

PROJECT TEAM

CLIENT:
MILHAUS
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TEL: (913)-915-2700
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CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
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SURVEYOR:
J&J SURVEY, LLC
CONTACT: JOHN B. YOUNG
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ARCHITECT:
DAVIDSON A+E
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LANDSCAPE:
KIMLEY-HORN AND ASSOCIATES, INC.
CONTACT: ASHLEY SERR
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HISTORIC INFORMATION
THIS STRUCTURE IS NOT LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

THIS SITE IS NOT LOCATED IN A LOCAL HISTORIC DISTRICT PER THE MISSOURI
DEPARTMENT OF NATURAL RESOURCES HISTORIC DISTRICTS AND SITES DATABASE,
ACCESSED JUNE 27, 2023.

FEMA INFORMATION
THIS SITE IS LOCATED WITHIN ZONE X PER FEMA FIRM MAPS 29095C0532G: EFFECTIVE
DATE JANUARY 19, 2017. NO LETTERS OF MAP AMENDMENT OR REVISION ARE BEING
PROPOSED.

PROJECT SPECIFICATIONS
THE SPECIFICATIONS FOR THIS PROJECT SHALL BE THE FOLLOWING:
1. THE CITY OF LEE'S SUMMIT, MO
2. KANSAS CITY METRO APWA

THE STANDARD SPECIFICATIONS THROUGH AND INCLUDING THE LATEST AMENDMENTS
SHALL BE PART OF THESE PROJECT DRAWINGS AND SPECIFICATION AND ARE
INCORPORATED HEREIN BY REFERENCE. THE MORE STRINGENT OF THESE STANDARD
SPECIFICATIONS AND THOSE PREPARED BY THE ENGINEERING PREPARING THESE
PLANS SHALL GOVERN.

OIL AND GAS WELL NOTES
NO ABANDONED OIL OR GAS WELLS HAVE BEEN IDENTIFIED WITHIN THE PROPERTY
LIMITS OF THE PROPOSED CONSTRUCTION ACTIVITIES. PER THE MISSOURI
DEPARTMENT OF NATURAL RESOURCES (MDNR) PERMITTED OIL AND GAS DATABASE,
ACCESSED DECEMBER 3, 2024.

FIRE CODE
ALL ISSUES PERTAINING TO LIFE, SAFETY, AND PROPERTY PROTECTION FROM THE HAZARDS
OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS,
STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY
RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2018
INTERNATIONAL FIRE CODE.

LEGAL DESCRIPTION

A tract of land being part of the Southeast Quarter of Section 25, Township 47 North, Range 32 West, in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:
Commencing at the Southeast corner of said Southeast Quarter;
Thence North 02°36'29" East, along the East line of said Southeast Quarter, 575.15 feet;
Thence North 87°23'31" West, 80.02 feet to the West Right-of-Way line of SW Ward Road, as now established, said point also being the Point of Beginning;
Thence on a curve to the to the right having an initial tangent bearing South 54°41'29" West, a radius of 35.00 feet and an arc length of 22.75 feet;
Thence North 88°03'54" West, 5.35 feet;
Thence on a curve to the left, tangent to the last described course, having a radius 57.46 feet and an arc length of 87.14 feet;
Thence South 05°03'17" West, 137.84 feet;
Thence on a curve to the right, tangent to the last described course, having a radius of 28.54 feet and an arc length of 43.27 feet;
Thence North 88°03'54" West, 759.59 feet;
Thence North 01°56'06" East, 49.98 feet;
Thence on a curve to the left, tangent to the last described course, having a radius of 138.80 feet and an arc length of 104.30 feet;
Thence North 41°07'14" West, 31.46 feet to the South Right-of-Way line of SW Arborwalk Boulevard, as now established;
Thence along said South Right-of-Way line the following ten courses;
Thence on a curve to the left, having an initial tangent North 43°36'02" East, having a radius of 430.00 feet and an arc length of 131.07 feet;
Thence North 26°08'12" East, 110.99 feet;
Thence on a curve to the right, tangent to the last described course, having a radius of 470.00 feet and an arc length of 434.56 feet;
Thence on a curve to the right, tangent to the last described course, having a radius of 75.00 feet and an arc length of 129.34 feet;
Thence South 02°04'46" East, 62.45 feet;
Thence South 87°28'08" East, 50.00 feet;
Thence North 02°31'52" East, 57.00 feet;
Thence on a curve to the right, tangent to the last described course, having a radius of 70.00 feet and an arc length of 109.96 feet;
Thence South 87°28'08" East, 265.53 feet;
Thence on a curve to the right, tangent to the last described course, having a radius of 40.00 feet and an arc length of 63.79 feet to the West Right-of-Way line of said SW Ward Road;
Thence along said West Right-of-Way line the following three courses;
Thence South 04°28'39" West, 211.75 feet;
Thence South 07°28'42" West, 158.69 feet to the Point of Beginning.
Contains 499,350 square feet or 11.46 acres more or less.



PRELIMINARY DEVELOPMENT PLANS
FOR
MO 150 HWY & SW WARD RD
MULTI-FAMILY DEVELOPMENT

NW CORNER OF SW WARD ROAD & MO-150 HIGHWAY
LEE'S SUMMIT, MISSOURI

APPROXIMATE TOTAL ACREAGE: 11.46 AC
LIMITS OF DISTURBANCE: 12.67 AC

WATERSHED: MIDDLE BIG CREEK



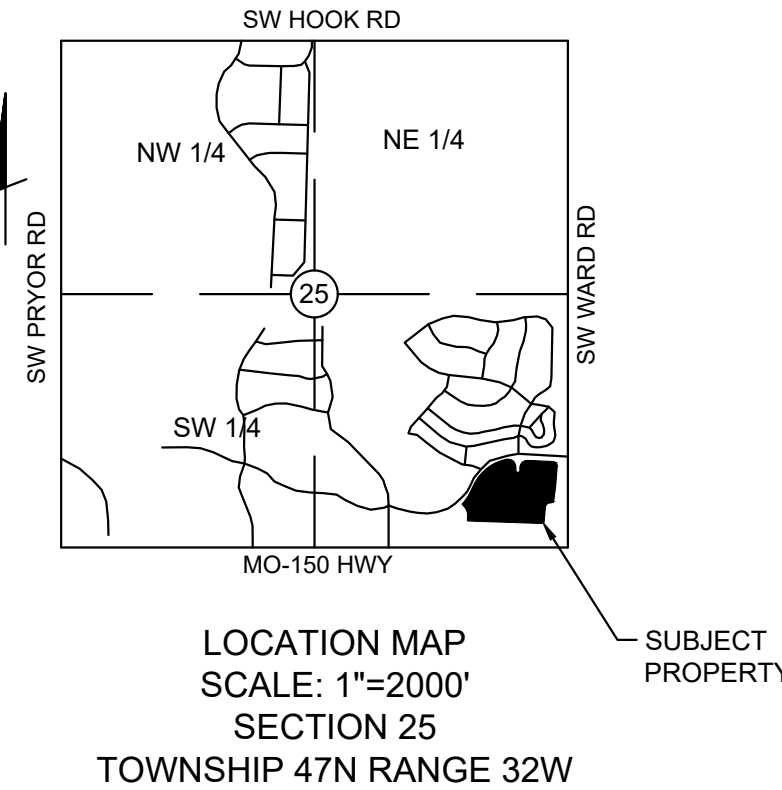
SUBMITTED BY:

Patrick Joyce
PATRICK JOYCE, P.E.
SENIOR PROJECT MANAGER
KIMLEY-HORN AND ASSOCIATES, INC.

DATE

APPROVED BY:

DATE



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C100	ALTA SURVEY
C101	EXISTING CONDITIONS
C102	LAND USE DESIGNATIONS
C200	OVERALL SITE PLAN
C201	ENLARGED SITE PLAN
C300	GRADING AND UTILITY PLAN
L100	LANDSCAPE PLAN
L101	AMENITY SPACE ENLARGEMENT
PH100	PHOTOMETRIC PLAN
A1	BLDG TYPE A - EXTERIOR ELEVATIONS
A2	BLDG TYPE B - EXTERIOR ELEVATIONS
A3	BLDG TYPE C - EXTERIOR ELEVATIONS
A4	EXTERIOR 3D VIEWS
A5	CLUBHOUSE EXTERIOR ELEVATIONS
A6	ELEVATIONS AND PERSPECTIVE
A7	GARAGE ELEVATIONS
A8	TRASH ELEVATIONS
A9	MAIL ELEVATIONS

UTILITY AND GOVERNING AGENCY CONTACTS		
UTILITY	AGENCY	CONTACT
WATER	LEE'S SUMMIT WATER DEPT.	816-969-1900
	JACKSON COUNTY PWSD #13	816-578-2249
	CASS COUNTY PWSD #3	816-331-1071
NATURAL GAS	MISSOURI GAS ENERGY	816-756-5252
ELECTRICITY	KANSAS CITY POWER & LIGHT	888-471-5275
TELEPHONE	AT&T	800-464-7928
CABLE TV	TIME WARNER	816-358-8833
	COMCAST	816-833-3400

SURVEY CONTROL POINTS				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	974540.7400	2824139.3700	993.4400	JA-137
40	978301.9100	2817160.6800	977.8800	SQUARE CUT IN CURB INLET
41	978327.3600	2816366.8500	1004.5000	SQUARE CUT IN CURB INLET
50	978308.8200	2817086.5900	981.0700	*+* CUT IN SIDEWALK
51	978327.6100	2816255.5100	1007.4800	*+* CUT IN SIDEWALK

Kimley»Horn
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KANSAS CITY, MISSOURI
KANSAS CITY, MISSOURI
PHONE: 816-652-0350
WWW.KIMLEY-HORN.COM
MO CERTIFICATE OF AUTHORITY #001012
EXPIRES: 1/31/24

SCALE:
AS NOTED
DESIGNED BY: LG
DRAWN BY: LG
CHECKED BY: PJ

PRELIMINARY
NOT FOR
CONSTRUCTION

MILHAUS.

COVER
SHEET

150 & WARD
MULTIFAMILY
DEVELOPMENT
150 HIGHWAY & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
11/25/2025

KHA PROJECT NO.
268277000

SHEET NUMBER

C000

TITLE DESCRIPTION:

Tract 1:
Lot 2002 and Lot 2003, ARBORWALK — 5TH PLAT, LOTS 2001 THRU 2003, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

Tract 2:
All that part of the Southeast 1/4 of Section 25, Township 47, Range 32, being more particularly described as follows: Beginning at the Northeast corner of Lot 2003, ARBORWALK — 5TH PLAT, LOTS 2001—2003, a subdivision in Lees Summit, Jackson County, Missouri; thence Northeasterly along a curve to the left, having a radius of 430.00 feet and an arc distance of 326.97 feet; thence North 26 degrees 08 minutes 12 seconds East 110 feet; thence Northeasterly along a curve to the right, having a radius of 470.00 feet and an arc distance of 434.56 feet; thence Southeasterly along a curve to the right, having a radius of 75.00 feet, on an arc distance of 129.34 feet; thence South 02 degrees 04 minutes 54 seconds East 62.45 feet; thence South 87 degrees 28 minutes 16 seconds East 50.00 feet; thence North 02 degrees 31 minutes 44 seconds East 57.00 feet; thence Northeasterly along a curve to the right, having a radius of 70.00 feet, on an arc distance of 109.96 feet; thence South 67 degrees 28 minutes 08 seconds East 265.66 feet; thence Southeasterly along a curve to the right, a radius of 40.00 feet; on an arc distance of 60.52 feet; thence Southwesterly along a curve to the right, having a radius of 10,437.02 feet, on an arc distance of 215.03 feet; thence South 07 degrees 26 minutes 42 seconds West 230.61 feet; thence Southwesterly on a curve to the right, having a radius of 10,572.00, on an arc distance of 168.89 feet; thence South 04 degrees 03 minutes 55 seconds West 12.00 feet; thence South 03 degrees 06 minutes 01 seconds West 14.64 feet; thence South 66 degrees 00 minutes 58 seconds East 10.00 feet; thence South 10 degrees 22 minutes 02 seconds West 63.64 feet; thence South 40 degrees 43 minutes 06 seconds West 130.68 feet; thence South 01 degrees 51 minutes 56 seconds West 45.00 degrees; thence North 86 degrees 08 minutes 04 seconds West 808.65 feet; thence South 02 degrees 06 minutes 17 seconds West 25.71 feet; thence North 87 degrees 53 minutes 43 seconds West 369.36 feet; thence North 02 degrees 06 minutes 17 seconds East 51.07 feet; thence South 87 degrees 54 minutes 12 seconds East 21.50 feet; thence North 02 degrees 05 minutes 48 seconds East 88.00 feet; thence South 87 degrees 54 minutes 12 seconds East 17.60 feet; thence South 84 degrees 52 minutes 58 seconds East 37.95 feet; thence South 87 degrees 54 minutes 12 seconds East 18.50 feet; thence North 02 degrees 05 minutes 48 seconds East 10.00 feet; thence South 87 degrees 54 minutes 12 seconds East 106.00 feet; thence South 02 degrees 05 minutes 48 seconds West 26.00 feet; thence South 87 degrees 54 minutes 12 seconds East 52.00; thence North 02 degrees 05 minutes 48 seconds East 51.50 feet; thence North 87 degrees 54 minutes 12 seconds West 25.50 feet; thence North 02 degrees 05 minutes 48 seconds East 41.50 feet; thence North 87 degrees 54 minutes 12 seconds West 12.50 feet; thence North 02 degrees of minutes 48 seconds East 95.00, thence North 20 degrees 17 minutes 45 seconds West 24.80 feet to the point of beginning.

SCHEDULE B — PART II NOTES:

Items 1—7, 12 and 13 are non survey related items.
8. An easement granted to the City of Lee's Summit, a municipal corporation, described by instrument recorded June 25, 2001 as Document No. 200110048744. Does not affect subject property but has been shown.

9. Boundaries, streets, grades, set back lines, easements, including but not limited to ingress and egress; cross parking agreement; dedications, including but not limited to sidewalk dedications; shown and or noted on the plat of ARBORWALK, — 5th Plat, recorded June 1, 2005 as Document No. 200510045420 in Plat Book 87 at Page 28. Does not affect subject property.

10. Terms and provisions of the Restrictions, recorded June 1, 2005 as Document No. 2005 1 0045421, together with the terms and provisions of the Assignment and Assumption of Declarant Rights, recorded August 18, 2014 as Document No. 2014E0068343; but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
Affected by the Assignment and Assumption of Declarant rights dated February 16, 2022, recorded February 16, 2022 as Document No. 2022E0015432, Affects subject property and is blanket in nature.

