### DESIGN TEAM

### OWNER:

CHRISTIAN BROTHERS AUTOMOTIVE CORPORATION 17725 KATY FREEWAY, SUITE 200 HOUSTON, TEXAS 77094 CONTACT: BILLY GREEN JR. PHONE: 281.675.6192 EMAIL: billy.green@cbac.com

### ARCHITECT:

ALC ARCHITECTURE 71119 STATE STREET, SUITE 120 EAGLE, IDAHO 83616 CONTACT: JEFF LIKES PHONE: 208.514.2713 EXT. 8200 EMAIL: jeff@alcarchitecture.com

LANDSCAPE ARCHITECT:

EVERGREEN DESIGN GROUP, INC PO BOX 2193 GARNER, NC 27529 CONTACT: RODNEY McNABB

PHONE: 800.680.6630 EMAIL: rodney@evergreendesigngroup.com WEBSITE: EVERGREENDESIGNGROUP.COM

CURRENT ZONING = CP-2 PLANNED

MAXIMUM HEIGHT = 40' (3 STORIES)

No. 70-820-06-07-00-0-000

over a portion of the premises described herein.

Cross access as shown on the recorded plat.

Access easement granted over a portion of the premises described herein as shown on the recorded

(1) RECORDATION NOTES:

**OVERLAY** 

FRONT SETBACK = 15' REAR SETBACK = 20'SIDE SETBACK = 10'

LEGAL DESCRIPTION:

COMMUNITY COMMERCIAL DISTRICT WITHIN A CORRIDOR DEVELOPMENT

### CIVIL ENGINEER:

Z&CO., LLC 10118 GAGE DANIEL LANE CYPRESS, TEXAS 77433
CONTACT: ZIAD KAAKOUCH PHONE: 832.906.9916 EMAIL: zkaakouch@zandcollc.com

### SURVEYOR

ROARK SURVEYING 10233 NOLAND ROAD LENEXA, KANSAS 66215 CONTACT: Dan PHONE: 913.888.8289 EMAIL: roarksurveying@aol.com

# CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI 64082

PRELIMINARY DEVELOPMENT PLAN

	SHEET LIST						
DWG No.	SHEET TITLE						
C-1.0	COVER & OVERALL PLAN						
C-2.0	SITE DIMENSION AND PAVING PLAN						
C-3.0	SITE GRADING AND DRAINAGE PLAN						
C-4.0	UTILITY PLAN						
A-4	EXTERIOR ELEVATIONS						
1	PHOTOMETRIC LIGHTING PLAN						
LP-1	LANDSCAPE PLANTING						
LP-2	IANDSCAPE SPECIFICATIONS AND DETAILS						

PROPOSED BUILDING

FF=1003.10

SW RAINTREE PLAZA DRIVE

-24.50' CROSS ACCESS ESMT (1)

LOT 3

121 S.W. RAINTREE PLAZA DR.

(ZONING = CP-2)

100 S.W. RAINTREE PLAZA D

1.01 ACRES±

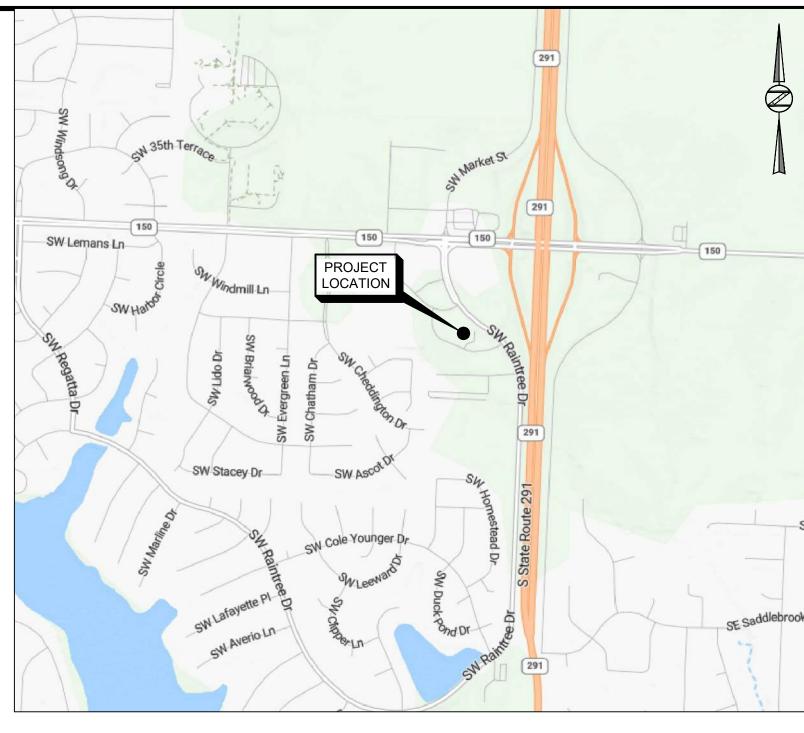
SPLASH & GO CAR WASH

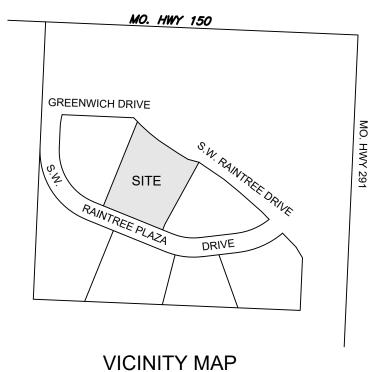
(ZONING = CP-2)

LOT 2 111 S.W. RAINTREE PLAZA DR.

0.673 ACRES VACANT

(ZONING = CP-2)





NO SCALE

LAND USE	SCHEDULE
TOTAL FLOOR AREA	5,962 SF
LAND AREA (SF)	53,449 SF
IMPERVIOUS AREA (SF)	30,205 SF (0.6934 AC)
IMPERVIOUS COVERAGE	56.51%
REQUIRED PARKING SPACES	30 (INCLUDES 2 ADA)
PROPOSED PARKING SPACES	38 (INCLUDES 2 ADA)
BUILDING HEIGHT	288%
FLOOR AREA RATIO (FAR)	11%
DWELLING UNITS	0
DWELLING UNITS PER ACRE	0

### PROJECT BENCHMARK:

LOT 1 101 S.W. RAINTREE PLAZA 1.033 ACRES

VACANT (ZONING = CP-2)

> TBM #1
> FRONT CORNER CURB INLET, 53' WEST OF THE SOUTHWEST CORNER LOT 6-A **ELEVATION = 1001.72**

TBM #2
FRONT CENTER CURB INLET, 50' NORTHEAST OF THE MOST SOUTHERLY **CORNER OF LOT 6-A ELEVATION = 1996.97** 

TBM #3
FRONT CENTER CURB INLET, 52' NORTHWEST OF THE MOST NORTHERLY ELEVATION = 1005.50

### FLOODPLAIN NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) No. 29095C0532G, DATED: JANUARY 20, 2017, THE PROJECT TRACT IS WITHIN FLOOD HAZARD ZONE 'X', DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

# **LOCATION MAP**

PROJECT NAME:

CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI

Z&Co., LLC

400 MONTROSE BLVD., #2916

HOUSTON, TX 77006

832-906-9916

MO LICENSE #2024021881

CHRISTIAN BROTHERS AUTOMOTIVE

7225 KATY FRWY, SUITE 200 HOUSTON, TX 77094

SCALE: 1"=50'

AS TO THE COMPLETENESS OR ACCURACY

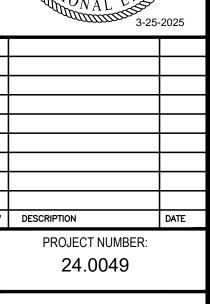
THE EXACT UTILITY LOCATIONS AND ELEVATION PRIOR TO THE START OF CONSTRUCTION.

CLIENT:

SUBMITTAL DATE: JANUARY 2025 DRAWING TITLE:

> COVER & OVERALL PLAN

	DANIEL M. QUARLES NUMBER PE-2024016392	* 177 July 2025
_		



C-1.0

# Lots 6-A, RAINTREE PLAZA, LOTS 6-A & 7-A, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof. JACKSON COUNTY APPRAISAL DISTRICT PARCEL Easements, restrictions and setback lines as per plat, recorded as/in Document No. 2007E0096903 in Book 109, Page 97 (RAINTREE PLAZA LOTS 1-7). Easements, restrictions and setback lines as per plat, recorded as/in Document No. 2009E0073688 in Book 128, Page 36 (RAINTREE PLAZA LOTS 6-A & 7-A). Public Utility Easement granted by the recorded plat

1)10' UTILITY EASEMENT

0' UTILITY EASEMENT 1

PROPERTY LINE (TYP)

120 S.W. RAINTREE PLAZA DR. 1.100 ACRES

1000.6 MBFE

(ZONING = CP-2)

LOT 6-A 110 S.W. RAINTREE PLAZA DR. 1.234 ACRES

MBFE-999.8 BY AS-BUILTS

30' CROSS | ACCESS ESMT |

LOT 4

131 S.W. RAINTREE PLAZA DR. 1.383 ACRES

(ZONING = CP-2)

# \_S 43°48'11" E 13.97'\_\_1/2" 2.8' SE (RETAINING WALL) RETAINING WALL 117.00 23.67 19.00' 33.00' 60.67 19.00 41.27 62.50' (BLDG TO PROPERTY LINE) 92.00' (BLDG TO PROPERTY LINE) PROPERTY LINE (TYP) LOT 6-A 110 S.W. RAINTREE PLAZA DR. 20.00 ,20.00 120 S.W. RAINTREE PLAZA 100 S.W. RAINTREE PLAZA DR. 1.100 ACRES 1.234 ACRES VACANT VACANT SPLASH & GO CAR WASH MBFE-999.8 BY AS-BUILTS 1000.6 MBFE PROPOSED 5,962 SF BUILDING FF=1003.10 SEE TYPICAL ADA PARKING DETAIL ON THIS SHEET 41.84 78.67 24.00 30.00' CROSS 0 ACCESS ESMT ACCESS ESMT \_S 22°03'26" W N 67'56'34" W 200.00 N 67°56'34" W 234.57' CONC APRON EXIST 26.00' DRIVEWAY & S.W. RAINTREE PLAZA DRIVE 60' ROW, 36' B-B

N 67° 56' 34" W 269.14'

CONC APRON

30.00<sup>, I</sup>CROSS

92.63'

CONC APRON

30.80

66.24

# PRELIMINARY DEVELOPMENT PLAN

### **GENERAL NOTES:**

- 1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 2. ALL RADII ARE 2', UNLESS NOTED OTHERWISE.

