

City Council Information Form



DATE: 02/09/2016

ASSIGNED STAFF: Ronald Seyl

DEPARTMENT: Planning&Development

TYPE OF FORM: Public Hearing

Form No.: 5282

APPROVALS:

None

ISSUE/REQUEST:

PUBLIC HEARING – Appl. #PL2015-197 – SPECIAL USE PERMIT for automotive sales – Lee's Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant

KEY ISSUES:

The applicant requests a special use permit for outdoor auto sales at 301 NE Colbern Rd. The property is currently a vacant lot zoned CP-2 (Planned Community Commercial District). A proposal for a 39,765 square foot parking lot will be submitted under a separate final development plan application for administrative approval. The subject property is owned by the City, and the applicant is currently negotiating the lease agreement for the 2.78 acres of City property located west of the existing Honda facility.

A copy of the site plan is included as an attachment for illustrative purposes only. The Unified Development Ordinance allows for a parking lot development, provided no modifications of the Unified Development Ordinance are requested, to be submitted as a final development plan application for administrative staff review and approval. The parking lot addition will provide an additional 107 parking spaces, for outdoor auto display, for the existing Lee's Summit Honda dealership on the abutting property at 401 NE Colbern Rd.

The applicant requests a 30 year time period; staff recommends 13.5 years to coincide with the expiration of the special use permit for the existing Honda site on the abutting property, which will run through 5/13/2029.

PROPOSED COMMITTEE MOTION:

Should the Council vote to draft an Ordinance for Appl. #PL2015-197 - SPECIAL USE PERMIT for automotive sales - Lee's Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant, one has been included in tonight's agenda.

PROPOSED CITY COUNCIL MOTION:

I move

FIRST MOTION:

SECOND MOTION:

BACKGROUND:(including location, programs/departments affected, and process issues)

IMPACT/ANALYSIS:**TIMELINE**

Start:

Finish:

OTHER INFORMATION/UNIQUE CHARACTERISTICS:**STAFF RECOMMENDATION**

Staff recommends **APPROVAL** of the special use permit, subject to the following:

1. The special use permit shall be granted for a period of 13.5 years to coincide with the expiration of the Special Use Permit for the existing Honda site at 401 NE Colbern Rd., which will run through 5/13/2029.
2. The special use permit shall not take effect until such time as a lease agreement between the City and applicant is executed for the subject property.
3. Inoperable vehicles, as defined in the City's Unified Development Ordinance, shall not be stored on the subject lot.
4. Recreational vehicles, as defined in the City's Unified Development Ordinance, shall not be stored on the subject lot.
5. Construction equipment, as defined in the City's Unified Development Ordinance, shall not be stored on the subject lot.
6. The special use permit shall be granted for no less than the entire 2.78 acres of the subject property located outside the runway protection zone.

OTHER BOARDS AND COMMISSIONS ASSIGNED: Not Applicable

DATE:

ACTION:

Voted unanimously by voice vote to recommend **APPROVAL** of Application PL2015-197, Special Use Permit for automobile sales: Lee's Summit Honda parking lot addition, 301 NE Colbern Rd; BRFE, LLC, applicant; subject to staff's letter of January 22, 2016, specifically Recommendation Items 1 through 6.

COUNCIL COMMITTEE ASSIGNED: Not Applicable

DATE:

ACTION:

List of Reference Documents Attached

1. Planning Commission Minutes
2. Staff Letter
3. Parking Lot Final Development Plan
4. Special Use Permit Criteria
5. Photo's of Adjacent Properties
6. SUP Table
7. Location Map

City of Lee's Summit

Planning & Codes Administration

220 SE Green Street Lee's Summit, MO 64063
Phone (816) 969-1600 Fax (816) 969-1619

February 18, 2016

CITY COUNCIL

**PUBLIC HEARING - Appl. #PL2015-197 – SPECIAL USE PERMIT for automotive sales –
Lee's Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant**

Exhibit (A) - List of Exhibits 1-20.

1. Application for special use permit dated November 24, 2015.
2. Notice of Planning Commission public hearing published in the Lee's Summit Journal on January 8, 2016, for the January 26, 2016 meeting.
3. Affidavit from the Lee's Summit Journal of publication of the Planning Commission notice.
4. Letter sent to property owners within 185 feet of the site dated January 8, 2016.
5. List of property owners within 185 feet of the site, prepared by the applicant.
6. Affidavit of Notice to Property Owners, notifying them of the Planning Commission public hearing. Signed by the applicant and dated January 8, 2016.
7. Curriculum Vitae for Robert G. McKay, AICP.
8. Unified Development Ordinance No. 5209, as amended.
9. 2005 City of Lee's Summit Comprehensive Plan, adopted by the Planning Commission, as amended.
10. First Amended Charter of the City of Lee's Summit, Missouri, adopted November, 2007.
11. Location map.
12. Table of Special Use Permits for Cars, Trucks, Boat and Trailer Sales
13. Photos of subject and surrounding properties, date stamped November 24, 2015
14. Special Use Permit criteria addressed by the applicant, date stamped November 24, 2015
15. Drawings of proposed parking lot, dated January 19, 2016
16. City Council Packet Form dated January 22, 2016
17. Notice of City Council public hearing published in the Lee's Summit Journal on January 29, 2016, for the February 18, 2016 meeting.
18. Affidavit from the Lee's Summit Journal of publication of the Planning Commission notice.
19. Minutes from the January 26, 2016 Planning Commission meeting
20. City Council Packet Form, dated February 9, 2016

A

Road". The name had become rather confusing as parts of the road now went in different directions. Jamestown ran south to north within the subdivision and this name change would be a cleanup and clarification of addresses and street names.

Following Mr. Schlicht's presentation, Chairperson Norbury asked for staff comments.

Ms. Thompson entered Exhibit (A), list of exhibits 1-14 into the record. She confirmed that this was a street name change; adding that this was a condition of approval for the subdivision's rezoning preliminary development plan. It was necessary to keep the name of the north-south collector street consistent. Staff recommended approval of the name change.

Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. As there were none, he then asked if the Commission had questions for the applicant or staff. There were no questions, and Chairperson Norbury closed the public hearing at 5:08 p.m. and asked for a motion.

Mr. DeMoro made a motion to recommend approval of continued Application PL2015-183, Street Name Change: proposed NE Jamestown Drive (change from NE Bowlin Road), the ¼-mile long north-south segment of NE Bowlin Road located north of the future Monticello residential subdivision; Engineering Solutions, LLC, applicant; subject to staff's letter of January 22, 2016. Mr. Funk seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

On the motion of Mr. DeMoro, seconded by Mr. Funk, the Planning Commission members voted unanimously by voice vote to recommend **APPROVAL** of Application PL2015-183, Street Name Change: proposed NE Jamestown Drive (change from NE Bowlin Road), the ¼-mile long north-south segment of NE Bowlin Road located north of the future Monticello residential subdivision; Engineering Solutions, LLC, applicant; subject to staff's letter of January 22, 2016.

(The foregoing is a digest of the secretary's notes of the public hearing. The transcript may be obtained.)

3. Application #PL2015-197 – SPECIAL USE PERMIT for automobile sales – Lee's Summit Honda parking lot addition, 301 NE Colbern Rd; BRFE, LLC, applicant

Chairperson Norbury opened the hearing at 5:09 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. Jason Sadler of Davidson Architecture and Engineering gave his address as 4301 Indian Creek Parkway in Overland Park, Kansas. He stated that this Special Use Permit was for outdoor automobile sales, just to the west of the current Lee's Summit Honda business. The 40,000 square foot parking lot would have 107 spaces. The owner was currently negotiating a lease with the City for the property, which was 2.78 acres. The lot would have no new curb cuts but only access from the current parking lot.

Chairperson Norbury asked Mr. Sadler if the applicants agreed with staff's six Recommendation Items, and Mr. Sadler answered that they did. Chairperson Norbury then asked for staff comments.

Mr. Seyl entered Exhibit (A), list of exhibits 1-16 into the record. He stated that the application was for a parking lot expansion of 39,765 paved square feet, and 107 spaces. Combined with the existing 288 spaces to the east, the total would be 395 spaces; to be used for employee parking and for vehicle repair and display. Total impervious surface would be 33%, with a maximum of 80% allowed in this zoning district. A Special Use Permit was required because vehicles would be displayed for sale on the expansion of the five-acre facility adjoining to the east. Staff recommended approval of the SUP for a period of 3.5 years (Recommendation Item 1). This coincided with the expiration date of the SUP for the Honda dealership. They recommended approval of the application, subject to Recommendation Items 1 through 6.

Following Mr. Seyl's comments, Chairperson Norbury asked if there was anyone present wishing to give testimony, either in support for or opposition to the application. Seeing none, he then asked if the Commission had questions for the applicant or staff. There were no questions, and Chairperson Norbury closed the public hearing at 5:13 p.m. and asked for discussion among the Commission members or for a motion.

Mr. Delibero made a motion to recommend approval of Application PL2015-197, Special Use Permit for automobile sales: Lee's Summit Honda parking lot addition, 301 NE Colbern Rd; BRFE, LLC, applicant; subject to staff's letter of January 22, 2016, specifically Recommendation Items 1 through 6. Mr. DeMoro seconded.

Chairperson Norbury asked if there was any discussion of the motion. Hearing none, he called for a vote.

