

**PL2024-326**

# **DUPLEX PRELIMINARY DEVELOPMENT PLAN**

April 10, 2025, City Council

# Applicant's Request

The applicant is seeking approval of a preliminary development plan (PDP) to develop the western portion of the site with one duplex building.





# Area/Zoning Map

724 SE 10<sup>th</sup> St (zoned RP-3)

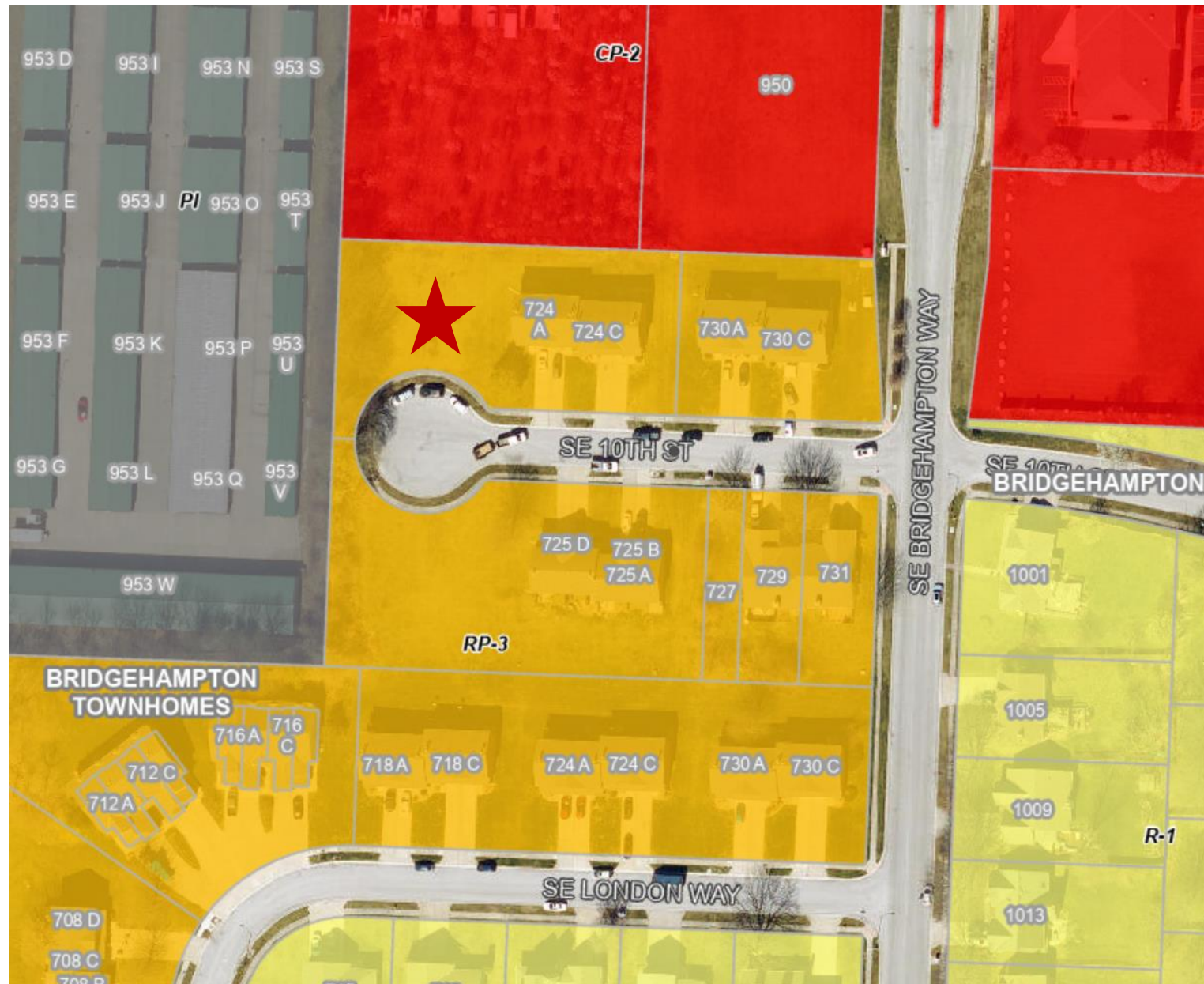
## Adjacent Zoning:

