



1501 E US HWY 40,
BLUE SPRINGS, MO 64015

SPECIAL USE PERMIT: 11/08/2022

DRAWING INDEX

CIVIL

- C1.0 CONCEPTUAL SITE PLAN
- C2.0 PAVING AND DEMO PLAN
- C3.0 LANDSCAPE PLAN

DRAWING INDEX

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- A210.3 COVERED BAY EXTERIOR ELEVATIONS
- A211 EXTERIOR RENDERINGS

OCCUPANCY TYPE: **RECREATIONAL USE A-3**

IBC 2018 SECTION 303.4 ASSEMBLY GROUP A-3

*ALL OTHER OCCUPANCY TYPES ARE LESS THAN 10% OF TOTAL PROGRAM SQUARE FOOTAGE

CONSTRUCTION TYPE: **V-B**

2018 INTERNATIONAL FIRE CODE

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SPECIAL USE PERMIT AND
PRELIMINARY DEVELOPMENT
PLAN
1501 NE 40 HWY
BLUE SPRINGS, MO 64015

PROJECT NUMBER: 17-22-0007

ISSUE BLOCK

10/20 REV1

11/08 REV2

CHECKED BY: NP

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DOCUMENT DATE: 11/08/22

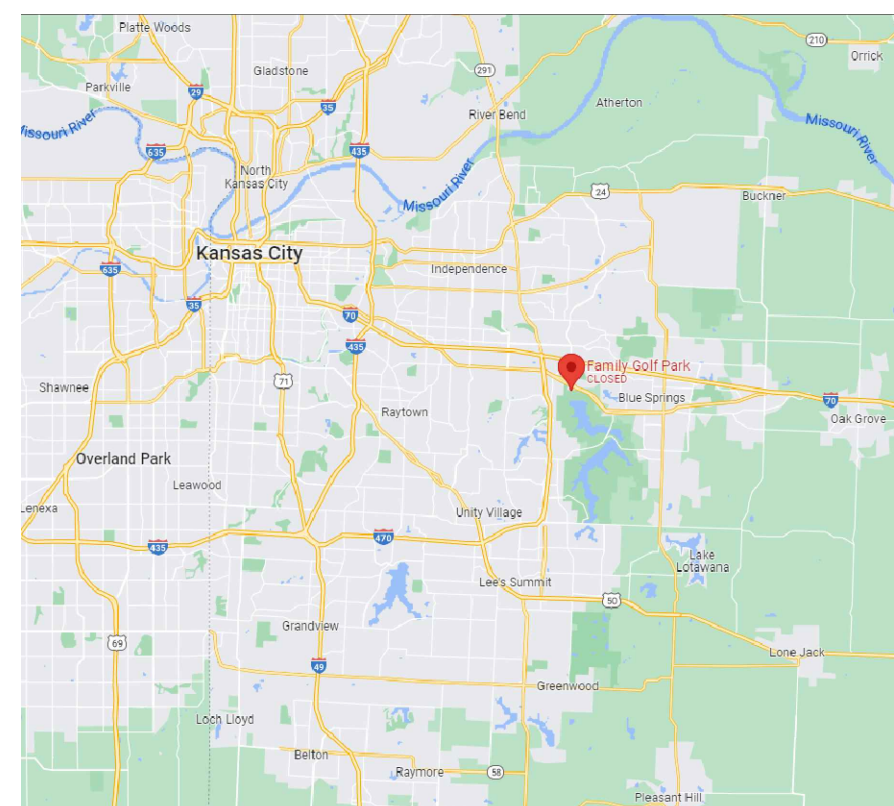
NOT FOR CONSTRUCTION

COVER SHEET

SHEET
G001

PROJECT CONTACTS

OWNER:
BLUE JEANS GOLF
3333 LEE PARKWAY SUITE 460
DALLAS, TX 75219
ATTN: DEVIN CHARHON
ARCHITECT:
HARRISON FRENCH & ASSOC., LTD
1705 S WALTON BLVD, SUITE 3
BENTONVILLE, AR 72712



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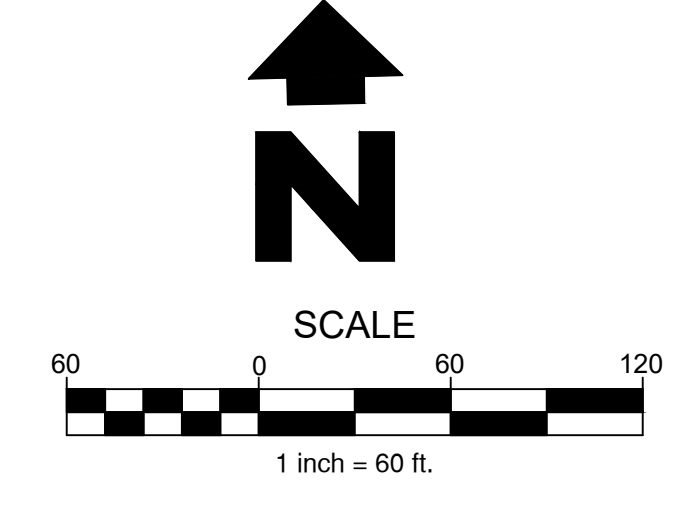
ISSUE BLOCK

DOCUMENT DATE: 07-Nov-22
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DANIEL R. GILL, P.E.
 PE-20090119839
 HARRISON FRENCH & ASSOCIATES, LTD
 E-2005011725-F