On the motion of Mr. Delibero, seconded by Mr. DeMoro, the Planning Commission members voted unanimously by voice vote to recommend **APPROVAL** of Application PL2015-197, Special Use Permit for automobile sales: Lee's Summit Honda parking lot addition, 301 NE Colbern Rd; BRFE, LLC, applicant; subject to staff's letter of January 22, 2016, specifically Recommendation Items 1 through 6.

(The foregoing is a digest of the secretary's notes of the public hearing. The transcript may be obtained.)

4. Application #PL2015-209 – UNIFIED DEVELOPMENT ORDINANCE (UDO) AMENDMENT #55 – Article 5 Zoning Districts, to create the "AZ" (Airport Zone) Zoning District; Article 12 Parking, amending recreational vehicle (RV) and trailer parking regulations, and Article 13 Signs, amending sign ordinance language; City of Lee's Summit, applicant

Chairperson Norbury opened the hearing at 5:15 p.m. and asked those wishing to speak, or provide testimony, to stand and be sworn in.

Mr. McKay entered Exhibit (A), list of exhibits 1-10 into the record. He summarized that this amendment had three parts. One would create an AZ "Airport Zone" as a zoning district; the

City of Lee's Summit

Planning & Codes Administration

220 SE Green Street Lee's Summit, MO 64063
Phone (816) 969-1600 Fax (816) 969-1619

January 26, 2016

PLANNING COMMISSION

**PUBLIC HEARING - Appl. #PL2015-197 – SPECIAL USE PERMIT for automotive sales –
Lee's Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant**

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14. Special Use Permit criteria addressed by the applicant, date stamped November 24, 2015
15. Drawings of proposed parking lot, dated January 19, 2016
16. City Council Packet Form dated January 22, 2016

City Council Information Form



DATE: 01/22/2016
 ASSIGNED STAFF: Ronald Seyl
 DEPARTMENT: Planning&Development

TYPE OF FORM: Public Hearing

Form No.: 5248

APPROVALS:

None

ISSUE/REQUEST:

PUBLIC HEARING – Appl. #PL2015-197 – SPECIAL USE PERMIT for automotive sales – Lee’s Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant

KEY ISSUES:

The applicant requests a special use permit for outdoor auto sales at 301 NE Colbern Rd. The property is currently a vacant lot zoned CP-2 (Planned Community Commercial District). A proposal for a 39,765 square foot parking lot will be submitted under a separate final development plan application for administrative approval. The subject property is owned by the City, and the applicant is currently negotiating the lease agreement for the 2.78 acres of City property located west of the existing Honda facility.

A copy of the site plan is included as an attachment for illustrative purposes only. The Unified Development Ordinance allows for a parking lot development, provided no modifications of the Unified Development Ordinance are requested, to be submitted as a final development plan application for administrative staff review and approval. The parking lot addition will provide an additional 107 parking spaces, for outdoor auto display, for the existing Lee’s Summit Honda dealership on the abutting property at 401 NE Colbern Rd.

The applicant requests a 30 year time period; staff recommends 13.5 years to coincide with the expiration of the special use permit for the existing Honda site on the abutting property, which will run through 5/13/2029.

PROPOSED COMMITTEE MOTION:

I move to recommend to the Planning Commission approval of the special use permit.

PROPOSED CITY COUNCIL MOTION:

I move

FIRST MOTION:

SECOND MOTION:

BACKGROUND:(including location, programs/departments affected, and process issues)

IMPACT/ANALYSIS:

TIMELINE

Start:

Finish:

OTHER INFORMATION/UNIQUE CHARACTERISTICS:

STAFF RECOMMENDATION

1. The special use permit shall be granted for a period of 13.5 years to coincide with the expiration of the special use permit for the existing Honda site at 401 NE Colbern Rd., which will run through 5/13/2029.
2. The special use permit shall not take effect until such time as a lease agreement between the City and applicant is executed for the subject property.
3. Inoperable vehicles, as defined in the City's Unified Development Ordinance, shall not be stored in the subject lot.
4. Recreational vehicles, as defined in the City's Unified Development Ordinance, shall not be stored in the subject lot.
5. Construction equipment, as defined in the City's Unified Development Ordinance, shall not be stored in the subject lot.
6. The special use permit shall be granted for no less than the entire 2.78 acres of the subject property located outside the runway protection zone.

OTHER BOARDS AND COMMISSIONS ASSIGNED: Not Applicable

DATE:

ACTION:

COUNCIL COMMITTEE ASSIGNED: Not Applicable

DATE:

ACTION:

List of Reference Documents Attached

1. Staff Letter
2. Final Development Plan
3. SUP Criteria
4. Photo's of Adjacent Properties
5. SUP Table
6. Location Map

City of Lee's Summit

Department of Planning & Codes Administration

January 22, 2016

TO: Planning Commission
FROM: Robert G. McKay, AICP, Director *RGM*
RE: **PUBLIC HEARING – Appl. #PL2015-197 – SPECIAL USE PERMIT for automotive sales – Lee's Summit Honda parking lot addition, 301 NE Colbern Rd.; BFRE, LLC, applicant**

Commentary

The applicant requests a special use permit for outdoor auto sales at 301 NE Colbern Rd. The property is currently a vacant lot zoned CP-2 (Planned Community Commercial District). A proposal for a 39,765 square foot parking lot will be submitted under a separate final development plan application for administrative approval. The subject property is owned by the City, and the applicant is currently negotiating the lease agreement for the 2.78 acres of City property located west of the existing Honda facility.

A copy of the site plan is included as an attachment for illustrative purposes only. The Unified Development Ordinance allows for a parking lot development, provided no modifications of the Unified Development Ordinance are requested, to be submitted as a final development plan application for administrative staff review and approval. The parking lot addition will provide an additional 107 parking spaces, for outdoor auto display, for the existing Lee's Summit Honda dealership on the abutting property at 401 NE Colbern Rd.

The applicant requests a 30 year time period; staff recommends 13.5 years to coincide with the expiration of the special use permit for the existing Honda site on the abutting property, which will run through 5/13/2029.

Recommendation

Staff recommends **APPROVAL** of the special use permit, subject to the following:

1. The special use permit shall be granted for a period of 13.5 years to coincide with the expiration of the special use permit for the existing Honda site at 401 NE Colbern Rd., which will run through 5/13/2029.
2. The special use permit shall not take effect until such time as a lease agreement between the City and applicant is executed for the subject property.
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6. The special use permit shall be granted for no less than the entire 2.78 acres of the subject property located outside the runway protection zone.

Project Information

Proposed Use: parking lot for outdoor automotive sales

Zoning: CP-2 (Planned Community Commercial District)

Land Area: 121,097 sq. ft. (2.78 acres)

Building Area: currently vacant lot; no building proposed

Location: 301 NE Colbern Rd.

Surrounding zoning and use:

North: PMIX (Planned Mixed Use District)—vacant

South: MoDOT Right-of-way and I-470 highway

East: CP-2 (Planned Community Commercial District)—Lee's Summit Honda dealership

West: CP-2 (Planned Community Commercial District)—vacant

Background

- May 12, 1924 – The final plat of *Fields Farm, Lots 1-12*, was recorded by the Jackson County Recorder of Deeds by Instrument #1924-I-0184943.
- June 19, 1984 – The City Council approved the rezoning (Appl. #1984-013) of the property located at 301 NE Colbern Rd. from R-1 to C-1 (now CP-2), by Ord. #2541.
- April 27, 1999 – A final development plan was approved for Stadium Honda for an approximately 33,400 sq. ft. building (Appl. #1999-107) on the property located at 401 NE Colbern Rd.
- May 13, 1999 – The City Council approved the special use permit to operate an automobile dealership, Stadium Honda, for a period of 30 years at 301-601 NE Colbern Rd. (Appl. #1999-010) by Ord. #4782.

Conditions of Use for Outdoor Sales or Lease of Motor Vehicles/Equipment.

Section 10.450 of the UDO lists the following conditions that apply to outdoor sales of motor vehicles:

1. **Motor vehicles must be set back ten (10) feet from all property lines or in compliance with the district's setback lines, whichever is greater.** Displayed vehicles will meet the required setbacks from all property lines.
2. **No fencing is permitted in the area forward of the main building or within the front yard setback if no building exists on the premises.** No fencing is proposed forward of the main building or within any front yard setback.
3. **All display or storage areas must be paved and the motor vehicles arranged in an orderly manner.** The display areas will be paved and all vehicles will be arranged in an orderly manner.

Ordinance Criteria. The criteria enumerated in Section 10.050 as well as the regulations in Section 10.450 addressed above were considered in analyzing this request.

- The lot is zoned CP-2. The adjacent lots to the east and west are zoned CP-2. Automotive sales as a primary or accessory use are allowed in the CP-2 zoning districts with a special use permit.

- The proposed outdoor auto sales at this location will not detrimentally affect the appropriate use of neighboring property. The area is “automotive” in nature with three dealerships in succession, and two more within ½ mile.
- The proposed use is not expected to negatively impact traffic and/or parking in the area.

In considering all the criteria and regulations, staff finds the use to be appropriate and recommends approval of the special use permit.

Time Period.

- Request – The applicant requests a 30 year time period.
- Recommendation – Staff recommends a special use permit for a period of 13.5 years to coincide with the expiration of the special use permit for the existing Honda site on the abutting property, which will run through 5/13/2029.