North – Telle Tire & Auto Center / CP-2  
(Planned Community Commercial)

South – Quadplex residential / RP-3

East – Quadplex residential / RP-3

West – StorageMart / PI (Planned  
Industrial)



# Ignite! Land Use Map

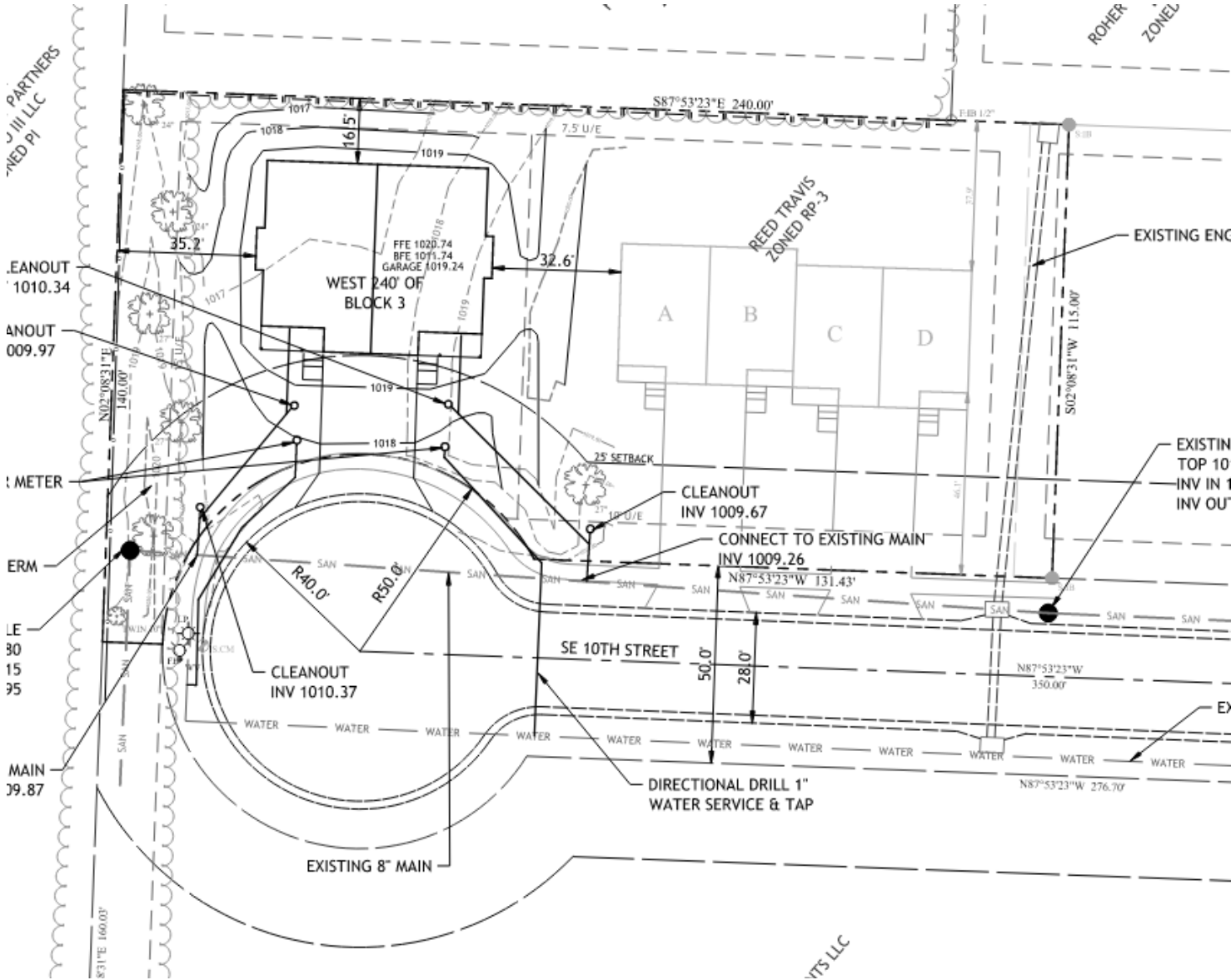
- Activity Center Downtown
- Activity Center New Longview
- Activity Center North PRI
- Activity Center South PRI
- Activity Center Summit
- Airport
- Civic
- Commercial
- Industrial
- Infrastructure
- Mixed Use
- Office
- Parks/Open Space
- Residential 1
- Residential 2
- Residential 3
- Water Bodies



