

O V A T I O N

Preliminary Development Plan LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BOUNDARY DESCRIPTION

THE NORTH 108.7 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, SUBJECT TO THAT PART IN M 150 HIGHWAY.

INDEX OF SHEETS:

- C.001 ~ COVER SHEET
- C.002 ~ EXISTING CONDITIONS
- C.100 ~ SITE PLAN
- C.102 ~ DIMENSION PLAN
- C.200 ~ GRADING PLAN
- C.201 ~ GRADING PLAN
- C.300 ~ UTILITY PLAN
- C.301 ~ UTILITY PLAN
- L.101 ~ LANDSCAPE PLAN
- L.102 ~ LANDSCAPE PLAN DETAILS

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS
ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

SURVEY AND PLAT NOTES:
THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0551G EFFECTIVE DATE: JANUARY 20, 2017.

UTILITY COMPANIES:

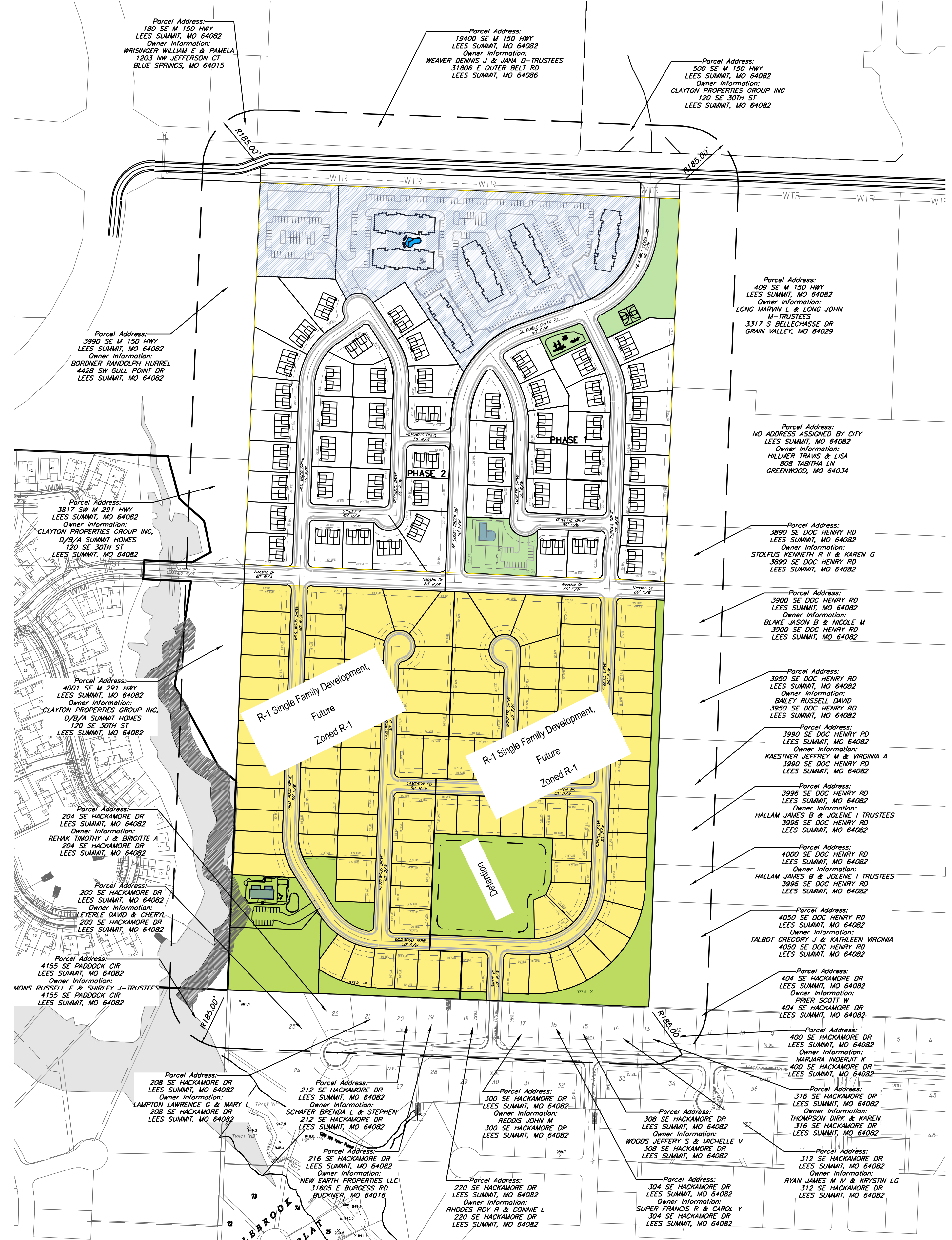
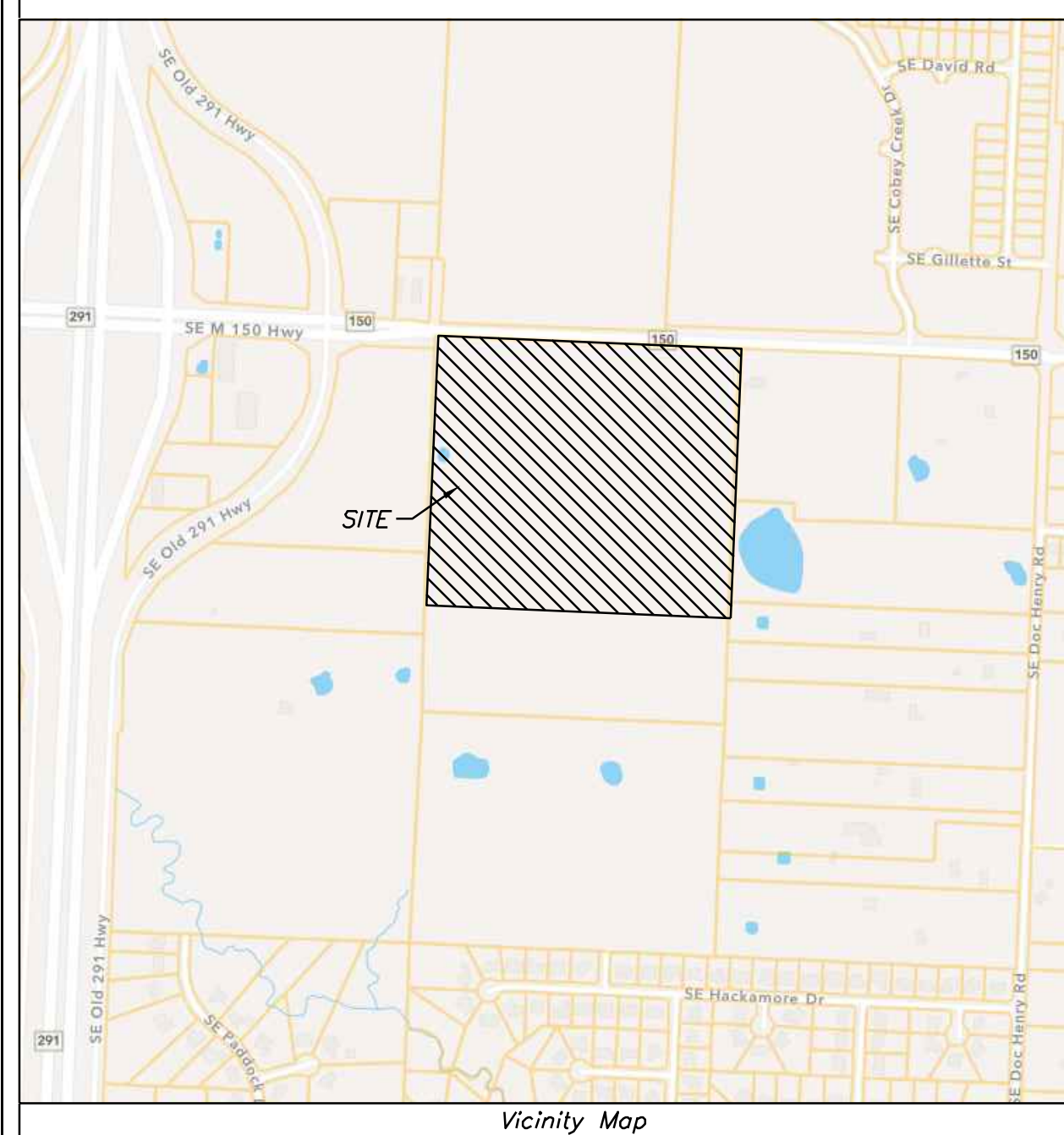
THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY - 298-1196
MISSOURI GAS ENERGY - 756-5261
SOUTHWESTERN BELL TELEPHONE - 761-5011
COMCAST CABLE - 795-1100
WILLIAMS PIPELINE - 422-6300
CITY OF LEE'S SUMMIT PUBLIC WORKS - 969-1800
CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS - 969-1800
CITY OF LEE'S SUMMIT WATER UTILITIES - 969-1900
MISSOURI ONE CALL (DIG RITE) - 1-800-344-7483