PARKING ANALYSIS							
LAND USE	PARKING RATIO	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED				
AUTO REPAIR SHOP	3/PER SERVICE BAY	30	48 (INCLUDES 10 SERVICE BAYS)				
2 ADA STALLS FOR 26-50 SPACES		2	2				

No.	DESCRIPTION
1	6" CURB TYPE 'C-1' PER CITY OF LEE'S SUMMIT STD DETAIL GEN-4
2	VARIABLE HEIGHT RETAINING WALL WITH 6" CURB ON TOP (NO CURB AT DUMPSTER ENCLOSURE). SEE PER GRADING PLAN & REFERENCE STRUCTURAL PLANS FOR RETAINING WALL DETAILS
3	HANDICAP PARKING SPACE WITH INTERNATIONAL HANDICAP SYMBOL; MAX 29 SLOPE IN ALL DIRECTIONS; SEE TYPICAL DETAIL ON THIS SHEET
4	HANDICAP PARKING SIGN; TYPICAL
5	ADA ROUTE WITH PAINTED WHITE STRIPES, WIDTH PER PLANS, WITH 2% MAX CROSS SLOPE
6	PROP SWQ UNIT w/GRATE TOP
7	4' WIDE PAINTED WHITE PARKING STRIPE (TYPICAL)
8	DUMPSTER ENCLOSURE
9	5' WIDE CONC. SIDEWALK (PUBLIC) PER CITY OF LEE'S SUMMIT STD DETAIL GEN-2
10	ADA RAMP PER CITY OF LEE'S SUMMIT STD DETAIL GEN-3A
11	SAWCUT & REMOVE EXISTING CONCRETE CURB AND GUTTER FOR CONSTRUCTION OF NEW ACCESS DRIVE ~ 47 LF
12	NOT USED
13	MONUMENT SIGN
14	NEW ASPHALT TO EXISTING CONCRETE; MATCH EXISTING ELEVATIONS
15	ELECTRIC TRANSFORMER PAD
16	CURB OFFSET FOR STORM SEWER CURB INLET PER CITY OF LEE'S SUMMIT STD DETAIL STM-1
17	EXTERIOR LIGHT LOCATION
18	CONCRETE FILLED PIPE BOLLARD PER DETAIL
19	NEW CONCRETE SIDEWALK TO MATCH EXISTING CONCRETE SIDEWALK
20	SCREEN WALL FOR GROUND MOUNTED AIR CONDITIONING EQUIPMENT (GMU)
21	GROUND MOUNTED AIR CONDITIONING EQUIPMENT (GMU)
22	ELECTRIC METER
23	NATURAL GAS METER
24	ELECTRIC TRANSFORMER PAD

LEGEND

PARKING SPACE COUNT

MIN 1.5" HMAC & 4" BASE (PER GEOTECH REPORT)

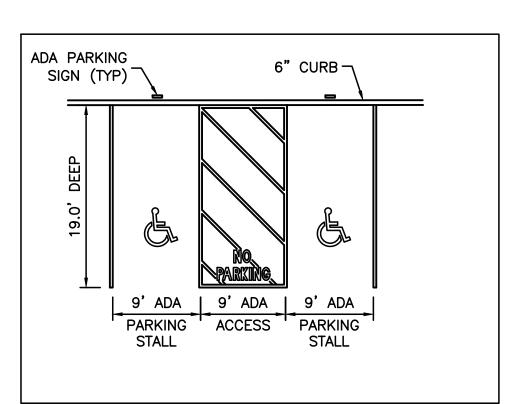
MIN 1.5" HMAC & 5" BASE

MIN 6" CONCRETE PAVEMENT (PER GEOTECH REPORT)

(PER GEOTECH REPORT)

CONCRETE SIDEWALK

LANDSCAPED AREA



TYPICAL ACCESSIBLE PARKING DIMENSIONS

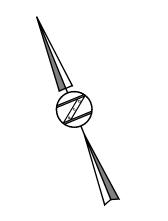
# Z&Co., LLC

3400 MONTROSE BLVD., #2916 HOUSTON, TX 77006 832-906-9916 MO LICENSE #2024021881

CLIENT:

### CHRISTIAN BROTHERS AUTOMOTIVE

17225 KATY FRWY, SUITE 200 HOUSTON, TX 77094







UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY

THE EXACT UTILITY LOCATIONS AND ELEVATION PRIOR TO THE START OF CONSTRUCTION.

PROJECT NAME:

CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI 64082

SUBMITTAL DATE: JANUARY 2025

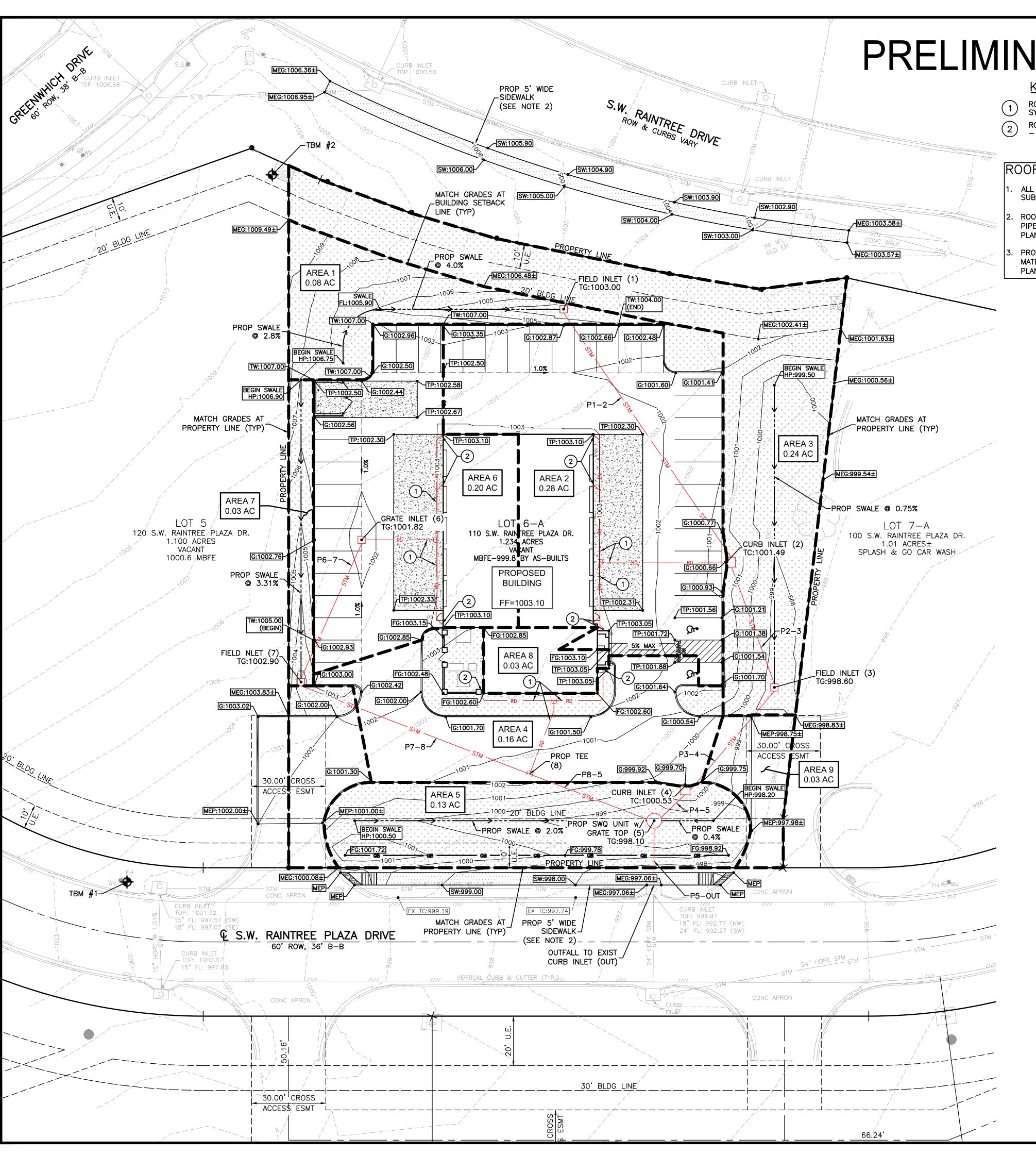
DRAWING TITLE:

SITE DIMENSION AND PAVING PLAN

	S* PROFES	DANIH QUAR NUM PE-2024	RLES

REV DESCRIPTION PROJECT NUMBER: 24.0049

C-2.0



# PRELIMINARY DEVELOPMENT PLAN

### **KEY NOTES:**

- 1 ROOF DRAIN PIPE TO CONNECT TO SUBSURFACE DRAINAGE SYSTEM SEE ROOF DRAIN NOTES ON THIS SHEET
- 2 ROOF DOWN SPOUT PER ARCHITECTURAL & MEP PLANS
   SEE ROOF DRAIN NOTES ON THIS SHEET

## ROOF DRAIN NOTES:

- 1. ALL ROOF DRAINS SHALL BE CONNECTED DIRECTLY TO SUBSURFACE DRAINAGE SYSTEM, UNLESS OTHERWISE NOTED.
- 2. ROOF DRAIN CONNECTION LEADS SHALL MATCH SUBSURFACE PIPE MATERIAL AND SHALL BE SIZED ACCORDINGLY (SEE MEP PLANS)
- PROVIDE ADEQUATE TRANSITION BOOTS/ELEMENTS AND MATERIALS FROM ROOF DRAINS TO LEADS. (SEE MEP & ARCH PLANS)

### **GENERAL NOTES:**

- 1. MAXIMUM CROSS SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.0%. RAMP SLOPES SHALL NOT EXCEED 1—INCH PER FOOT (8.33%). MAXIMUM SLOPES FOR HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
- 2. SIDEWALK GRADES ARE FLUSH WITH GUTTER AT DRIVES.
- 3. UNLESS OTHERWISE NOTED, ALL PARKING AND DRIVE AISLE GRADES ARE TO INVERT OF GUTTER. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE, EXCEPT WHERE CURB IS FLUSH WITH PAVEMENT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER
- 5. BOTTOM OF WALL (BW) GRADES ARE THE FINISHED GRADE ELEVATIONS AT THE BOTTOM OF THE RETAINING WALL AND NOT THE ACTUAL BOTTOM OF THE WALL STRUCTURE.
- 6. FIELD VERIFY INVERT ELEVATIONS OF EXISTING STORM SEWER STRUCTURES. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.

STORM STRUCTURES					
NAME	TYPE	RIM/TOP	INVERT IN	INVERT OUT	
1	FIELD INLET	1003.00			
2	CURB INLET	1001.49			
3	FIELD INLET	998.60			
4	CURB INLET	1000.53			
5	FIELD INLET	998.10			
6	GRATE INLET	1001.82			
7	FIELD INLET	1002.90			
8	TEE	1000.64			

STORM PIPES								
NAME	SIZE	LENGTH	SLOPE	MATERIAL	INVERT	UP	INVERT	DOWN
P1-2		121		HDPE				
P2-3		53		HDPE				
P3-4		54		HDPE				
P4-5		17		HDPE				
P6-7		62		HDPE				
P7-8		99		HDPE				
P8-5		53		HDPE				
P5-OUT		26		RCP				

# SPOT ELEVATION ABBREVIATIONS

EG EXISTING GRADE
FF FINISHED FLOOR
FG FINISHED GRADE
FL FLOWLINE
G GUTTER
HP HIGH POINT
MEG MATCH EXIST GRADE
MEP MATCH EXIST PAVEMENT
RIM RIM OF MH, JB OR INLET
SW TOP OF SIDEWALK
TC TOP OF CURB
TG TOP OF GRATE

TOP OF PAVEMENT

TOP OF WALL

BW BOTTOM OF WALL

### LEGEND

XX:00.00 SPOT ELEVATION PAVEMENT VALLEY/SLOPE CONTOUR LINE (EXISTING) CONTOUR LINE (PROPOSED) GRADE BREAK SWALE GRATE/FIELD STORM SEWER INLETS STORM SEWER PIPE ROOF DRAIN PIPE DRAINAGE AREA NAME AREA X 0.000 AC DRAINAGE AREA (ACRES) DRAINAGE AREA

### PROJECT BENCHMARK:

TBM #1
FRONT CORNER CURB INLET, 53' WEST OF THE SOUTHWEST CORNER LOT 6-A
ELEVATION = 1001.72

TBM #2
FRONT CENTER CURB INLET, 50' NORTHEAST OF THE MOST SOUTHERLY
CORNER OF LOT 6-A
ELEVATION = 1996.97

TBM #3
FRONT CENTER CURB INLET, 52' NORTHWEST OF THE MOST NORTHERLY CORNER OF LOT 6-A
ELEVATION = 1005.50

FLOODPLAIN NOTE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) No. 29095C0532G, DATED: JANUARY 20, 2017, THE PROJECT TRACT IS WITHIN FLOOD HAZARD ZONE 'X', DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

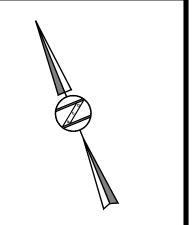
# Z&Co., LLC

3400 MONTROSE BLVD., #2916 HOUSTON, TX 77006 832-906-9916 MO LICENSE #2024021881

CLIENT:

# CHRISTIAN BROTHERS

AUTOMOTIVE 17225 KATY FRWY, SUITE 200 HOUSTON, TX 77094







THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY

THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

PROJECT NAME:

CHRISTIAN BROTHER'S
AUTOMOTIVE
110 SW RAINTREE PLAZA
LEE'S SUMMIT, MISSOURI
64082

SUBMITTAL DATE: JANUARY 2025

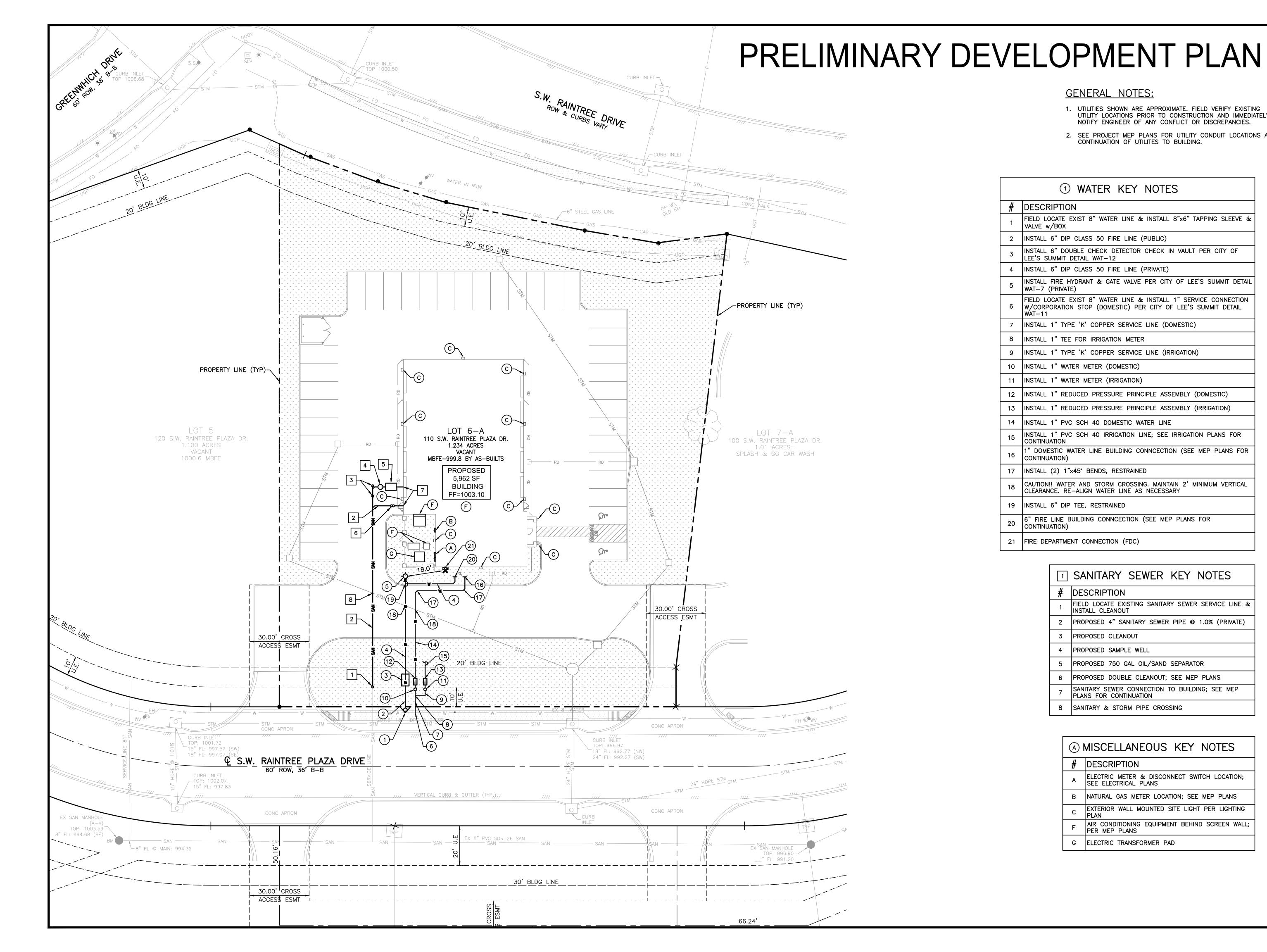
DRAWING TITLE:

SITE GRADING AND DRAINAGE PLAN

DANIEL M.
QUARLES
NUMBER
PE-2024016392

	WAL 3-25	-2025
REV	DESCRIPTION	DATE
	PROJECT NUMBER:	
	24.0049	

C-3.0



### **GENERAL NOTES:**

- 1. UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICT OR DISCREPANCIES.
- 2. SEE PROJECT MEP PLANS FOR UTILITY CONDUIT LOCATIONS AND CONTINUATION OF UTILITES TO BUILDING.