11. Boundaries, easements and features shown by the Survey recorded July 9, 2009 as Document No. 2009E0068194. Does not affect subject property but has been shown.

GENERAL SURVEY NOTES:

1.) The plat of ARBORWALK—1ST PLAT, is recorded in Book 82 at Page 50 in the Recorder of Deeds Office in Jackson County, Missouri.

2.) The plat of ARBORWALK—5TH PLAT, is recorded in Book I—87 at Page 28 in the Recorder of Deeds Office in Jackson County, Missouri.

3.) Title Report # KCC222158, dated September 8, 2022 at 8:00 AM provided by Chicago Title Insurance Company, was provided by client.

4.) Basis of Bearings was established by the Missouri State Plane Coordinate System from GPS Observation.

5.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 29095C05320, effective January 20, 2017.

6.) The subject property contains 892,586 square feet or 20.49 acres.

UTILITY NOTES:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SURVEYORS RECOMMENDED PROPERTY DESCRIPTION:

A tract of land being part of the Southeast Quarter of Section 25, Township 47 North, Range 32 West, in the City of Lee's Summit, Jackson County, Missouri, being more particularly described as follows:

Commencing at the Southeast corner of said Southeast Quarter; Thence North 02°36'29" East, along the East line of said Southeast Quarter, 575.15 feet; Thence North 87°23'31" West, 80.02 feet to the West Right-of-Way line of SW Ward Road, as now established, said point also being the Point of Beginning; Thence on a curve to the to the right having an initial tangent bearing South 54°41'29" West, a radius of 35.00 feet and an arc length of 22.75 feet; Thence North 88°03'54" West, 5.35 feet; Thence on a curve to the left, tangent to the last described course, having a radius 57.46 feet and an arc length of 87.14 feet; Thence South 05°03'17" West, 137.84 feet; Thence on a curve to the right, tangent to the last described course, having a radius of 28.54 feet and an arc length of 43.27 feet; Thence North 88°03'54" West, 759.59 feet; Thence North 01°56'06" East, 49.98 feet; Thence on a curve to the left, tangent to the last described course, having a radius of 138.80 feet and an arc length of 104.30 feet; Thence North 41°07'14" West, 31.46 feet to the South Right-of-Way line of SW Arborwalk Boulevard, as now established; Thence along said South Right-of-Way line the following ten courses; Thence on a curve to the left, having an initial tangent North 43°36'02" East, having a radius of 430.00 feet and an arc length of 131.07 feet; Thence North 26°08'12" East, 110.99 feet; Thence on a curve to the right, tangent to the last described course, having a radius of 470.00 feet and an arc length of 434.56 feet; Thence on a curve to the right, tangent to the last described course, having a radius of 75.00 feet and an arc length of 129.34 feet; Thence South 02°04'46" East, 62.45 feet; Thence North 87°28'08" East, 50.00 feet; Thence North 02°31'52" East, 57.00 feet; Thence on a curve to the right, tangent to the last described course, having a radius of 70.00 feet and an arc length of 109.96 feet; Thence South 87°28'08" East, 265.53 feet; Thence on a curve to the right, tangent to the last described course, having a radius of 40.00 feet and an arc length of 63.79 feet to the West Right-of-Way line of said SW Ward Road; Thence along said West Right-of-Way line the following three courses; Thence South 04°28'39" West, 211.75 feet; Thence South 07°28'42" West, 158.69 feet to the Point of Beginning. Contains 499,350 square feet or 11.46 acres more or less.

SURVEY CONTROL POINTS			
Point #	Northing	Easting	Elevation
1	974540.74	2824139.37	993.44
40	978301.91	2817160.68	977.88
41	978327.36	2816366.85	1004.50
50	978308.82	2817086.59	981.07
51	978327.61	2816255.51	1007.48

BENCHMARK:

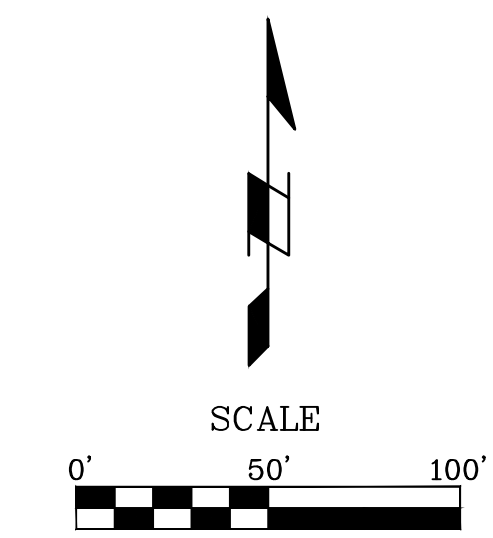
JA-132: KC Metro Aluminum GRS Disk, located approximately 0.7 miles South of Intersection Highway 150 and Highway 291, 32" East of the center of Highway 291.
Elevation = 993.44

CLIENT:

Kimley Horn

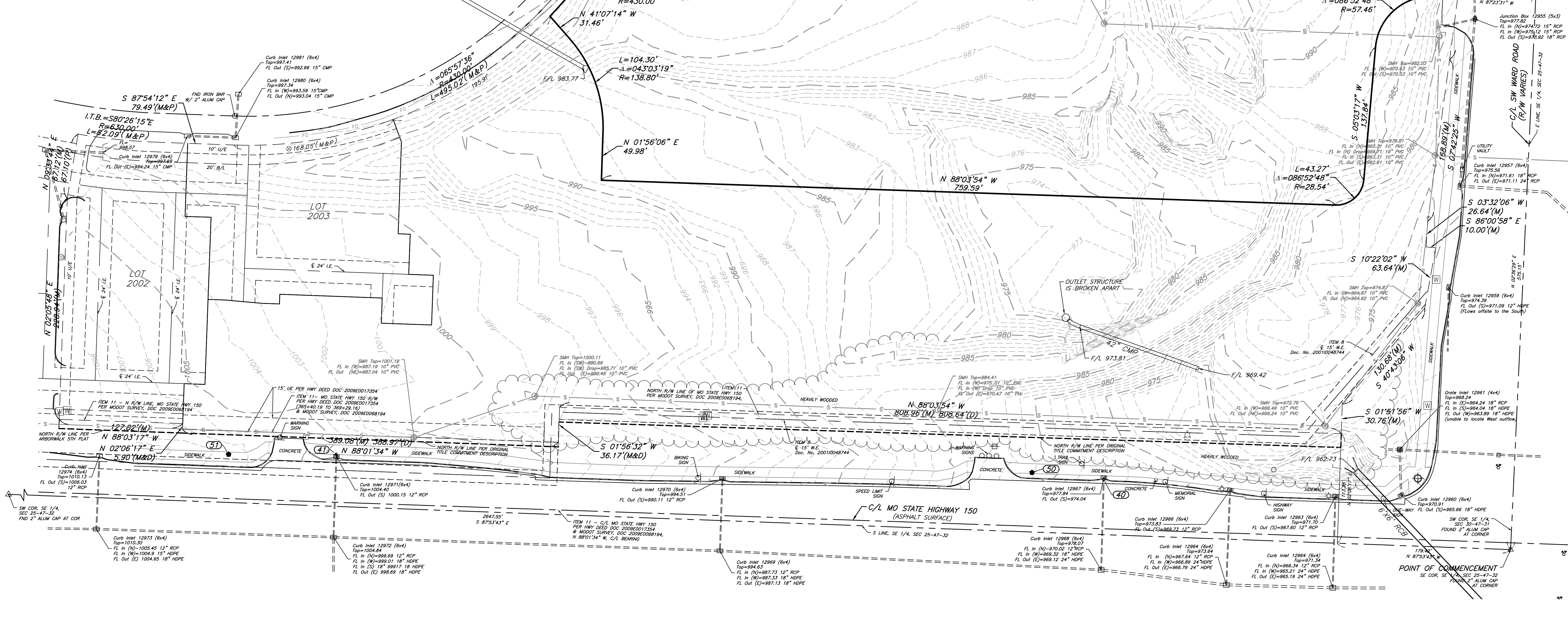
PROPERTY LOCATION:

NE corner M-150 & SW Ward Road
Lee's Summit, MO

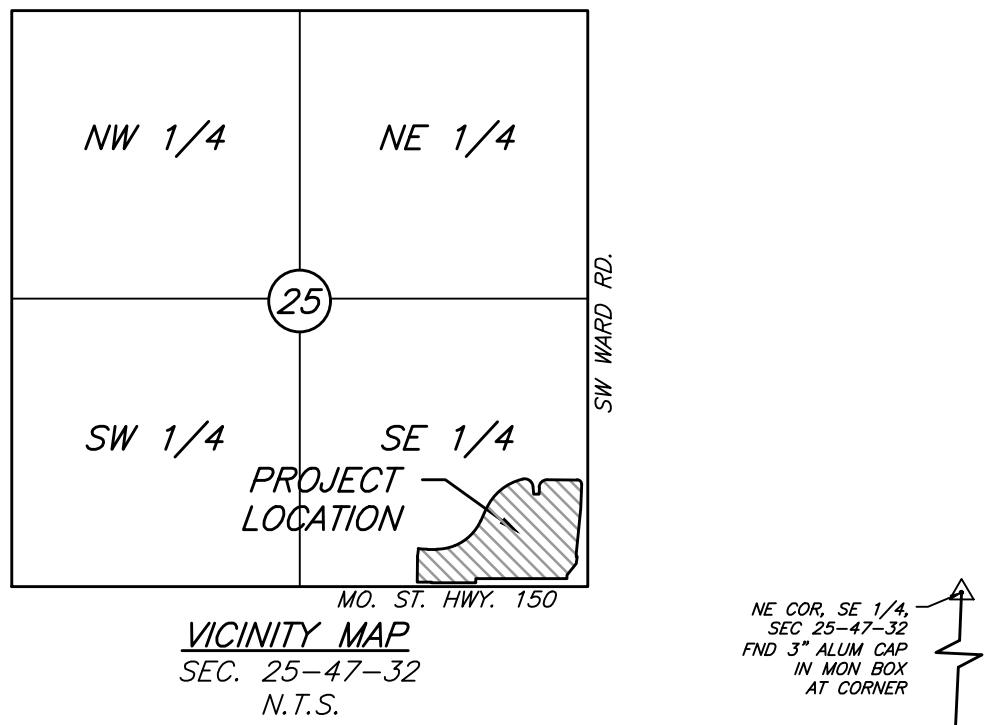


LEGEND

- BENCHMARK
- SECTION CORNER AS NOTED
- MONUMENT FOUND AS NOTED
- SET MONUMENT AS NOTED
- FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (P) — PLATTED DISTANCE
- (M) — MEASURED DISTANCE
- (D) — DESCRIBED DISTANCE IN MODOT R/W PLANS
- I.E. — INGRESS/EGRESS EASEMENT
- W/E — WATER EASEMENT
- U/E — UTILITY EASEMENT
- EXISTING TREE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM MANHOLE
- POWER POLE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- GUY WIRE
- TELEPHONE PEDESTAL
- SIGN AS NOTED
- FIBER OPTIC MARKER
- SANITARY SEWER LINE
- STORM LINE
- OVERHEAD ELECTRIC
- UNDERGROUND WATER
- WS — WATER SERVICE
- TELEPHONE
- FIBER OPTIC LINE
- CABLE
- TREE LINE



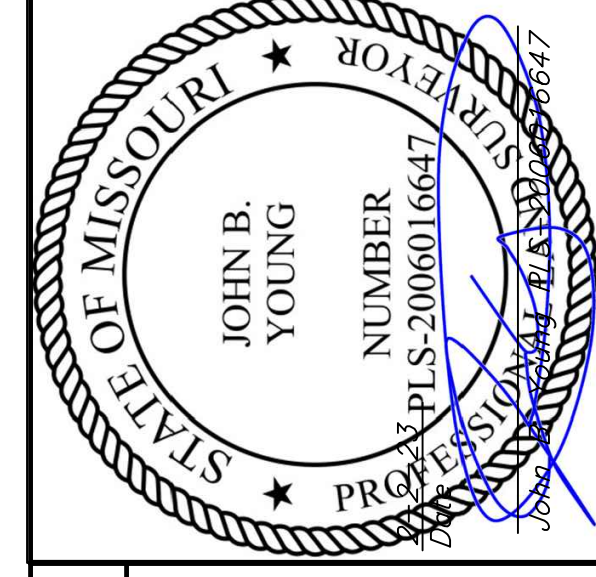
ALTA/NSPS LAND TITLE SURVEY
SE 1/4, SECTION 25, TOWNSHIP 47 NORTH, RANGE 32 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



CERTIFICATION:

To Milhaus Properties LLC, an Indiana limited liability company and Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7a, 8, 9, 10, 12 and 13 of Table A thereof. The field work was completed on the 26th day of October, 2022.