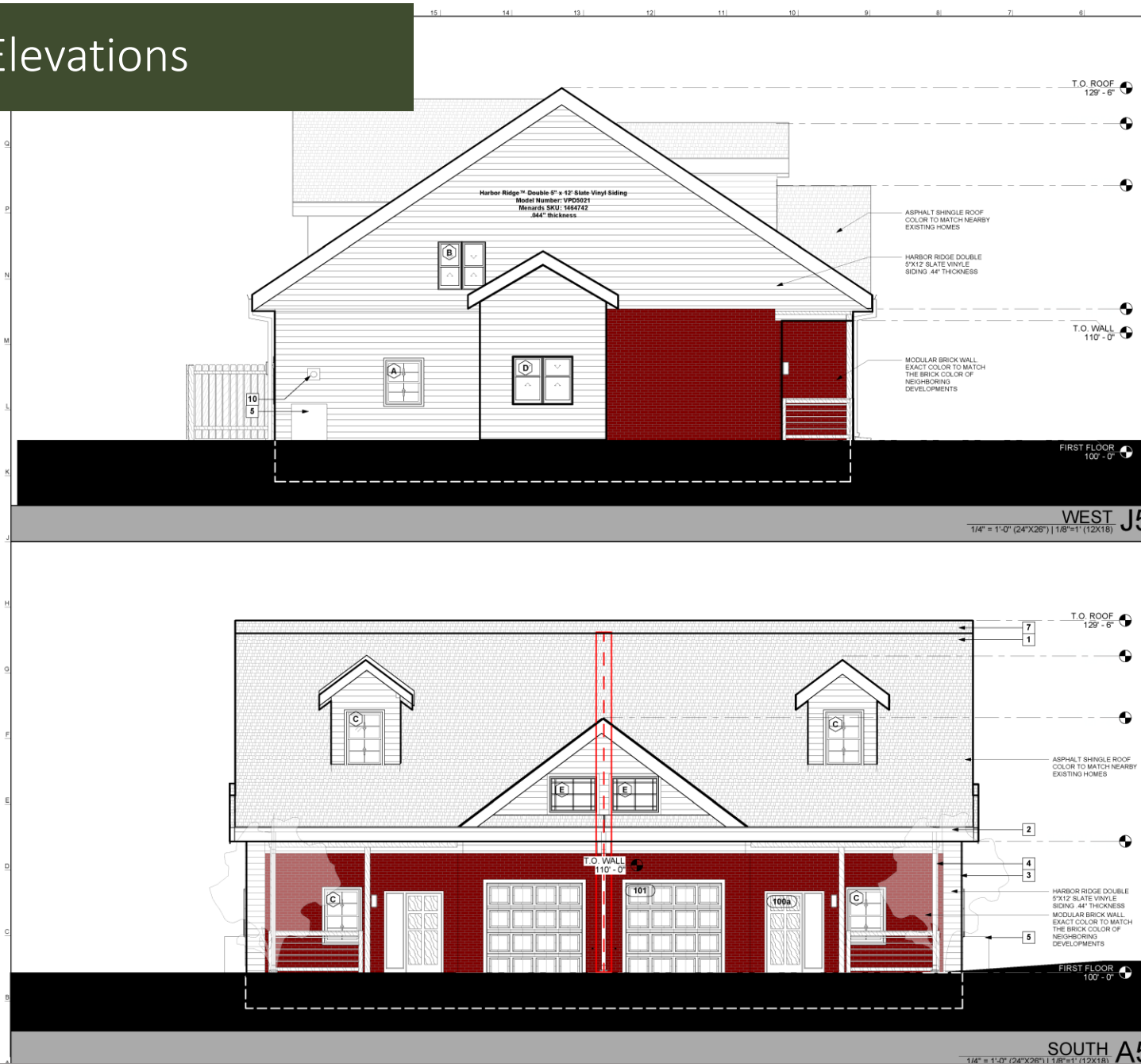


# Project Information

Specification	Proposed
Zoning	RP-3
Property Size	0.61-acres
Building Size	2,682sf
Impervious Coverage	31.5%
Parking	4 spaces total; two enclosed



# Elevations



4

3

2

1. ALL INTERIOR DIMENSIONS TAKEN FROM FACE OF STRUCTURE TO FACE OF STRUCTURE I.D.M.O.

2. PROVIDE 2x6 FRTM BLOCKING IN WALL AND CEILING FRAMING FOR ATTACHMENT OF ALL TOILET ACCESSORIES, CABINETS, AND COUNTERTOP SUPPORTS, ELECTRICAL, TILING, SINK, AND ALL OTHER EQUIPMENT. MOUNTED FIRE EXTINGUISHERS, SHELVEING AND ALL OTHER EQUIPMENT REQUIRING SECURE ATTACHMENT TO THE WALL. IN ADDITION, PROVIDE BLOCKING FOR ALL OWNER FURNISHED ITEMS.

3. VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.

4. SEAL ALL PENETRATIONS THROUGH FIRE-RATED SEPARATION WALLS AND FLOORS WITH FIRE-RATED SEALANT.

5. CONTRACTOR MUST EXAMINE THE CONDITIONS UNDER WHICH THE WORK WAS INSTALLED AND REPORT TO THE ARCHITECT IN WRITING ANY CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY EXECUTION OF THAT WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED, COMMENCING WITH WORK SHALL CONSTITUTE ACCEPTANCE OF THE SUBSTRATE AND/OR CONDITIONS.