CONCEPT SITE PLAN

SHEET: C1.0

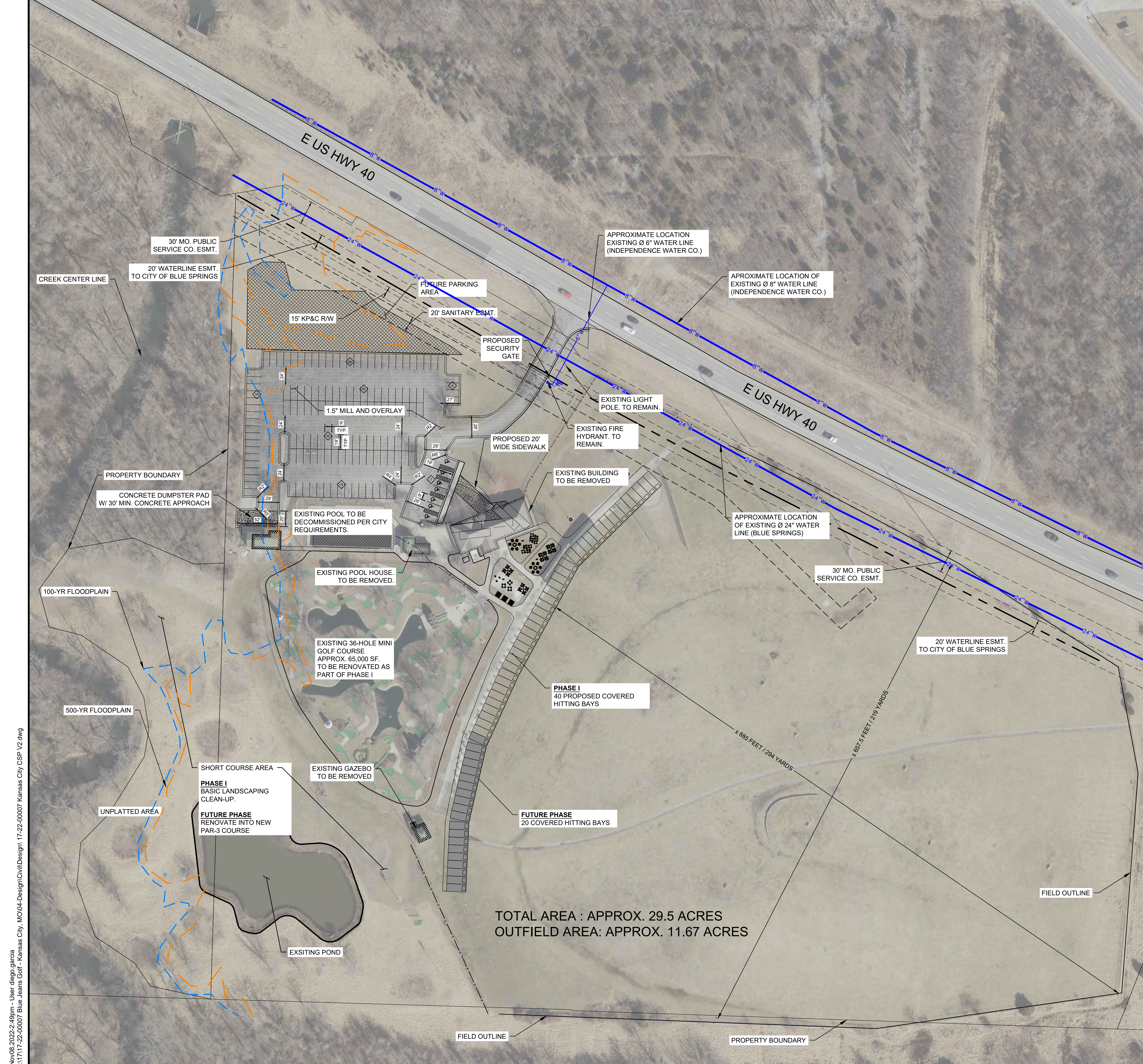


EXISTING LEGEND	PROPOSED LEGEND
○ LIGHT POLE	--- PROPERTY LINE
- x - x - x - EXISTING NETTING AND POLES	==== CURB & GUTTER
	○ LIGHT POLE
	- x - x - x - PROPOSED NETTING AND POLES
	○ TREES

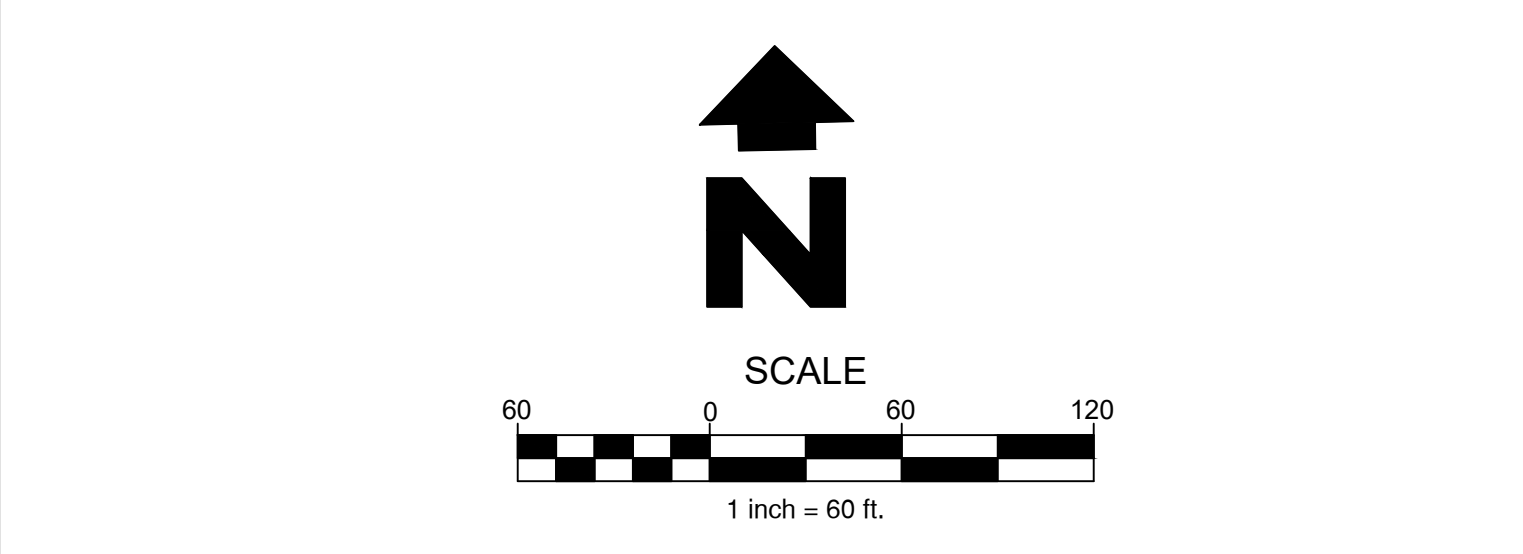
SITE INFO	
PARCEL NO.	34-720-01-02-02-0-00-000 34-720-01-08-00-0-00-000 34-700-01-11-00-0-00-000
CURRENT ZONING	CP-2 - PLANNED COMMUNITY COMMERCIAL DISTRICT AG - AGRICULTURAL PI - PLANNED INDUSTRIAL
SITE MEASUREMENTS	BOUNDARY OF LEASED AREA: 1,074,213.23 SF OR 24.66 AC OUTFIELD AREA: 508,197.94 SF OR 11.67 AC
FEMA FLOODPLAIN	PANELS 290995C0313G EFF. 1/20/2017 & 290995C0314G EFF 1/20/2017 ZONE AE: AREA OF SPECIAL FLOOD HAZARD
CITY PLANNED FUTURE LAND USE	PARKS AND OPEN SPACE
PROPOSED USE	RECREATION (DRIVING RANGE)
LOT REQUIREMENTS	PLANNED INDUSTRIAL MIN YARD SETBACKS FRONT: 20' REAR: 20' SIDE: 10'
	AGRICULTURAL DISTRICT MIN YARD SETBACKS FRONT: 100' REAR: 50' SIDE: 40'
	PLANNED COMMUNITY COMMERCIAL DISTRICT MIN YARD SETBACKS FRONT: 15' REAR: 20' SIDE: 10', 0' FOR INTERIOR LOT LINES
	FLOOR AREA RATIO (FAR) MAX: 0.55 PROVIDED: .013 (17,000 SF / 1,284,978.98 SF)
PARKING	GOLF COURSE OR DRIVING RANGE REQUIRED: DETERMINED BY DIRECTOR AT PLAN APPROVAL PROVIDED: 138 EXISTING PARKING SPACES HANDICAP SPACES: 6 HC SPACE/ 151-200 SPACES 1 VAN HC SPACE/ 6 HC SPACES
PARKING SPACE DIMENSIONS	90° PARKING ANGLE: 9' X 19' WITH 24' DRIVE ISLE HANDICAP SPACES: CAR ACCESSIBLE 9' X 20' (5' ACCESS AISLE) VAN ACCESSIBLE 11' X 20' (5' ACCESS AISLE)
LANDSCAPING	PARKING LOT LANDSCAPING: REQUIRED: MIN 5% MUST BE PROVIDED INTERNAL TO PARKING AREAS ~ 0.05 X 49,855.25SF = 2492.76SF PROVIDED GREEN SPACE: 1058SF MIN. 20' WIDE LANDSCAPE STRIP ALONG ANY STREET FRONTAGE MIN. 1 TREE/ 30LF & 1 SHRUB/ 20LF OPEN YARD AREA: 1 TREE & 2 SHRUBS/ 5000 SF OF TOTAL LOT AREA

