

The Goat Brewing Co. Preliminary Development Plan

Application #PL2020-180

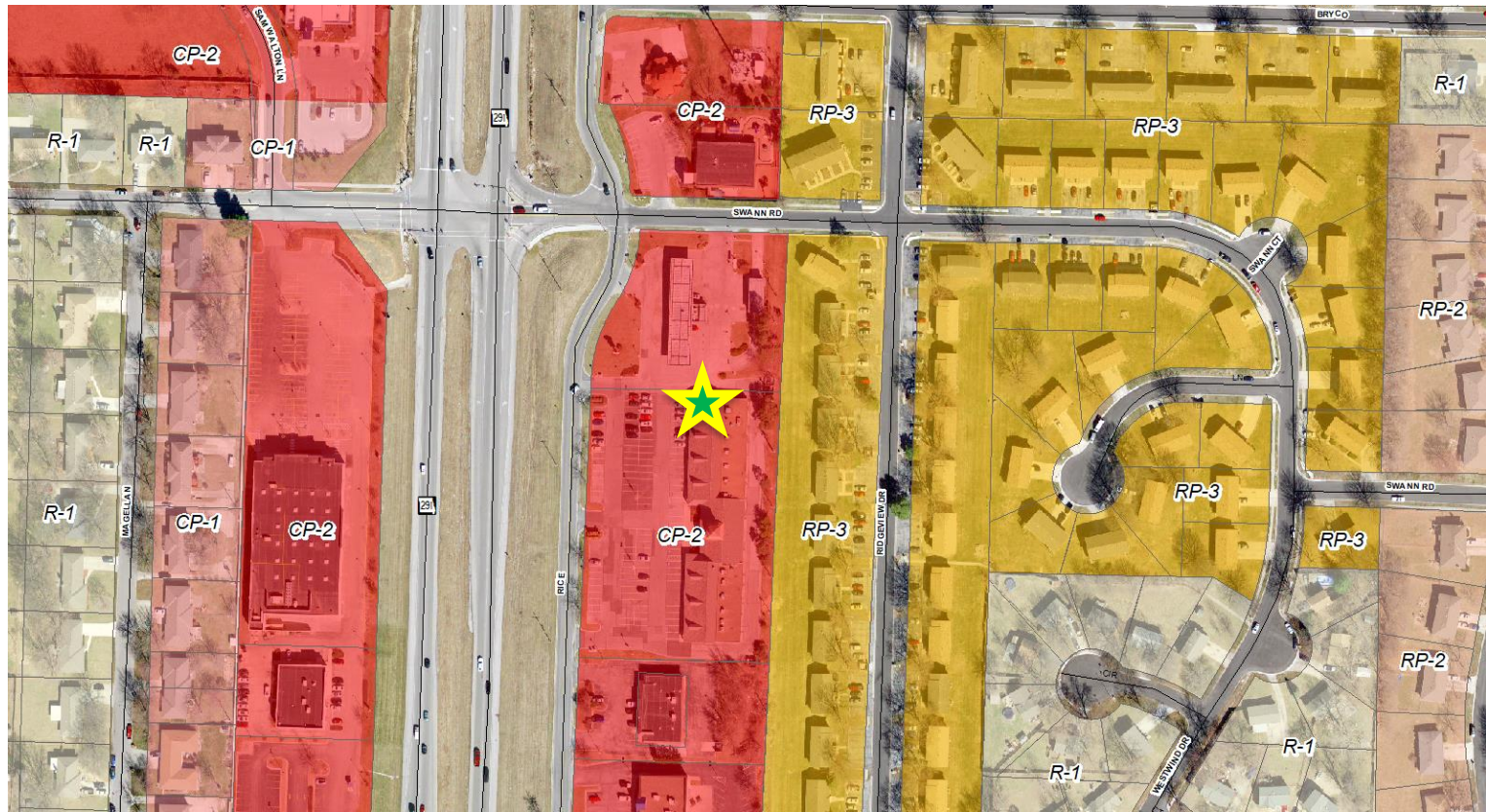
July 23, 2020



LEE'S SUMMIT
MISSOURI

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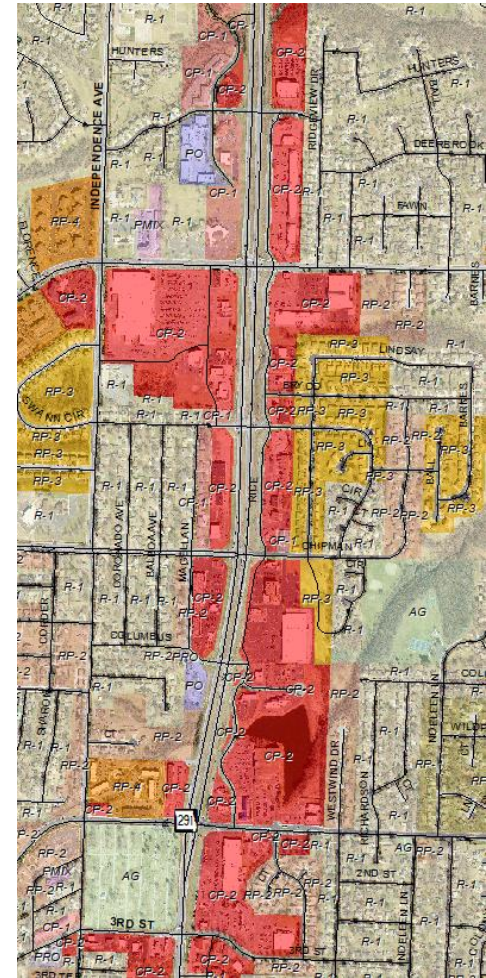
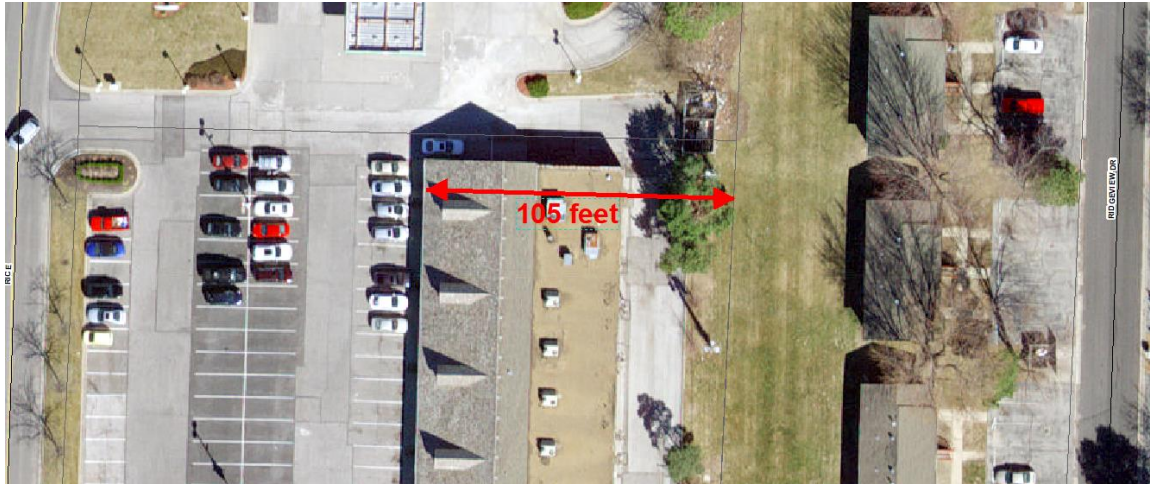


Aerial and Zoning Map

Bar/Tavern Use Conditions

- Required
 - Min. 300' distance from front door to school, church or residential
- Proposed
 - 105' distance from front door to residential, measured in a straight line

The applicant has the ability to request a modification to the use condition as part of a PDP application.



Area Development

- The use is allowed in the CP-2 zoning district and is consistent with the Retail land use recommended in the Comp Plan.
- The use is compatible with existing commercial development along the North M-291 Hwy corridor.

1. A modification shall be granted to the minimum 300' distance requirement between the front door of a bar/tavern and an adjacent residential zoning district or residential use, to allow a separation of approximately 105' between the front door and the adjacent residential zoning district to the east.