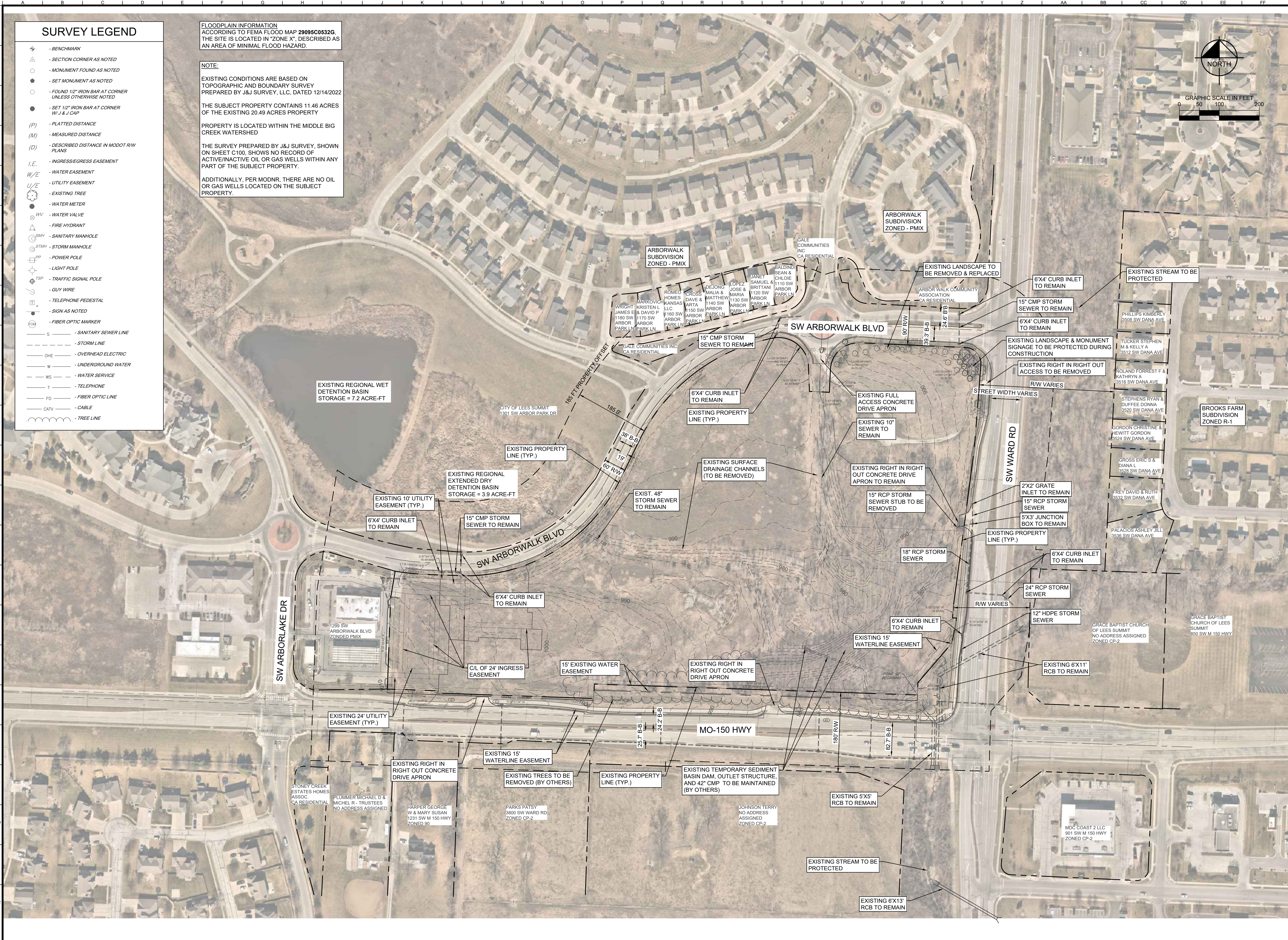
Location: S:\22.408 — NE Corner M-150 & SW Ward Rd \DRAWINGS\2023.01.31—ALTA 22.408ALTA.dwg—Feb 02, 2023—8:33am



6600 NW TOWER DR., SUITE 102 • PLATE WOODS, MO 64151
PHONE (816) 411-1017 • FAX (816) 411-1018

	10-29-22	11-17-22	12-14-22	02-02-23
1	INITIAL SUBMITTAL			
2	ADDED CONTOURS/TOPOGRAPHY			
3	REVISED BOUNDARY			
4	REVISED BOUNDARY & DESCRIPTION			
SHEET 1 OF 1				

Drawing name: K:\KAC_LIE\208277000_150 & Ward Multi-Family\2 Design\CAD\DrawSheets\C1 - EXISTING CONDITIONS.dwg C101 EXISTING CONDITIONS Nov 26, 2025 2:28pm by Logan Green
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



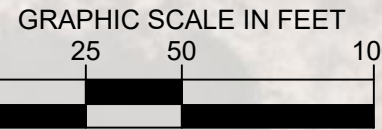
REVISIONS		DATE	BY
No.			

SCALE:	AS NOTED	DESIGNED BY: LG	DRAWN BY: LG	CHECKED BY: PJ
PRELIMINARY NOT FOR CONSTRUCTION				

150 & WARD MULTIFAMILY DEVELOPMENT 150 HIGHWAY & SW WARD ROAD LEE'S SUMMIT, MISSOURI 64082	
ORIGINAL ISSUE: 11/25/2025	
KHA PROJECT NO. 268277000	
SHEET NUMBER C101	

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
KANSAS CITY, MO 64111, SUITE 150
PHONE: 816.652.0080
WWW.KIMLEY-HORN.COM
MO CERTIFICATE OF AUTHORITY #0010152
EXPIRES: 12/31/24

EXISTING
CONDITIONS



LAND USE DESIGNATION
EXISTING: COMMERCIAL
PROPOSED: COMMERCIAL

SW WARD RD

MO-150 HWY

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA AVE., SUITE 150
KANSAS CITY, MO 64105
PHONE: 816-652-0350
WWW.KIMLEY-HORN.COM
MO CERTIFICATE OF AUTHORITY #001512,
EXPIRES: 12/31/24

CHECKED BY: PJ



150 & WARD
MULTIFAMILY
DEVELOPMENT
150 HIGHWAY & SW WARD
LEE'S SUMMIT, MISSOURI

SHEET NUMBER

C102

SITE PLAN LEGEND

- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- PROPOSED BUILDING
- CG-1 CURB AND GUTTER
- PROPOSED FIRE LANE CURB PAINT
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER

GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

SW ARBORWALK BLVD

SW WARD RD

MO-150 HWY

IMPROVEMENTS SHOWN IN THIS AREA ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY

60' R/W

38' B-B

19'

90' R/W

39.3' B-B

24.6' B-B

R/W VARIES

STREET WIDTH VARIES

26.7' B-B

24.2' B-B

180' R/W

82.7' B-B


Drawing name: K:\KNC_DEVS\88277000_150 & Ward Multi-Family2\Design\CAD\PlanSheets\OVERALL SITE PLAN.dwg C200 OVERALL SITE PLAN Nov 25, 2025 2:28pm by: Logan Green

Drawing name: K:\KNC_LDEVE288277000_150 & Ward Multi-Family2 Design\CAD\PlanSheets\OVERALL SITE PLAN.dwg C200 OVERALL SITE PLAN Nov 25, 2025 2:28pm by Logan Green

[illegible]

SCALE:	AS NOTED
DESIGNED BY:	LG
DRAWN BY:	LG
CHECKED BY:	PJ

PRELIMINARY
NOT FOR
CONSTRUCTION



OVERALL SITE PLAN

**150 & WARD
MULTIFAMILY
DEVELOPMENT**
150 HIGHWAY & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE: 11/25/2025
KHA PROJECT NO. 268277000
SHEET NUMBER C200

Drawing name: K:\KAC_LIE\208277000_150 & Ward Multi-Family2 Design\CAD\Drawings\2 - SITE PLAN.dwg C201 ENLARGED SITE PLAN Nov 25, 2025 2:28pm By: Logan Green
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE SUMMARY TABLE

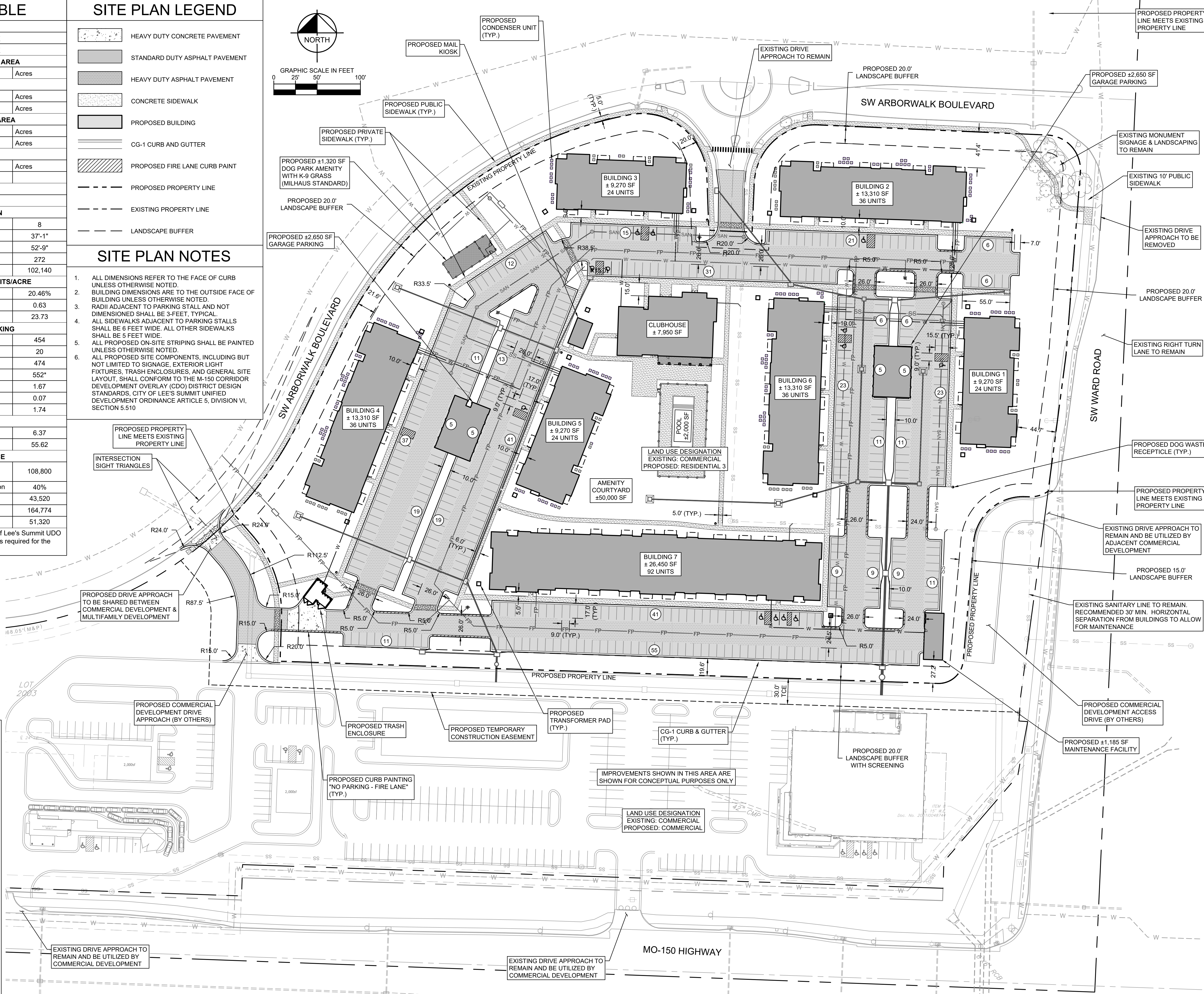
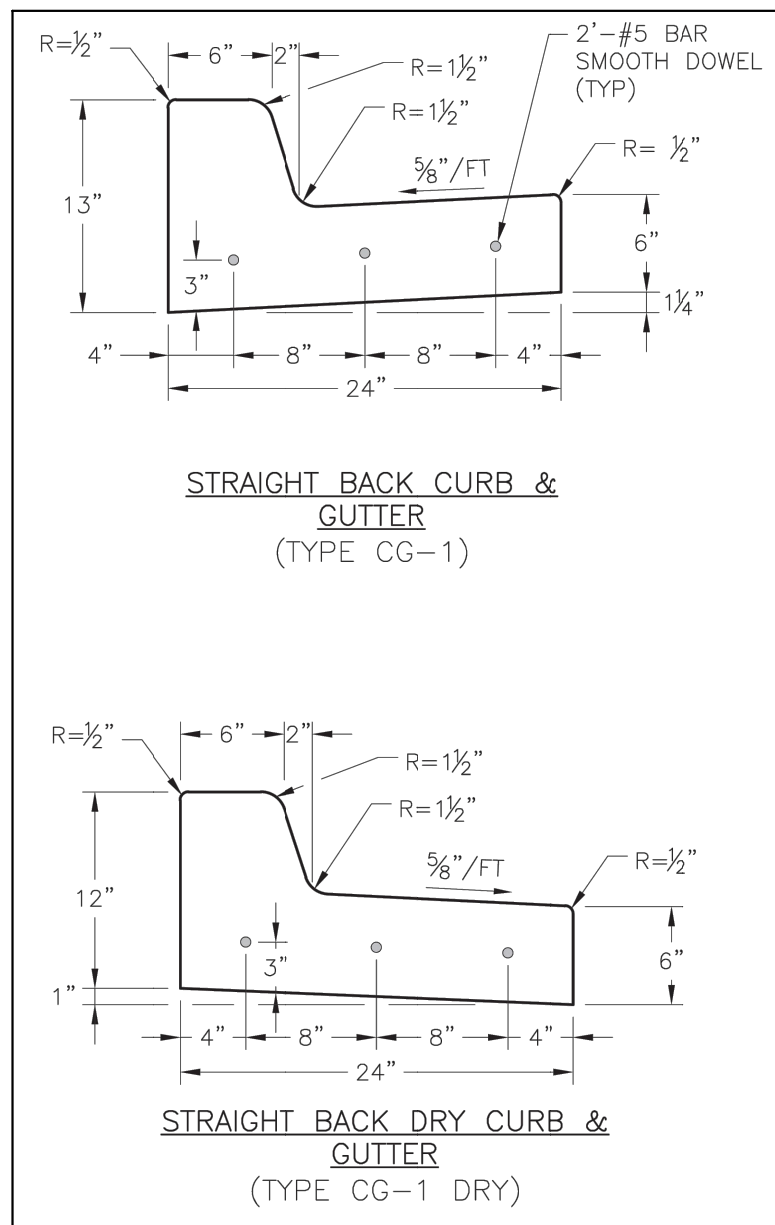
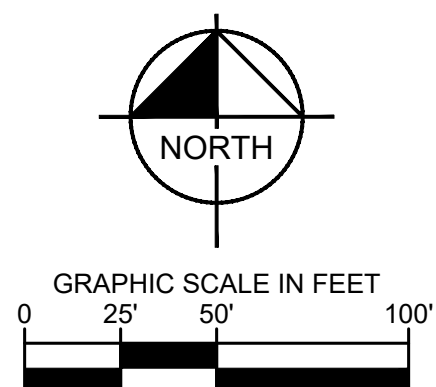
A	ZONING		
	Existing	PMIX	
B	APPROXIMATE TOTAL LAND AREA		
	Existing	11.46	Acres
C	RIGHT-OF-WAY		
	Existing	0.00	Acres
D	APPROXIMATE NET LAND AREA		
	Existing	11.46	Acres
E	OPEN SPACE AREA		
	Proposed	3.78	Acres
F	PROPOSED USES		
	Multi-Family		
G	BUILDING INFORMATION		
	Number of Buildings	8	
	3 Story Building Height (ft)	37'-1"	
	4 Story Building Height (ft)	52'-9"	
	Number of Units	272	
H	BUILDING COVERAGE, FAR & UNITS/ACRE		
	Building Coverage	20.46%	
	FAR	0.63	
I	OFF-STREET VEHICLE PARKING		
	Surface Stalls Provided	454	
	Garage Stalls Provided	20	
J	LAND COVER RATIO		
	Total Impervious Area (Acres)	6.37	
	Total Impervious Area (Percent)	55.62	
K	PRIVATE COMMON SPACE		
	Common Space Required (SF) (400 SF/UNIT)	108,800	
	% of Common Space to be Used as Recreation	40%	
	Recreation Space Required (SF)	43,520	
	Common Space Provided (SF)	164,774	
*	An Alternate Parking Plan Per Section 8.540 of Lee's Summit UDO was provided to compute total parking stalls required for the proposed development.		