BUILDING INFO	
EXISTING GOLF SHOP (TO BE DEMOLISHED)	4,438 SF
EXISTING PUTTING GREEN (TO REMAIN)	1.5 AC.
EX. MAINTENANCE AREA (TO REMAIN)	543.36 SF
EXISTING STANDARD BAYS	36
EXISTING COVERED BAYS	10
PROPOSED BUILDINGS (SHIPPING CONTAINERS)	2,000 SF
PROPOSED COVERED BAYS	PHASE I: 40 PHASE II: 20 TOTAL: 60 (15,000 SF)
PROPOSED PATIO AREA	11,142 SF





No:09_2022_2:46pm - User: drago.garcia
 F:\1717-22-00007\Blue Jeans Golf - Kansas City - Kansas City, MO\04-Design\Civil\Design\17-22-00007 - Kansas City CSP V2.dwg



EXISTING LEGEND		PROPOSED LEGEND	
○	LIGHT POLE	---	PROPERTY LINE
-x-x-x-	EXISTING NETTING AND POLES	==	CURB & GUTTER
		○	LIGHT POLE
		-x-x-x-	PROPOSED NETTING AND POLES
		○	TREES

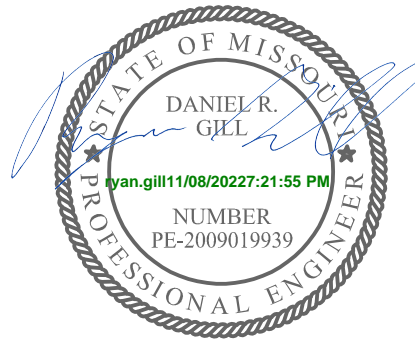
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 Creative Solutions
 Meaningful Places
HARRISON FRENCH & ASSOCIATES, LTD.
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 Bentonville, Arkansas 72712
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 1801 NE 40 HWY
 BLUE SPRINGS, MO 64015
 PROJ NUMBER: 17-22-00007

ISSUE BLOCK

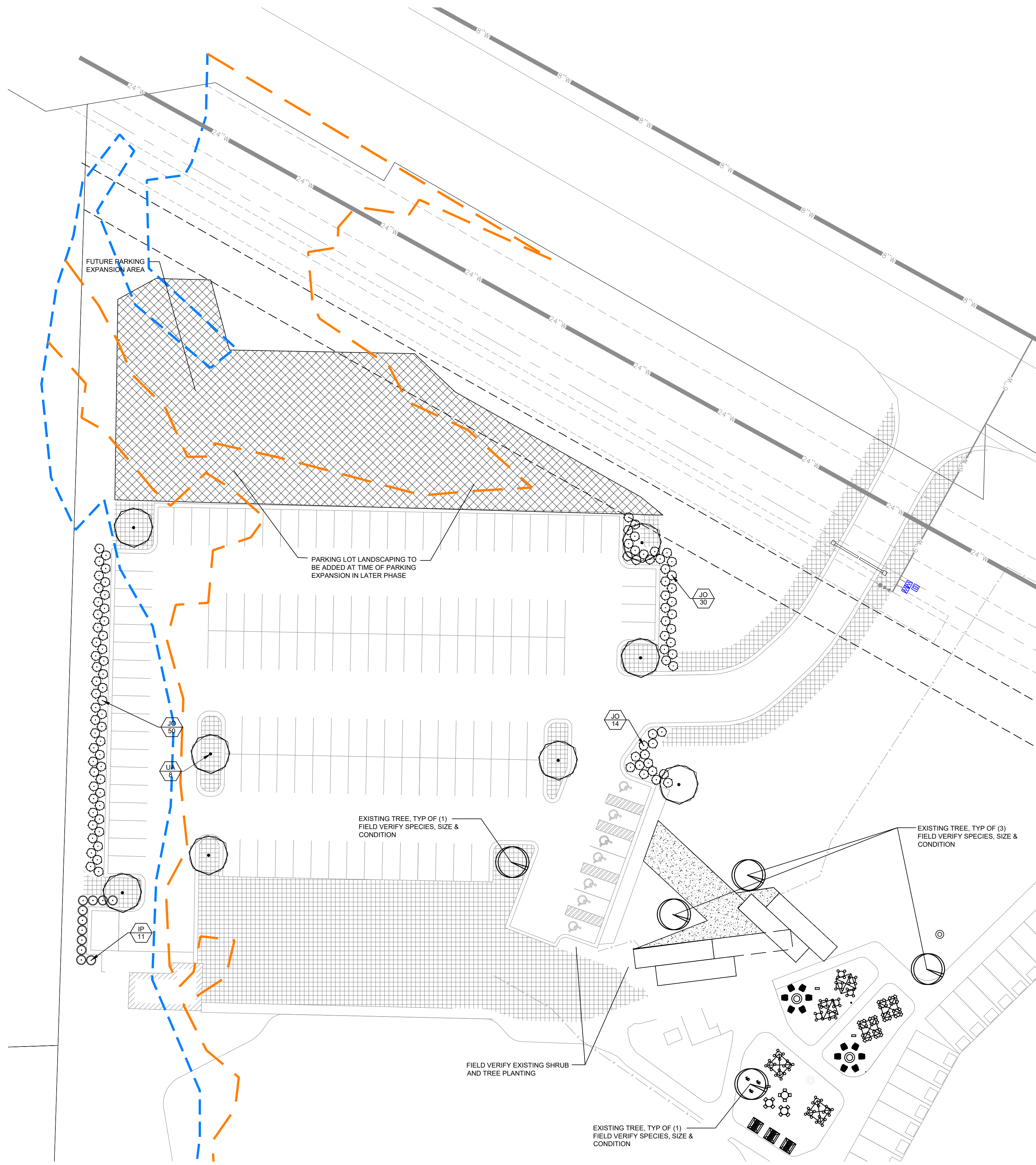
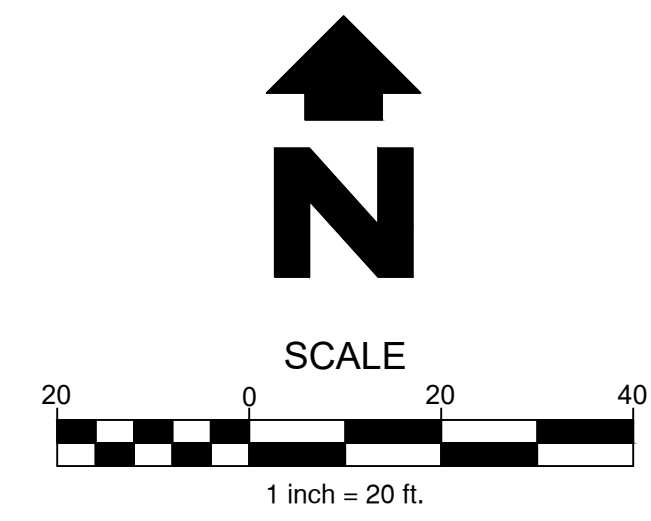
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 PE-2009019839
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 E-2005011725-F