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT.
- ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING, IF BLASTING IS ALLOWED. ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

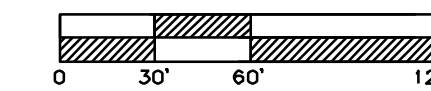
Current Zoning: RP-3, CP-2
Proposed Zoning: RP-4, PMIX



SITE LOCATION MAP
SCALE: 1"=200'



North



Preliminary Development Plan
SCALE: 1" = 60'

Site Data Table

Total Area	37.24 acres (1,622,174.40 s.f.)
PMIX Area	10.08 acres (439,145.02 sq)
RP-4 Area	27.16 acres (1,183,027.62 s.f.)
Building Area	22.74 acres (990,355.95 s.f.)
Common Area	2.13 acres (92,643.92 s.f.)
Proposed Site Unit Count	208 Total Units
RP-4	200 Total Units (Concept Only)
Proposed Site Density	9.15 Units / Acre (Net)
RP-4	7.66 Units / Acre (Gross)
PMIX Area	19.84 Units / Acre (Concept Only)
Proposed Site Impervious Area	
Building	249,270 sq. ft.
Street/Sidewalk	367,862 sq. ft.
Impervious Area	616,932 sq. ft. (15.67% of Site)
Apartment Buildings	66,126 sq. ft. x 3 floors = 198,378 total sq. ft. (Concept Only)
4-Plex Buildings	(3,522 sq ft x 2 floors) * 52 Buildings = 366,288 sq. ft.
Parking:	
RP-4 Area	
4-Plex Buildings Required	208 x 2 = 516 Spaces
Driveway	1 PER UNIT = 208
Garage	1 PER UNIT = 208
Provided	516 Spaces
PMIX Apartment Area (Concept Only)	
Required	200 Units 400 Spaces
Provided	400 Spaces

Site Improvement Notes

Sanitary Sewer Improvements
-The site will utilize the existing sanitary sewer on the southwest side of property

Water Main Improvements
-The existing 8" water main located on the south side of SE M 150 HWY and south side of property and the existing main to the south.

Storm Sewer
-Enclosed pipe systems and inlets will collected and convey the onsite storm water runoff and direct it toward the retention facility shown.

Storm Water Detention
-The site will utilize the existing regional detention facility

Common Area
-HDA will be responsible for all maintenance

LEGEND:

- Existing Underground Power: UGP (dashed line)
- Existing Conc. Curb & Gutter: X-X-X (solid line)
- Existing Wood Fence: (solid line)
- Existing Gas Main: GAS (dashed line)
- Existing Water Main: X-W/M (dashed line)
- Existing Storm Sewer: X-STM (dashed line)
- Existing Sanitary Sewer: X-SAN (dashed line)
- Existing Underground Telephone: UGT (dashed line)
- Existing Overhead Power: OHE (dashed line)
- Proposed Storm Sewer: STM (dashed line)
- Proposed Sanitary Sewer: SAN (dashed line)
- Proposed Underground Power: UGT (dashed line)
- Proposed Gas Service: gas (dashed line)
- Proposed 8" D.I.P. Water: W/M (dashed line)
- Proposed Electrical Service: UGP (dashed line)