SITE PLAN LEGEND

	HEAVY DUTY CONCRETE PAVEMENT
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	PROPOSED BUILDING
	CG-1 CURB AND GUTTER
	PROPOSED FIRE LANE CURB PAINT
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	LANDSCAPE BUFFER

SITE PLAN NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED SHALL BE 3-FEET, TYPICAL.
- ALL SIDEWALKS ADJACENT TO PARKING STALLS SHALL BE 6 FEET WIDE. ALL OTHER SIDEWALKS SHALL BE 5 FEET WIDE.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
- ALL PROPOSED SITE COMPONENTS, INCLUDING BUT NOT LIMITED TO SIGNAGE, EXTERIOR LIGHT FIXTURES, TRASH ENCLOSURES, AND GENERAL SITE LAYOUT, SHALL CONFORM TO THE M-150 CORRIDOR DEVELOPMENT OVERLAY (CDO) DISTRICT DESIGN STANDARDS, CITY OF LEE'S SUMMIT UNIFIED DEVELOPMENT ORDINANCE ARTICLE 5, DIVISION VI, SECTION 5.510



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SCALE: AS NOTED
DESIGNED BY: LG
DRAWN BY: LG
CHECKED BY: PJ

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ENLARGED
SITE PLAN

150 & WARD
MULTIFAMILY
DEVELOPMENT
150 HIGHWAY & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082

ORIGINAL ISSUE:
11/25/2025
KHA PROJECT NO.
268277000
SHEET NUMBER
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BY

DATE

REVISIONS

No.

Drawing name: K:\KAC_LIE\20827000_150 & Ward Multi-Family2 Design\CAD\DrawSheets\C300 GRADING AND UTILITY PLAN Nov 25, 2025 2:28pm by Logan Green
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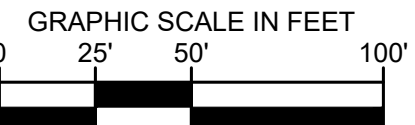
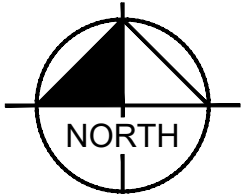
GRADING & UTILITY LEGEND

- PROPOSED BUILDING
- CG-1 CURB AND GUTTER
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- LANDSCAPE BUFFER
- 700 FINISH GRADE MAJOR CONTOUR
- 701 FINISH GRADE MINOR CONTOUR
- 700 EXISTING GRADE MAJOR CONTOUR
- 701 EXISTING GRADE MINOR CONTOUR
- PROPOSED STORM STRUCTURE
- PROPOSED STORM PIPE
- EXISTING STORM STRUCTURE
- EXISTING STORM PIPE
- PROPOSED SANITARY SEWER MANHOLES
- PROPOSED PRIVATE SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING PUBLIC SANITARY SEWER PIPE
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING WATER STRUCTURE
- EXISTING FIRE HYDRANT
- EXISTING FIBER OPTIC VAULT
- EXISTING FIBER OPTIC LINE
- EXISTING POWER STRUCTURE

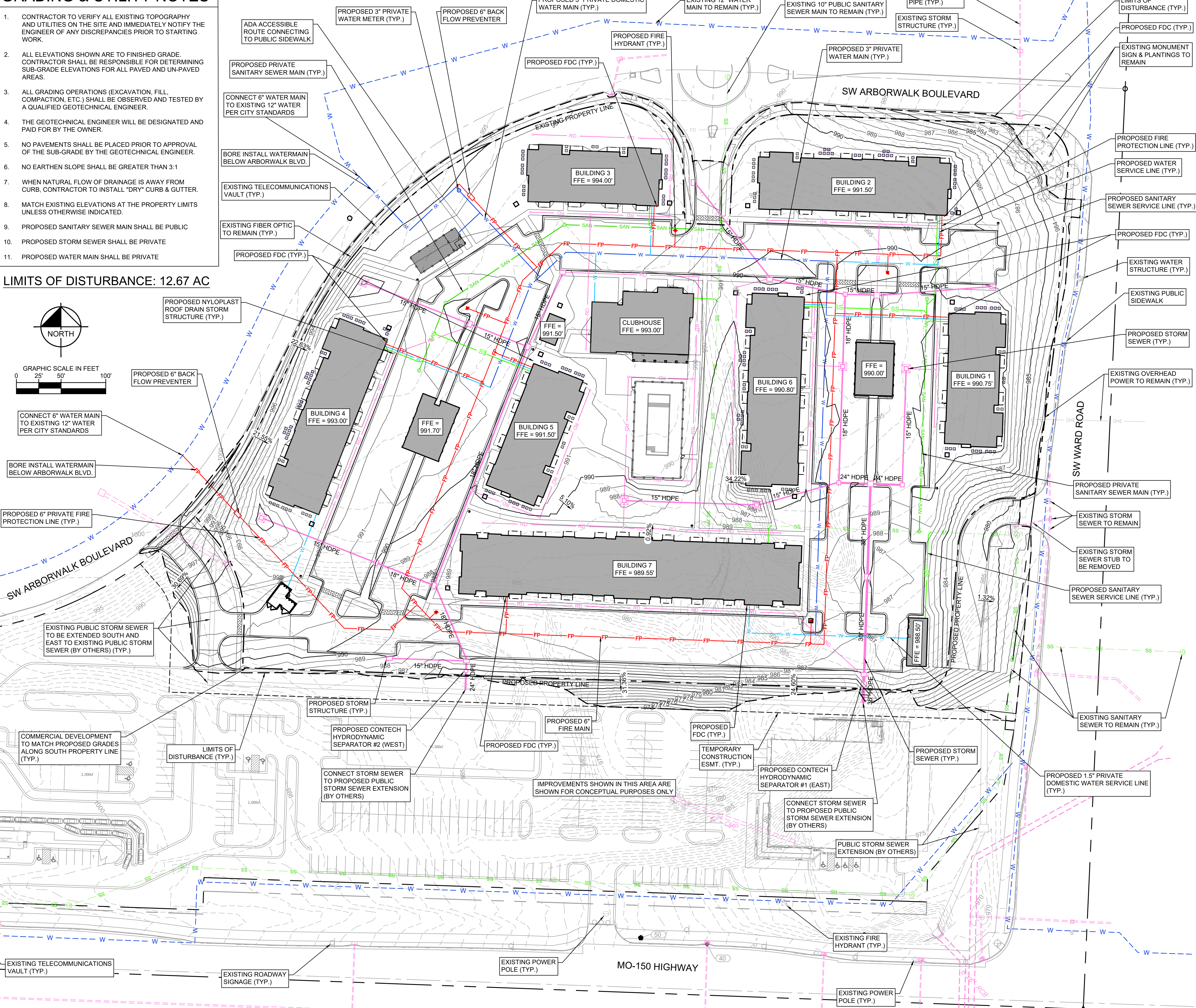
GRADING & UTILITY NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND UTILITIES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL ELEVATIONS SHOWN ARE TO FINISHED GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING SUB-GRADE ELEVATIONS FOR ALL PAVED AND UN-PAVED AREAS.
- ALL GRADING OPERATIONS (EXCAVATION, FILL, COMPACTION, ETC.) SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER.
- THE GEOTECHNICAL ENGINEER WILL BE DESIGNATED AND PAID FOR BY THE OWNER.
- NO PAVEMENTS SHALL BE PLACED PRIOR TO APPROVAL OF THE SUB-GRADE BY THE GEOTECHNICAL ENGINEER.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL "DRY" CURB & GUTTER.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE INDICATED.
- PROPOSED SANITARY SEWER MAIN SHALL BE PUBLIC
- PROPOSED STORM SEWER SHALL BE PRIVATE
- PROPOSED WATER MAIN SHALL BE PRIVATE

LIMITS OF DISTURBANCE: 12.67 AC



HYDRODYNAMIC SEPARATOR CALCULATIONS			
HDS #1 (EAST)		HDS #2 (WEST)	
C	0.80	C	0.80
INTENSITY	10.20 (IN./HR.)	INTENSITY	10.20 (IN./HR.)
AREA	5.9 AC.	AREA	4.1 AC.
Q	49 CFS	Q	33 CFS
HDS UNIT	CDS 3035-6-C	HDS UNIT	CDS 3025-6-C



NO.	REVISIONS	DATE	BY

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



















GRADING AND UTILITY PLAN

150 & WARD
MULTIFAMILY
DEVELOPMENT
150 HIGHWAY & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082

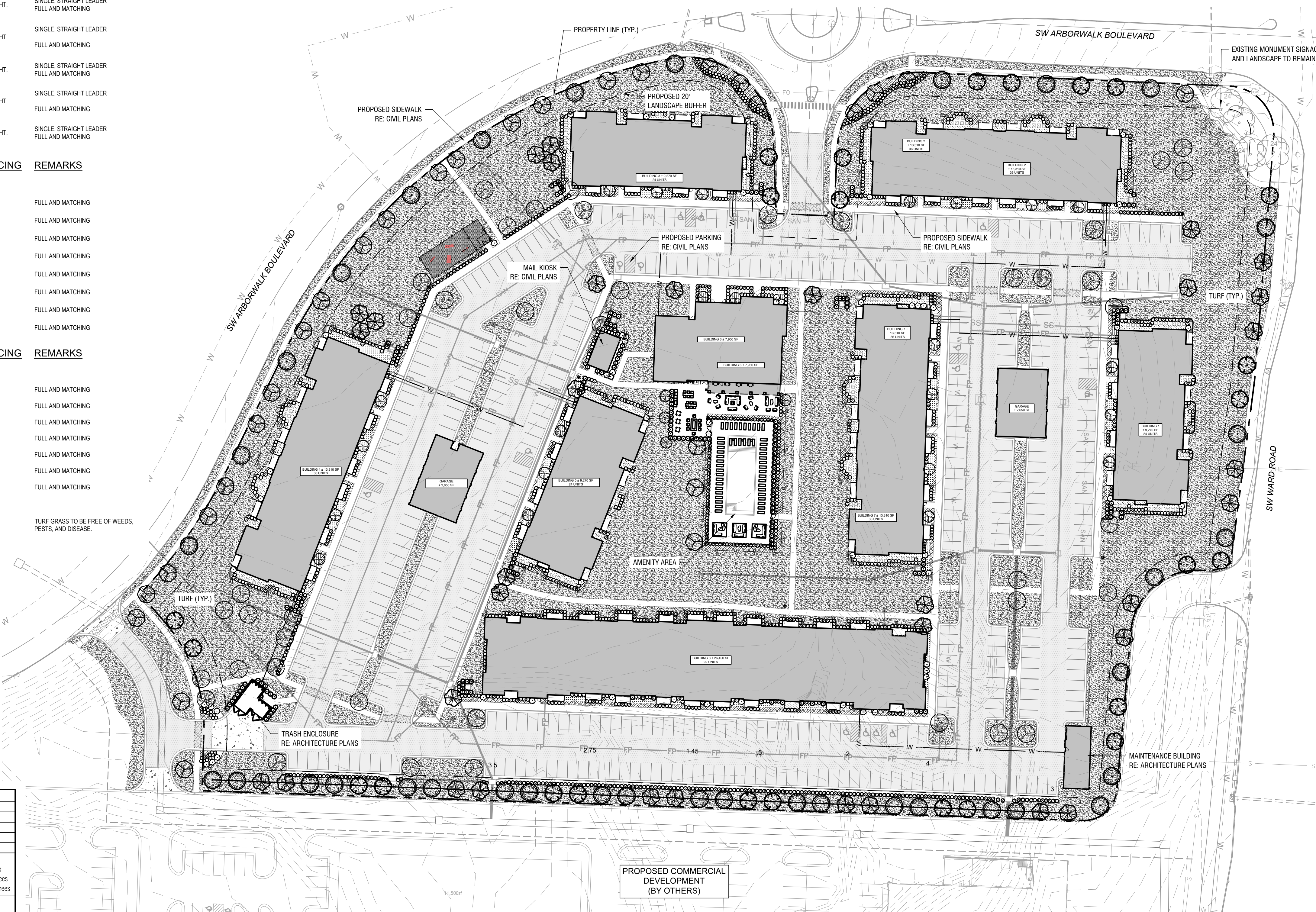
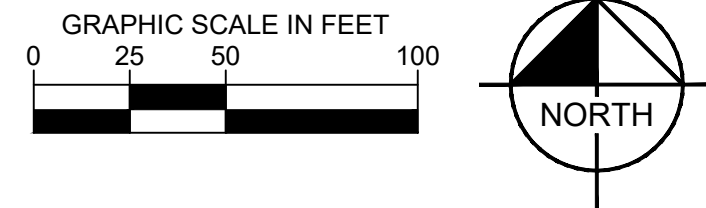
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C300

Drawing name: C:\Users\CARSON-1\OneDrive\LocalTemp\Arch\Lee Summit, Missouri - Landscape PLAN - 10/27/2025 10:00am by: Carson Schaefer
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CONIFEROUS TREES			
	TG	36	THUJA STANDISHII * PUCATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE
SHADE TREES			
	CI	42	CARYA ILLINOINENSIS / PECAN HICKORY
	LT	25	LIRIODENDRON TULIPIFERA 'AURO-MARGINATUM' / MAJESTIC BEAUTY® TULIPTREE
	MA	34	MAGNOLIA ACUMINATA / CUCUMBERTREE
	MG	27	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S SOUTHERN BOGUE MAGNOLIA
	QL	29	QUERCUS LYRATA / OVERCUP OAK
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	BG	212	BUXUS * 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD
	CE	12	COLOCASIA ESCULENTA 'PINK CHINA' / PINK CHINA ELEPHANT EAR
	HQ	384	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA
	IG	434	ILEX GLABRA 'DENSEA' / DENSE INKERRY HOLLY
	JS	182	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER
	MR	57	MAGNOLIA * 'ROSE MARIE' / ROSE MARIE MAGNOLIA
	RC	472	RHODODENDRON * 'CUNNINGHAM'S WHITE' (H-2) / CUNNINGHAM'S WHITE RHODODENDRON
	TM	79	TAXUS * MEDIA 'HICKSIF' / HICK'S ANGLO-JAPANESE YEW
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
GROUND COVERS			
	BM	850	BRUNNERA MACROPHYLLA 'JACK FROST' / JACK FROST BRUNNERA
	HR	559	HOSTA 'ROYAL STANDARD' / ROYAL STANDARD PLANTAIN LILY
	HW	231	HELLEBORUS X 'WALHELVIVOR' / IVORY PRINCE HELLEBORE
	IP	682	IRIS PALLIDA 'VARIEGATA' / VARIEGATED SWEET IRIS
	LS	3,942	LIRIOPE SPICATA / CREEPING LILYTURF
	NH	406	NARCISSUS SP. / HARDY NARCISSUS
	PT	389	PARTHENOCISSUS TRICUSPIDATA / JAPANESE CREEPER
TURF			
	TURF	175,609 SF	TALL FESCUE / FESTUCA ARUNDINACEA