PAVING & DEMO PLAN

SHEET:
C2.0



PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL
	UA	10	Allee® Lacebark Elm / Ulmus parvifolia 'Allee'	B & B	3' Cal
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	IP	11	Blue Prince Holly / Ilex x meserveae 'Blue Prince'	5 gal	
MEDIUM SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	JO	94	Grey Owl Eastern Redcedar / Juniperus virginiana 'Grey Owl'	5 gal	
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	
	CA	18,526 sf	Princess 77 Bermuda Grass / Cynodon dactylon 'Princess 77'	sod	
		5	*EXISTING TO REMAIN. FIELD VERIFY SPECIES, SIZE AND CONDITION		

CITY PLANTING REQUIREMENTS

PARKING LOT LANDSCAPING	MIN 5% MUST BE INTERNAL TO PARKING AREAS	NOTE: TREES MUST BE 4FT MIN FROM BACK OF CURB. LANDSCAPE SHALL BE INSTALLED AT THE END OF EVERY PARKING BAY AND ADJACENT TO TRAVEL AISLE OR DRIVEWAY
	.05 x 49,633.21SF = 2481.66 SF REQUIRED	3,080SF PROVIDED APPROX 115 SF EXISTING
PARKING LOT SCREENING	12 SHRUBS/40LF REQUIRED ALONG EDGE OF PARKING LOT CLOSEST TO AND PARALLEL TO STREET	
	138 LF EDGE OF PARKING FACING ST. EXCLUDES DRIVE AND SIDEWALK. 138 / 40=3.45 X 12=41.4	44 PROVIDED

GENERAL LANDSCAPE NOTES:

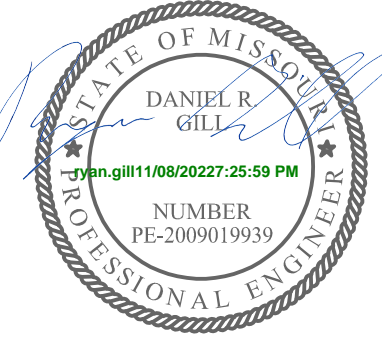
THIS PLAN IS FOR PARKING LANDSCAPE LAYOUT ONLY. FRONTAGE, OPEN YARD AREA AND LOT BUFFERING NOT INCLUDED IN THIS PHASE.
BUFFERING ADDED ON WEST SIDE OF PROPERTY AS PART OF ADJACENT LOT SCREENING

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1501 NE 40 HWY
BLUE SPRINGS, MO 64015
PROJ NUMBER: 17-22-00007

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1	PRELIM	09/16/2022

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PE-200911939
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LANDSCAPE PLAN

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PLAN**
1501 NE 40 HWY
BLUE SPRINGS, MO 64015
PROJ NUMBER: 17-22-0007

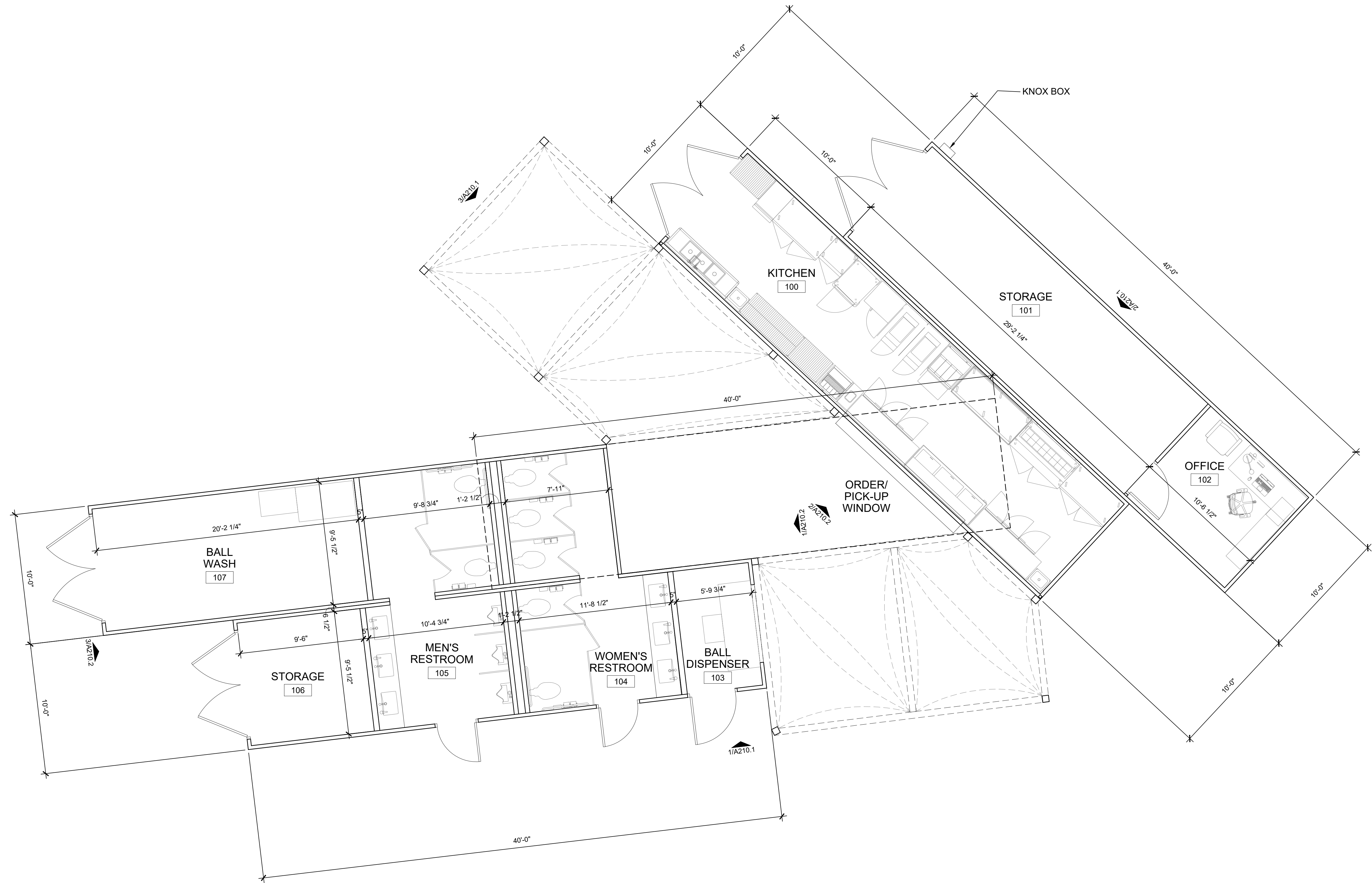
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11/08	REV2