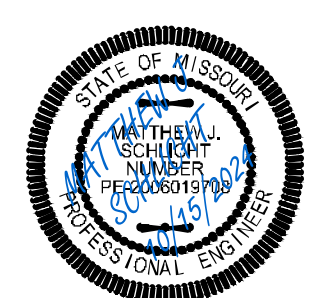


Professional Registration
Missouri
Engineering 200800185-D
Surveying 200908198-D
Kansas
Engineering 5-1696
Surveying LS-219
Oklahoma
Engineering R254
Nebraska
Engineering CA2821

Tracts A-F
South Lee's Summit Residential
Lee's Summit, Jackson County, Missouri

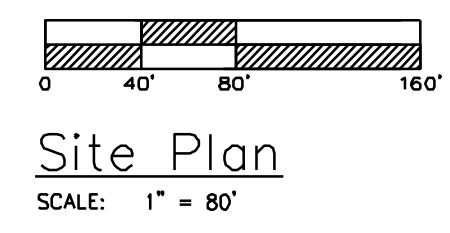
Project:
O V A T I O N, LSNMO
Issue Date:
October 15, 2024

PRELIMINARY DEVELOPMENT PLAN
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226

REVISIONS	



Site Plan
SCALE: 1" = 80'



Professional Registration
Missouri
Engineering 2006019708
Surveying 2005081818-D
Kansas
Engineering S-1686
Surveying LS-218
Oklahoma
Engineering 8254
Nebraska
Engineering CA2821

Tracts A-F
South Lee's Summit Residential
Lee's Summit, Jackson County, Missouri

Project:
OVATION, LSMO
Issue Date:
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SITE PLAN
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



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NO.	REVISIONS



Table Development Standards

4-plexes	Front Yard	20 ft Building
	Front Yard	25 ft Garage
	Rear Yard	20 ft
	Side Yard	10 ft
Apartment Buildings	Front Yard	30 ft
	Rear Yard	30 ft
	Side Yard	20 ft

PMIX development standards are established at the time of rezoning.



EXTERIOR ELEVATION TRASH ENCLOSURE - FRONT ELEVATION

- INSTALL
- 200' eastbound right-turn lane
 - 200' westbound left-turn lane
 - 200' northbound left-turn lane
- AND NEW TRAFFIC SIGNAGE PER TRAFFIC STUDY