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



Lee Summit, Missouri - Landscape Data Table			
Site Area: 11.46 acres (499,197 SF) - Zoning PMIX			
		REQUIRED	PROVIDED
Section 8.790 - Landscape Minimum Requirements			
A. Street Frontage			
One tree shall be planted for each 30 feet of street frontage (public or private) within the landscape setback		Yes	Yes
SW Ward Rd.: 325 LF / 30' = 11 Trees SW Arborwalk Blvd.: 1,299 LF / 30' = 44 Trees Private Commercial Drive (W): 161 LF / 30' = 6 Trees Private Commercial Drive (SE): 1,055 LF / 30' = 36 Trees		SW Ward Rd - 11 Trees SW Arborwalk Blvd - 44 Trees Private Comm. Drive (W) - 6 Trees Private Comm. Drive (SE) - 36 Trees	SW Ward Rd - 11 Trees SW Arborwalk Blvd - 44 Trees Private Comm. Drive (W) - 6 Trees Private Comm. Drive (SE) - 36 Trees
A minimum of 20 feet wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.		Yes	Yes
One shrub shall be provided for every 20 feet of street frontage within the landscape setback abutting street frontage.		Yes	Yes
SW Ward Rd.: 325 LF / 20' = 17 Shrubs SW Arborwalk Blvd.: 1,299 LF / 20' = 65 Shrubs Private Commercial Drive (W): 161 LF / 20' = 9 Shrubs Private Commercial Drive (SE): 1,055 LF / 20' = 53 Shrubs		SW Ward Rd - 17 Shrubs SW Arborwalk Blvd - 65 Shrubs Private Comm. Drive (W) - 9 Shrubs Private Comm. Drive (SE) - 53 Shrubs	SW Ward Rd - 17 Shrubs SW Arborwalk Blvd - 65 Shrubs Private Comm. Drive (W) - 9 Shrubs Private Comm. Drive (SE) - 53 Shrubs
B. Open Yard Areas			
The minimum open yard area landscaping requirements shall be two shrubs per 5,000 SF of total lot area (excluding building footprint area)		158 Shrubs	158 Shrubs
499,197 SF Lot Area - 106,129 SF Building Footprint = 393,068 SF / 5,000 = 79 * 2 = 158 Shrubs In addition to the trees required based on street frontage, additional trees shall be required at a ratio of one tree for every 5,000 SF of lot area not covered by buildings/structures.		79 Trees	79 Trees
499,197 SF Lot Area - 117,767 SF Building Footprint = 381,430 SF / 5,000 = 79 Trees			
Section 8.810 - Parking Lot Landscaping and Trees			
Landscape islands, strips or other planting areas shall be located within the parking lot and constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways.		8,757 SF Landscape Island Planting Areas	8,757 SF Landscape Island Planting Areas
175,138 SF Area Devoted to Park * 5% = 8,757 SF Landscape Island Planting Areas			
A landscape island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space.		Yes	Yes
Section 8.820 - Screening, Parking Lot			
For any parking lot designed or intended to accommodate five cars or more and any area set aside for loading or unloading of trucks or vans, if such parking lot or loading area is visible from a street right of way, a visual screen shall be provided as required below.		Yes	Yes
Screening to a height of two and one-half feet must be provided along the edge of parking lot or loading area closest to and parallel to the street. A driveway to the parking lot or loading area may interrupt the screening.		Yes	Yes
Planted only screening: a hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.		Yes	Yes
325 LF Northeast Parking Frontage / 40' * 12 = 98 Shrubs 595 LF South Parking Frontage / 40' * 12 = 179 Shrubs		277 Shrubs	277 Shrubs

- PLANTING NOTES:
- REFER TO LANDSCAPE SPECIFICATIONS FOR REQUIRED PRE-CONSTRUCTION SUBMITTALS.
 - CONTRACTOR SHALL SOD TO LIMITS OF DISTURBANCE.
 - ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN DRAWING AND PLANT LIST, THE DRAWING SHALL PREVAIL.
 - LOCATE ALL UTILITIES PRIOR TO ANY AND ALL PLANTING OR DIGGING OPERATIONS. HAND DIG TREES AND SHRUBS IN AREAS WITHIN 5' OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
 - TREE STAKING: REFER TO TYPICAL TREE PLANTING DETAIL FOR TREE STAKING. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO OWNER.
 - PLANTS MASSSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
 - PROVIDE A LANDSCAPE EDGE BETWEEN ALL PLANTING BEDS AND LAWN AREAS—REFERENCE LANDSCAPE PLAN.
 - ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH—REFERENCE LANDSCAPE PLAN.
 - LAY BUFFALOGRASS SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS SPECIFIED IN LANDSCAPE PLAN. ALL DISTURBED AREAS WITHIN CITY R.O.W. SHALL RECEIVE BUFFALOGRASS SOD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
 - CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF OWNER.
 - ALL LANDSCAPE BED AREAS TO BE PREPARED USING "ORGANICALLY ENRICHED TOP SOIL" BY MISSOURI ORGANIC (OR APPROVED EQUAL). INSTALL TO DEPTHS PER LANDSCAPE DETAILS (12" DEPTH MIN.). FINISHED GRADES OF LANDSCAPE BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
 - ALL SOD AREAS SHALL RECEIVE 4" DEPTH (MIN.) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, AND FERTILE; POSSES A pH RANGE OF 7.0-7.5; AND BE FREE OF TRASH, DEBRIS, INSECTS, STONES, WEEDS, AND TWIGGS/BRANCHES. CONTRACTOR TO SUBMIT 1 GALLON SAMPLE (MIN.) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
 - FERTILIZER: FERTILIZE SEEDED AREAS WITH AN APPROVED COMMERCIAL TYPE, SLOW RELEASE, AT A RATE OF 400 LBS/ACRE. FERTILIZE SODDED AREAS WITH THE SAME FERTILIZER TYPE AT A RATE OF 200 LBS/ACRE. REFER TO LANDSCAPE SPECIFICATIONS SECTION G FOR REQUIRED SUBMITTALS. USE PHOSPHOROUS-FREE FERTILIZER IF REQUIRED BY LOCAL CODE.

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SCALE: AS NOTED
DESIGNED BY: CMS
DRAWN BY: CMS
CHECKED BY: ANS

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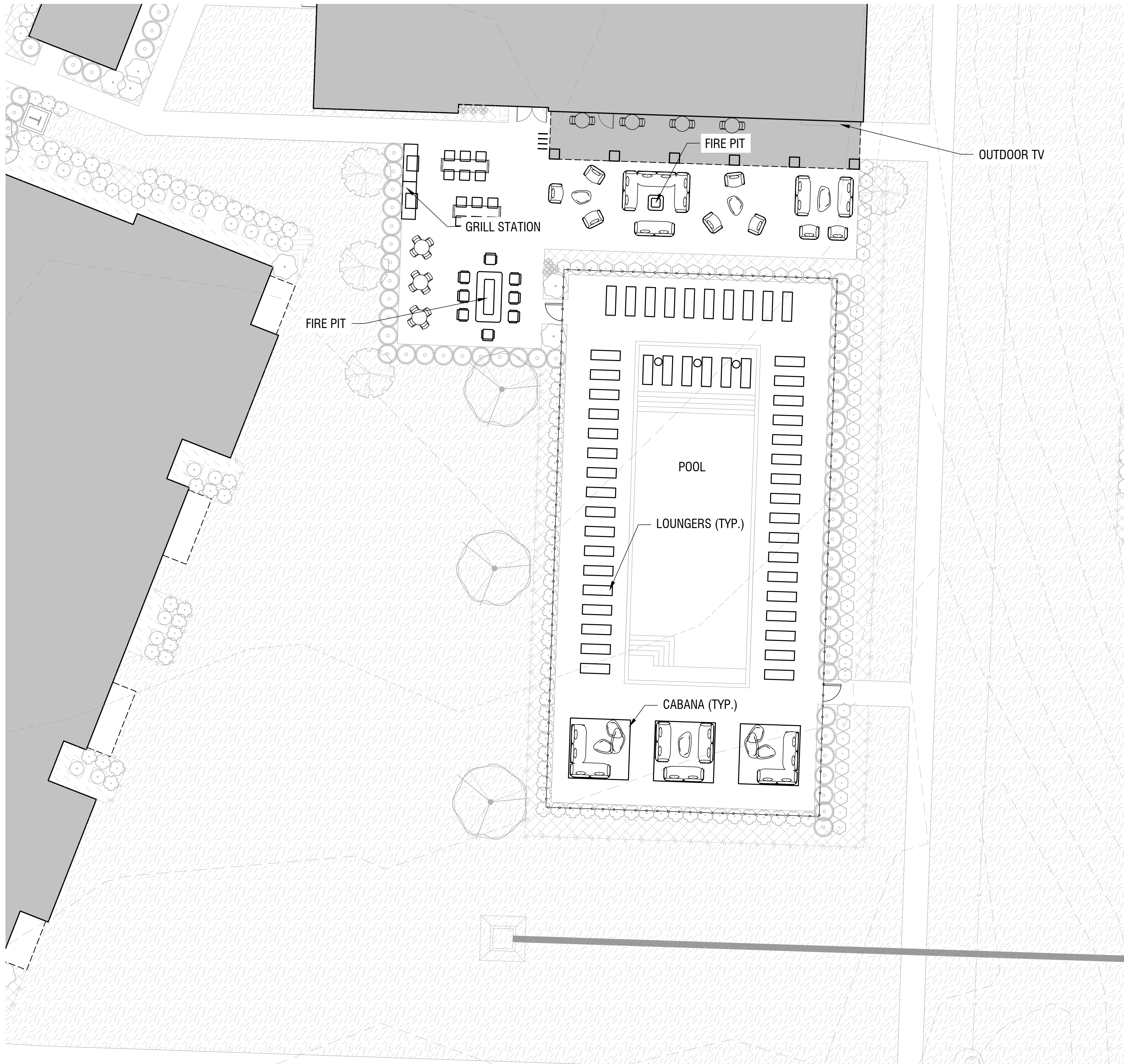
**OVERALL
LANDSCAPE
PLAN**

**150 & WARD
MULTIFAMILY
DEVELOPMENT**
150 HIGHWAY 7 & SW WARD ROAD
LEE'S SUMMIT, MISSOURI 64082






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SHEET NUMBER

L100



<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
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CONFEROUS TREES		
	TG	THUJA STANDISHII + PULICATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE
SHADE TREES		
	CI	CARYA ILLINOENSIS / PECAN HICKORY
	LT	LIRIODENDRON TULIPIFERA 'AUREO-MARGINATUM' / MAJESTIC BEAUTY® TULIPTREE
	MA	MAGNOLIA ACUMINATA / CUCUMBERTREE
	MG	MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY' / BRACKEN'S SOUTHERN BOGUE MAGNOLIA
	QL	QUERCUS LYRATA / OVERCUP OAK

	CE	COLOCASIA ESCULENTA 'PINK CHINA' / PINK CHINA ELEPHANT EAR
	HQ	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA
	IG	ILEX GLABRA 'DENSE' / DENSE INKBERY HOLLY
	JS	JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER
	MIR	MAGNOLIA x 'ROSE MARIE' / ROSE MARIE MAGNOLIA
	RC	RHODOENDRON x 'CUNNINGHAM'S WHITE' (H-23) / CUNNINGHAM'S WHITE RHODOENDRON
	TM	TAXUS x MEDIA 'HICKSII' / HICKS' ANGLO-JAPANESE YEW

	HR	HOSTA 'ROYAL STANDARD' / ROYAL STANDARD PLANTAIN LILY
	HW	HELLEBORUS X 'WALHELIVOR' / IVORY PRINCE HELLEBORE
	IP	IRIS PALLIDA 'VARIEGATA' / VARIEGATED SWEET IRIS
	LS	LIRIOPE SPICATA / CREEPING LILYTURF
	NH	NARCISSUS SP. / HARDY NARCISSUS
	PT	PARTHENOCISSUS TRICUSPIDATA / JAPANESE CREEPER

[illegible]



1 BLDG A-Front Elevation-C
scale: 1/8" = 1'-0"

Elevation Faces Parking - All Buildings



2 BLDG A- Rear Elevation-C
scale: 1/8" = 1'-0"

Elevation Faces Street at Buildings 1, 3,

Material Percentage Breakdown

Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Building A						
UDO Class:	2	2	2	1	1	
Front	40%	9%	9%	13%	29%	100%
Rear	49%	10%	5%	11%	25%	100%
Left	45%	16%	9%	13%	17%	100%
Right	45%	16%	9%	13%	17%	100%

Exterior Material Finish Legend

1	Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray	9	Canopies Framed in Canopy with Cement Panel Finish Color: Black
1a	Rowlock Sill - Same as 01	10	Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black
2	Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte	11	Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black
3	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte	12	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Infill Color: Black Magic Texture: Smooth / Matte
4	Fiber Cement Panel w/ Batten System Color: Taupe Tone Texture: Smooth / Matte	W1	Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E
5	Fiber Cement Panel Siding / Horizontal lap Siding Color: Taupe Tone Texture: Smooth / Matte	S1	Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E
6	Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth	D1	Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White
7	Pre-finished Metal Coping Color: Match Trim	D2	Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black
8	Pre-finished Aluminum Railings Color: Black	D3	Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black
		D4	Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding
		D5	Single Door 3'-0" x 8'-8" Exterior HM Door & Frame Color: Door & Frames painted Black
		R1	Architectural Shingles Color: Black

Note: All brick lintels shall be galvanized; do not paint.