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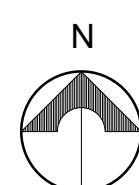
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FLOOR PLAN

SHEET
A101.1



1 FLOOR PLAN
Scale: 1/4" = 1'-0"



Nov07_2022:12:39pm - User: egie_banbauskette
F:\17-22-0007 Blue Jeans Golf - Kansas City, MO\04-Design\Arch\101-SD\2022-11-08_SUP_Revision\SHEETS\A101.1 FLOOR PLAN.dwg

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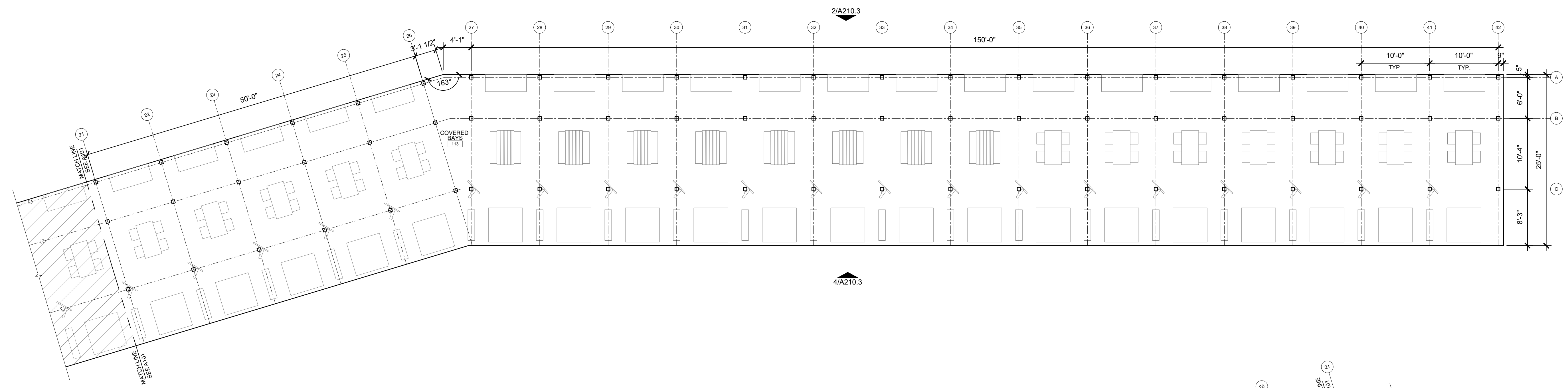
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11/08	REV2

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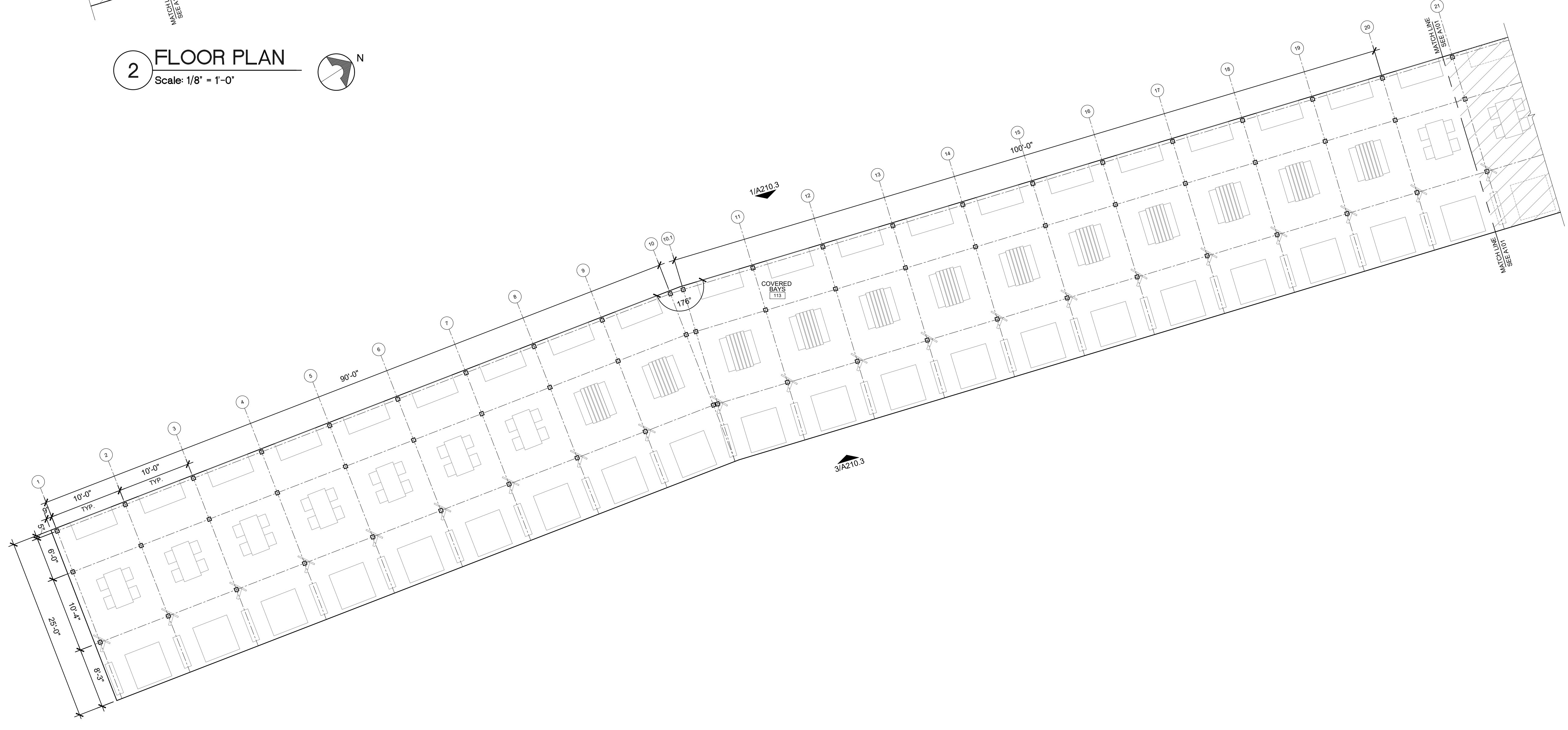
NOT FOR CONSTRUCTION