Code and Ordinance Requirements

The items in the box below are specific to this development and must be satisfactorily addressed in order to bring the plan into compliance with the Codes and Ordinances of the City.

Planning and Codes Administration
1. A final development plan (Appl. 2015-180) shall be submitted, reviewed and approved by the Planning and Codes Administration Department in accordance with the Unified Development Ordinance prior to display of vehicles.

RGM/res

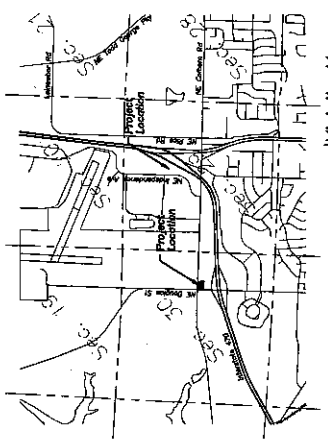
Attachments:

1. Drawings of proposed parking lot (7 pages), dated January 19, 2016, consisting of:
 - Site Plan
 - Dimension Plan
 - Grading and Erosion Control Plan
 - Detention Basin Plan and Storm Water Profile
 - Detail Sheet
 - Landscape Plan
 - Photometric Plan
2. Special Use Permit criteria addressed by the applicant, date stamped November 24, 2015 – 2 pages
3. Photos of subject and surrounding properties, date stamped November 24, 2015 – 3 pages
4. Table of Special Use Permits for Cars, Trucks, Boat and Trailer Sales, updated January 21, 2016
5. Location Map



Final Development Plan for
Lee's Summit Honda
Parking Lot Expansion
401 NE Colbern Rd
Lee's Summit, Jackson County, Missouri 64086

Project Summary:
governing municipality: Lee's Summit, Missouri
governing code: 200 SMC, 200 SFC, 200 PCC, 200 AOC
zoning: C-2
site area: 74,799 s.f. = 1.72 acres
total parking: 107 spaces
parking provision: 107 spaces
occupancy group: B (business) / 2-1 (vehicle sales)



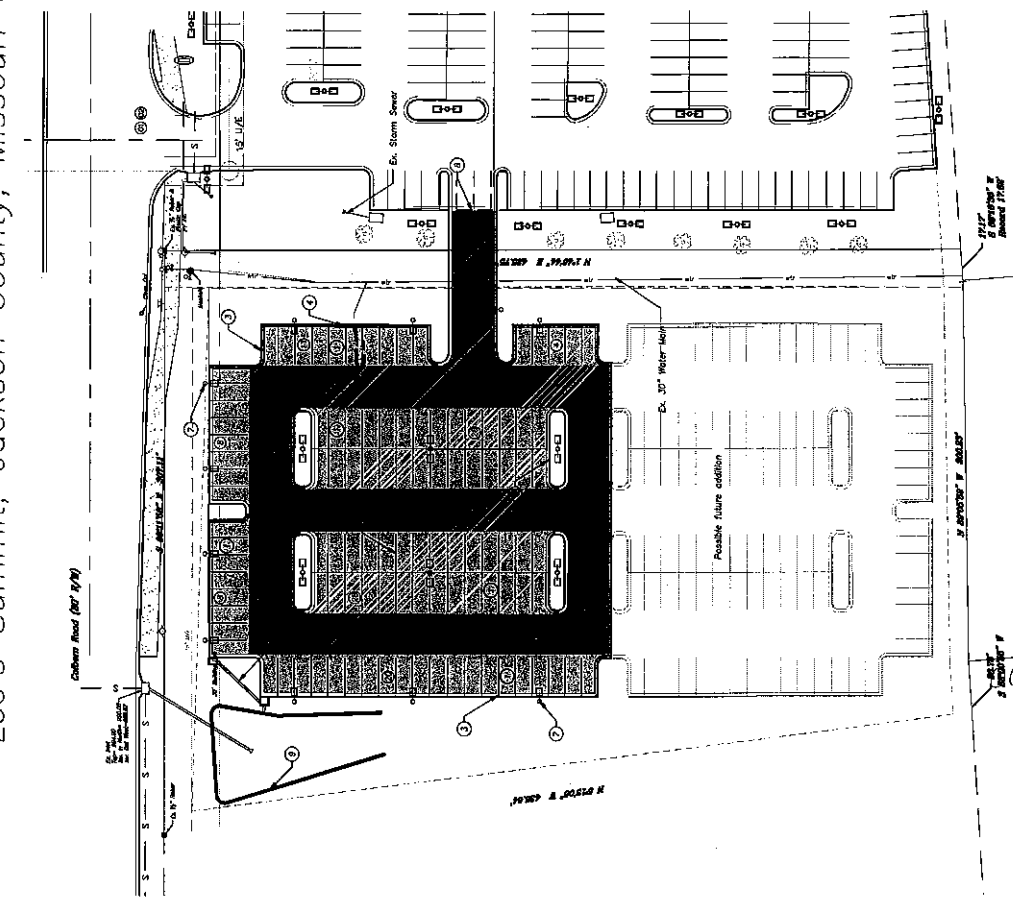
Locality Map
Lot 12 of Plats Form A recorded subdivision located in the southwest quarter of section 29, township 48 north, range 21 west, Jackson County, Missouri

- Sheet Index:**
- C1.0 Cover/Site Plan
 - C2.0 Grading & Erosion Control Plan
 - C3.1 Definition Sheet Plan & Storm Sewer P&P
 - C4.1 Streets

- Utility Legend**
- sanitary main
 - sanitary force main
 - storm sewer (side way)
 - water main
 - water main (flex)
 - water service (domestic)
 - natural gas main
 - natural gas service
 - overhead primary electric
 - underground primary electric
 - underground secondary electric
 - underground telephone
 - overhead cable/fiber/optic
 - underground cable/fiber/optic
 - underground utility/phone/data service

- Construction Legend**
- standard curb & gutter
 - standard "lay" curb & gutter
 - heavy-duty asphalt pavement
 - standard asphalt pavement

- Construction Notes:**
- Construct proposed sidewalk pavement. (see legend)
 - Construct heavy-duty asphalt pavement. (see legend)
 - Construct standard "lay" curb & gutter. (see legend)
 - Construct standard "lay" curb & gutter. (see legend)
 - Install striping, signs, etc. as applicable. (see legend)
 - Site lighting, signs, etc. as applicable. (see legend)
 - Proposed midblock block retaining wall. Install polymer safety guardrail around retaining wall. System to be Alan Block Classic or approved equal. (p)



a proposed remodel for
Lee's Summit Honda
401 NE Colbern Road
Lee's Summit, Missouri
date: 11.20.2015
prepared by: JLS
checked by: PAM
revision: 01.19.16

sheet number: **C1.0**
drawing type: planning
project number: 13102

January 05, 2016

City of Lee's Summit
Department of Planning & Development
220 SE Green Street
Lee's Summit, Missouri 64063

Re: Lee's Summit Honda Parking Lot Addition
401 NE Colbern Rd.
Lee's Summit, MO 64086
PL2015197

The following is a list of responses to staff comments, dated December 18, 2015, on the above referenced project.

Excise Tax:

Acknowledged.

Planning Review: Ron Seyl

1. Acknowledged. The new survey should be complete any day now and we will get it back in.
2. Acknowledged. Owner has agreed to a length of 13.5 years for the SUP.
3. Acknowledged.
4. Acknowledged.
5. Acknowledged.
6. Acknowledged. Owner has agreed to lease entire 2.78 acres. The lease agreement is in the works.
7. A. Acknowledged.
B. Acknowledged.
C. Acknowledged.

Engineering Review: Gene Williams

1. No Comments.

Fire Review: Jim Eden

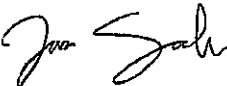
1. Acknowledged

Traffic Review: Michael Park

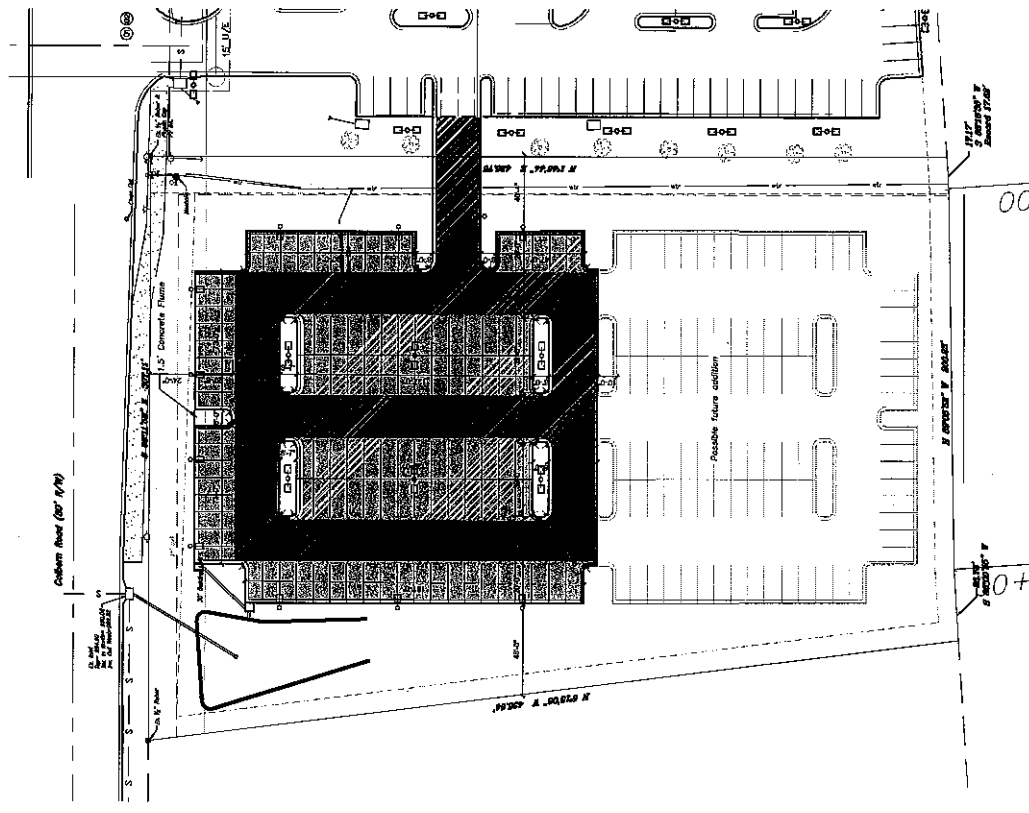
1. No comments.