### ① WATER KEY NOTES # DESCRIPTION FIELD LOCATE EXIST 8" WATER LINE & INSTALL 8"x6" TAPPING SLEEVE & VALVE w/BOX 2 INSTALL 6" DIP CLASS 50 FIRE LINE (PUBLIC) INSTALL 6" DOUBLE CHECK DETECTOR CHECK IN VAULT PER CITY OF LEE'S SUMMIT DETAIL WAT-12 4 INSTALL 6" DIP CLASS 50 FIRE LINE (PRIVATE) INSTALL FIRE HYDRANT & GATE VALVE PER CITY OF LEE'S SUMMIT DETAIL FIELD LOCATE EXIST 8" WATER LINE & INSTALL 1" SERVICE CONNECTION W/CORPORATION STOP (DOMESTIC) PER CITY OF LEE'S SUMMIT DETAIL INSTALL 1" TYPE 'K' COPPER SERVICE LINE (DOMESTIC) 8 INSTALL 1" TEE FOR IRRIGATION METER INSTALL 1" TYPE 'K' COPPER SERVICE LINE (IRRIGATION) INSTALL 1" WATER METER (DOMESTIC) 11 INSTALL 1" WATER METER (IRRIGATION) 12 INSTALL 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY (DOMESTIC) 13 INSTALL 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY (IRRIGATION) INSTALL 1" PVC SCH 40 DOMESTIC WATER LINE INSTALL 1" PVC SCH 40 IRRIGATION LINE; SEE IRRIGATION PLANS FOR ' DOMESTIC WATER LINE BUILDING CONNCECTION (SEE MEP PLANS FOR CONTINUATION) 17 INSTALL (2) 1"x45" BENDS, RESTRAINED CAUTION!! WATER AND STORM CROSSING. MAINTAIN 2' MINIMUM VERTICAL CLEARANCE. RE-ALIGN WATER LINE AS NECESSARY 19 INSTALL 6" DIP TEE, RESTRAINED 6" FIRE LINE BUILDING CONNCECTION (SEE MEP PLANS FOR CONTINUATION) 21 FIRE DEPARTMENT CONNECTION (FDC)

1	SANITARY SEWER KEY NOTES
#	DESCRIPTION
1	FIELD LOCATE EXISTING SANITARY SEWER SERVICE LINE & INSTALL CLEANOUT
2	PROPOSED 4" SANITARY SEWER PIPE @ 1.0% (PRIVATE)
3	PROPOSED CLEANOUT
4	PROPOSED SAMPLE WELL
5	PROPOSED 750 GAL OIL/SAND SEPARATOR
6	PROPOSED DOUBLE CLEANOUT; SEE MEP PLANS
7	SANITARY SEWER CONNECTION TO BUILDING; SEE MEP PLANS FOR CONTINUATION
8	SANITARY & STORM PIPE CROSSING

### A MISCELLANEOUS KEY NOTES

### # DESCRIPTION

- ELECTRIC METER & DISCONNECT SWITCH LOCATION; SEE ELECTRICAL PLANS
- NATURAL GAS METER LOCATION; SEE MEP PLANS
- EXTERIOR WALL MOUNTED SITE LIGHT PER LIGHTING
- AIR CONDITIONING EQUIPMENT BEHIND SCREEN WALL; PER MEP PLANS
- G ELECTRIC TRANSFORMER PAD

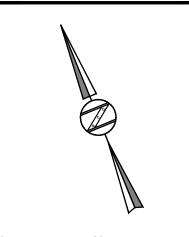
# Z&Co., LLC

3400 MONTROSE BLVD., #2916 HOUSTON, TX 77006 832-906-9916 MO LICENSE #2024021881

CLIENT:

### CHRISTIAN BROTHERS AUTOMOTIVE

17225 KATY FRWY, SUITE 200 HOUSTON, TX 77094



SCALE: 1"=20'



UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY HE EXACT UTILITY LOCATIONS AND ELEVATION PRIOR TO THE START OF CONSTRUCTION.

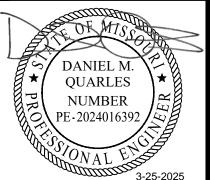
PROJECT NAME:

CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI 64082

SUBMITTAL DATE: JANUARY 2025

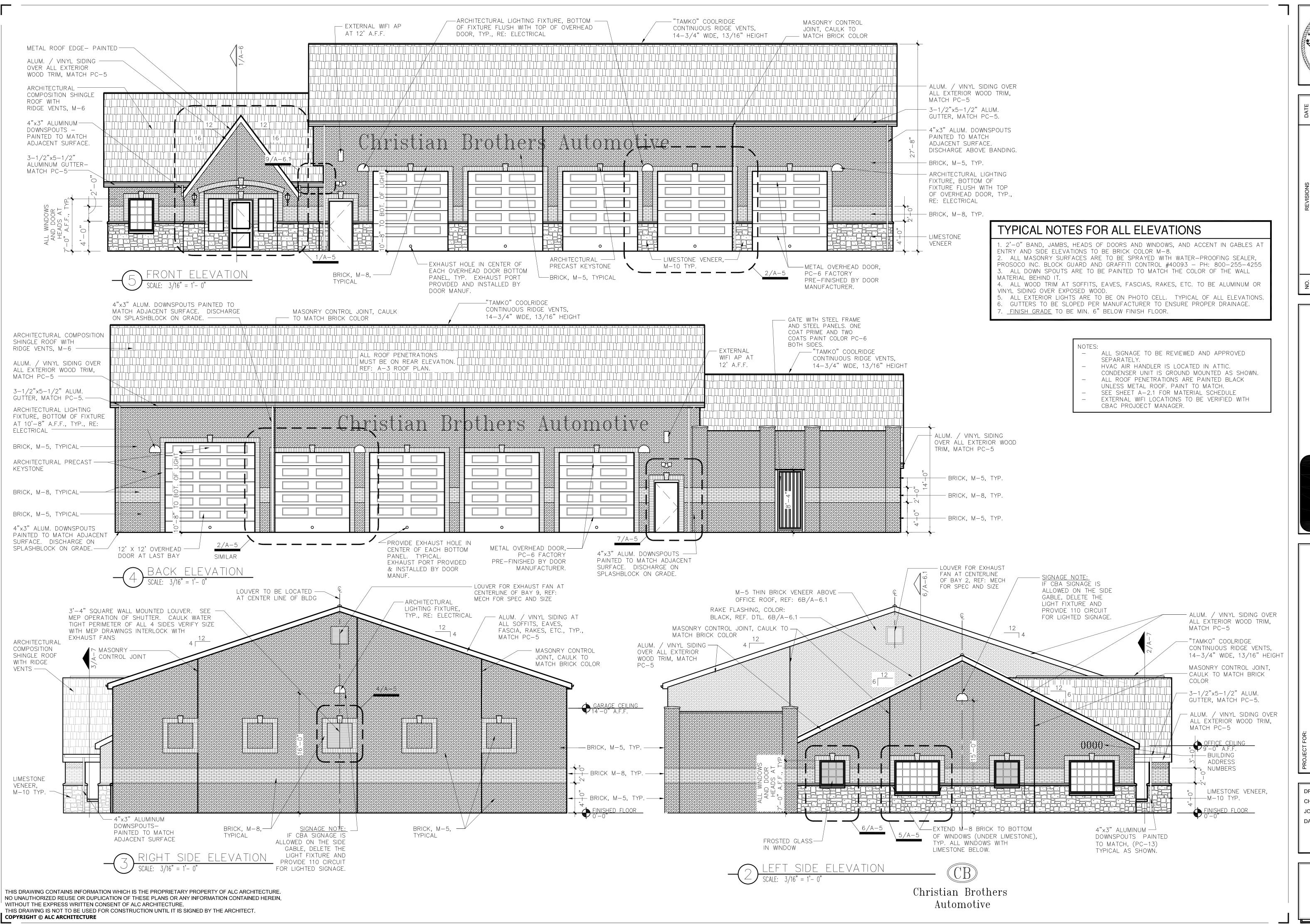
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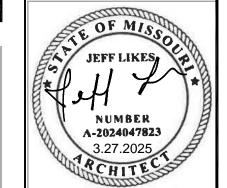
UTILITY PLAN