FLOOR PLAN

SHEET
A101.2



2 FLOOR PLAN
Scale: 1/8" = 1'-0"
N

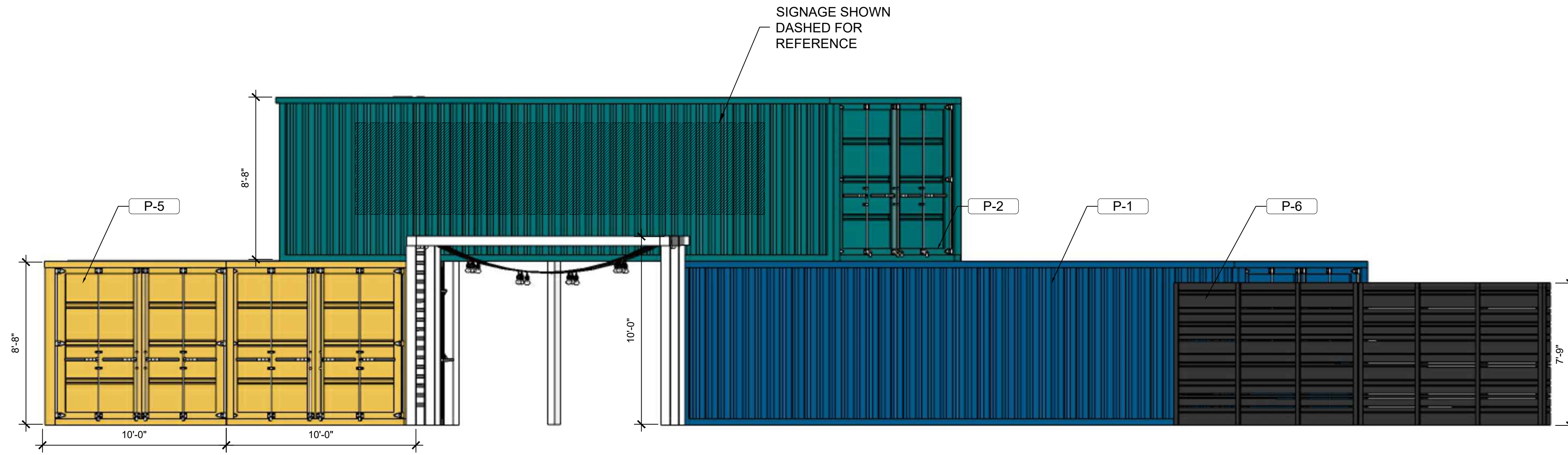


1 FLOOR PLAN
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N

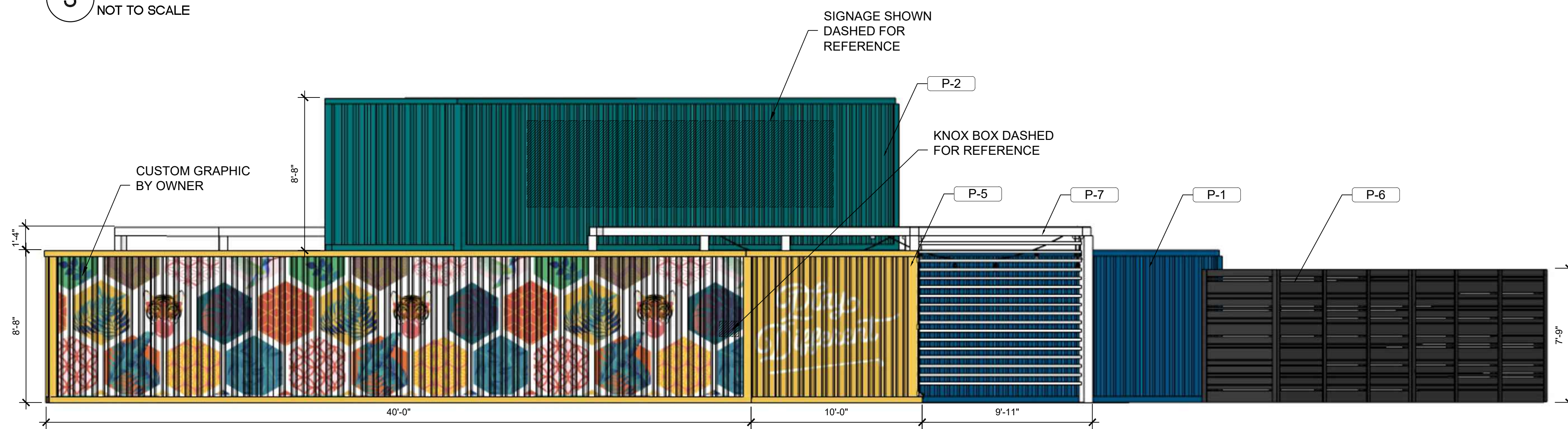
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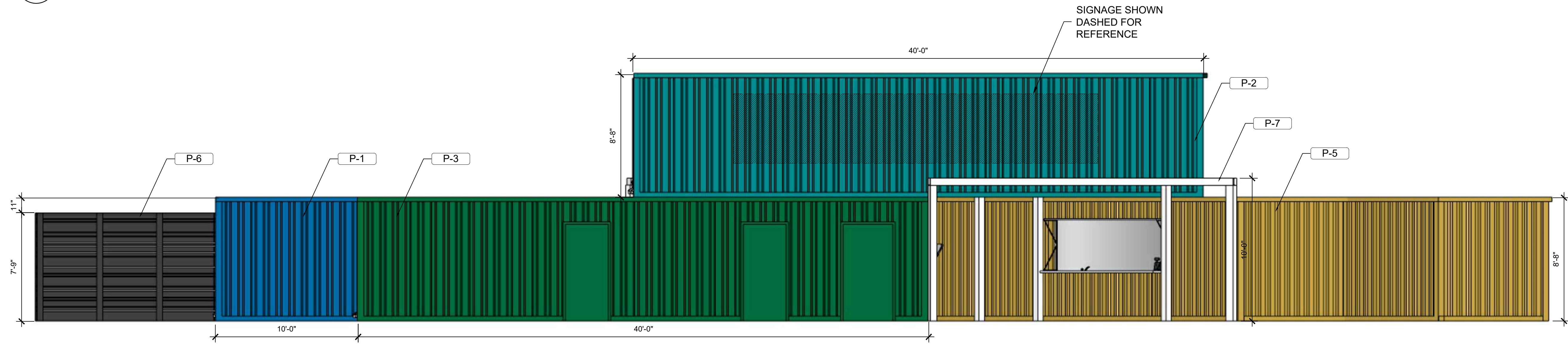
PAINT SCHEDULE			
TAG	MATERIAL	COLOR/NUMBER	FINISH
P-1	PAINT	RAL5017 TRAFFIC BLUE	Semi-gloss
P-2	PAINT	RAL5021 WATER BLUE	Semi-gloss
P-3	PAINT	RAL6029 MINT GREEN	Semi-gloss
P-4	PAINT	RAL6037 PURE GREEN	Semi-gloss
P-5	PAINT	RAL1032 BROOM YELLOW	Semi-gloss
P-6	PAINT	RAL7021 BLACK GREY	Semi-gloss
P-7	PAINT	RAL9003 SIGNAL WHITE	Semi-gloss