If there are any questions or clarifications required for this submittal, please do not hesitate to contact my office.

Sincerely,


Jason Sadler





- Property Legend**
- right of way
 - property lines
 - easements
 - setbacks

- Construction Legend**
- stone/brick core & gutter
 - standard "dry" curb & gutter
 - heavy-duty asphalt pavement
 - standard asphalt pavement
 - concrete pavement
 - concrete sidewalk
 - concrete brick pavers

- Utility Legend**
- existing
 - proposed
 - sanitary main
 - sanitary force main
 - storm sewer (nick wall)
 - water main
 - water service (female)
 - water service (male)
 - natural gas main
 - natural gas service
 - overhead primary electric
 - underground primary electric
 - underground secondary electric
 - underground telephone
 - overhead cable/fiber/optic
 - underground cable/fiber/optic
 - underground utility/primary/data service

- Symbol**
- sanitary manhole
 - service chamber
 - rectangular structure
 - circular structure
 - fire hydrant
 - water valve
 - water meter
 - natural gas meter
 - electric pole
 - service transformer
 - street light
 - private site lighting
 - cable/optic junction box



- Utility Notes**
- Boundary information, existing utilities and topographic features shown are based on information supplied by surveyor and others.
 - The existing utility locations shown on these plans are approximate and may not indicate all utility lines present. The contractor shall be responsible to call MO ONE CALL and identify field location of all existing underground utilities prior to beginning excavation/construction activities.
 - Utility locations are shown for any change to any utilities or their structures during excavation/construction activities.
 - The contractor shall coordinate all main top and utility services, both temporary and permanent with the city and/or respective utility.
 - Utilities shown on the plan with specific elevations and/or structure locations are SUE quality level "B". If storm sewer, sanitary sewer, water, telephone & water and other above-grade utilities. All existing utility information shown is SUE quality level "B", primarily reinforcement of non-call records.

999 existing major contour
 999 existing minor contour
 999 proposed major contour
 999 proposed minor contour

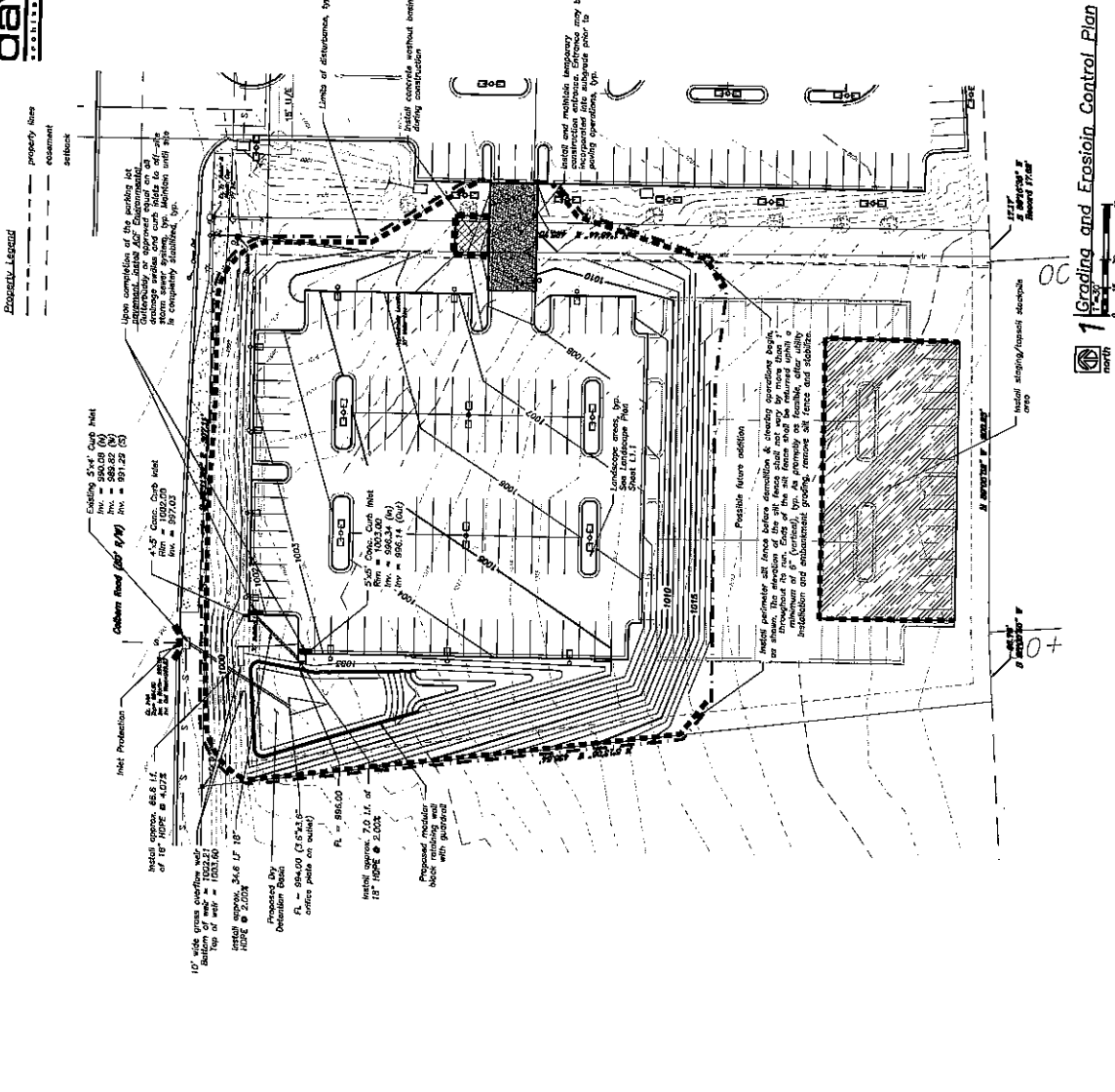


Erosion Control Legend

- Limits of disturbance, Disturbed Area = 1.28 acres
- Limits of disturbance, Disturbed Area = 1.28 acres
- Limits of disturbance, Disturbed Area = 1.28 acres
- Limits of disturbance, Disturbed Area = 1.28 acres
- Limits of disturbance, Disturbed Area = 1.28 acres

General Notes

1. All construction shall conform to the city's standards in effect on the city's approved date shown on these plans and incorporated herein by reference.
2. Development plans and drainage reports are approved in effect for one (1) year, after which they automatically become void and must be updated and re-approved by the city engineer before any construction will be permitted.
3. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans and the contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
4. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
5. Construction of the improvements shown or indicated by this set of drawings shall not be initiated until the contractor has obtained all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
6. All work shall be done in accordance with the city's standards in effect on the city's approved date shown on these plans and incorporated herein by reference.
7. All existing utilities indicated on the drawings shall be protected by the contractor. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
8. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
9. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
10. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
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15. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
16. Temporary seeding shall be applied to all disturbed areas that are not to be planted with grass within 14 calendar days, and to all disturbed areas that have been brought to final grade but the erosion is not stable.
17. Silt fencing shall be installed using air-laid matting method. No other method shall be allowed.
18. Contractor shall leave the ends of the silt fence up in order to temporarily impound runoff.
19. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
20. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
21. Slopes shall not exceed 3:1 in all exposed areas.
22. The contractor shall provide a temporary gravel access drive to prevent mud from being tracked onto the adjacent road.
23. All hauler units shall be covered within the right-of-way shall be to 55 percent (55%) compaction of minimum moisture content.
24. All hauler units shall be covered within the right-of-way shall be to 55 percent (55%) compaction of minimum moisture content.
25. All existing utility structures shall be protected by the contractor. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
26. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
27. Recommendations made by the geotechnical engineer, to be retained by the owner, and contained in the geotechnical report shall be followed by the contractor.
28. The city engineer shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
29. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.
30. The contractor shall be responsible for obtaining all necessary permits from the city engineer and the city code, the city is not responsible for the accuracy and completeness of the information provided on these plans.