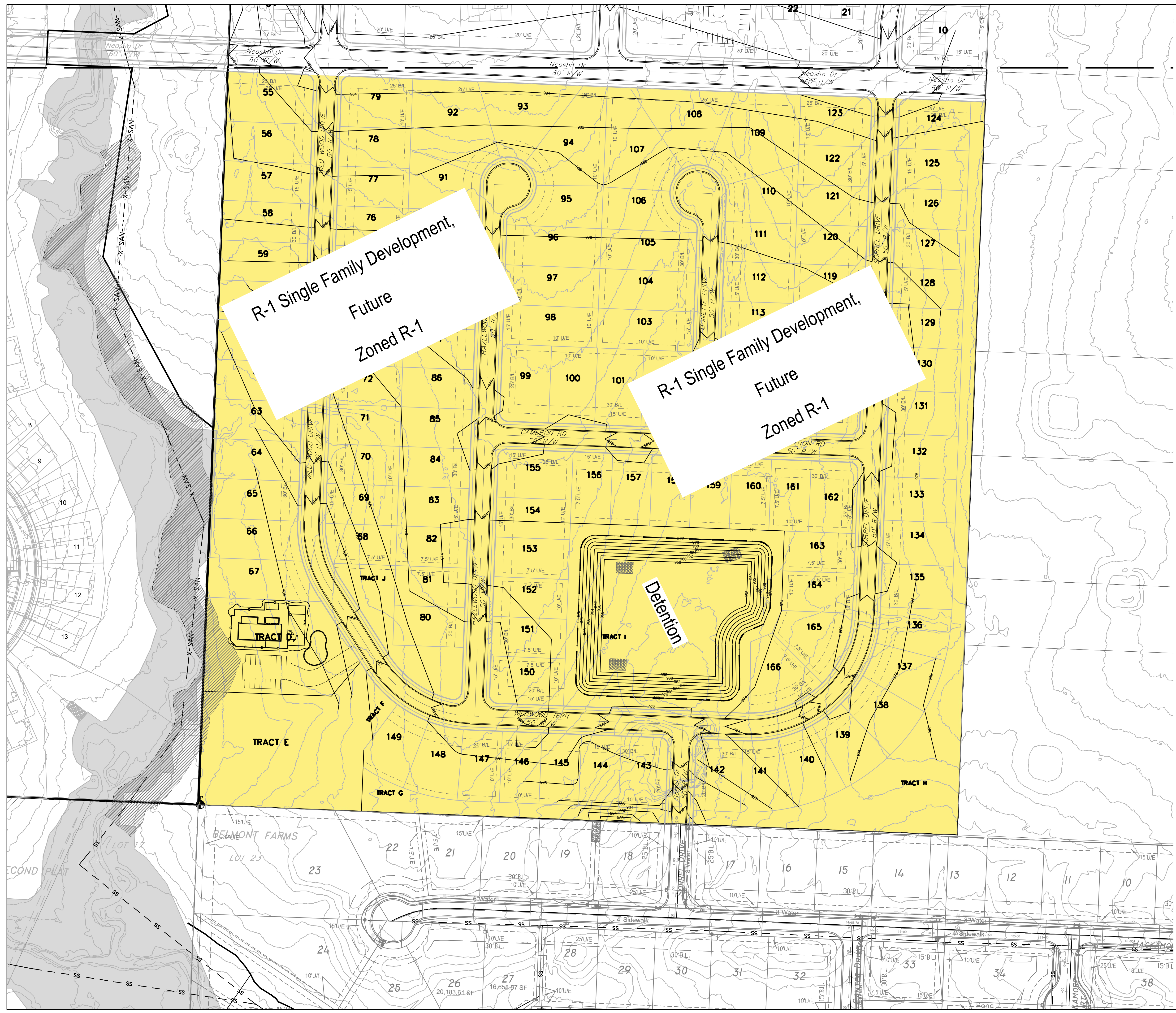
Hatched Area
Concept Only
Future Preliminary Development Plan Required
Rezoning to PMIX with this Project

Hatched Area
Concept Only
Future Preliminary Development Plan Required
Rezoning to PMIX with this Project

Match Line

R-1 Single Family
Zoned R-1
Future

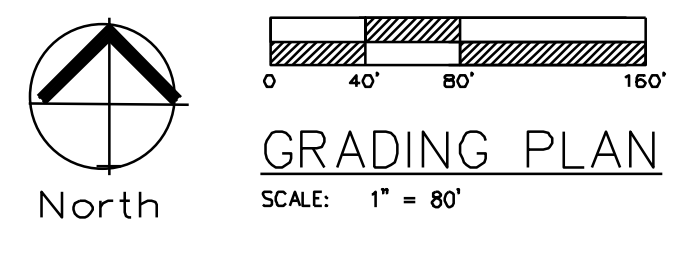
R-1 Single Family
Zoned R-1
Future



R-1 Single Family Development,
Future
Zoned R-1

R-1 Single Family Development,
Future
Zoned R-1

Detention



Notes

1. Contractor is responsible for verifying all existing utility locations prior to excavation
2. There are no known natural or artificial water storage detention areas, or wetlands in the area designated for construction
3. No part of the project lies within the 100 year flood plain
4. All erosion and sediment control measures need to be implemented prior to construction
5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or existing measures are found to be ineffective
6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
7. Contractor responsible for all density testing of roadway subgrade and granular base.

