



LEE'S SUMMIT
MISSOURI®

150 & Ward – 3620 SW Ward Rd.
Preliminary Development Plan
PL2024-319



Project Request

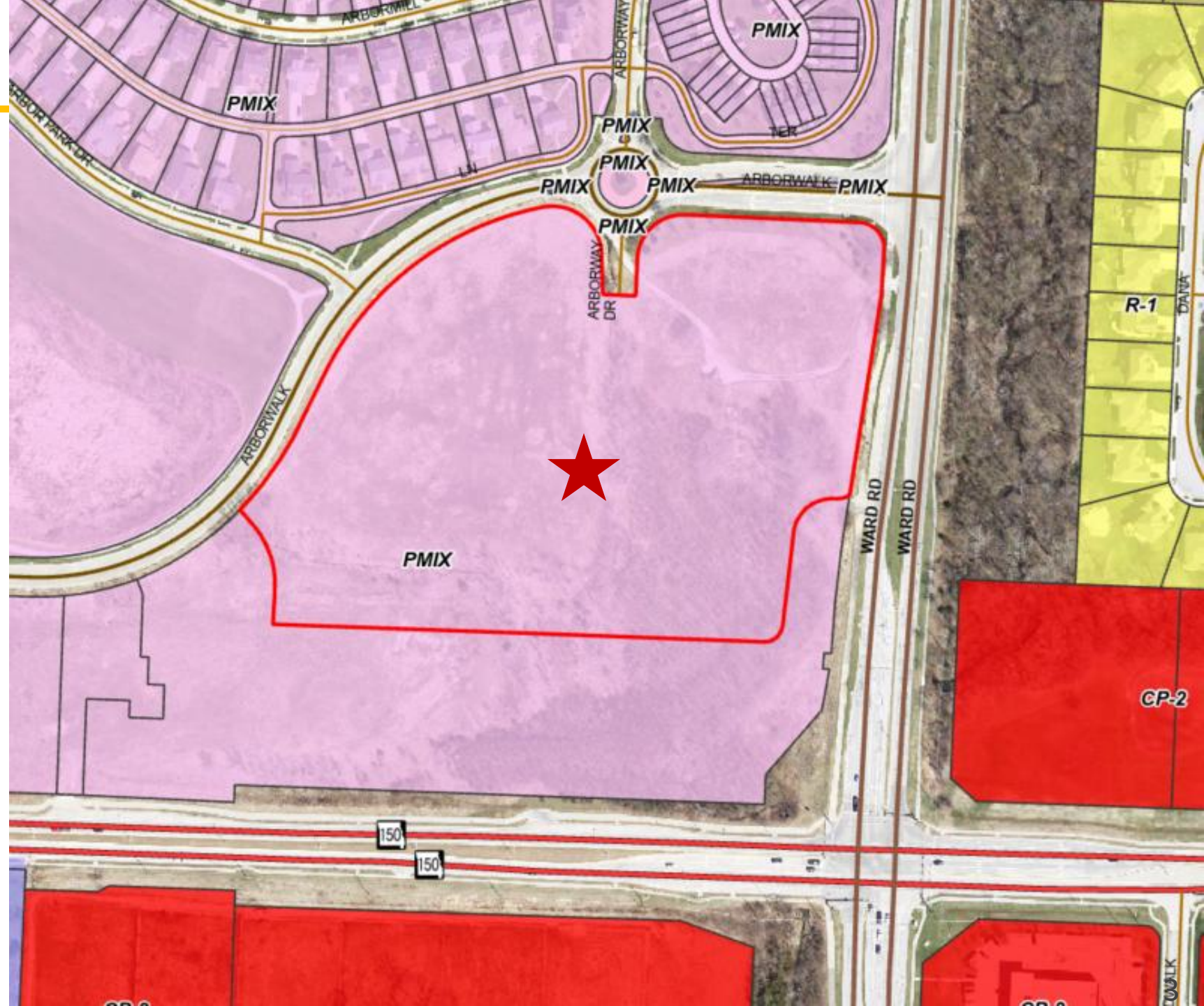
Proposed preliminary development plan on 11.46-acres for development of a 272-unit apartment complex.