1 Grading and Erosion Control Plan

North

Scale: 1" = 10'

DATE: 11.20.2015
 DRAWN BY: [Name]
 CHECKED BY: PAM
 REVISIONS: 01-19-16

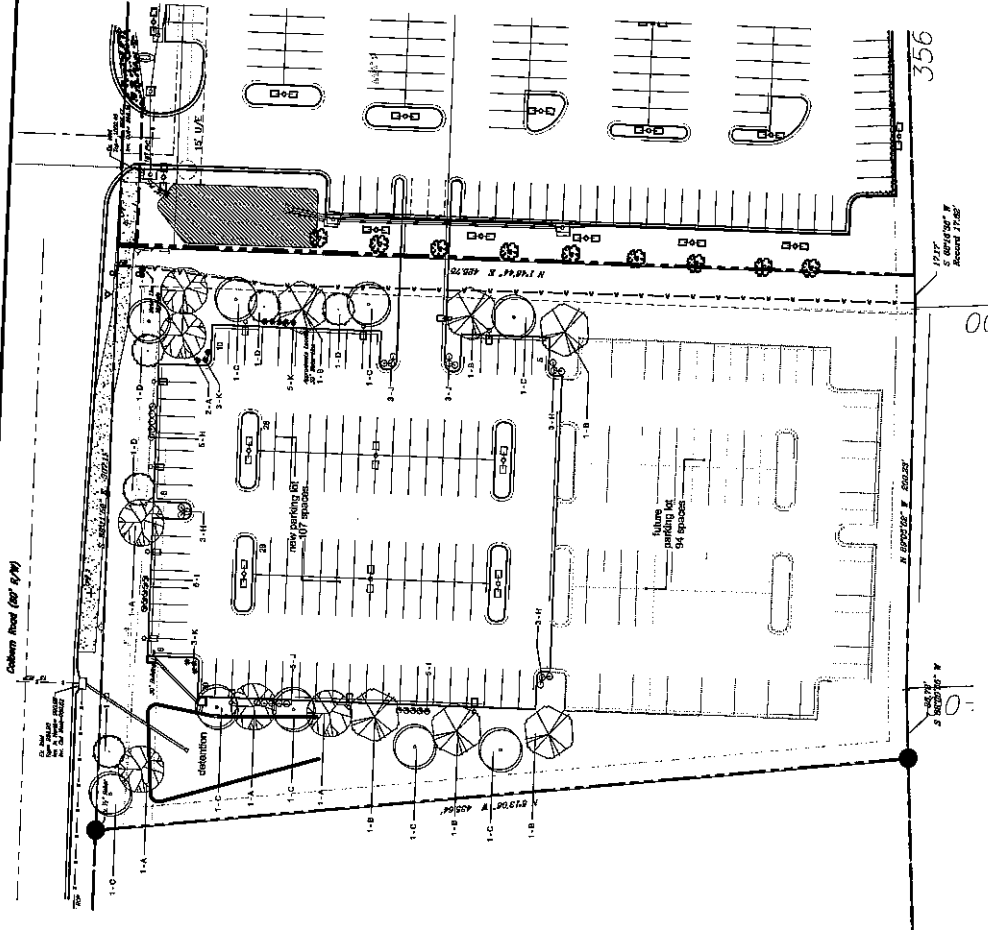
PROJECT NUMBER: C2-1
 DRAWING TYPE: Planning
 PROJECT NUMBER: 75702

DAVIDSON
 CIVIL ENGINEERING
 1100 N. GARDNER ROAD
 SUITE 100
 LEES SUMMIT, MISSOURI 64081-1000
 PHONE: (816) 481-1000
 FAX: (816) 481-1001
 WWW.DAVIDSONENR.COM

Lee's Summit, Missouri
 NE Colbern Road
 A Proposed remodel for
 Lee's Summit Honda

David J. Moore
 License No. 10000
 State of Missouri
 Exp. 12/31/2015

1 site plan
Scale: 1" = 30'



Trees and Shrubs Planting List

NO.	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE / QUANTITY
1	A	AMERICAN OAK	QUERCUS SP.	12" x 12" x 10'
2	B	RED BUD	JAPANESE SP.	12" x 12" x 10'
3	C	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
4	D	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
5	E	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
6	F	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
7	G	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
8	H	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
9	I	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
10	J	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
11	K	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
12	L	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
13	M	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
14	N	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
15	O	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
16	P	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
17	Q	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
18	R	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
19	S	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
20	T	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
21	U	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
22	V	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
23	W	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
24	X	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
25	Y	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'
26	Z	DOGWOOD	DOGWOOD SP.	12" x 12" x 10'

Planting Requirements:

- 1. All trees and shrubs shall be planted in accordance with the following requirements:
- 2. All trees shall be planted in accordance with the following requirements:
- 3. All shrubs shall be planted in accordance with the following requirements:
- 4. All trees and shrubs shall be planted in accordance with the following requirements:
- 5. All trees and shrubs shall be planted in accordance with the following requirements:
- 6. All trees and shrubs shall be planted in accordance with the following requirements:
- 7. All trees and shrubs shall be planted in accordance with the following requirements:
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- 22. All trees and shrubs shall be planted in accordance with the following requirements:
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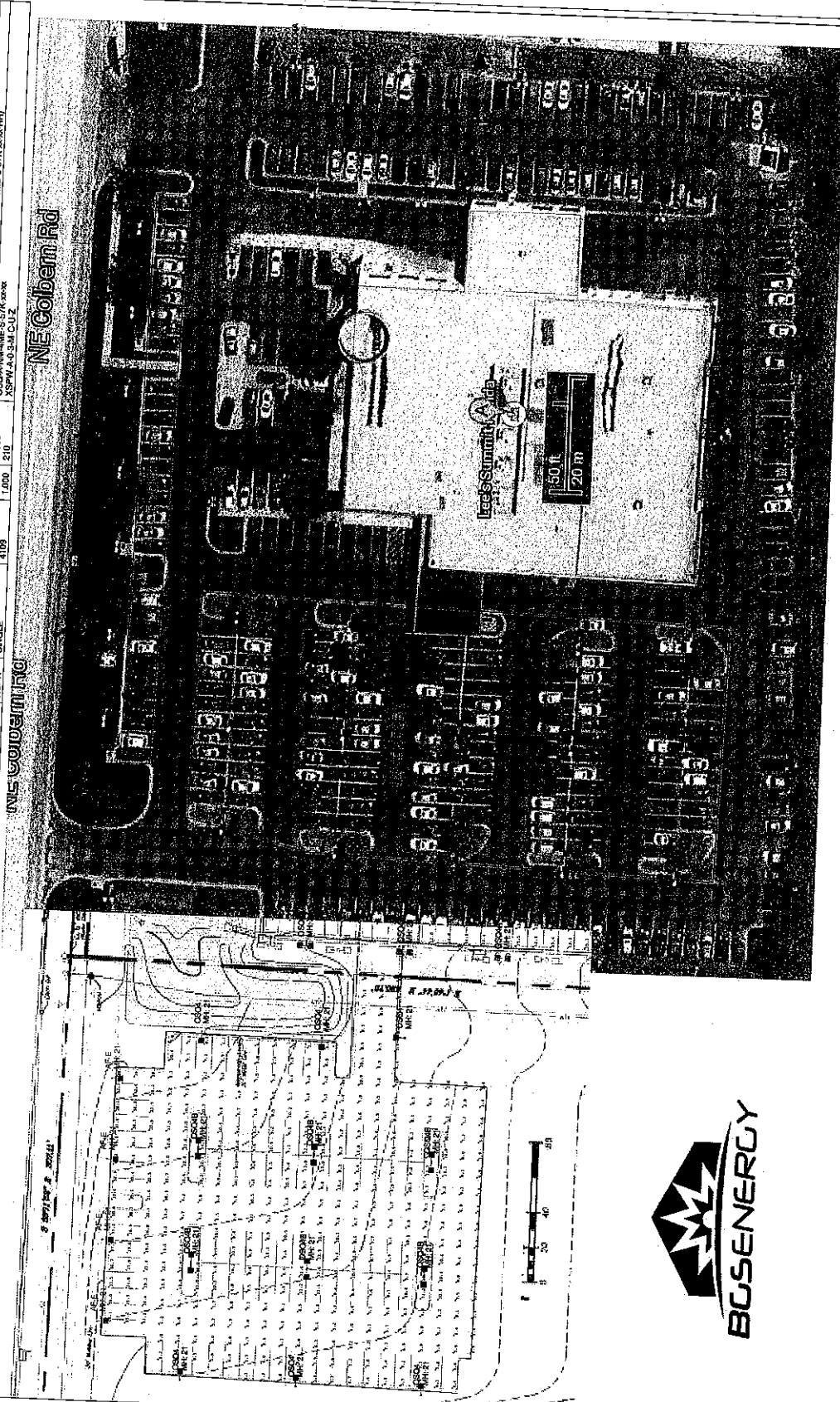
Scale Note:
As Shown on Plans and Sections

ADDITIONAL EQUIPMENT
(89) OSC-xx-x (OSC MOUNT)

Lab	Avg	Min	Max	Avg/Man	Max/Man
ADDITION	3.42	1.5	5.0	6.21	32.78
ENTIRE SITE	1.7	0.5	2.5	3.10	15.00
MONTHLINE	28.73	5.1	11.4	7.53	36.92
INVENTORY	18.96	1.7	5.86	5.86	3.21

Use/Equip Schedule	Label	Assignment	LF	Total Wires
OSB	11	OSB	0.960	5883
OSB	9	OSB	0.990	2007
OSB	14	OSB	0.990	1244
OSB	25	OSB	0.990	2776
ASPT	5	ASPT	1.000	210
ASPT	2	ASPT	4.059	

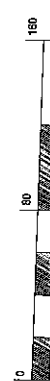
Work Item	LF	Total Wires
ARE SHOCK-ANZLE	0.960	5883
OSD ANIMALES-57K-XX-XX	0.990	2007
OSD ANIMALES-57K-XX-XX	0.990	1244
OSD ANIMALES-57K-XX-XX	0.990	2776
ASPTA-5-SM-CUZ	1.000	210



NOTES:
 a) Customer responsible to verify ordering information/catalogue number prior to placing order.
 b) Customer responsible to verify terrain, mounting, cable, and tap/voltage prior to placing order.
 c) Layout reflects existing poles and pole locations.