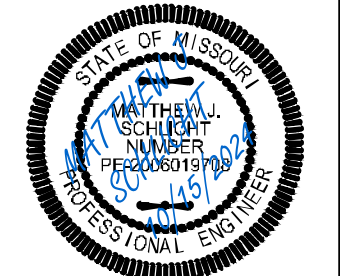


Professional Registration
Missouri
Engineering 200500185-D
Surveying 200200819-D
Kansas
Engineering 5-1696
Surveying LS-219
Oklahoma
Engineering 8254
Nebraska
Engineering CA2821

Project:
Tracts A-F
South Lee's Summit Residential
Lee's Summit, Jackson County, Missouri

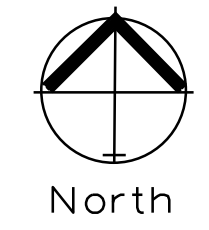
Project:
OVATION, LSMO
Issue Date:
October 15, 2024

Grading Plan
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



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OK PE 25226

NO.	REVISIONS



UTILITY PLAN
SCALE: 1" = 80'



Professional Registration
Missouri
Engineering 30500185-D
Surveying 202008189-D
Kansas
Engineering 5-1696
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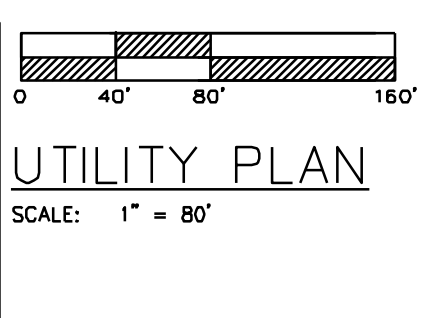
Tracts A-F
South Lee's Summit Residential
Lee's Summit, Jackson County, Missouri

UTILITY PLAN
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



REVISIONS

No.	Description



Professional Registration
 Missouri
 Engineering 205000185-D
 Surveying 202000818-D
 Kansas
 Engineering E-1686
 Surveying LS-219
 Oklahoma
 Engineering 8254
 Nebraska
 Engineering CA2821

Project:
 Tracts A-F
 South Lee's Summit Residential
 Lee's Summit, Jackson County, Missouri

Project:
 OVATION, LS/MO
 Issue Date:
 October 15, 2024

UTILITY PLAN
 Preliminary Plans for:
 Ovation
 Lee's Summit, Jackson County, Missouri