Area/Zoning Map

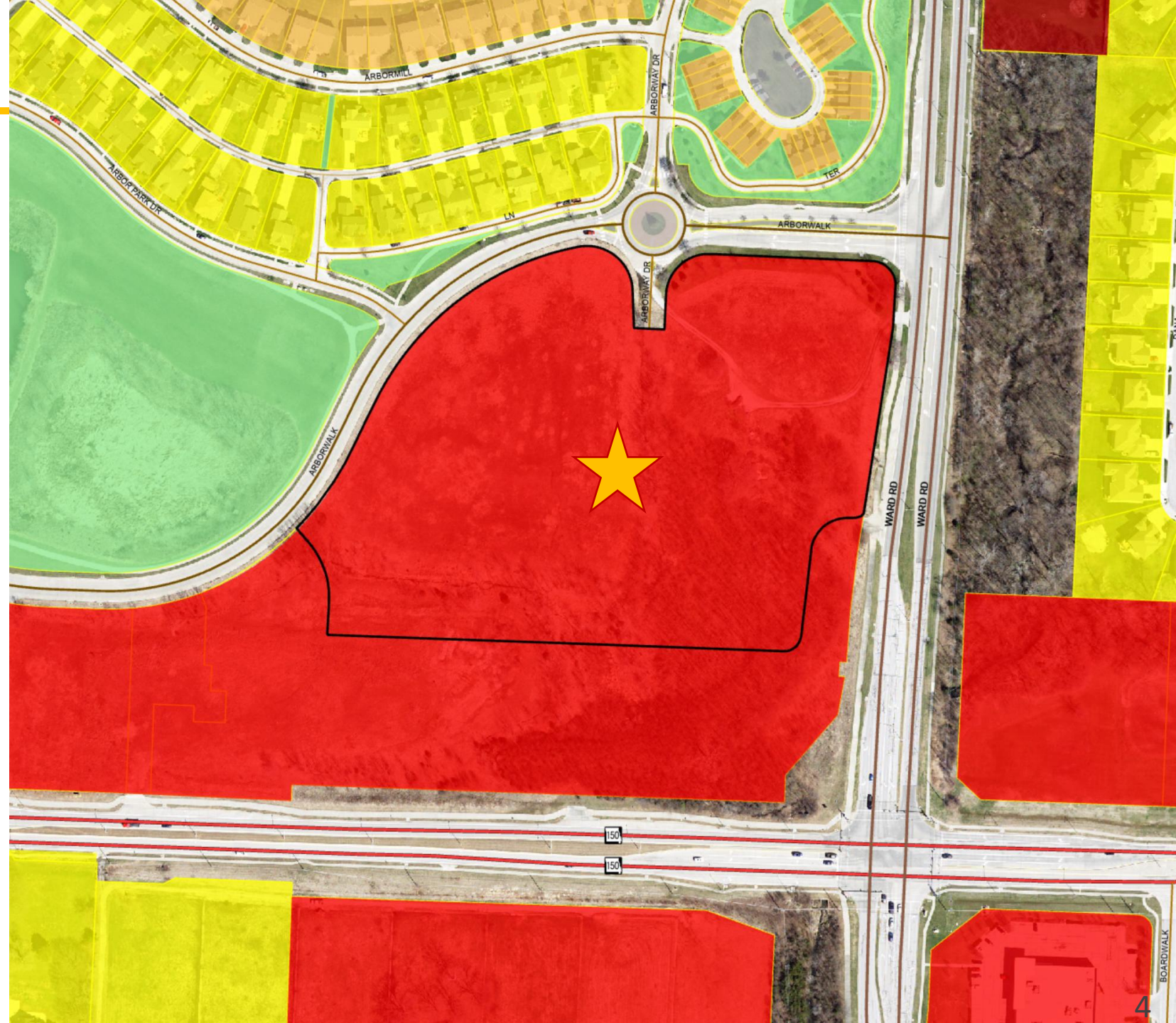
3620 SW Ward Road
(zoned PMIX with M-150 CDO)