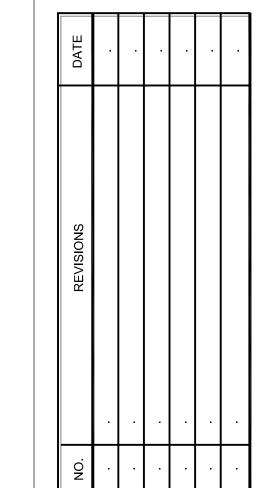


REV DESCRIPTION PROJECT NUMBER: 24.0049

C-4.0





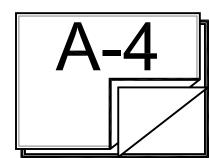




CHRISTIAN BROTHERS
AUTOMOTIVE

DRAWN BY: JM
CHECKED BY: JM
JOB # 25002
DATE: 3/26/25

EXTERIOR
ELEVATIONS





MATERIAL LEGEND

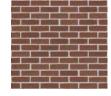
PC-5 SHERWIN-WILLIAMS PAINT SW7001 MARSHMALLOW

PC-6 SHERWIN-WILLIAMS PAINT SW6258 TRICORN BLACK

M-6 ROOF SHINGLES CERTAINTEED LANDMARK 30 AR COLOR: MOIRE BLACK



M-5 ACME BRICK CO. 8" x 2 1/4" MODULAR BRICK COLOR: BURGUNDY MORTAR: WHITE



M-8 ACME BRICK CO. 8" x 2 1/4" MODULAR BRICK COLOR: GLACIER WHITE MORTAR: WHITE



4" NATURAL LIMESTONE SALADO QUARRY MORTAR: WHITE



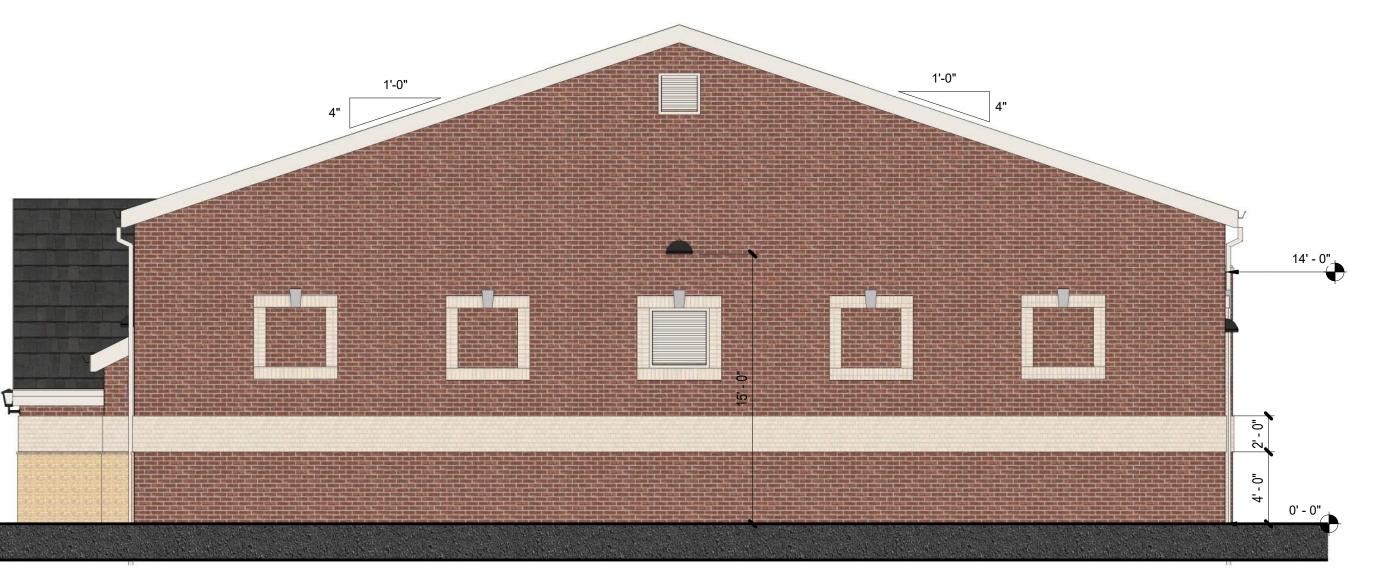
 $4 \frac{\text{WEST ELEVATION}}{3/16" = 1'-0"}$ 

SOUTH ELEVATION

3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT.

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DRAWN CHECKED : JOB #: 25002 DATE: 03.07.2025 COLOR

**ELEVATIONS** 

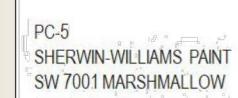
G1.2









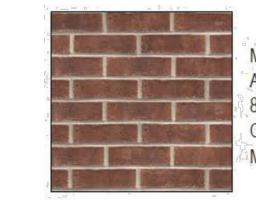




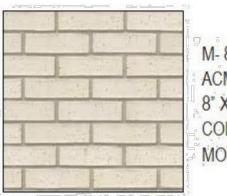
PC-6 SHERWIN-WILLIAMS PAINT SW 6258 TRICORN BLACK



M- 6
ROOF SHINGLES
CERTAINTEED LANDMARK 30
COLOR: MOIRE BLACK



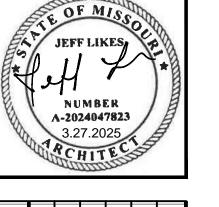
M-5
ACME BRICK CO.
8" X 2 1/4" MODULAR BRICK
COLOR: BURGANDY
MORTAR: WHITE



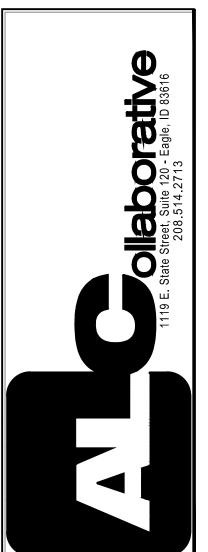
M- 8
ACME BRICK CO.
8" X 2 1/4" MODULAR BRICK
COLOR: GLACIER WHITE
MORTAR: WHITE



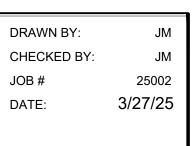
M- 10
4" NATURAL LIMESTONE
SALADO QUARRY
MORTAR: WHITE

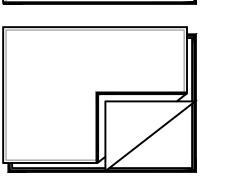


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CHRISTIAN BROTHER AUTOMOTIVE