3 SHIPPING CONTAINER EXTERIOR ELEVATION-SE
NOT TO SCALE



2 SHIPPING CONTAINER EXTERIOR ELEVATION-SW
NOT TO SCALE



1 SHIPPING CONTAINER EXTERIOR ELEVATION-N
NOT TO SCALE

**SPECIAL USE PERMIT AND
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PLAN**
1801 NE 40 HWY
BLUE SPRINGS, MO 64015
PROJ NUMBER: 17-22-0007

ISSUE BLOCK	
10/20	REV1
11/08	REV2

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EXTERIOR
ELEVATIONS

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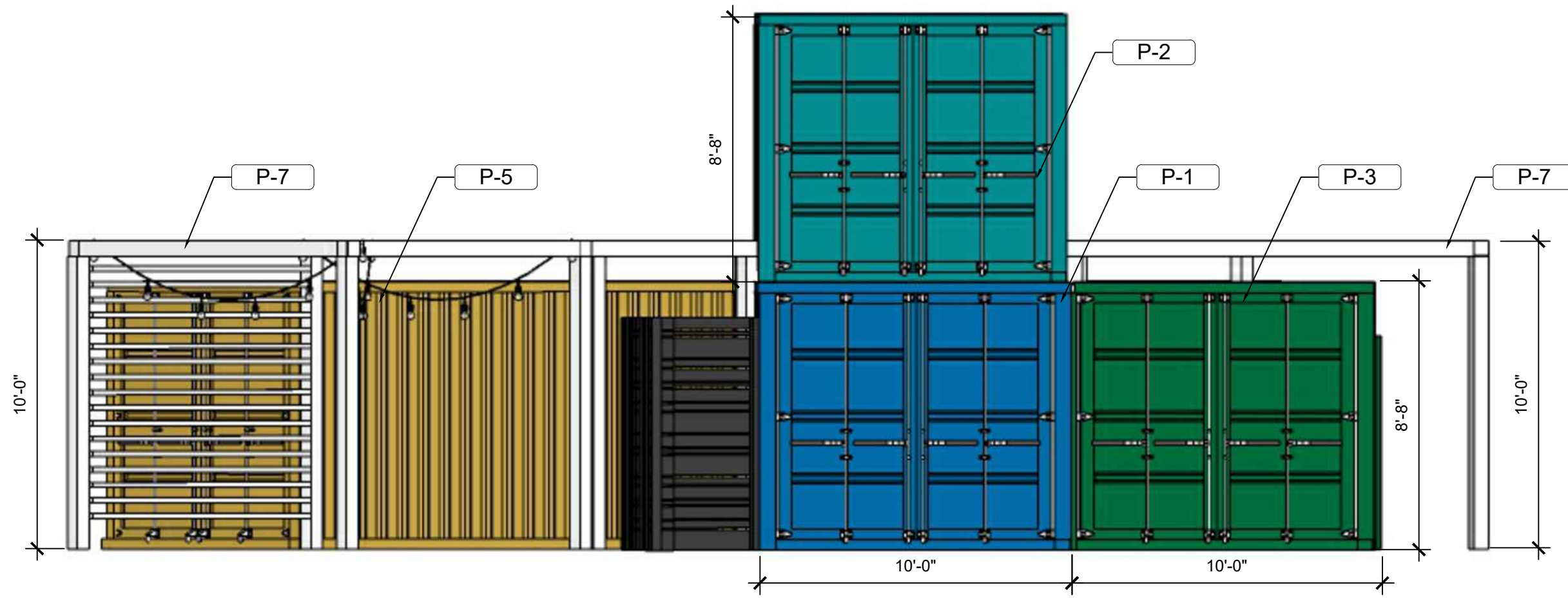
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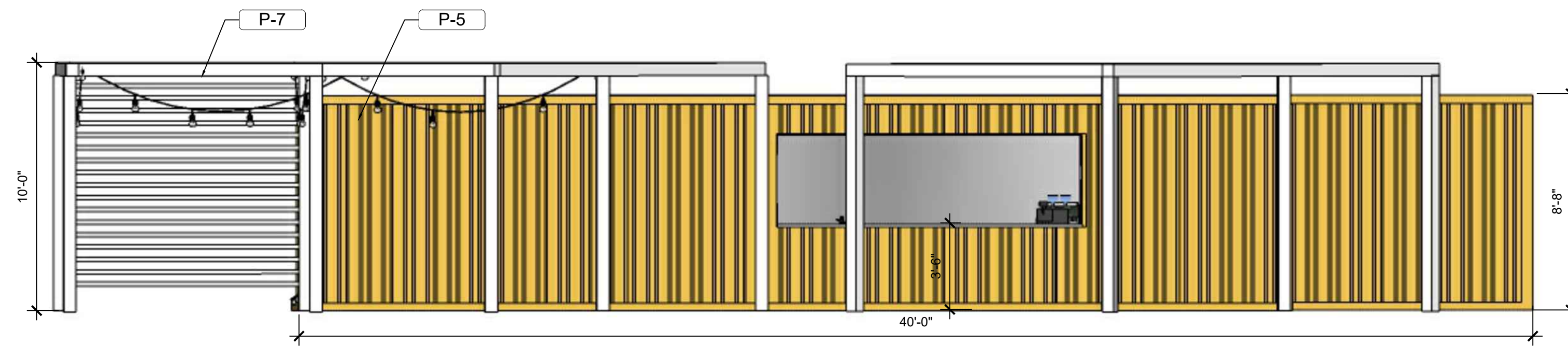
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EXTERIOR
ELEVATIONS