Adjacent Zoning:
North – PMIX
South – CP-2
East – R-1 & CP-2
West – PMIX

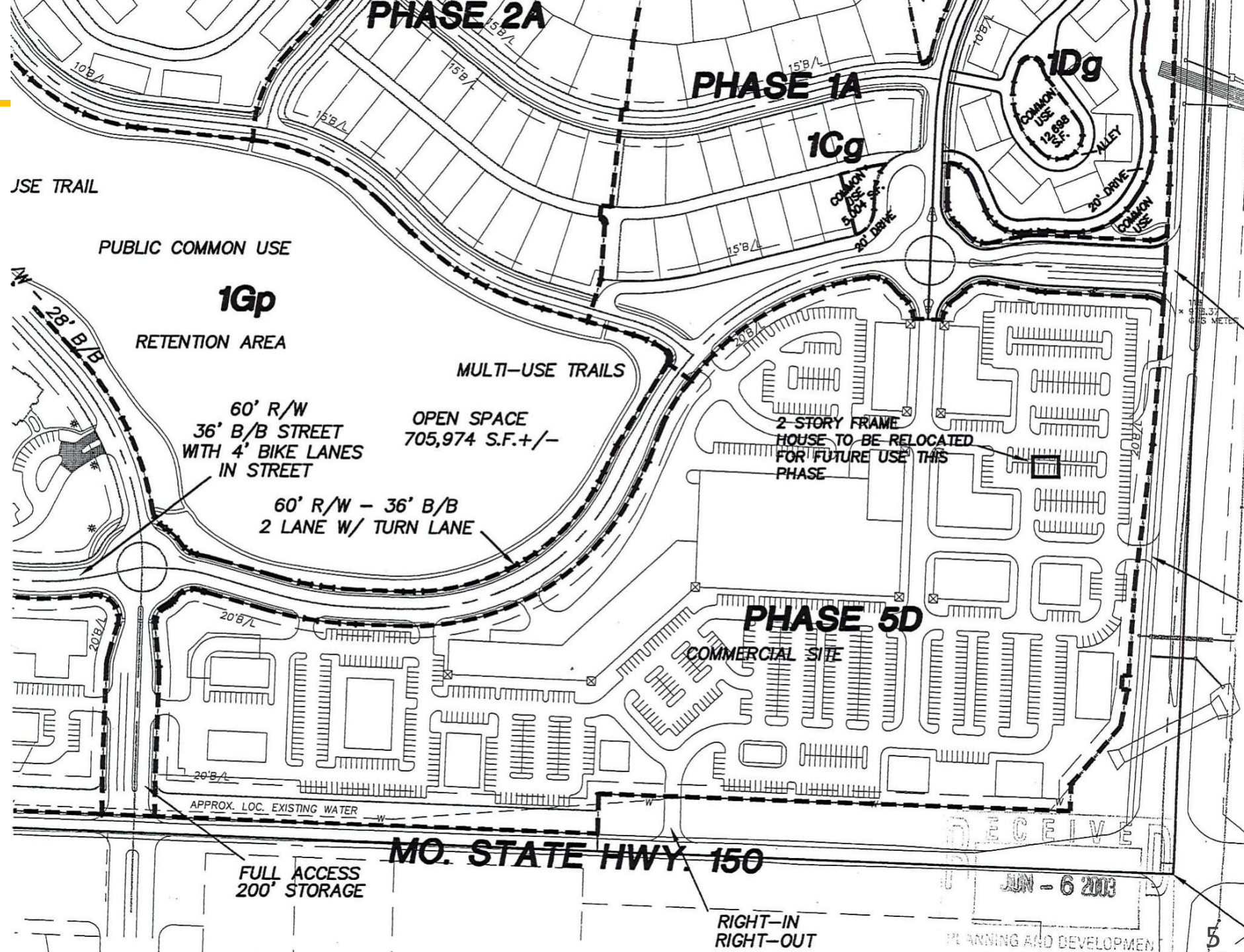


Ignite! Land Use Map

- Activity Center Downtown
- Activity Center New Longview
- Activity Center North PRI
- Activity Center South PRI
- Activity Center Summit
- Airport
- Civic
- Commercial
- Industrial
- Infrastructure
- Mixed Use
- Office
- Parks/Open Space
- Residential 1
- Residential 2
- Residential 3
- Water Bodies