3 BLDG A-Right Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Street at Buildings 1 & 3



4 BLDG A-Left Elevation-C
scale: 1/8" = 1'-0"
Elevation Faces Street at Buildings 1 & 3

a proposed development for: Milhaus
150 & Ward Multi-Family
150 Highway & SW Ward Road
Lee's Summit, Missouri 64082

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PDP - A1
Bldg Type A - Exterior Elevations

drawing type
preliminary
project number
22239



1 BLDG B-Front Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Parking - All Buildings



2 BLDG B-Rear Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2 & 4

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Building B						
UDO Class:	2	2	2	1	1	
Front	42%	15%	5%	10%	28%	100%
Rear	43%	10%	11%	10%	26%	100%
Left	44%	16%	10%	13%	17%	100%
Right	44%	16%	10%	13%	17%	100%

Exterior Material Finish Legend

1	Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray	9	Canopies Framed in Canopy with Cement Panel Finish Color: Black
1a	Rowlock Sill - Same as 01	10	Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black
2	Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte	11	Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black
3	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte	12	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Infill Color: Black Magic Texture: Smooth / Matte
4	Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Smooth / Matte	W1	Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E
5	Fiber Cement Panel Siding / Horizontal lap Siding Color: Taupe Tone Texture: Smooth / Matte	S1	Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E
6	Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth	D1	Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White
7	Pre-finished Metal Coping Color: Match Trim	D2	Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black
8	Pre-finished Aluminum Railings Color: Black	D3	Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black
		D4	Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding
		D5	Single Door 3'-0" x 8'-8" Exterior HM Door & Frame Color: Door & Frames painted Black
		R1	Architectural Shingles Color: Black

Note: All brick lintels shall be galvanized; do not paint.



3 BLDG B-Right Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2 & 4



4 BLDG B-Left Elevation-C

scale: 1/8" = 1'-0"
Elevation Faces Street at Building 2

a proposed development for: Milhaus

150 & Ward Multi-Family

150 Highway & SW Ward Road
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Bldg Type B - Exterior Elevations

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1 BLDG C-Front Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking

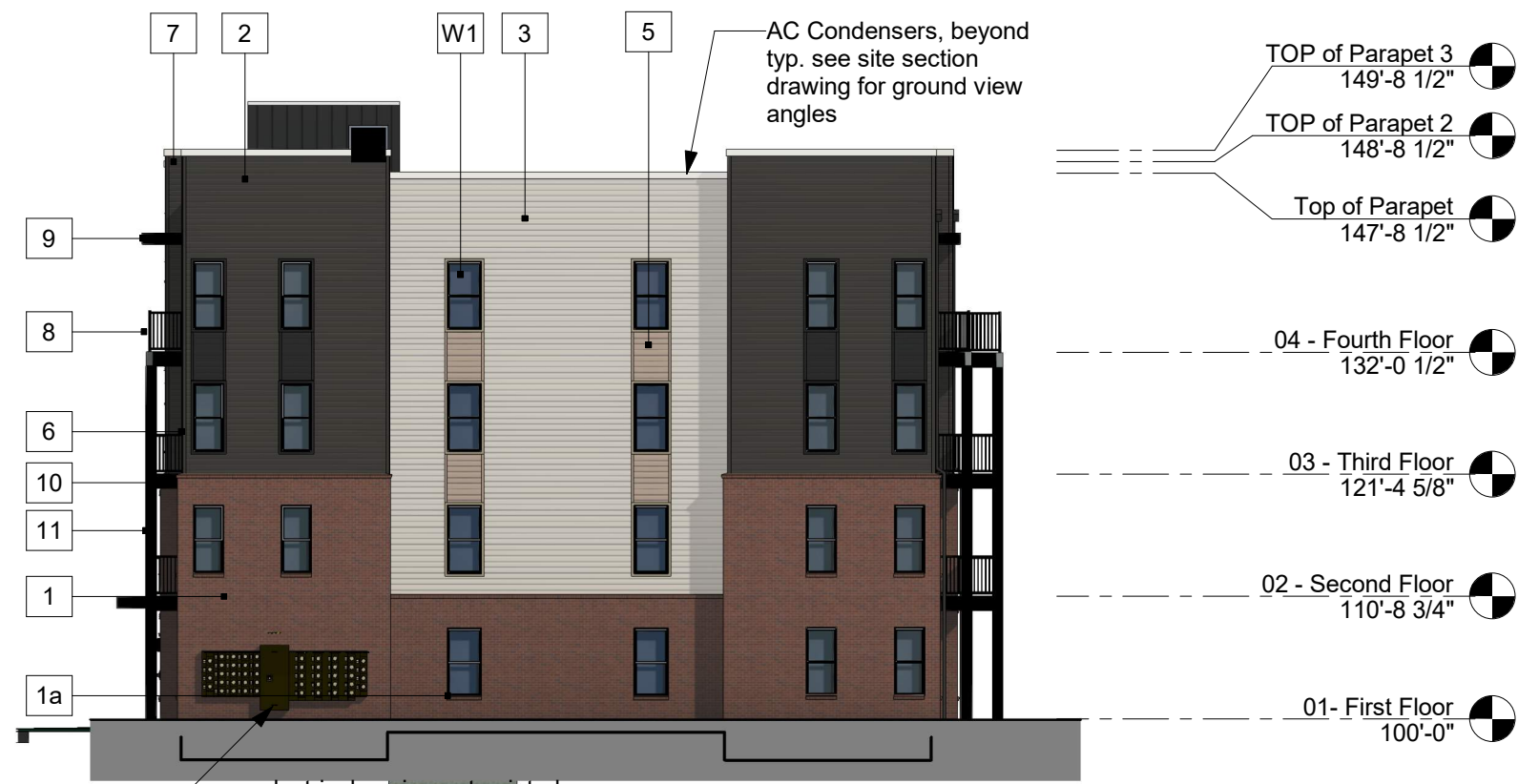


2 BLDG C-Rear Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Greenspace

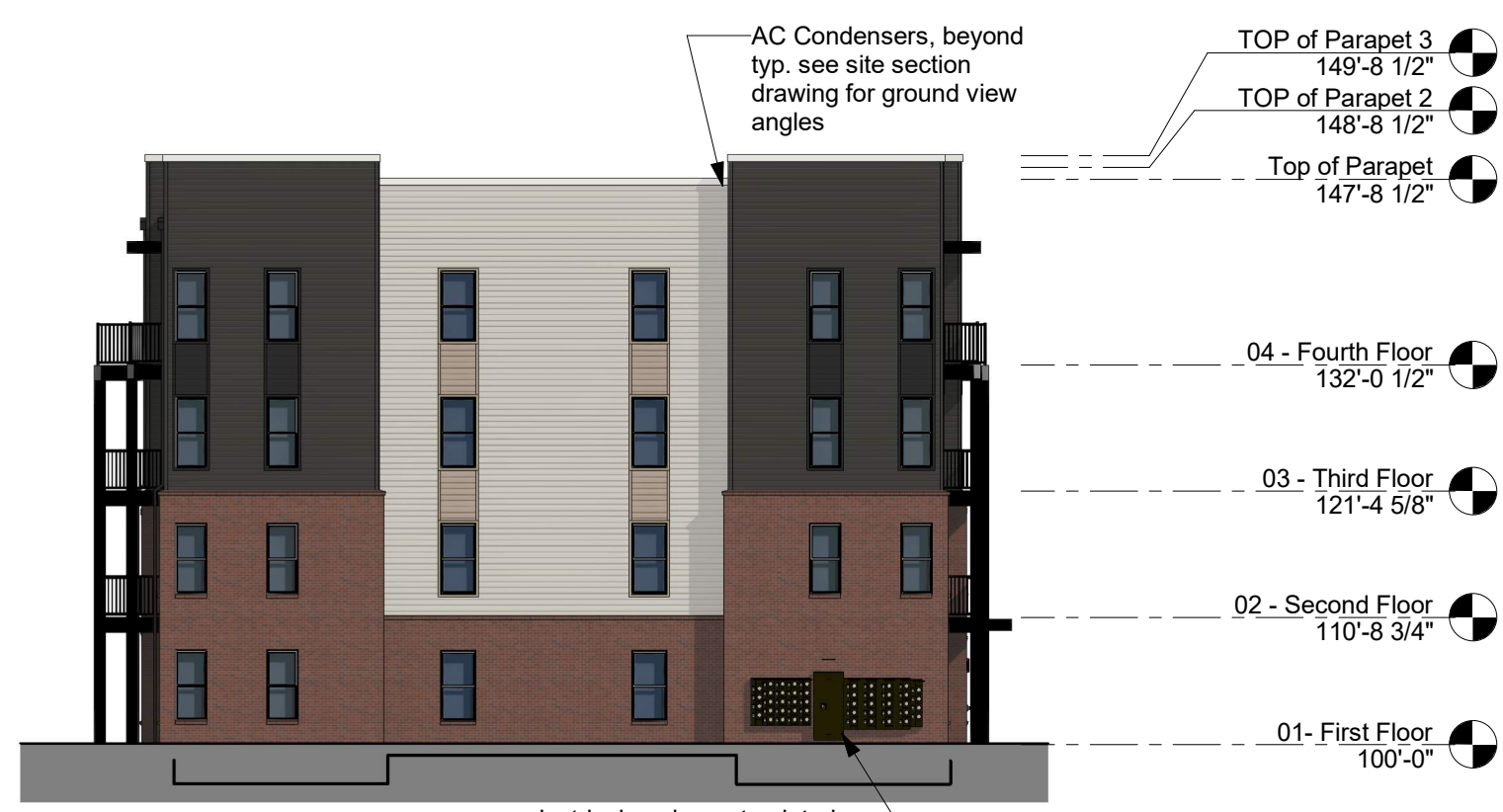
Exterior Material Finish Legend	
1 Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray	9 Canopies Framed in Canopy with Cement Panel Finish Color: Black
1a Rowlock Sill - Same as 01	10 Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted Color: Black
2 Fiber Cement Siding - 8" Horizontal Lap Siding Color: Urbane Bronze Texture: Smooth / Matte	11 Pre Engineered Treated Wood Post / Painted Dimensions: 12"x12" nominal (11"x11" actual) Color: Black
3 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte	12 Fiber Cement Siding - 8" Horizontal Smooth Lap Siding Infill Color: Black Magic Texture: Smooth / Matte
4 Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Smooth / Matte	W1 Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E
5 Fiber Cement Panel Siding / Horizontal lap Siding Color: Taupe Tone Texture: Smooth / Matte	S1 Aluminum Storefront Framing Exterior Color: Anodized Black Interior Color: Anodized Black Glazing Tint: Clear Low-E
6 Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: To Match Siding Texture: Smooth	D1 Doors 3'-0" x 8'-0" Clear Glass / Painted Color: Off-White
7 Pre-finished Metal Coping Color: Match Trim	D2 Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted Color: Black
8 Pre-finished Aluminum Railings Color: Black	D3 Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted Color: Black
	D4 Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame Color: Paint to Match Siding
	D5 Single Door 3'-0" x 8'-8" Exterior HM Door & Frame Color: Door & Frames painted Black
	R1 Architectural Shingles Color: Black

Note: All brick lintels shall be galvanized; do not paint.

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Building C						
UDO Class:	2	2	2	1	1	
Front	34%	19%	3%	18%	26%	100%
Rear	33%	22%	3%	16%	26%	100%
Left	58%	0%	0%	31%	11%	100%
Right	58%	0%	0%	31%	11%	100%



4 BLDG C-Left Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking



3 BLDG C-Right Elevation-C
scale: 1/16" = 1'-0"
Elevation Faces Parking

a proposed development for: Milhaus
150 & Ward Multi-Family
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Bldg Type C - Exterior Elevations

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project number
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2 3D Building B
scale:



1 3D Building A
scale:



3 3D Building C
scale:

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150 Highway & SW Ward Road
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PDP - A4

Exterior 3d Views

drawing type

preliminary

project number

22239

© 11/6/2025 11:11:30 AM 22239 -150 Ward-Clubhouse - Central Model_detailed.rvt

Exterior Material Finish Legend

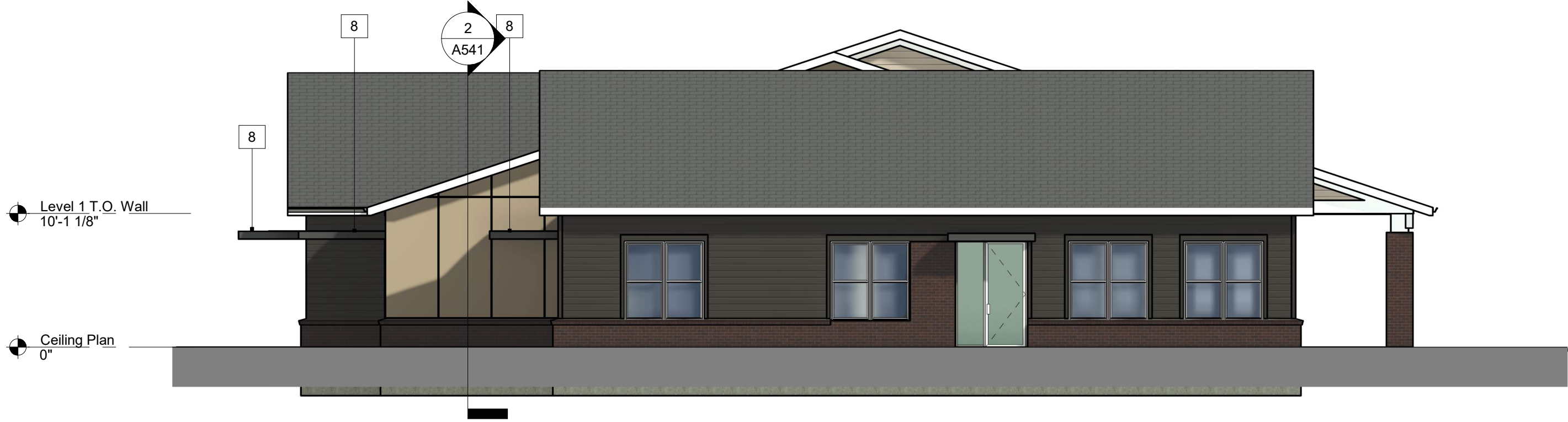
1	Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray
1a	Rowlock Sill - Same as 01
2	Fiber Cement Siding - 6" Horizontal Lap Siding Color: Urbane Bronze Texture: Cedar Mill
3	Fiber Cement Siding - 6" Horizontal Smooth Lap Siding Color: City Loft Texture: Smooth / Matte
4	Fiber Cement Panel w/ Batten System Color: Black Magic Texture: Stucco
5	Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: Off-White or matched to siding Texture: Smooth at 8" Lapp Texture to Match Siding at 6" Lapp
6	Aluminum Canopies Pre Manufactured Bolt on Canopy Color: Black
7	Fiber Cement Panel w/ Batten System Color: Taupe Tone Texture: Stucco
8	Aluminum Canopies Pre Manufactured Bolt on Canopy Color: Black
R1	Architectural Shingles Color: Black
W1	Vinyl Windows - Single Hung - Type 01 Exterior Color: White Interior Color: White Glazing Tint: Clear Insulated Low-E