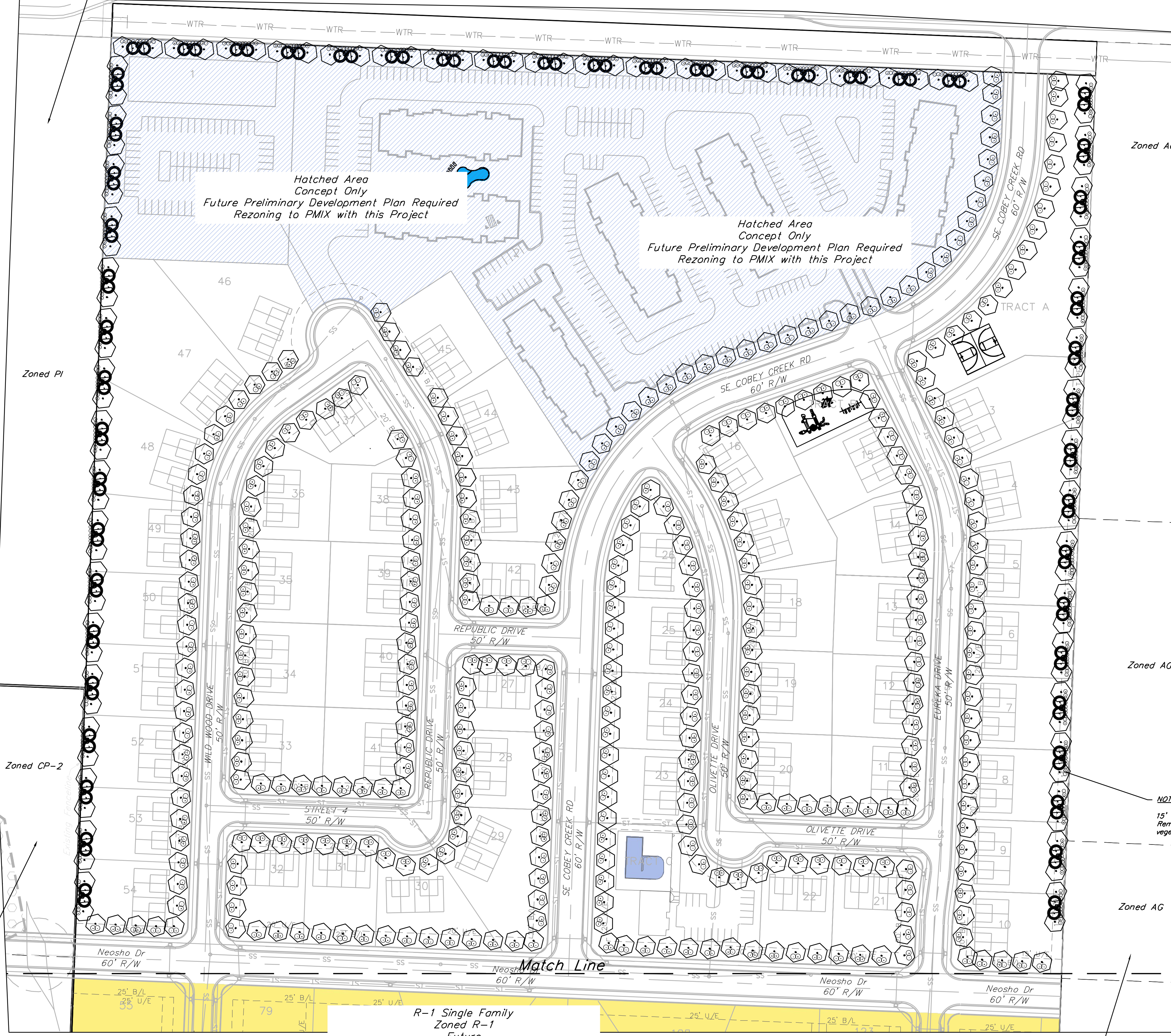
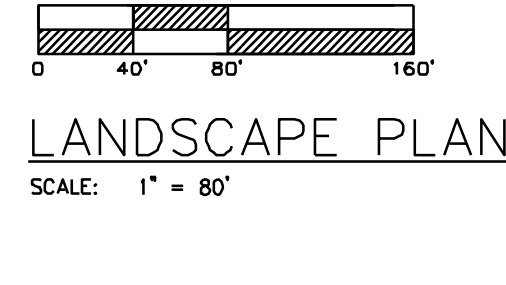


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 OK PE 25226

NO.	REVISIONS

NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use PI

High impact screening. A 100 percent opaque screen between land uses, which are dissimilar in character. When the proposed plan is considered to have a high impact on surrounding properties or the adjacent property is considered to have an adverse impact, both of the following shall be installed within the 20-foot buffer yard: (1) a six-foot high masonry wall or opaque vinyl fence, (2) and low impact screening shall be planted on both sides of the wall or the fence.



NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use CP-2

High impact screening. A 100 percent opaque screen between land uses, which are dissimilar in character. When the proposed plan is considered to have a high impact on surrounding properties or the adjacent property is considered to have an adverse impact, both of the following shall be installed within the 20-foot buffer yard: (1) a six-foot high masonry wall or opaque vinyl fence, (2) and low impact screening shall be planted on both sides of the wall or the fence.

NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use AG

C. Low impact screening. An open screen between relatively similar land uses. Open screening shall provide an attractive separation between land uses.