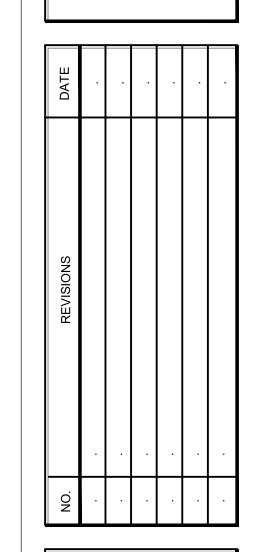


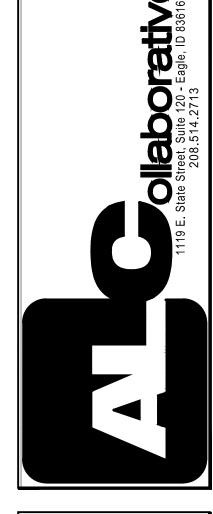






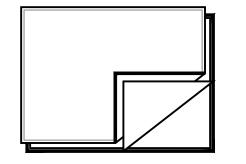


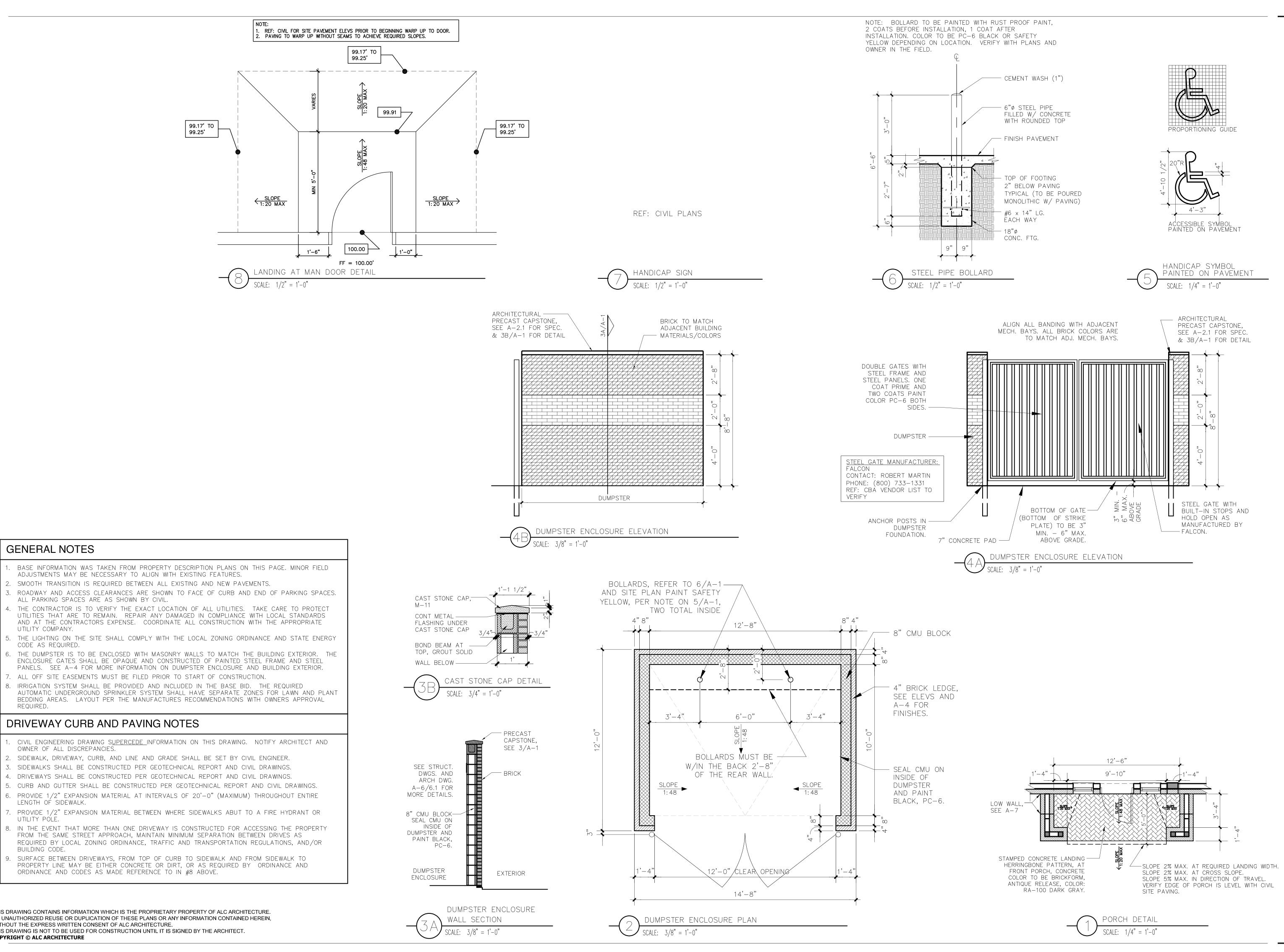




HRISTIAN BROTHERS
AUTOMOTIVE

DRAWN BY: JM
CHECKED BY: JM
JOB # 25002
DATE: 3/27/25





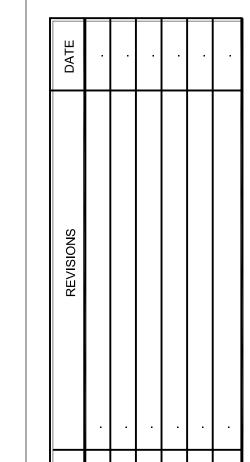
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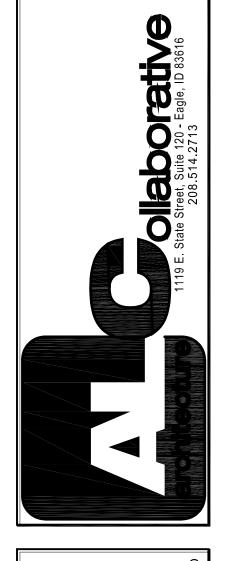
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UTILITY POLE.

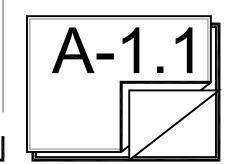
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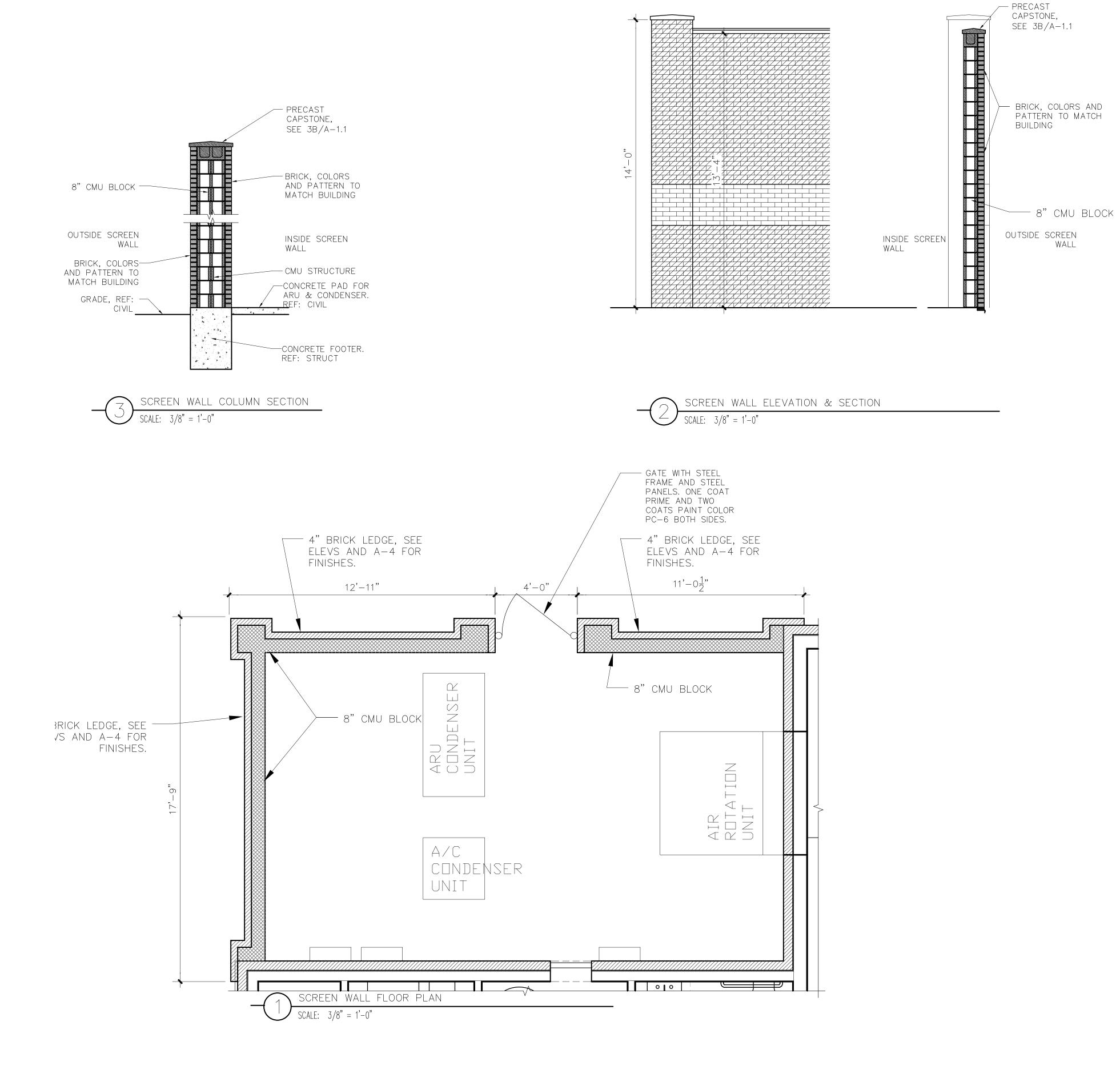
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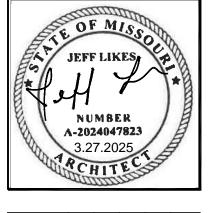


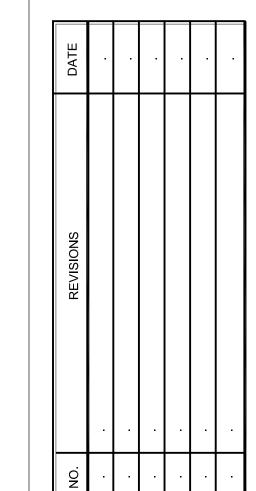


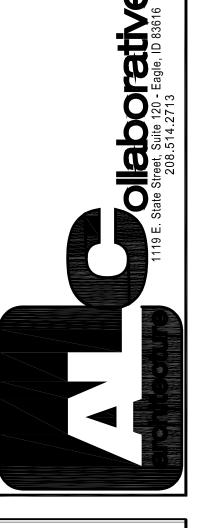
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CHRISTIAN BROTHERS
AUTOMOTIVE