6. PATCH LEVEL, AND REPAIRS ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION.

7. EXTENDED TO PROVIDE FIRE-PROOF BARRIERS, AS APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM AREAS WITH NO WORK. TEMPORARY PARTITION/BARRIERS TO BE CONSTRUCTED TO CELINDRUSTURE AND/ OR TO MAINTAIN EXISTING SECURITY, MECHANICAL, FIRE-AND LIFE SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.

8. EXTEND ALL DRESSING WALLS TO STRUCTURE ABOVE.

GENERAL SHEET NOTES N1

NTS

ROOM

#	NAME	AREA	FLOOR	BASE WALL	CEILING	NOTES
100	LIVING ROOM	207 SF	LVT PLANK	W1	P1	SM GYPI PAINT
101	GARAGE	250 SF	SEALED CONCRETE	NONE	P1	SM GYPI PAINT
102	DINING	144 SF	LVT PLANK	W1	TILE/P1	SM GYPI PAINT
103	KITCHEN	157 SF	LVT PLANK	W1	TILE/P1	SM GYPI PAINT
104	MUDROOM	70 SF	LVT PLANK	W1	P1	SM GYPI PAINT
105	BEDROOM 1	177 SF	LVT PLANK	W1	P1	SM GYPI PAINT
106	CLOSET	38 SF	LVT PLANK	W1	P1	SM GYPI PAINT
107	SINK	14 SF	LVT PLANK	W1	TILE/P1	SM GYPI PAINT
108	BATH 1	32 SF	TILE	T	T/P1	SM GYPI PAINT
109	UTILITY	14 SF	SEALED CONCRETE	NONE	P1	SM GYPI PAINT
110	COAT	22 SF	LVT PLANK	W1	P1	SM GYPI PAINT
		1146 SF	W1= 4" WOOD PANT OR STAIR REFER TO A210 P1= PRIMED AND 2 COATS OF PAINT			