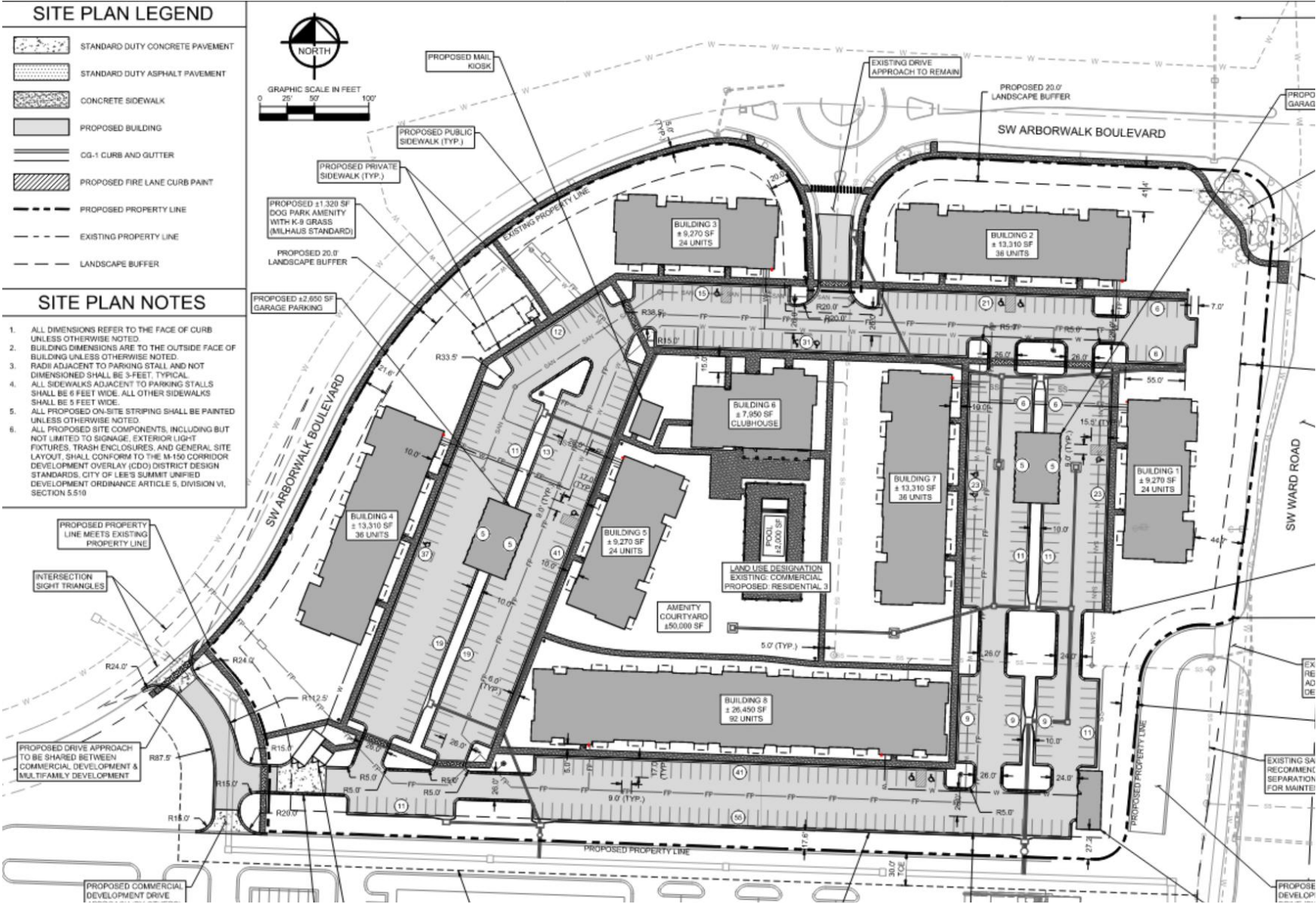


Arborwalk Master
Development Plan
approved in 2003
by Ord. No. 5448



Project Information

Specification	Proposed
Existing Zoning	PMIX
Area	11.46 acres
# of Lots	1 Lot (proposed multi-family)
# of Dwelling Units	272
Density	23.73 du/acre
Building Size	9,270-23,450-sf. (multi-family buildings)
FAR	0.21
Open Space	33%
Parking	474 stalls



Elevations

Exterior Material Finish Legend			
1	Modular Brick Type 01 (Field)	9	Canopies
Basis-of-Design: Red / Burgundy Extruded Brick		Framed in Canopy with Cement Panel Finish	
Texture: Matte		Color: Black	
Mortar		10	Treated Wood Frame Balcony w/ Fiber Cement Skirt / Trim Painted
Color: Standard Gray		Color: Black	
1a	Rowlock Sill - Same as 01	11	Pre Engineered Treated Wood Post / Painted
		Dimensions: 12"x12" nominal (11"x11" actual)	
2	Fiber Cement Siding - 8" Horizontal Lap Siding	12	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding infill
Color: Urbane Bronze		Color: Black Magic	
Texture: Smooth / Matte		Texture: Smooth / Matte	
3	Fiber Cement Siding - 8" Horizontal Smooth Lap Siding	W1	Vinyl Windows - Single Hung - Type 01
Color: City Loft		Exterior Color: White	
Texture: Smooth / Matte		Interior Color: White	