Project Name: Les Summit Honda
 Date: 10/15/2015
 Scale: 1"=40'
 Footcandle: calculated @ 100 ft
 Customer No: 01624
 Layout By: Nicholas Nethm



1000 5th Street, Suamico, WI 54277
 www.cree.com (800) 391-6000

Illustrations shown on this drawing are based on product parameters provided to Cree. Cree is not responsible for any errors or omissions in the drawings. Cree is not responsible for any errors or omissions in the drawings. Cree is not responsible for any errors or omissions in the drawings. Cree is not responsible for any errors or omissions in the drawings.

November 24, 2015

City of Lee's Summit Planning Department
220 Green Street
Lee's Summit, Missouri 64063

Re: Lee's Summit Honda
401 NE Colbern Road
Lee's Summit, MO 64086

SUP Applicant's Letter Response (UDO Section 10.050.)

Reponses are keyed to UDO required explanations:

1. The character of the neighborhood is "automotive" in nature with, two dealerships in succession, and several proposed dealerships to go in across the street.
2. The applicant owns the adjacent east property, and the City of Lee's Summit has agreed to lease the ground in this application to the applicant to be used as additional dealership parking. The south is MoDOT R.O.W and the west is also owned by the City of Lee's Summit.
4. The project will be a continuance of the existing dealership, there should be no visual impact to the area.
5. The property is has MoDOT R.O.W. to the south, and the east property line is the developer of the project. The property across the street is to be developed as automotive use, and the property to the west is owned by the City of Lee's Summit. There should be no negative effects on neighboring properties.
6. This project will help parking at the existing dealership, and should not have a negative impact on traffic along NE Colbern Rd.
7. A storm-water detention area is being provided and drains in to existing storm sewer on NE Colbern Rd., the lot is approved for this type of development in the original land use plan.
8. No noise should be generated from this project.
9. There should be no negative impact on property values, as the project will actually clean up an undeveloped piece of land.
10. The proposed needs stems from Lee's Summit Honda growth, which is positive to the Community.
11. More sales should equal more tax dollars.
12. There should be no impact on public facilities.
13. If the parking lot is not added, the dealership suffers by not being able to service its customers adequately which could affect the operations and health of the business.
14. The project will meet applicable UDO requirements and City requirements.
15. At this time we feel staff supports our project.

RECEIVED

NOV 24 2015

Planning & Codes Admin

-2015-197-

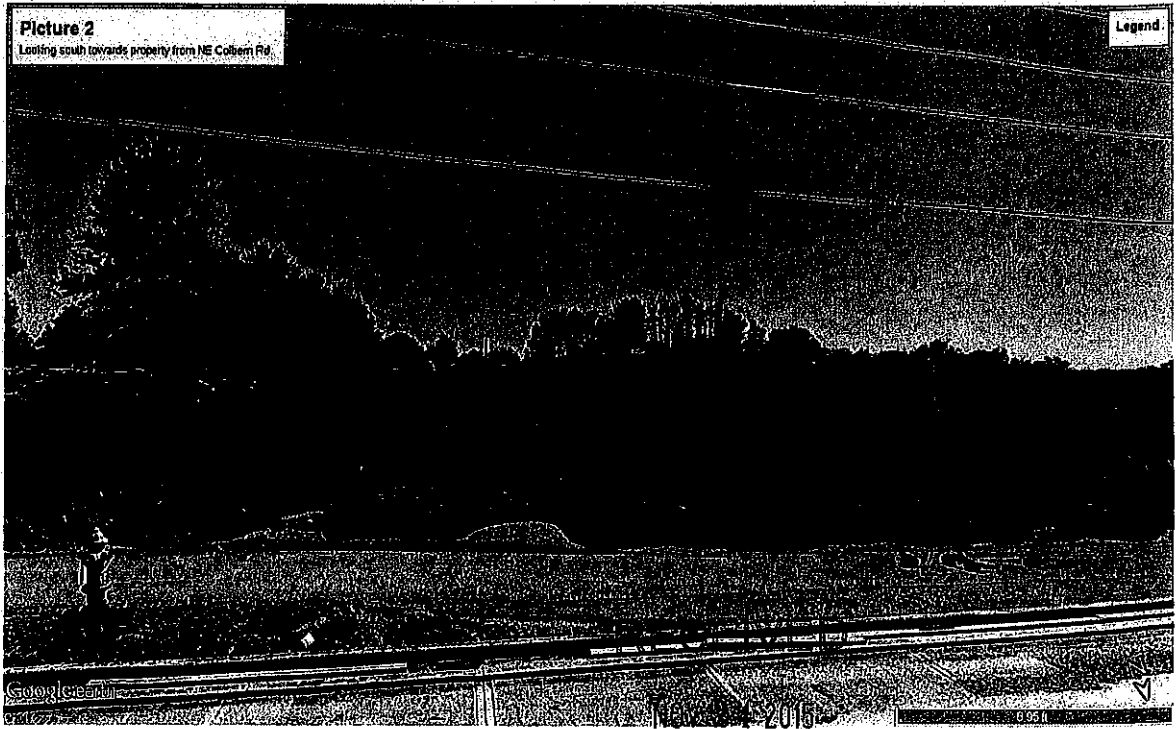
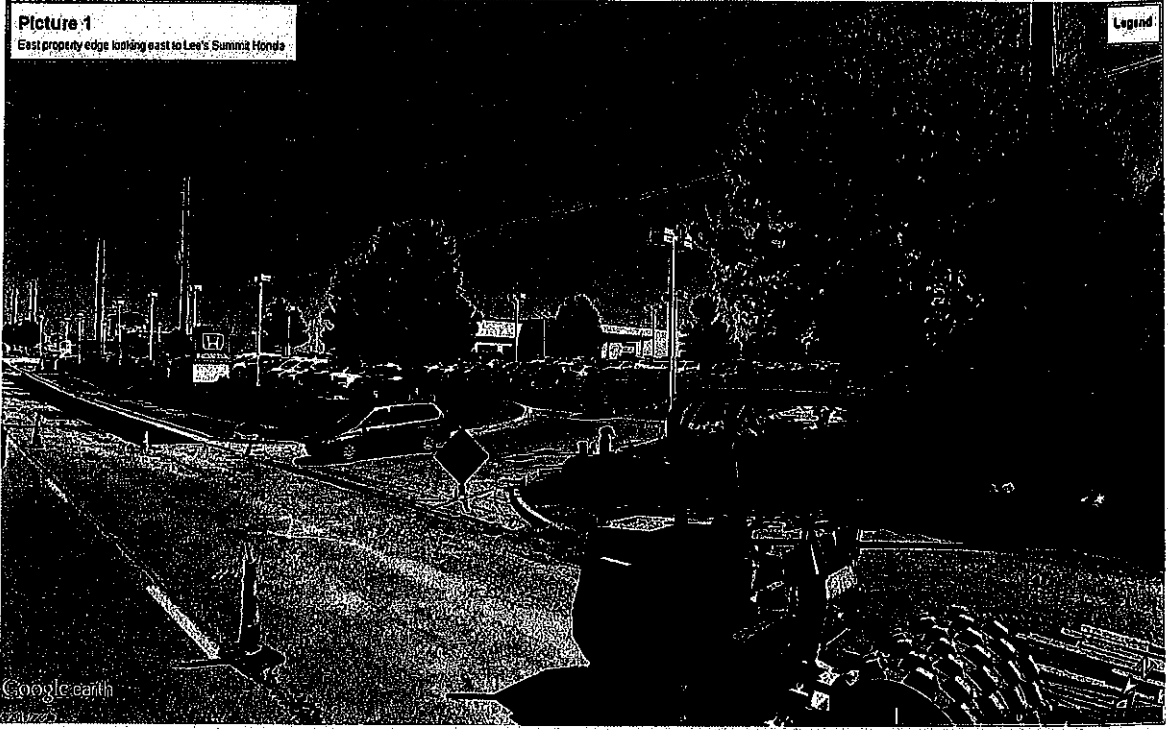


16. This will be a continuation of a parking area, similar to all adjacent automotive uses, including Lee's Summit Honda which already has a special use permit for this activity.