DOOR

#	ROOM NAME	WIDTH	HEIGHT	THICKNESS	STYLE	HARDWARE
100a	LIVING ROOM	3'-0"	6'-8"	0'-1 3/4"	1	
100b	LIVING ROOM	3'-0"	6'-8"	0'-1 3/4"	2	
101	GARAGE	3'-0"	6'-8"	0'-1 3/4"	1	
104a	MUDROOM	3'-0"	6'-8"	0'-1 3/4"	2	
104b	MUDROOM	3'-0"	6'-8"	0'-1 3/4"	1	
105a	BEDROOM 1	3'-0"	6'-8"	0'-1 3/4"	3	
105b	BEDROOM 1	3'-0"	6'-8"	0'-1 3/4"	2	
107	SINK	3'-0"	6'-8"	0'-1 3/4"	2	
107a	SINK	3'-0"	6'-8"	0'-1 3/4"	2	
108a	BATH 1	3'-0"	6'-8"	0'-1 3/4"	2	
108b	BATH 1	3'-0"	6'-8"	0'-1 3/4"	2	
109a	GARAGE	3'-0"	6'-8"	0'-1 3/4"	2	
110a	COAT	3'-0"	6'-8"	0'-1 3/4"	2	

WINDOW

TYPE	HEIGHT	WIDTH	COUNT	STYLE	NOTES
A	3'-6"	3'-0"	4	DOUBLE HUNG	
B	4'-0"	4'-0"	2	DOUBLE HUNG	
C	4'-6"	3'-0"	2	DOUBLE HUNG	
D	4'-0"	3'-0"	2	DOUBLE HUNG	DOUBLE HUNG

WINDOWN AND DOOR NOTES

DIMENSIONS REPRESENT DESIGN INTENT. GC TO COORDINATE ROOF OPENINGS WITH FINAL ARCHITECTURAL DRAWINGS, SPECIFICS, FINISHES AND TINTING PER CLIENT. WINDOWS SHALL MEET THE ECCC 2014. REFER TO ECA1

SCHEDULES ARE FOR ONE EQUAL SIZE OF DUPLEX

SCHEDULE E1

NTS

1

ASPHALT SHINGLE ROOF, STYLE AND COLOR BY OWNER

2

PREFINISHED 6" METAL GUTTERS WITH REMOVABLE LEAF GUARDS, COLOR AND STYLE BY OWNER

3

2X6 WOOD STUD EXTERIOR WALL, CLOSED CELL FOAM CAVITY INSULATION, 5/8" GYPSUM BOARD ON INSIDE, EXTERIOR SHEATHING WITH AIR WEATHER BARRIER, CONTINUOUS INSULATION, AND EXTERIOR SIDING

4

4" X 8" PREFINISHED DOWNSPOUTS TIED TO EXISTING UNDERGROUND DRAINAGE SYSTEM, COLOR AND STYLE BY OWNER

5

HVAC CONDENSER - FOR REFERENCE ONLY, EXACT SIZE AND LOCATION PER CLIENT AND CONTRACTOR

6

PLUMBING VENTS

7

RIDGE VENT

9

NEW EGRESS WINDOW, WELL, LADDER AND TRANSLUCENT CAP, MUST COMPLY WITH SECTION R310 OF THE 2018 IRC. SEE DETAIL J15/A103.