4	Fiber Cement Panel w/ Batten System	Glazing Tint: Clear Insulated Low-E	
Color: Black Magic		S1	Aluminum Storefront Framing
Texture: Smooth / Matte		Exterior Color: Anodized Black	
5	Fiber Cement Panel Siding / Horizontal lap Siding	Interior Color: Anodized Black	
Color: Taupe Tone		Glazing Tint: Clear Low-E	
Texture: Smooth / Matte		D1	Doors 3'-0" x 8'-0" Clear Glass / Painted
		Color: Off-White	
6	Fiber Cement Trim	D2	Door w/ sidelite 3'-0" x 8'-0" Clear Glass / Painted
Sizes: 5/4x4" / 5/4x6" / 5/4x8"		Color: Black	
Color: To Match Siding		D3	Storefront Entrance Doors (2) 3'-0" x 8'-0" Clear Glass / Painted
Texture: Smooth		Color: Black	
7	Pre-finished Metal Coping	D4	Stair Exit Doors 3'-0" x 7'-0" HM Door & Frame
Color: Match Trim		Color: Paint to Match Siding	
8	Pre-finished Aluminum Railings	D5	Double Door 3'-0" x 6'-8" Exterior HM Door & Frame
Color: Black		Color: Door & Frames painted Black	
R1	Architectural Shingles	Color: Black	

Note: All brick lintels shall be galvanized; do not paint.



Above: Typical “Building A” (front elevation)

Below: Typical “Building B” (front elevation)



Application Information

Neighborhood meetings held on January 29, 2025, and February 26, 2025.