LANDSCAPE WORKSHEET

	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED LANDSCAPE
8.790.A.1 Street Frontage Trees (Cobey Creek Rd)	1 tree per 30 feet of street frontage	2830 ft. of street frontage /30= 95 trees required	95 Trees Provided
8.790.A.3 Street Frontage Shrubs (Cobey Creek Rd)	1 shrub per 20 feet of street frontage	2830 ft. of street frontage /20= 142 shrubs required	190 shrubs provided
8.790.A.1 Street Frontage Trees (Eureka Dr)	1 tree per 30 feet of street frontage	1615 ft. of street frontage /30= 54 trees required	54 Trees Provided
8.790.A.3 Street Frontage Shrubs (Eureka Dr)	1 shrub per 20 feet of street frontage	1615 ft. of street frontage /20= 80 shrubs required	108 shrubs provided
8.790.A.1 Street Frontage Trees (Olivette Dr)	1 tree per 30 feet of street frontage	1575 ft. of street frontage /30= 52 trees required	52 Trees Provided
8.790.A.3 Street Frontage Shrubs (Olivette Dr)	1 shrub per 20 feet of street frontage	515 ft. of street frontage /20= 78 shrubs required	104 shrubs provided
8.790.A.1 Street Frontage Trees (Republic Dr)	1 tree per 30 feet of street frontage	1555 ft. of street frontage /30= 52 trees required	52 Trees Provided
8.790.A.3 Street Frontage Shrubs (Republic Dr)	1 shrub per 20 feet of street frontage	1555 ft. of street frontage /20= 78 shrubs required	104 shrubs provided
8.790.A.1 Street Frontage Trees (Wild Wood Dr)	1 tree per 30 feet of street frontage	1410 ft. of street frontage /30= 47 trees required	47 Trees Provided
8.790.A.3 Street Frontage Shrubs (Wild Wood Dr)	1 shrub per 20 feet of street frontage	1410 ft. of street frontage /20= 70 shrubs required	94 shrubs provided
8.790.A.1 Street Frontage Trees (STREET 4)	1 tree per 30 feet of street frontage	515 ft. of street frontage /30= 17 trees required	17 Trees Provided
8.790.A.3 Street Frontage Shrubs (STREET 4)	1 shrub per 20 feet of street frontage	515 ft. of street frontage /20= 26 shrubs required	34 shrubs provided
8.790.A.1 Street Frontage Trees (STREET 9)	1 tree per 30 feet of street frontage	1160 ft. of street frontage /30= 39 trees required	39 Trees Provided
8.790.A.3 Street Frontage Shrubs (STREET 9)	1 shrub per 20 feet of street frontage	1160 ft. of street frontage /20= 58 shrubs required	78 shrubs provided
8.790.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding building.	1,620,943 sq. ft. of total lot area minus 245,748 sq. ft. of 1,375,195 sq. ft. /5,000 = 275 trees	275 Provided
8.810. Parking Lot Landscape	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	178,947 sq. ft. of parking area x .05 = 8,947 sq. ft. of landscape parking lot islands required	9,000 sq. ft.
• STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS. • Single-family and two-family (duplex) developments are exempt from landscaping requirements.			

NOTE:
 15' Tree Preservation Easement
 Removal of existing debris and dead vegetation only, no mass clearing

PLANTING SCHEDULE:
 IS FOR PHASE 1 ONLY. AT FULL BUILD THE UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.

SYMBOL	QUANT.	KEY	NAME	SIZE
Large Tree	730	TA	LARGE VARIETY DECIDUOUS TREE	2.5" CAL
			LARGE VARIETY CONIFEROUS TREE	6' HL
evergreen	127	SR	SKINNY VARIETY CONIFEROUS TREE	6' HL
			JUNIPER VARIETY CONIFEROUS TREE	6' HL
Ornamental Tree	309	RB	FLOWERING VARIETY DECIDUOUS TREE	2.5" CAL
			ORNAMENTAL CONIFEROUS TREE	6' HL
shrub	2142	BB	DECIDUOUS SHRUB CONIFEROUS SHRUB	2 Gallon Pot 2 Gallon Pot

NOTE:
 Landscape Planting Material Notes
 -No single species of tree can account for more than 35% of any tree variety
 -Deciduous tree varieties shall be a minimum of 40% of the total tree plantings
 -No single planting type shall be planted in a continuous row without 2 different planting types being utilized



Professional Registration
 Missouri
 Engineering 200500185-D
 Surveying 200500185-D
 Kansas
 Engineering E-1696
 Surveying LS-219
 Oklahoma
 Engineering B254
 Nebraska
 Engineering CA2821

Tracts A-F
 South Lee's Summit Residential
 Lee's Summit, Jackson County, Missouri

Project:
 Ovation, LSMO
 Issue Date:
 October 15, 2024

WEST LANDSCAPE PLAN
 Preliminary Plans for:
 Ovation
 Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
 MO PE 2006019708
 KS PE 19071
 OK PE 25226

REVISIONS

NO.	DESCRIPTION