10

ELECTRICAL METER, COORDINATE FINAL LOCATION WITH UTILITY

11

CONDENSER ELECTRICAL SHUT OFF BOX - FOR REFERENCE ONLY, EXACT SIZE AND LOCATION PER CLIENT AND CONTRACTOR

12

LANDSCAPING AS REQUIRED AROUND NEW CONSTRUCTION. COORDINATE WITH OWNER FOR NEW PLANTINGS IF REQUIRED.

13

LED EXTERIOR SCENE STYLE TO BE CHOSEN BY CLIENT.

5

SHEET NOTES A1

NTS

**JCA**  
JOWLER CREEK  
ARCHITECTURE  
15105 JOWLER CREEK ROAD  
GARDEN POINT, MO 64018  
816.976.6794

JAKE COOMBS DESIGN  
11528 PERRY ST  
APT. 602  
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KANSAS 66210  
JACOB@COOMBSDESIGN.COM

STRUCTURAL ENGINEER  
S1 STRUCTURAL  
7700 8MP #104  
OVERLAND PARK, KS 66202  
PH 913.735.7006

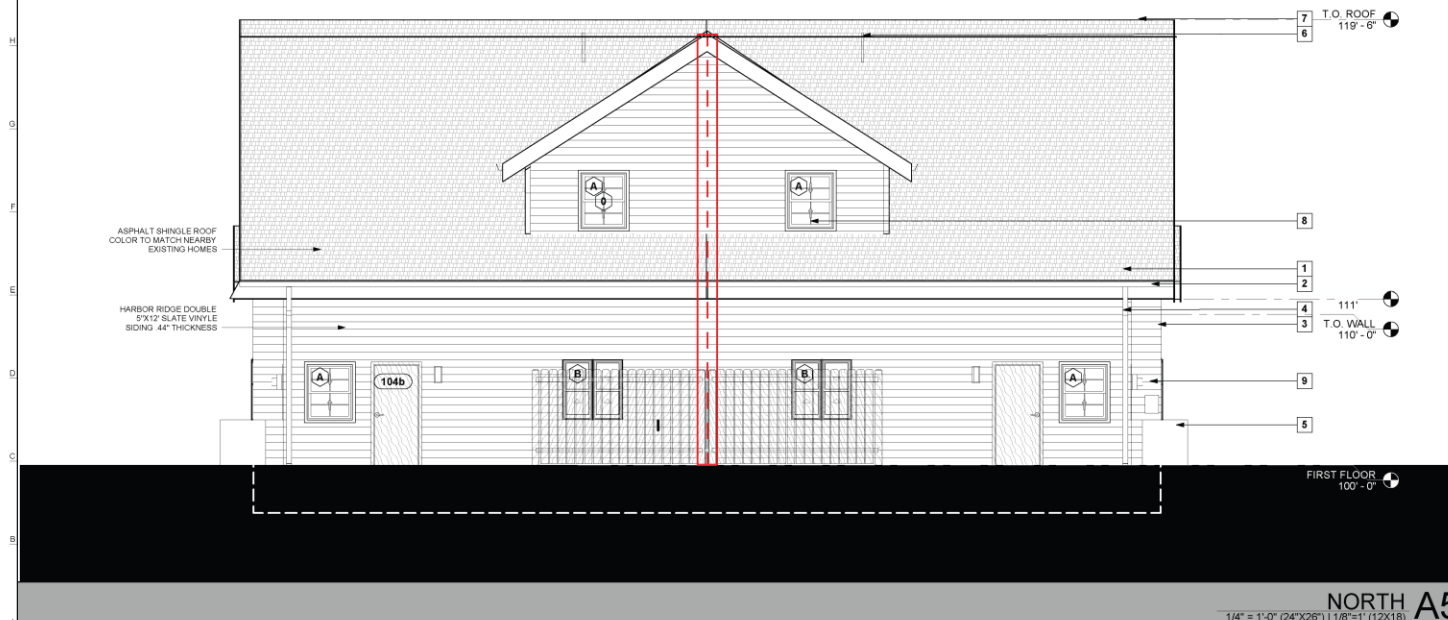
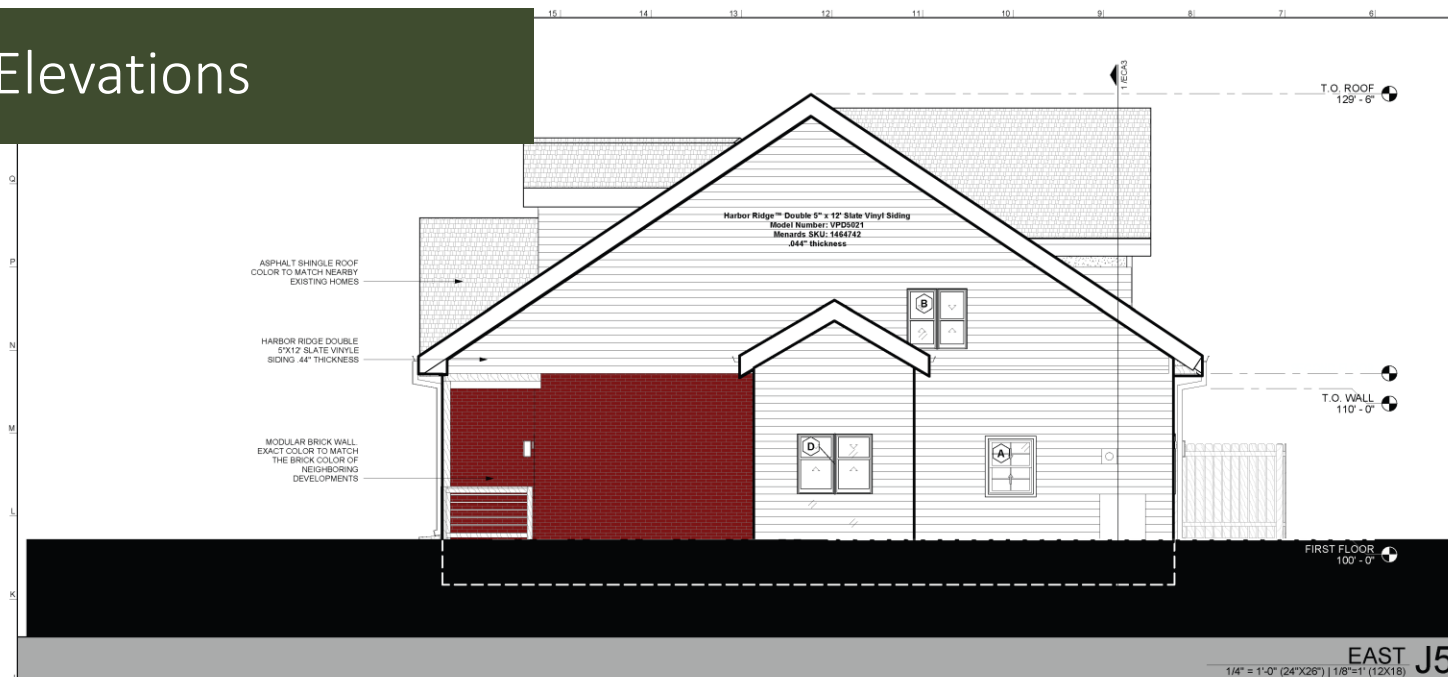
NOT FOR  
CONSTRUCTION