Material Percentage Breakdown

Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Clubhouse						
UDO Class:	2	2	2	1	1	
Front	39%	2%	19%	12%	28%	100%
Rear	47%	11%	2%	17%	23%	100%
Left	56%	0%	20%	13%	11%	100%
Right	37%	0%	17%	22%	24%	100%



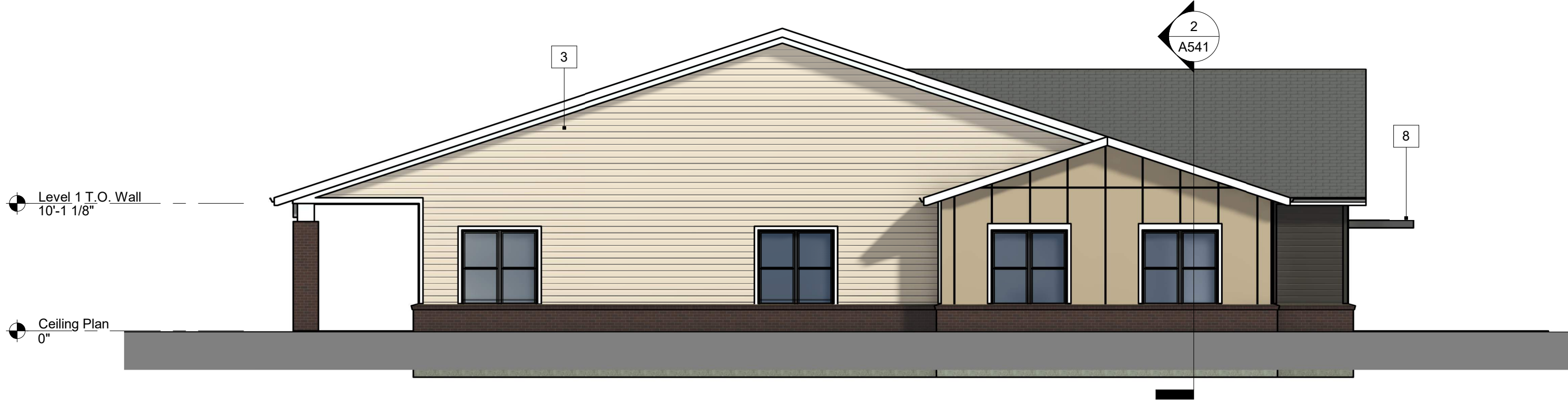
1 Front
scale: 1/8" = 1'-0"
Elevation Faces Parking



2 Right
scale: 1/8" = 1'-0"
Elevation Faces Greenspace



3 Rear
scale: 1/8" = 1'-0"
Elevation Faces Greenspace



4 Left
scale: 1/8" = 1'-0"
Elevation Faces Greenspace



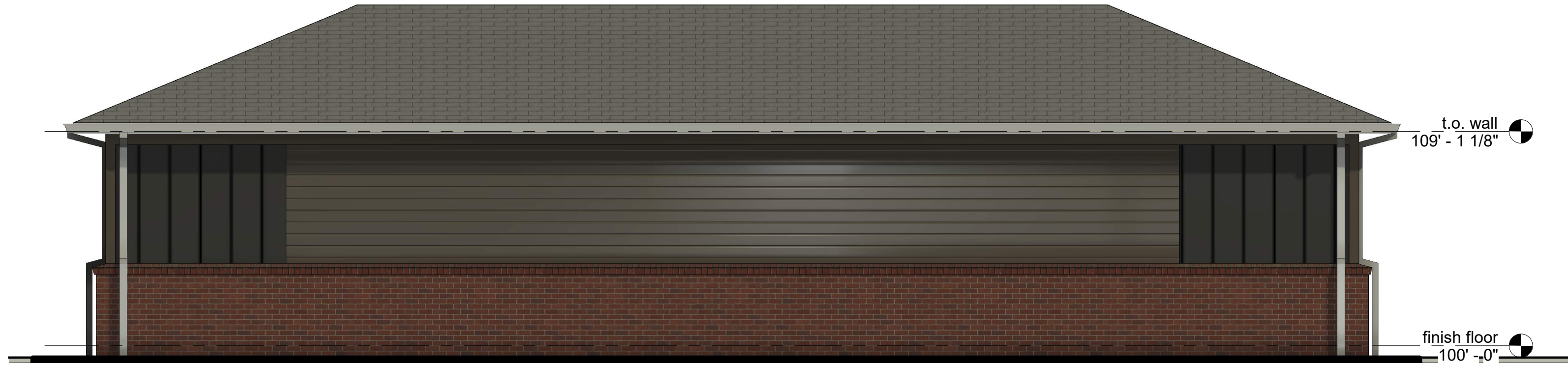
1 East Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



2 North Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



3 West Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



4 South Elevation
scale: 1/4" = 1'-0"
Elevation Faces Street

Exterior Material Finish Legend	
1	Modular Brick Type 01 (Field) Basis-of-Design: Red / Burgundy Extruded Brick Texture: Matte Mortar Color: Standard Gray
1a	Rowlock Sill - Same as 01
2	Fiber Cement Siding - 6" Horizontal Lap Siding Color: Urbane Bronze Texture: Cedar Mill
4	Fiber Pane w/ Batten System Color: Black Magic Texture: Smooth / Matte
6	Fiber Cement Trim Sizes: 5/4x4" / 5/4x6" / 5/4x8" Color: Off-White Texture: Smooth at 8" Lapp. Texture to Match Siding at 6" Lapp
R1	Architectural Shingles Color: Black

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Maintenance						
UDO Class:	2	2	2	1	1	
Front	46%	22%	0%	32%	0%	100%
Rear	42%	15%	0%	43%	0%	100%
Left	36%	21%	0%	43%	0%	100%
Right	36%	21%	0%	43%	0%	100%

Note: All brick lintels shall be galvanized; do not paint.



5 Perspective
scale: NTS

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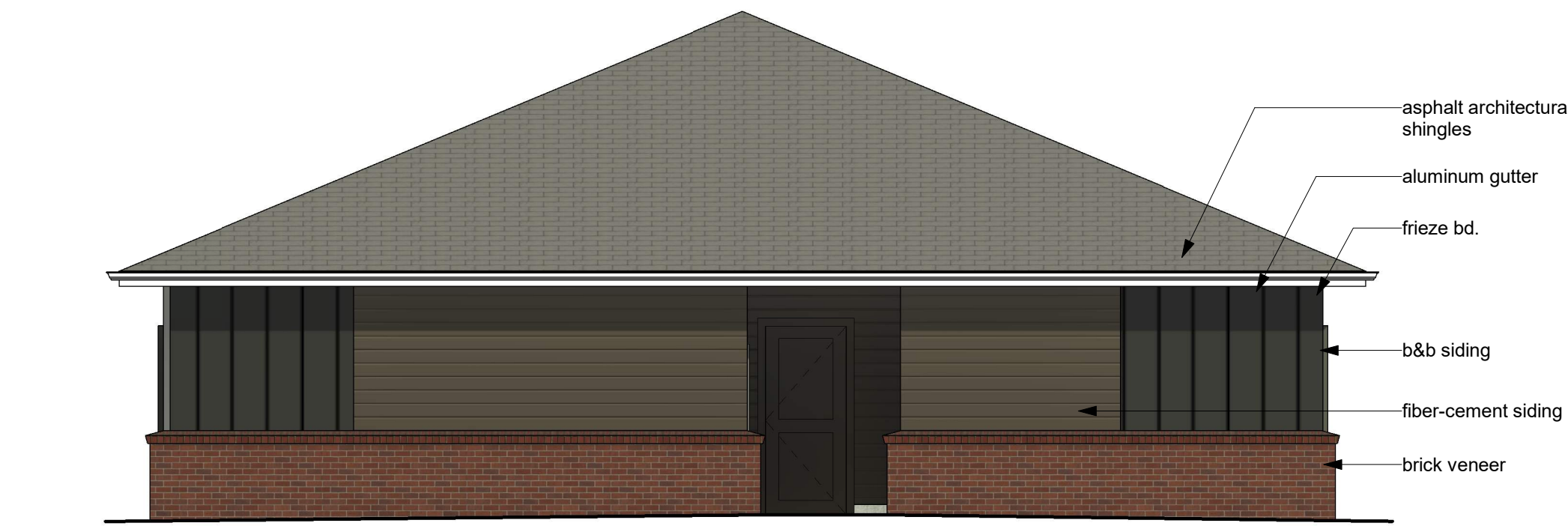
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sheet number
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Elevations and Perspective

drawing type
Preliminary
project number
22239

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Garage 2						
UDO Class:	2	2	2	1	1	
Front	20% Lap,12% B&B	12% brick	56% metal garage doors			
Rear	26% Lap,12% B&B	17% brick	45% metal garage doors			
Left	39% Lap, 22% B&B	39% brick				
Right	43% Lap, 22% B&B	35% brick				

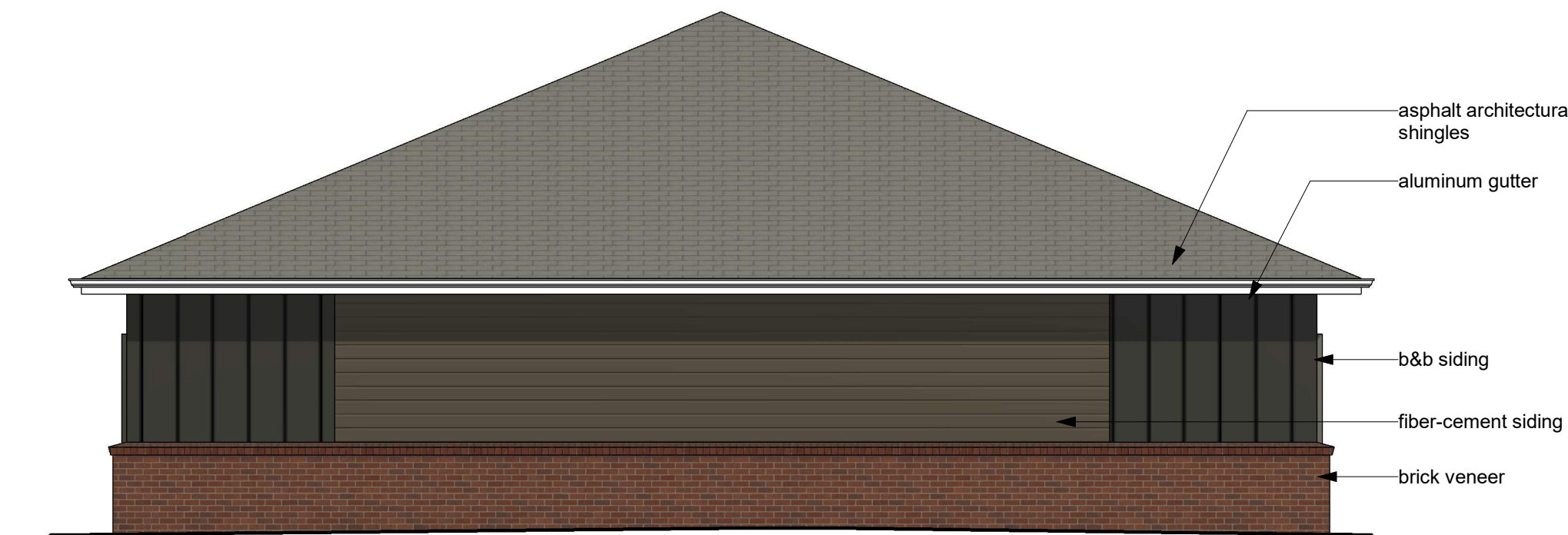
2 Garage #2 North Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevations Faces Parking



4 Garage #2 South Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevation Faces Parking

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Garage 1						
UDO Class:	2	2	2	1	1	
Front	18% Lap,12% B&B	8% brick	62% metal garage doors			
Rear	18% Lap,12% B&B	8% brick	62% metal garage doors			
Left	39 Lap, 22% B&B	39% brick				
Right	39 Lap, 22% B&B	39% brick				

6 Garage #1 North Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



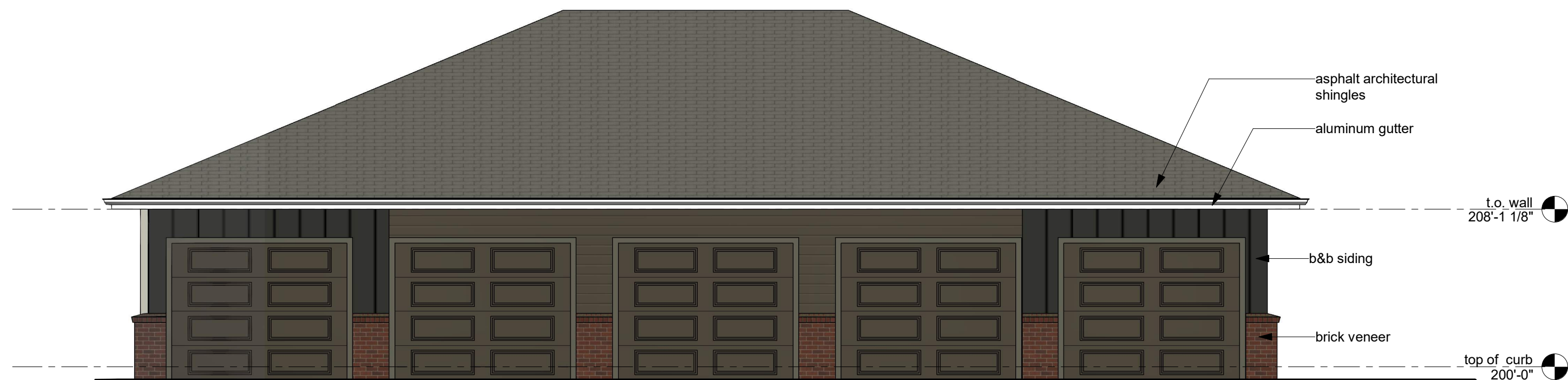
8 Garage #1 South Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