DRAWN BY: JM

CHECKED BY: JM

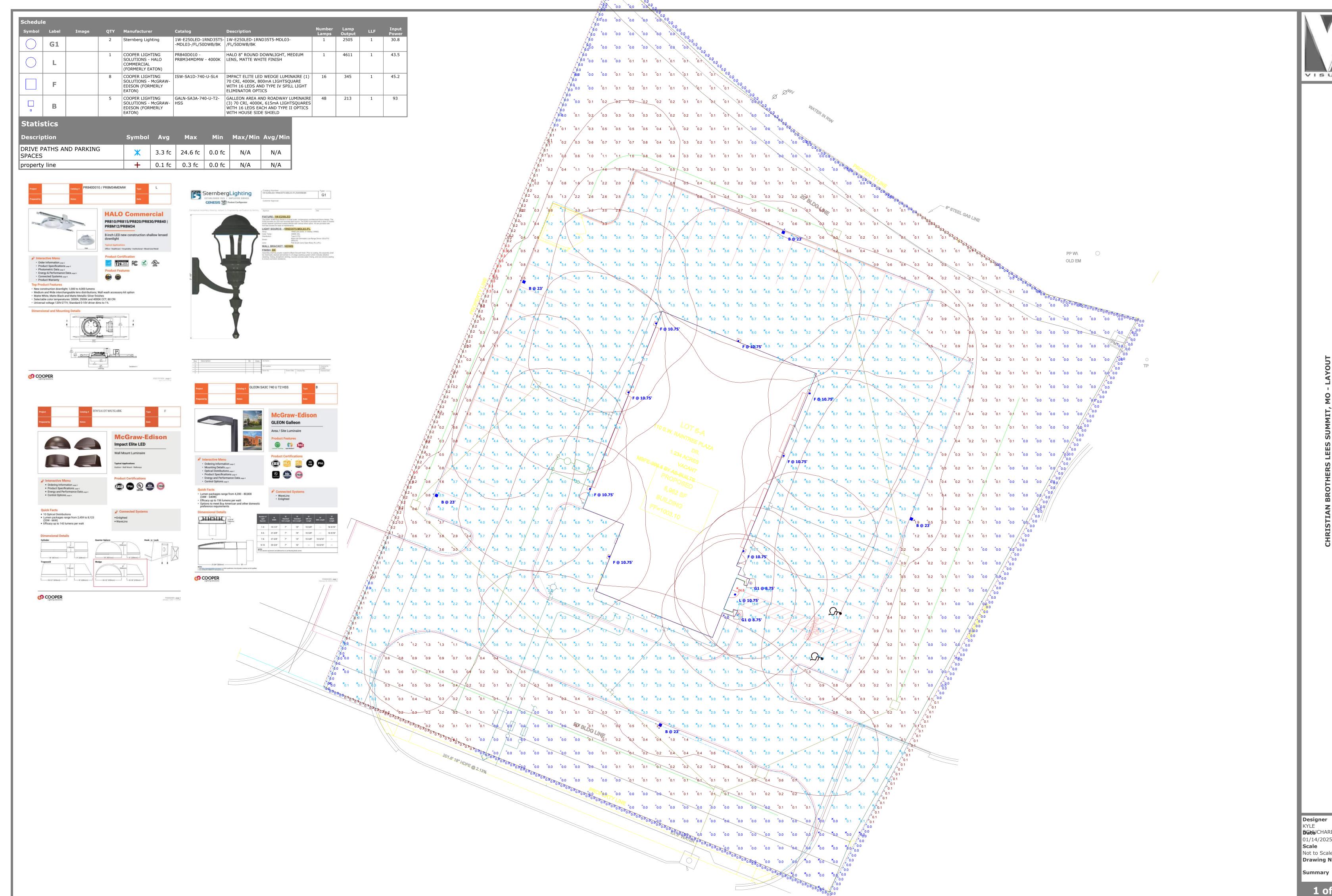
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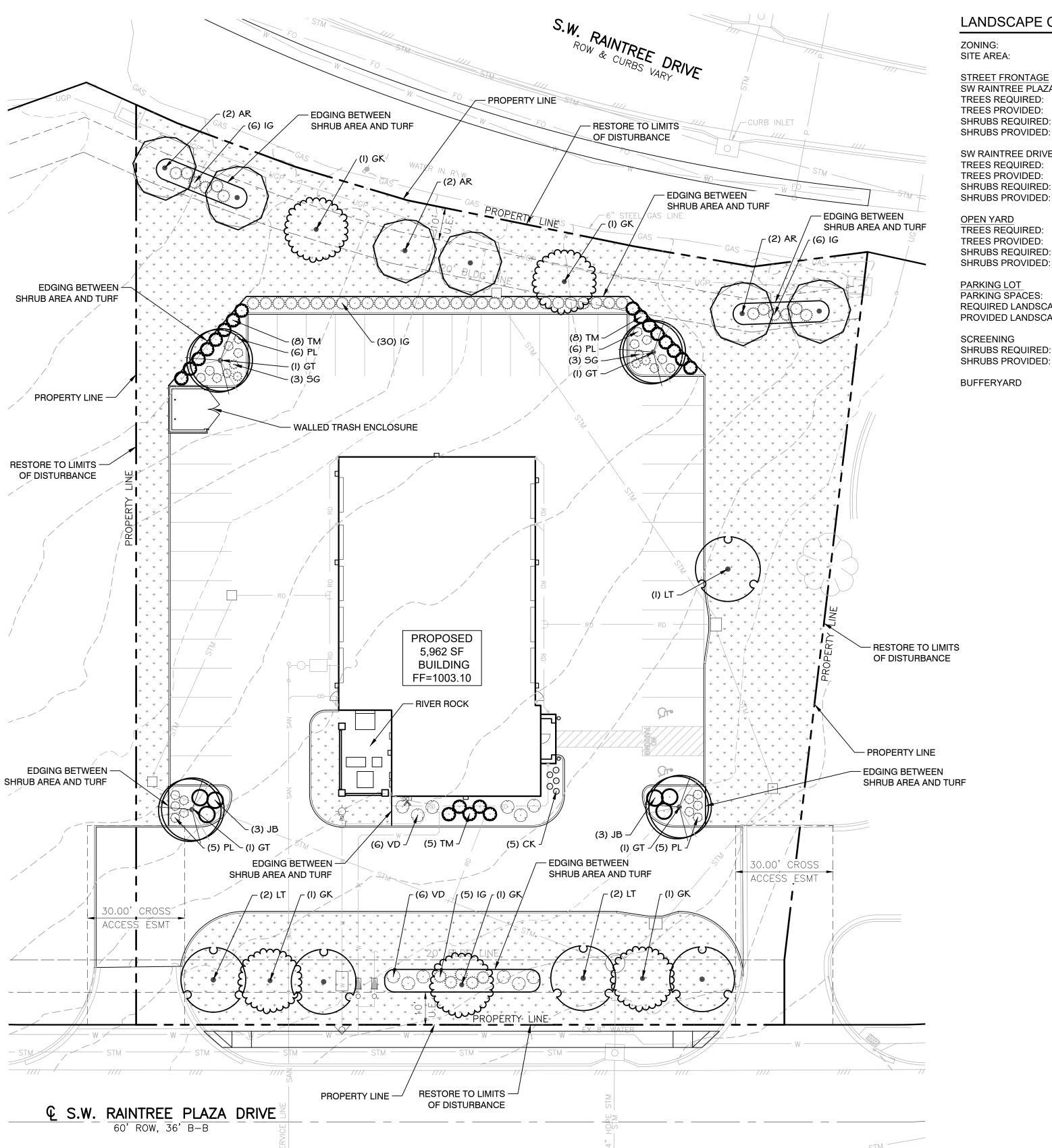
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DETAILS



**Date** CHARDT 01/14/2025 Scale Not to Scale Drawing No.



### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL

### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

### LANDSCAPE CALCULATIONS

ZONING: SITE AREA:	CP-2 53,449 SF
STREET FRONTAGE SW RAINTREE PLAZA DRIVE: TREES REQUIRED: TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	200 LF 7 TREES (1 PER 30 LF) 7 TREES 10 SHRUBS (1 PER 20 LF) 11 SHRUBS
SW RAINTREE DRIVE: TREES REQUIRED: TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	233 LF 8 TREES (1 PER 30 LF) 8 TREES 12 SHRUBS (1 PER 20 LF) 12 SHRUBS
OPEN YARD TREES REQUIRED: TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	23,311 SF 5 TREES (1 PER 5,000 SF) 5 TREES 10 SHRUBS (2 PER 5,000 SF) 11 SHRUBS
PARKING LOT PARKING SPACES: REQUIRED LANDSCAPE AREA: PROVIDED LANDSCAPE AREA:	· · · · · · · · · · · · · · · · · · ·
CODEENING	4051.5

### PLANT SCHEDULE

CP-2 53,449 SF		SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
200 LF 7 TREES (1 PER 30 LF) 7 TREES 10 SHRUBS (1 PER 20 LF)		TREES	AR	6	Acer rubrum `Red Sunset` Red Sunset Maple	2.5" Cal.	Cont. or B&B	12` Ht. Min.
11 SHRUBS 233 LF 8 TREES (1 PER 30 LF)			GT	4	Gleditsia triacanthos inermis `Skycole` TM Skyline Thornless Honey Locust	2.5" Cal.	Cont. or B&B	12` Ht. Min.
8 TREES 12 SHRUBS (1 PER 20 LF) 12 SHRUBS		£ . 3	GK	5	Gymnocladus dioica `Espresso` Kentucky Coffee Tree	2.5" Cal.	Cont. or B&B	12` Ht. Min.
23,311 SF 5 TREES (1 PER 5,000 SF) 5 TREES 10 SHRUBS (2 PER 5,000 SF) 11 SHRUBS			LT	5	Liriodendron tulipifera Tulip Poplar	2.5" Cal.	Cont. or B&B	12` Ht. Min.
14,600 SF 38 SPACES		SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
: 730 SF (MIN. 5%) : 1,400 SF (9.5%)		SHRUBS						
165LF		ANNON SANAKE	CK	5	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	1 gal.	Per Plan	12" Min. Ht.
50 SHRUBS (12 PER 40 LF) 51 SHRUBS			IG	47	llex glabra `Shamrock` Inkberry	2 gal.	Per Plan	18" Min. Ht.
N/A - ADJACENT PROPERTIES A	ARE SIMILAR ZONING/USE	$\odot$	JB	6	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal.	Per Plan	18" Min.
			PL	22	Physocarpus opulifolius `Little Devil` TM Dwarf Ninebark	2 gal.	Per Plan	18-24" Ht.
			SG	6	Spiraea japonica `Goldmound` Goldmound Japanese Spirea	2 gal.	Per Plan	18" Min. Ht.
			TM	21	Taxus x media `Densiformis` Dense Yew	5 gal.	Per Plan	24" Min. Ht.
			VD	12	Viburnum dentatum `Arrowwood` Arrowwood Viburnum	5 gal.	Per Plan	24" Min. Ht.
		SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
		0 = 0 : 11 :=						

### GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).

Kentucky Bluegrass

- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT. THESE NOTES AND PLANS, AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE
- 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT AND TOWNSHIP LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- 5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- 6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ARCHITECT, GENERAL CONTRACTOR, AND OWNER.