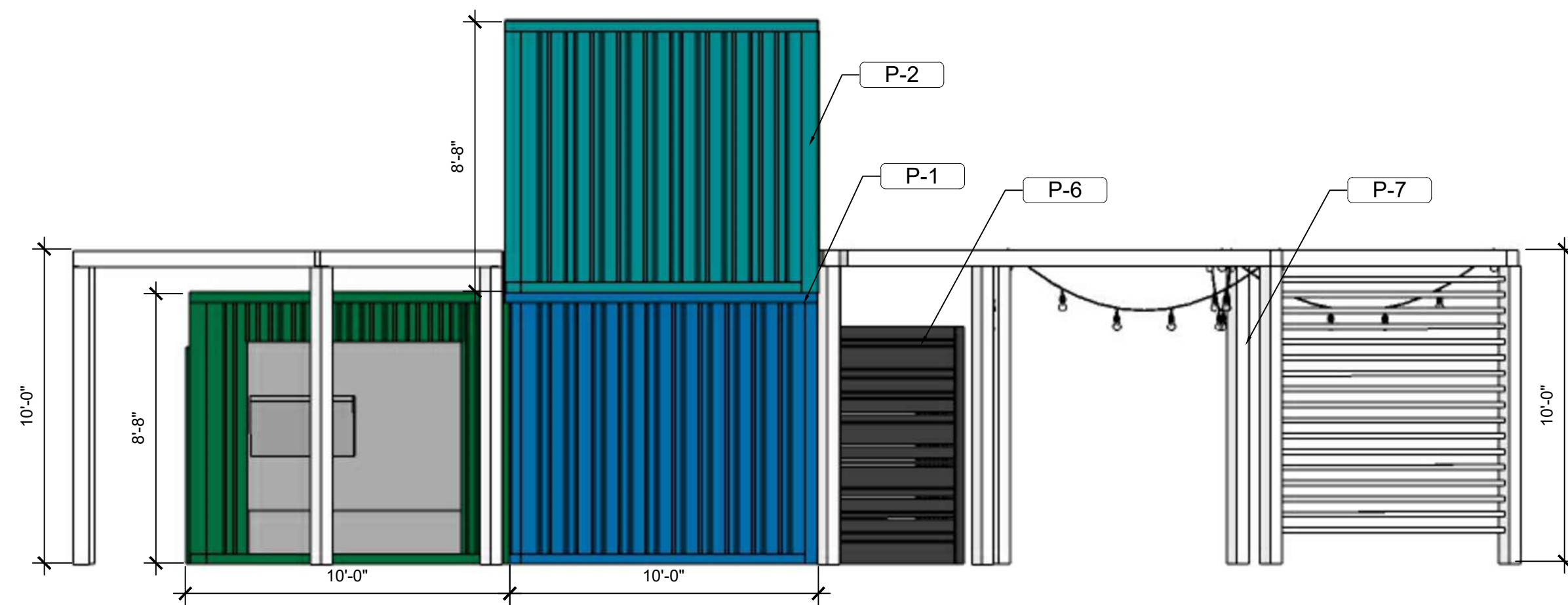
SHEET
A210.2



3 SHIPPING CONTAINER EXTERIOR ELEVATION-E
NOT TO SCALE



2 SHIPPING CONTAINER EXTERIOR ELEVATION-NE
NOT TO SCALE



1 SHIPPING CONTAINER EXTERIOR ELEVATION-W
NOT TO SCALE

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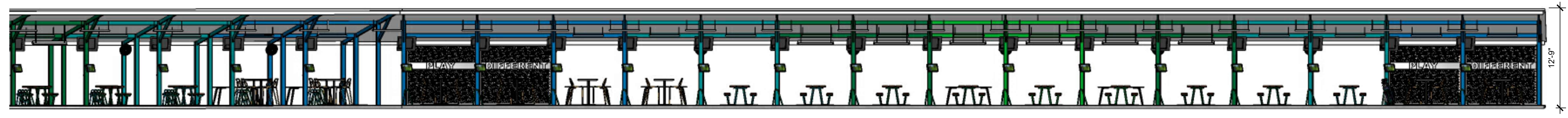
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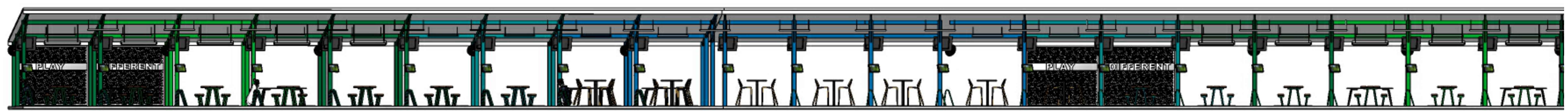
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EXTERIOR
ELEVATIONS

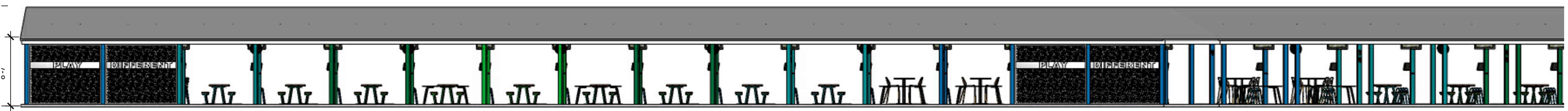
SHEET
A210.3



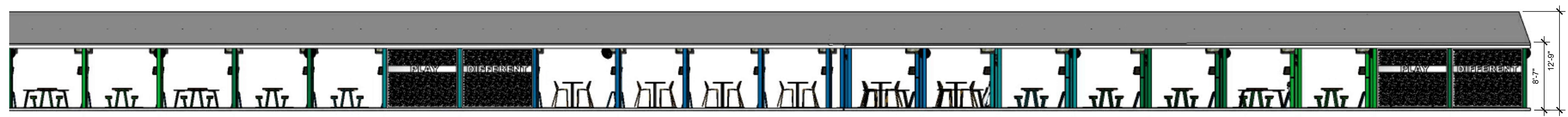
4 COVERED BAY EXTERIOR ELEVATION-NW
NOT TO SCALE



3 COVERED BAY EXTERIOR ELEVATION_NW
NOT TO SCALE



2 COVERED BAY EXTERIOR ELEVATION_SE
NOT TO SCALE



1 COVERED BAY EXTERIOR ELEVATION_SE
SCALE: 1/8" = 1'-0"

Nov07_2022:12:45pm - User: egie_banbauskalle
P:\17-22-0007 Blue Jeans Golf - Kansas City, MO\4-Design\Arch\01-SD\2022-11-08_SUP_Revision\SHEETS\A210.3 EXTERIOR ELEVATIONS.dwg



3 EXTERIOR RENDERING
NOT TO SCALE



2 EXTERIOR RENDERING
NOT TO SCALE



4 EXTERIOR RENDERING
NOT TO SCALE



1 EXTERIOR RENDERING
NOT TO SCALE

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