Questions and topics of concern:

- Traffic
- Stormwater runoff
- Compatibility
- Construction debris

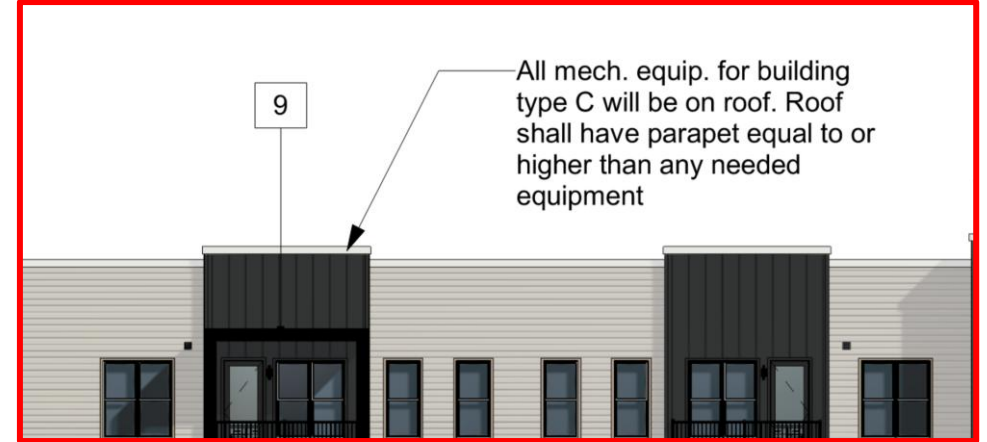
Staff has received 19 comments or phone calls expressing concern and/or opposition to the project.



Revision: Screening

Requirement: Roof-mounted equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design.

Proposed: The applicant has provided revisions meeting this requirement.



Elevator – Modification Request

Requirement: Multi-family buildings, three stories and above, shall, at a minimum, equip one out of every three buildings with an elevator.

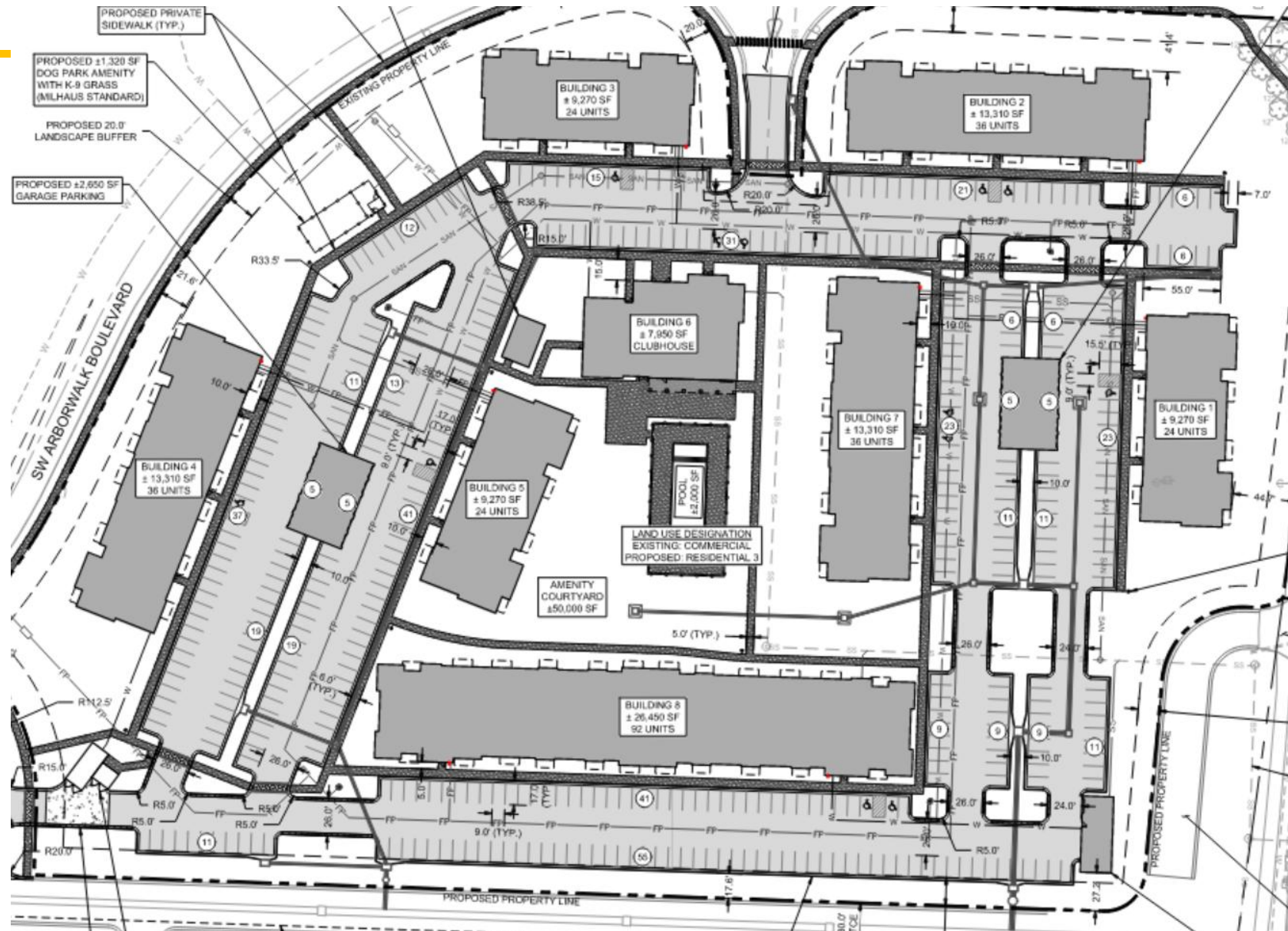
Proposed: The applicant is proposing to provide elevators in one building which will serve 1/3 of the total units.