3400 MONTROSE BLVD., #2916 HOUSTON, TX 77006 832-906-9916 MO LICENSE #2024021881

CLIENT: CHRISTIAN BROTHERS AUTOMOTIVE

17225 KATY FRWY, SUITE 200 HOUSTON, TX 77094

Scale 1" = 20'

THE LOCATIONS AND ELEVATIONS OF EXISTIN UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO UARANTEE IS EITHER EXPRESSED OR IMPLIE

AS TO THE COMPLETENESS OR ACCURACY THEREOF, THE CONTRACTOR SHALL BE XCLUSIVELY RESPONSIBLE FOR DETERMIN THE EXACT UTILITY LOCATIONS AND ELEVATION

PRIOR TO THE START OF CONSTRUCTION.

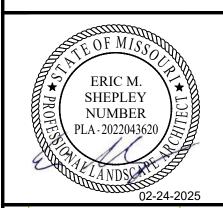
PROJECT NAME:

CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI 64082

SUBMITTAL DATE: FEBRUARY 2025

DRAWING TITLE:

LANDSCAPE PLANTING



PROJECT NUMBER: 24.0049



### PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION. SCOPE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS.
- LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION. INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS. CODES AND
- INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES

REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL

(WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

### **PRODUCTS**

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED
- ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND
- OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS
- AFTER PLANTING. 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER. AND TWELVE
- INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT. MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM
- HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER
- PLANTS, ROOTS, AND SEEDS. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A
- QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH
- 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK
- GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES

### <u>METHODS</u>

A SOIL PREPARATION

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG
- WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR
- THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT FOR BIDDING PURPOSES ONLY. THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
- ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1.000 S.F.

TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF

- PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) 15 LBS PER 1,000 "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE TREES. SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.

8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:

- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE IRON SULPHATE - 2 LBS. PER CU. YD.
- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS
- FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING

- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS GEOTECHNICAL REPORT. THESE NOTES AND PLANS. AND ACTUAL CONDITIONS. THE
- ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND
- APPROPRIATE) 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE

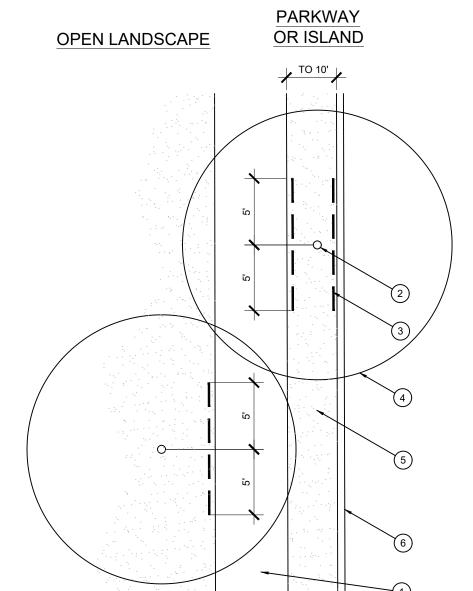
TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE

- ITEM BEING CONSIDERED. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
- GRADE AT THE TRUNK ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE
- TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. 3. FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
- OUT FROM THE ROOTBALL 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK. USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE
- ADHERE TO THE FOLLOWING GUIDELINES: 1"-2" TREES TWO STAKES PER TREE 2-1/2"-4" TREES THREE STAKES PER TREE
- TREES OVER 4" CALIPER GUY AS NEEDED MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR

SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL

- SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
- WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
- 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT
- LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD G. MULCH 1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES.
- EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. H. CLEAN UP
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, TI LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED MOWING AND AFRATION OF LAWNS WEEDING RESERVING AREAS WHICH HAVE NOT GERMINATED WELL TREATING FOR INSECTS AND DISEASES REPLACEMENT OF MULCH REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON
- TO MAXIMIZE WATER CONSERVATION 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL. HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH
- CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS



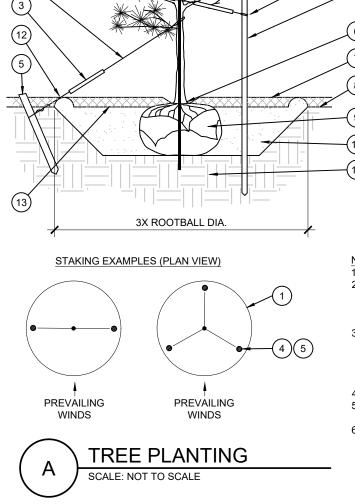
1 TYPICAL WALKWAY OR PAVING TREE TRUNK LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

TREE CANOPY TYPICAL PLANTING AREA

TYPICAL CURB AND GUTTER

1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.





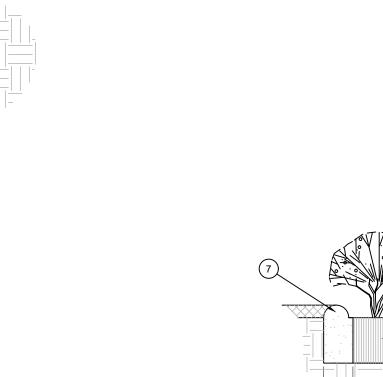
NON-CONIFEROUS

CONIFEROUS

(1) TREE CANOPY.

(2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.

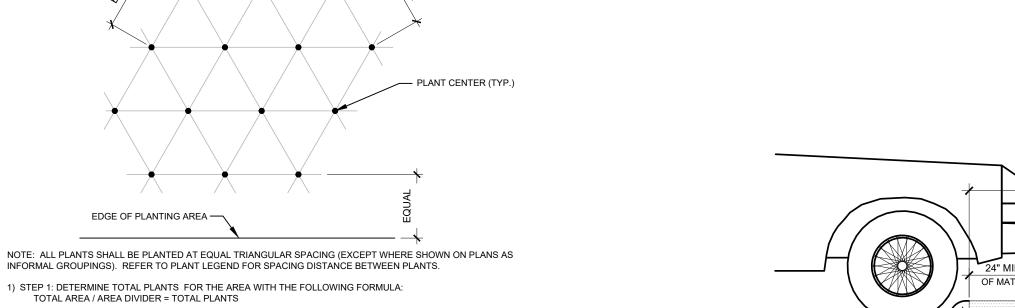
- (3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- (4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- (6) TRUNK FLARE
- 7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- (8) FINISH GRADE
- (9)ROOT BALL.
- 10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (11) UNDISTURBED NATIVE SOIL
- (12) 4" HIGH EARTHEN WATERING BASIN.
- (13) FINISH GRADE.
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE
- ROOT FLARE IS 2"-4" ABOVE FINISH GRADE 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES. TWINE ROPE AND OTHER PACKING MATERIAL REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL REMOVE ALL NURSERY STAKES AFTER PLANTING
- 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. 6 STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT



(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.

- 2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT
- (3) FINISH GRADE.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (6) UNDISTURBED NATIVE SOIL.
- (7) 3" HIGH EARTHEN WATERING BASIN.

SHRUB AND PERENNIAL PLANTING



2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

AREA DIVIDER

(1) ROLLED-TOP STEEL EDGING PER PLANS.

(3) MULCH, TYPE AND DEPTH PER PLANS

1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.

3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

P) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE

(2) TAPERED STEEL STAKES.

(4) FINISH GRADE.

STEEL EDGING

EDGE OF PLANTING AREA —

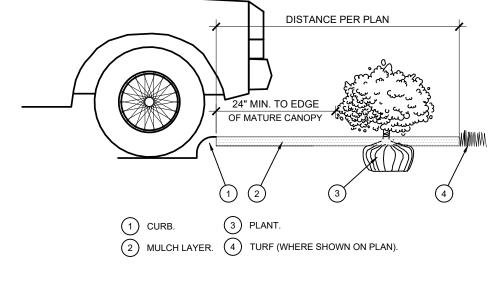
**EXAMPLE:** PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER

STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

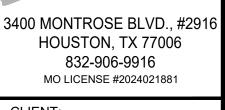
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

STEP 1: 100 SF/1.95 = 51 PLANTS

PLANT SPACING



PLANTING AT PARKING AREA



CLIENT:

CHRISTIAN BROTHERS **AUTOMOTIVE** 7225 KATY FRWY. SUITE 200

HOUSTON, TX 77094

Z&Co., LLC

THE LOCATIONS AND ELEVATIONS OF EXISTIN UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIE AS TO THE COMPLETENESS OR ACCURACY THEREOF, THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMIN THE EXACT UTILITY LOCATIONS AND ELEVATION PRIOR TO THE START OF CONSTRUCTION.

PROJECT NAME:

CHRISTIAN BROTHER'S AUTOMOTIVE 110 SW RAINTREE PLAZA LEE'S SUMMIT, MISSOURI 64082

SUBMITTAL DATE: JANUARY 2025

DRAWING TITLE:

LANDSCAPE

DETAILS & **SPECIFICATIONS** 



DESCRIPTION PROJECT NUMBER: 24.0049

National Presence. Local Expertise.

**EVERGREEN DESIGN GROUP** 

800.680.6630