The End

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NOV 24 2015
Planning & Codes Admin
-2015-197-



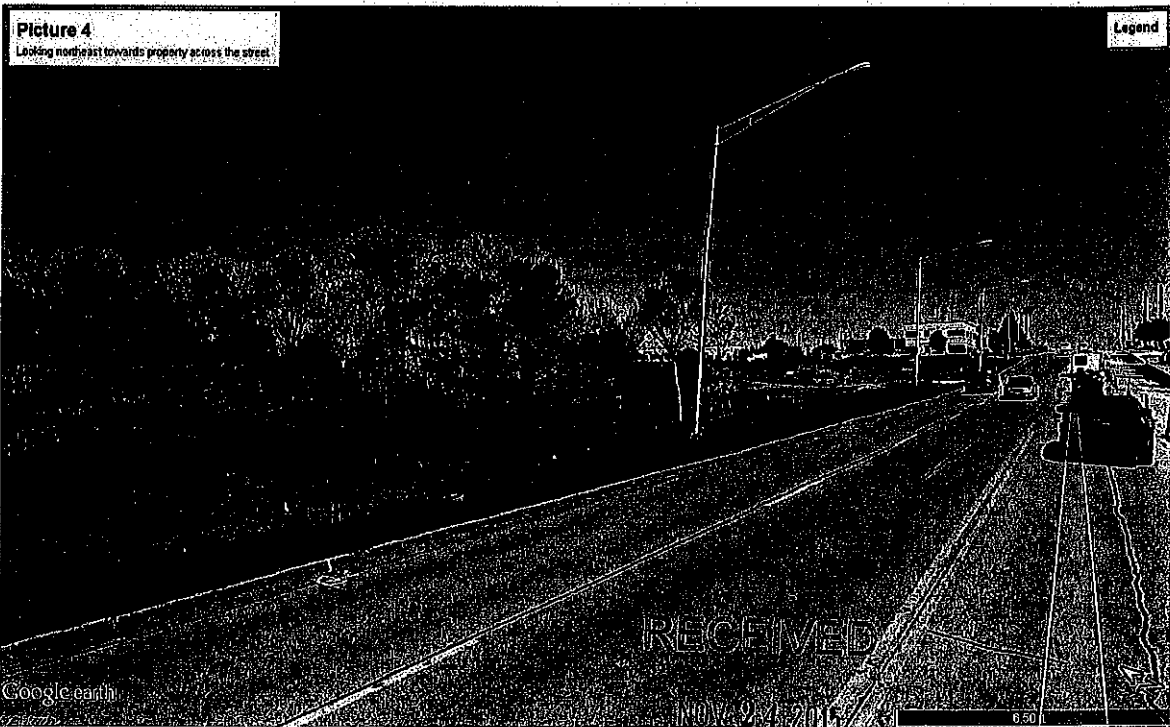
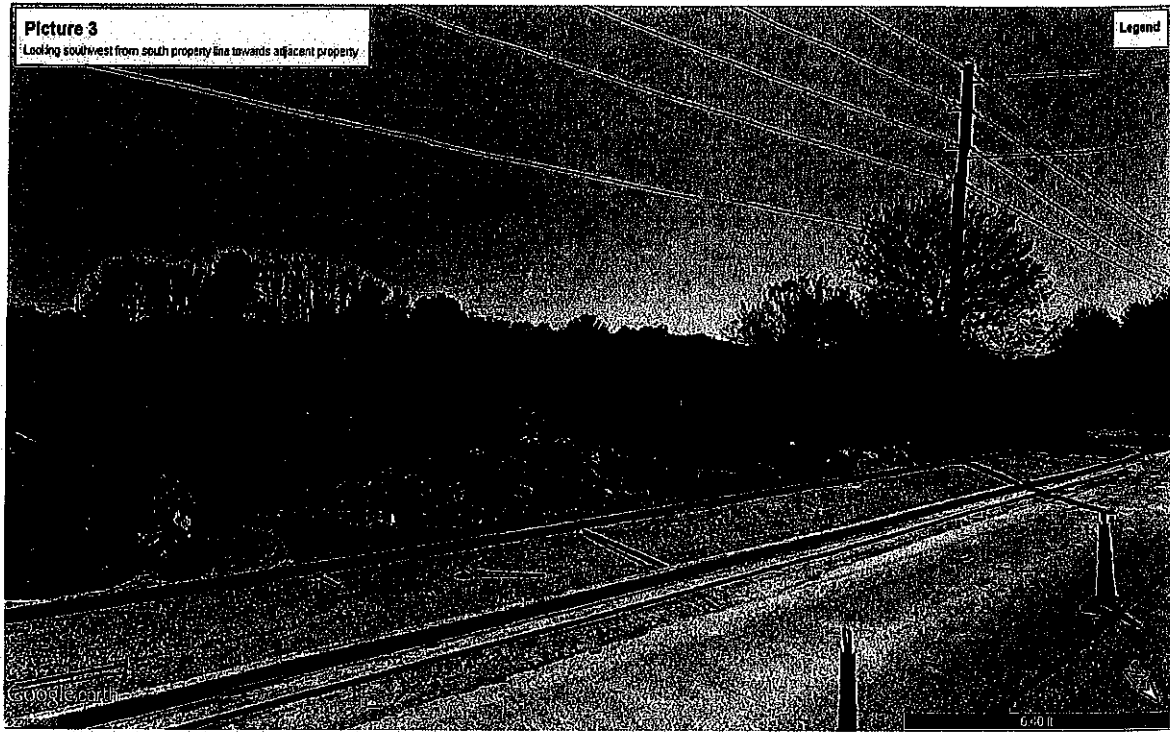


