

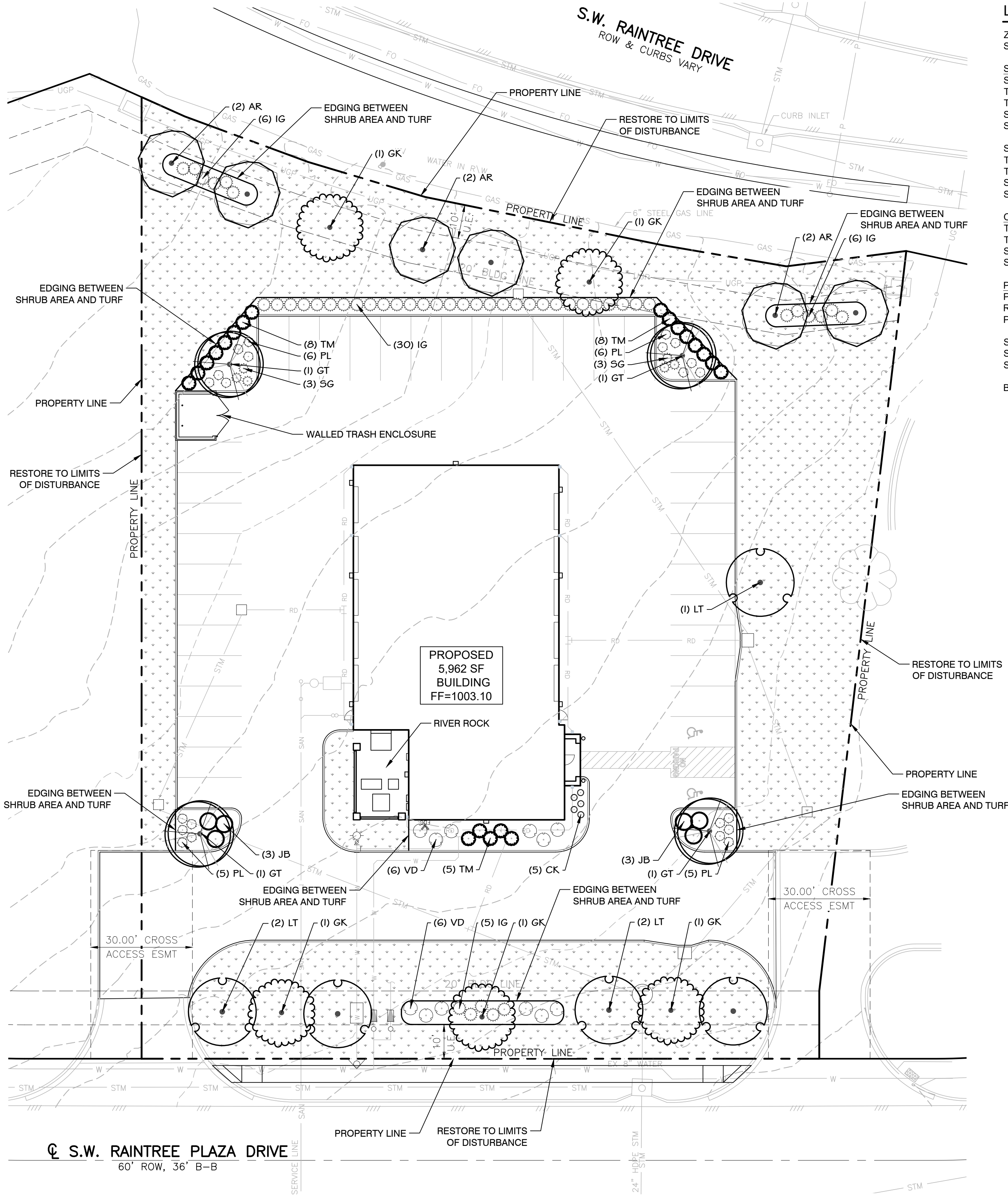
Area / Site Luminaire

Product Features:
• New construction downlight, 1,000 to 4,000 lumens
• Medium and wide interchangeable lens distributions. Wall wash accessory kit option
• Matte White, Matte Black and Matte Metallic Silver finishes
• Dimmable color temperature: 3000K, 3500K and 4000K CCT, 90 CRI
• Universal voltage 120V/277V. Standard 5-10V driver dim to 1%



CHRISTIAN BROTHERS LEES SUMMIT, MO - LAYOUT

Designer
KYLE
BCH/CHARDT
01/14/2025
Scale
Not to Scale
Drawing No.
Summary



ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

LANDSCAPE CALCULATIONS

ZONING:	CP-2
SITE AREA:	53,449 SF
STREET FRONTAGE	
SW RAINTREE PLAZA DRIVE:	200 LF
TREES REQUIRED:	7 TREES (1 PER 30 LF)
TREES PROVIDED:	7 TREES
SHRUBS REQUIRED:	10 SHRUBS (1 PER 20 LF)
SHRUBS PROVIDED:	11 SHRUBS
SW RAINTREE DRIVE:	233 LF
TREES REQUIRED:	8 TREES (1 PER 30 LF)
TREES PROVIDED:	8 TREES
SHRUBS REQUIRED:	12 SHRUBS (1 PER 20 LF)
SHRUBS PROVIDED:	12 SHRUBS
OPEN YARD	23,311 SF
TREES REQUIRED:	5 TREES (1 PER 5,000 SF)
TREES PROVIDED:	5 TREES
SHRUBS REQUIRED:	10 SHRUBS (2 PER 5,000 SF)
SHRUBS PROVIDED:	11 SHRUBS
PARKING LOT	14,600 SF
PARKING SPACES:	38 SPACES
REQUIRED LANDSCAPE AREA:	730 SF (MIN. 5%)
PROVIDED LANDSCAPE AREA:	1,400 SF (9.5%)
SCREENING	165LF
SHRUBS REQUIRED:	50 SHRUBS (12 PER 40 LF)
SHRUBS PROVIDED:	51 SHRUBS
BUFFERYARD	N/A - ADJACENT PROPERTIES ARE SIMILAR ZONING/USE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
TREES						
	AR	6	Acer rubrum 'Red Sunset' Red Sunset Maple	2.5" Cal.	Cont. or B&B	12' Ht. Min.
	GT	4	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust	2.5" Cal.	Cont. or B&B	12' Ht. Min.
	GK	5	Gymnocladus dioica 'Espresso' Kentucky Coffee Tree	2.5" Cal.	Cont. or B&B	12' Ht. Min.
	LT	5	Liriodendron tulipifera Tulip Poplar	2.5" Cal.	Cont. or B&B	12' Ht. Min.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
SHRUBS						
	CK	5	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.	Per Plan	12" Min. Ht.
	IG	47	Ilex glabra 'Shamrock' Inkberry	2 gal.	Per Plan	18" Min. Ht.
	JB	6	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal.	Per Plan	18" Min.
	PL	22	Physocarpus opulifolius 'Little Devil' TM Dwarf Ninebark	2 gal.	Per Plan	18-24" Ht.
	SG	6	Spiraea japonica 'Goldmound' Goldmound Japanese Spirea	2 gal.	Per Plan	18" Min. Ht.
	TM	21	Taxus x media 'Densiformis' Dense Yew	5 gal.	Per Plan	24" Min. Ht.
	VD	12	Viburnum dentatum 'Arrowwood' Arrowwood Viburnum	5 gal.	Per Plan	24" Min. Ht.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
GROUND COVERS						
	TURF	20,005 sf	Poa pratensis Kentucky Bluegrass	sod		

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT AND TOWNSHIP LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