Entrance Orientation – Modification Request

Requirement: Primary entrances and facades shall not be oriented towards parking lots, garages, or carports.

Proposed: All primary entrances be oriented towards the parking lots and garages.



Building Design – Modification Request

Requirement: At least 20 percent of all walls facing a public street shall contain windows or doorways.

Proposed: Reduce the required percent of windows or doorways on street-facing walls to 17% for building types A and B and 11% for building type C.



Above: Typical Building C (side elevation)



Above: Typical Buildings A & B (side elevation)

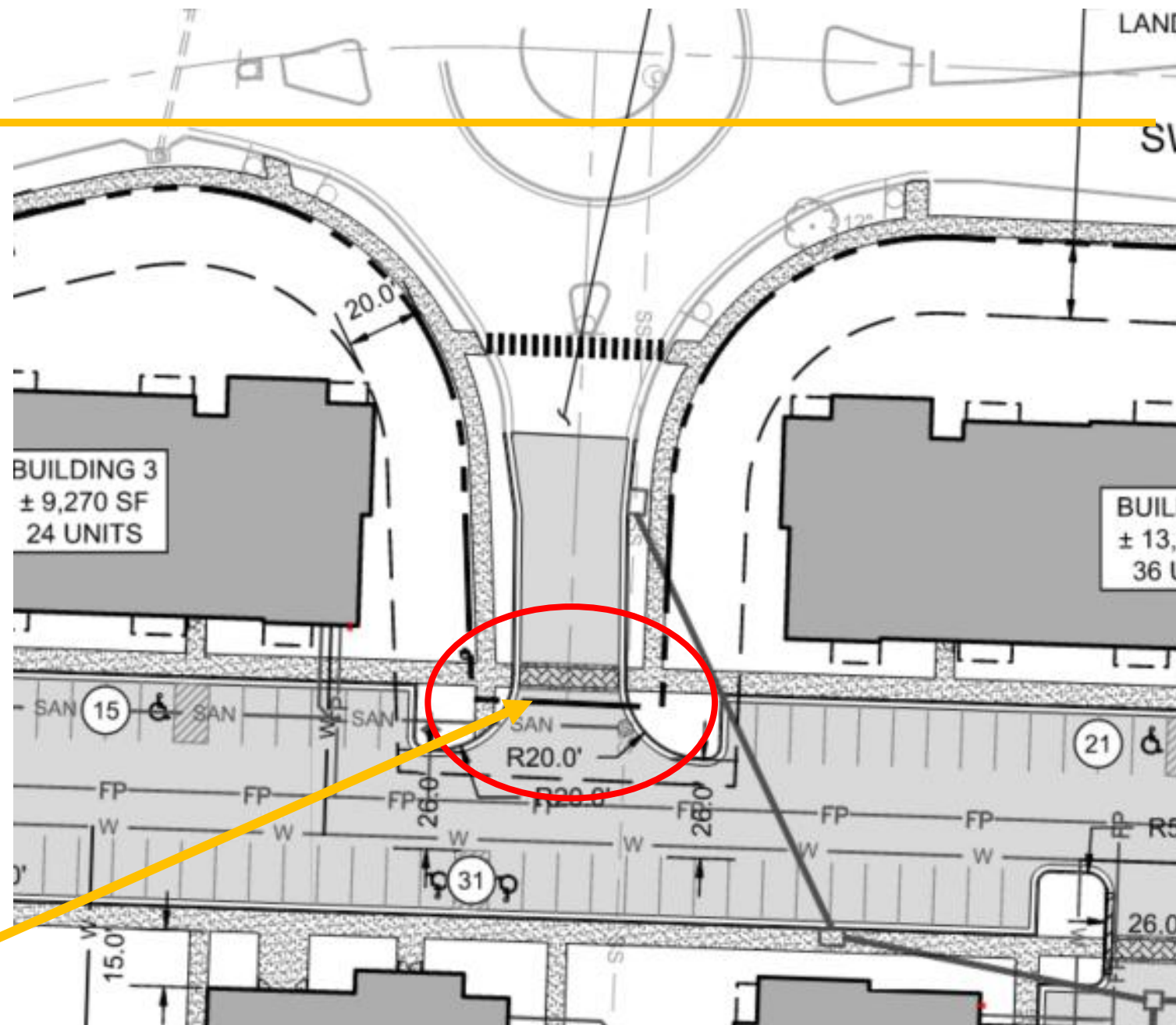
Building(s)	Percentage of Windows or Doorways
A & B	17%
C	11%

Parking Lot – Modification Request

Requirement: All parking lots shall be setback a minimum of 20-ft. from any public right-of-way or private street edge pavement.

Proposed: Reduce the setback from 20-ft. to 0-ft. adjacent to the SW Arborwalk Boulevard roundabout.

Right-of-Way Line



Above: Site plan showing existing right-of-way (property line shown in thick dashed line)

Approval Conditions

1. Development shall be in accordance with the preliminary development plan with an upload date of ~~April 11~~ June 23, 2025.
2. A modification shall be granted to UDO Sec. 5.510.B.4.a(2) to allow one-third of the units to be served by an ADA-compliant elevator in lieu of requiring one out of every three buildings to include an ADA-compliant elevator.
3. A modification shall be granted to UDO Sec. 5.510.B.4.b(3)(a) to allow primary entrances and facades to be oriented towards parking lots or garages.
4. A modification shall be granted to UDO Sec. 5.510.B.4.c(6) to reduce the required percent of windows or doorways on walls facing a public street from 20% to 11% for Building Type C and 17% for Building Types A and B.
5. A modification shall be granted to UDO Sec. 8.620.B.1 to reduce the required parking lot setback adjacent to the right-of-way for the SW Arborwalk Boulevard roundabout from 20-ft. to 0-ft.
- ~~6. All roof-mounted equipment shall be screened by:
 - ~~a. A parapet or similar feature equal to the height of the equipment being screened; or,~~
 - ~~b. A bolt-on inset screening system. (deleted by staff)~~~~
6. A 5-ft. wide ADA-compliant sidewalk shall be constructed along the SW Arborwalk Boulevard frontage.



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