-2015-197-



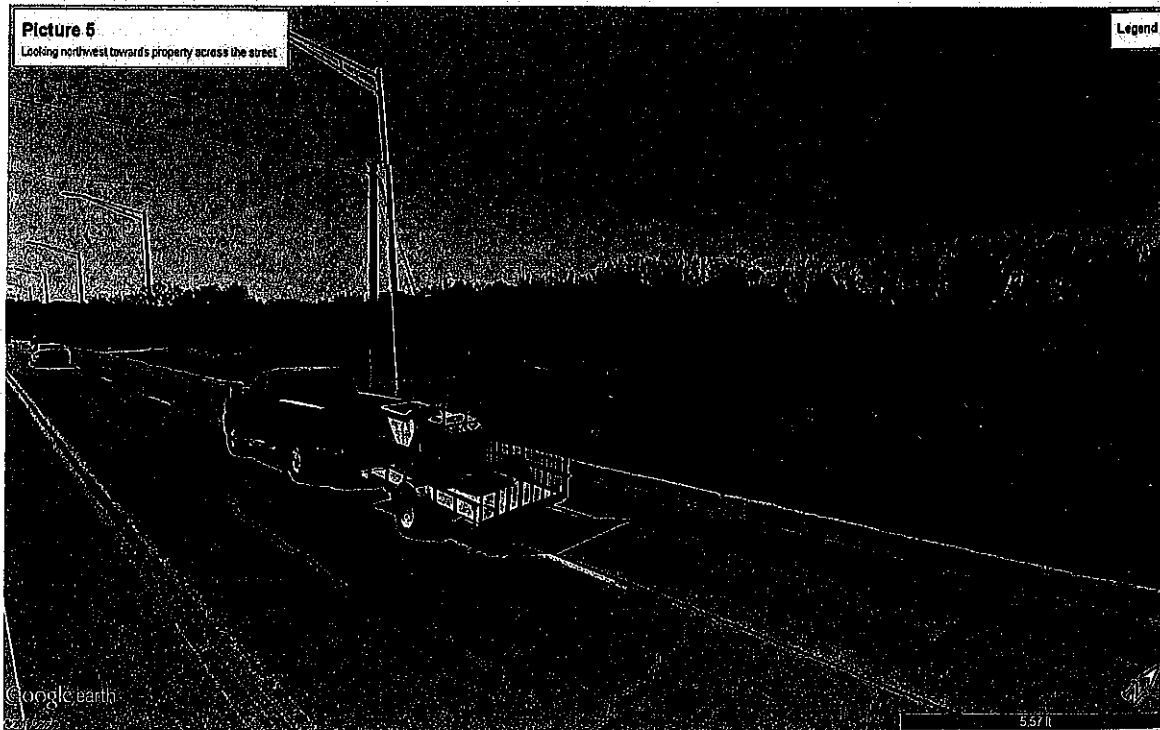
Planning & Codes Admin

4301 Indian Creek Parkway Overland Park, Kansas 66207 p. 913.451.9390 www.davidsonae.com



Planning & Codes Admin

- 2015 - 107 -



NOV 24 2015

- 2015 - 197 -



Special Use Permits for Car, Truck, Boat & Trailer Sales

Appl. No.	Type of Sales	Applicant/Business	Address	Ord. No.	Ord. Date	Years Granted	Expiration Date	Current Status
PL2015-042	Cars	Lee's Summit Subaru	2001 NE Independence	7654	6/18/2015	21	8/17/2036	In effect
PL2015-002	Cars/Trucks	Auto Dreams	1231 SE Century Drive	7607	4/3/2015	10	4/3/2025	In effect
PL2014-155	Cars	HMH Autosport	713 SE M-291 Hwy.	7853	2/19/2015	10	2/19/2025	In effect
PL2014-105	Cars/trucks*	Auto Clinic	957 SE Oldham Pkwy	7552	12/18/2014	10	12/18/2024	In effect
PL2014-004	Cars*	Pit Stop Auto Detailing	1000 SE Blue Pkwy	7445	4/3/2014	10	4/3/2024	In effect
PL2013-134	Cars*	Dad's Garage	1308 SW Market St	7418	1/9/2014	5	1/9/2019	In effect
PL2013-131	Cars	Capital Motors	1703 NE Rice Rd	7411	12/19/2013	10	12/19/2023	In effect
PL2013-122	Cars	Pinnacle Investments	516 SW 3rd St	7407	12/12/2013	3	12/12/2016	In effect
PL2013-114	Cars*	Empire Auto Glass	1300 SW Market St	7383	10/10/2013	5	10/10/2018	In effect
PL2013-094	Cars	Summit Autoplex	712 NW O'Brien Rd	7381	10/10/2013	10	10/10/2023	In effect
PL2013-063	Cars	Volkswagen of Lee's Summit	2225 NE Independence Ave	7352	8/15/2013	20	8/15/2033	In effect
PL2013-014	Cars/Trucks	Instant Auto	2151 NE Independence Ave	7332	5/16/2013	10	5/16/2023	In effect
PL2012-099	Cars*	Sinclair of Lee's Summit	520 SW 3rd Street	7263	12/6/2012	5	12/6/2017	In effect
PL2012-011	Cars*	Roberts Chevrolet	945 SE Oldham Pkwy	7158	3/15/2012	20	11/17/2031	In effect
PL2011-163	Cars	Dave Cross Motors	1120 NW Blue Pkwy	7163	3/22/2012	20	3/22/2032	In effect
PL2011-111	Cars/trucks	Roberts Chevrolet	950 SE Broadway Drive	7111	11/17/2011	20	11/17/2031	In effect
PL2011-097	Cars/trucks*	Jay Hatfield Mobility	1115 SW Oldham Parkway	7106	11/3/2011	7	11/3/2018	In effect
2010-048	Cars*	Herrington Automotive	201 SE Green Street	6981	10/7/2010	5	10/7/2015	In effect
2010-054	Cars	Pickard Auto Sales	1 SE 30th St	6990	11/4/2010	10	9/21/2020	In effect
2010-027	Trucks	KC Wholesale	4244 NE Port Drive	6948	6/17/2010	10	6/17/2020	In effect
2009-091	Cars/trucks	KGP Properties, LLC	453 SE Oldham Pkwy	6857	11/19/2009	10	11/19/2019	In effect
2009-059	Boats	Summit Boats and Gear	1012-A NE Jib Court	6836	10/1/2009	10	10/1/2019	In effect
2009-003	Cars*	Midwest Tire Service	190 NW Oldham Pkwy	6779	4/16/2009	7	4/16/2016	In effect
2007-238	Cars/trucks	McLary Satellite Parking	1101 SE Oldham Pkwy	6581	02/07/2008	12	11/16/2020	In effect
2007-151	Cars/trucks	PRO Leasing Investments, LLC	1343 NW Main Street	6511	10/18/2007	10	10/18/2017	In effect
2007-051	Cars/trucks	Nissan	1025 SE Oldham Pkwy	6426	6/21/2007	20	6/21/2027	In effect
2007-010	Cars/trucks	Bob Slight Ford	607-615 NW Blue Pkwy	6384	4/26/2007	20	4/26/2027	In effect
2006-255	Trailers	Croft Trailer, Inc	2401 SE M-291 Hwy	6327	1/4/2007	20	1/4/2027	In effect
2006-223	Cars	Cooper Auto Service	501 SE Oldham Pkwy	6350	3/1/2007	10	3/1/2017	In effect
2006-149	Cars/trucks	Blue Ridge Mazda	975 SE Oldham Pkwy	6288	10/19/2006	20	10/19/2026	In effect
2006-093	Cars/trucks	Lee's Summit Subaru	2031-2055 NE Independence Ave.	6257	8/17/2006	30	8/17/2036	In effect
2006-075	Cars	Wise Rental	1650 SW Market St	6320	12/21/2006	10	12/21/2016	In effect
2004-266	Cars	HMH Autosport	713 SE M-291 Hwy.	5902	3/3/2005	10	3/3/2015	In effect
2004-164	Cars/trucks*	The Auto Clinic	957 SE Oldham Pkwy	5845	11/18/2004	10	11/18/2014	In effect
2003-098	Cars	Lee's Summit Mitsubishi	1001 SE Oldham Pkwy	5561	7/17/2003	20	7/17/2023	In effect
2000-095	Cars	Jay Wolfe Dodge	1051 SE Oldham Parkway	5066	11/16/2000	20	11/16/2020	In effect
2000-148	Cars	Ray Adams Toyota	501 NE Colbern Road	5020	8/17/2000	30	8/17/2030	In effect
1999-010	Cars	Stadium Honda	401 NE Colbern Rd.	4782	5/13/1999	30	5/13/2029	In effect
1987-052	Cars	Dave Cross Motors	700 NW Blue Pkwy.	3067	11/10/1987	30	11/10/2017	In effect

* Accessory use

Summary:

- 4 for 30 years 1987-2006 - new car dealerships in 470/Colbern area-Toyota, Honda, Subaru; plus Dave Cross (on Chipman)
- 10 for 20 years 2000-2013 - new car dealerships on 50 Hwy-Dodge, Mitsubishi, Mazda, Nissan, Roberts Chevrolet, plus Summit Ford, Croft Trailer, Dave Cross
- 1 for 21 years 2015
- 1 for 12 years 2008
- 16 for 10 years 2004-2015 - used cars, boats, wholesale, accessory to repair use
- 2 for 7 years 2009-2011
- 4 for 5 years 2010-2013 - used cars-accessory
- years 2013 - used cars

#PL2015-197 - SPECIAL USE PERMIT
LEE'S SUMMIT HONDA PARKING LOT ADDITION
301 NE COLBERN ROAD
BFRE, LLC, APPL.



Curriculum Vitae
Robert G. McKay, AICP

Professional Experience

- | | |
|---|--|
| Director of Planning and Development | - City of Lee's Summit, Missouri
(8/99 – Present) |
| Director of Planning and Development
Building Official | - City of Leawood, Kansas
(2/87 – 8/99) |
| Director of Community Development | - City of Grandview, Missouri
(3/85 – 2/87) |
| City Development Planner | - City of Dubuque, Iowa
(9/79 – 3/85) |
| Associate Planner | - City of Pocatello, Idaho
(9/78 – 9/79) |
| Assistant City Planner | - City of Ponca City, Oklahoma
(8/77 – 9/78) |

Formal Education

M.S. – South Dakota State University, Geography Major with Urban and Regional Planning Studies Emphasis

B.S. – South Dakota State University, Geography Major, Civil Engineering Minor

Professional Associations

- AICP – American Institute of Certified Planners
- APA – American Planning Association; APA Missouri Chapter; APA Kansas Chapter; KC Metro Section and APA City Planning and Management Division
- ULI – Urban Land Institute, Associate Member

LS_ZIP	owner_name	owner_address	owner_city	owner_state	owner_zip
64086	BFRE LLC	3200 S OUTER RD	BLUE SPRINGS	MO	64015
	TWENTY THREE ACRES LLC	PO BOX 1928	LEES SUMMIT	MO	64063
	CITY OF LEES SUMMIT	220 S MAIN	LEES SUMMIT	MO	64063
64086	THE CITY OF LEES SUMMIT	207 SW MARKET	LEES SUMMIT	MO	64063
	CITY OF LEES SUMMIT	220 S MAIN ST	LEES SUMMIT	MO	64063
	THE CITY OF LEES SUMMIT	207 SW MARKET	LEES SUMMIT	MO	64063

**NOTICE TO PROPERTY OWNERS
PLANNING COMMISSION & CITY COUNCIL**

Date Notice Sent: January 8, _____, 2016

Public hearings will be held on the following application during the meeting of the Planning Commission and City Council of the City of Lee's Summit as noted below.

Application # PL2015-197 Description of Proposal: Special Use Permit for Parking Lot Addition, Lee's Summit Honda

Location of Property (Street Address): 301 NE Colbern Rd, Lee's Summit, MO 64086
(location map must also be attached)

Applicant: Lee's Summit Honda

Meeting of: x Planning Commission

Date and Time of Hearing: January 26 _____, 2016 _____, at 5 p.m.

x City Council

Date and Time of Hearing: February 18 _____, 2016 _____, at 6:15 p.m.

Location of public hearing:

X City Council Chambers, City Hall, 220 SE Green St, Lee's Summit, Missouri

Other: _____
(specify location)

All interested persons are invited to attend and will have an opportunity to be heard at the public hearing.

Protest Petition: Property owners within 185 feet of the property for which the public hearing is required before the City Council shall have the opportunity to submit a protest petition. The petition shall be in conformance with the Unified Development Ordinance and shall be filed with the office of the City Clerk prior to City Council action. Staff recommends petitions be filed at least two weeks prior to the City Council hearing so the validity of the protest will be verified prior to the hearing.

For more information, contact the Planning & Development Department, City of Lee's Summit, at 816-969-1600.



Signature of Applicant or Agent

*This notice is to be mailed by applicant at least fifteen (15) days prior to the date of the public hearing, to the last known record owner of all property within 185 feet from the boundaries of the property for which the application is being considered.

To Applicant: An affidavit must be filed with the Planning Department prior to the public hearing, certifying that mailed notices have been sent in accordance with Section 4.160 of the Unified Development Ordinance.

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