1 Garage #2 West Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevations Faces Parking



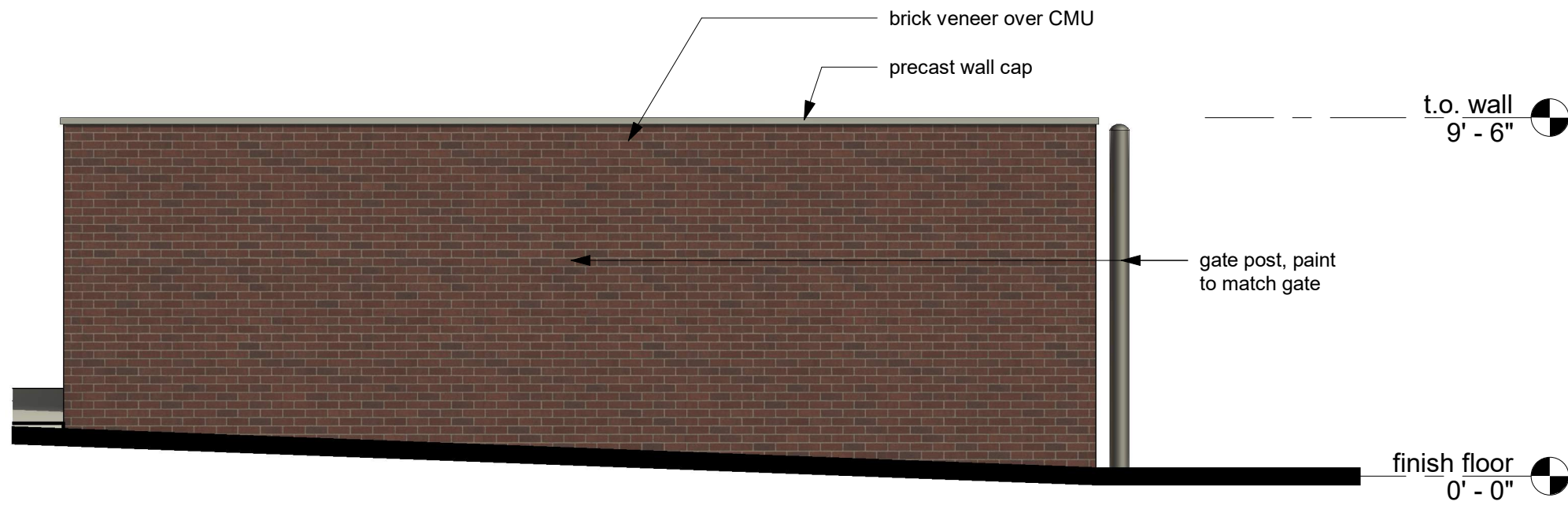
3 Garage #2 East Elevation With bicycle storage
scale: 3/16" = 1'-0"
Elevation Faces Parking



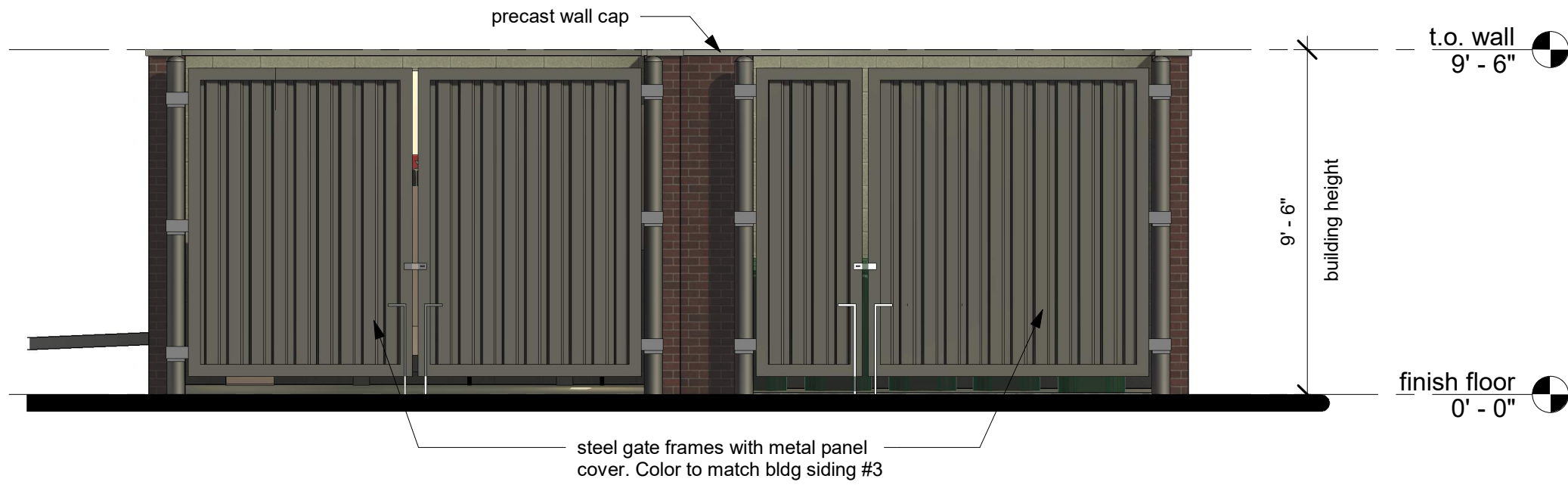
5 Garage #1 West Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



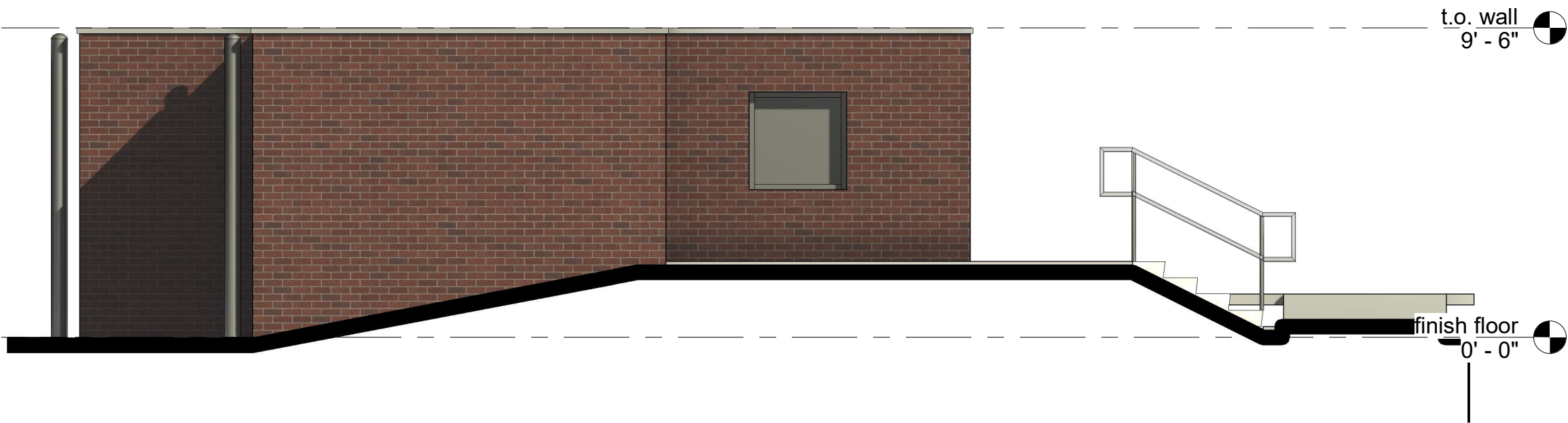
7 Garage #1 East Elevation
scale: 3/16" = 1'-0"
Elevation Faces Parking



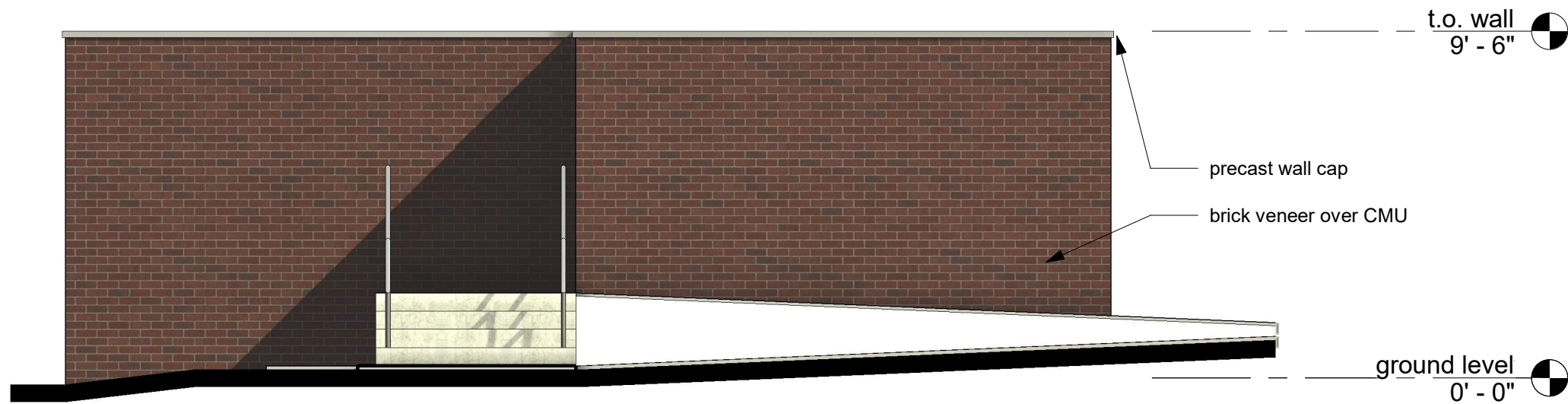
1 Plan West
scale: 1/4" = 1'-0"



2 Plan South
scale: 1/4" = 1'-0"



3 Plan East
scale: 1/4" = 1'-0"



4 Plan North
scale: 1/4" = 1'-0"

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Trash						
UDO Class:	2	2	2	1	1	
Front	100% brick with metal panel gates					
Rear						
Left						
Right						

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Trash - Elevations

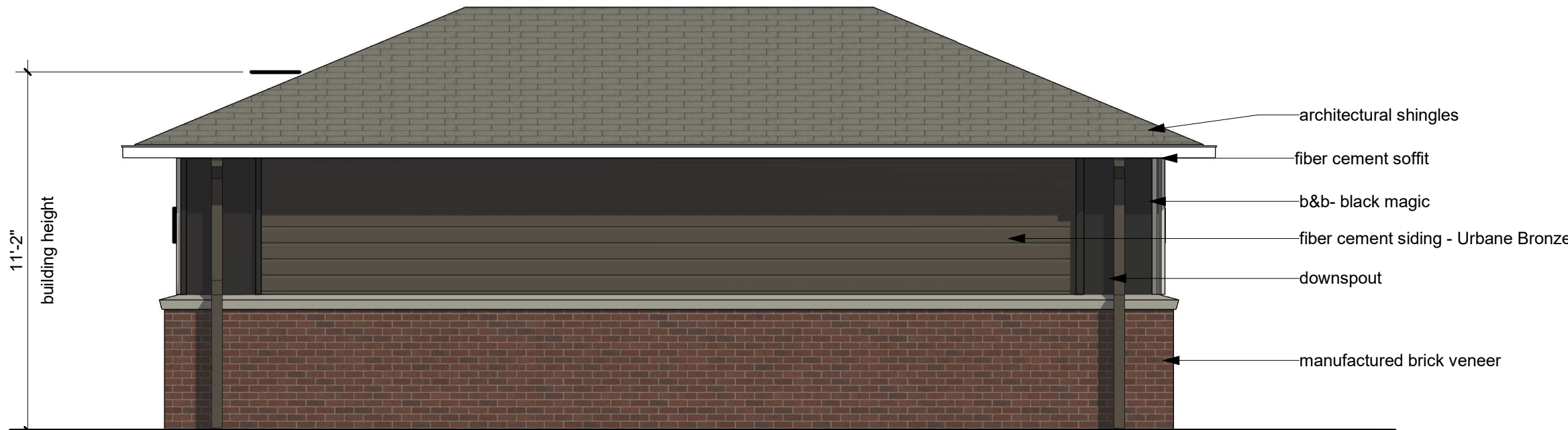
drawing type
Preliminary
project number
22239

© 11/10/2025 1:52:03 PM C:\Users\joseph\Documents\22239-Brick Mail_Central Model_detached_detached_josephPSW3S.rvt

Material Percentage Breakdown						
Material:	Lap Siding	B&B	Siding Panel	Brick	Glass	Total %
Mail						
UDO Class:	2	2	2	1	1	
Front	41%	8%	0%	51%	0%	100%
Rear	41%	8%	0%	51%	0%	100%
Left	41%	8%	0%	51%	0%	100%
Right	41%	8%	0%	51%	0%	100%



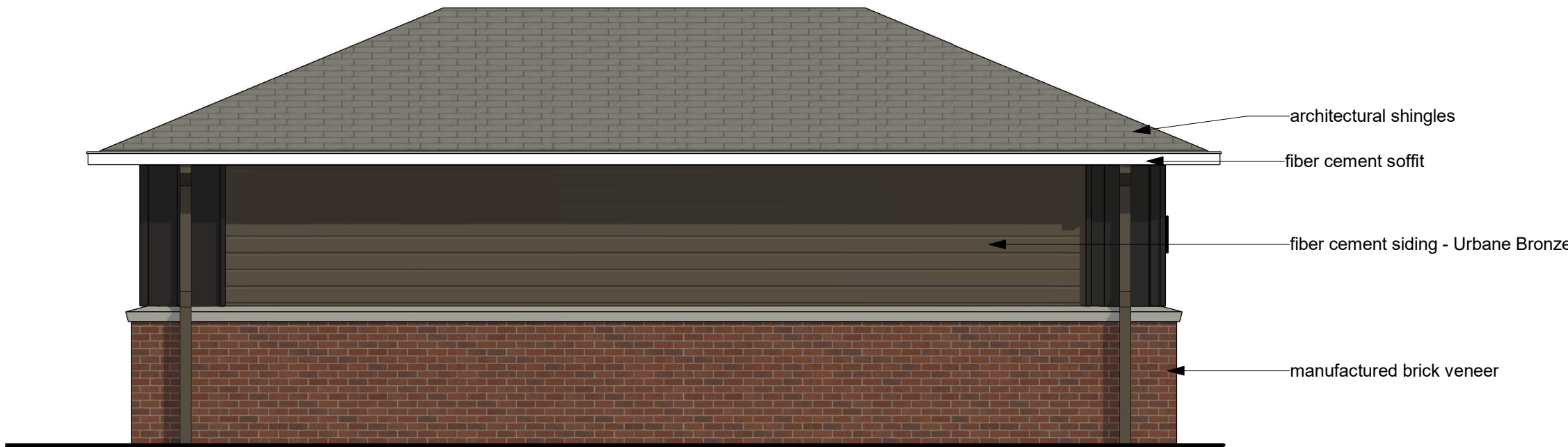
2 Right Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



1 Front Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



4 Left Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking



3 Rear Elevation
scale: 1/4" = 1'-0"
Elevation Faces Parking

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