**SUMMIT POINTE**  
724 SE 10TH ST, Unit A, LEES SUMMIT,  
MO 64081

NO.	ISSUE/REVISION	DATE
1	PLAN REVIEW	

**ELEVATIONS**  
**A200**

# Elevations



1. ALL INTERIOR DIMENSIONS TAKEN FROM FACE OF STRUCTURE TO FACE OF STRUCTURE U.N.O.
2. PROVIDE 2X FRTW BLOCKING IN WALL AND CEILING FRAMING FOR ATTACHMENT OF ALL TOILET ACCESSORIES, CABINETS, AND COUNTERTOP SUPPORTS, TELEPHONE, SECURITY PANELS, AND WALL MOUNTED FIRE EXTINGUISHERS, SHELVING AND ALL OTHER EQUIPMENT REQUIRING SECURE ATTACHMENT TO THE WALL. IN ADDITION, PROVIDE BLOCKING FOR ALL OWNER FURNISHED ITEMS.
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6. PATCH, LEVEL, AND PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION.
7. CONTRACTOR TO PROVIDE DUST PROOF BARRIERS, AS APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM AREAS WITH NO WORK. TEMPORARY PARTITIONS/BARRIERS TO BE CONSTRUCTED TO CEILING/STRUCTURE ABOVE TO MAINTAIN EXISTING SECURITY, MECHANICAL, FIRE- AND LIFE-SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
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KITCHEN	103		151 SF	LVT PLANK	W1	TI/EP1	SM. GYPI PAINT	
MUDROOM	104		79 SF	LVT PLANK	W1	P1	SM. GYPI PAINT	
BEDROOM 1	105		177 SF	LVT PLANK	W1	P1	SM. GYPI PAINT	
CLOSET	106		38 SF	LVT PLANK	W1	P1	SM. GYPI PAINT	
BATH 1	107		34 SF	LVT PLANK	W1	TI/EP1	SM. GYPI PAINT	
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UTILITY	109		14 SF	SEALED CONCRETE	NONE	P1	SM. GYPI PAINT	
COAT	110		22 SF	LVT PLANK	W1	P1	SM. GYPI PAINT	
			1148 SF					

REFER TO A210 P1+ PRIMED AND 2 COATS OF PAINT

W1+ 4" WOOD PAINT OR STAIN

DOOR

#	ROOM NAME	WIDTH	HEIGHT	THICKNESS	STYLE	HARDWARE
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WINDOW AND DOOR NOTES:  
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\*SCHEDULES ARE FOR ONE EQUAL SIDE OF DUPLEX

## SCHEDULE E1

1. ASPHALT SHINGLE ROOF. STYLE AND COLOR BY OWNER
2. PREFINISHED 6" METAL GUTTERS WITH REMOVABLE LEAF GUARDS, COLOR AND STYLE BY OWNER.
3. 2X6 WOOD STUD EXTERIOR WALL. CLOSED CELL FOAM CAVITY INSULATION, 5/8" GYPSUM BOARD ON INSIDE, EXTERIOR SHEATHING WITH AIR WEATHER BARRIER, CONTINUOUS INSULATION, AND EXTERIOR SIDING
4. 4" X 8" PREFINISHED DOWNSPOUTS TIED TO EXISTING UNDERGROUND DRAINAGE SYSTEM. COLOR AND STYLE BY OWNER.
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13. LED EXTERIOR SCONCE STYLE TO BE CHOSEN BY CLIENT.

## SHEET NOTES A1

**JCA**  
JOWLER CREEK  
ARCHITECTURE  
5115 JOWLER CREEK ROAD  
SANDEN POINT, MD 64018  
846.576.6794

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STRUCTURAL ENGINEER  
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81 STRUCTURAL  
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OVERLAND PARK, KS 66202  
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NOT FOR  
CONSTRUCTION

**SUMMIT POINTE**  
724 SE 10TH ST, Unit A, LEES SUMMIT,  
MO 64081

NO.	ISSUE/REVISION	DATE
1	PLAN REVIEW	

## ELEVATIONS

A201



## Proposed duplex elevations



## Adjacent quadplex built in 1990







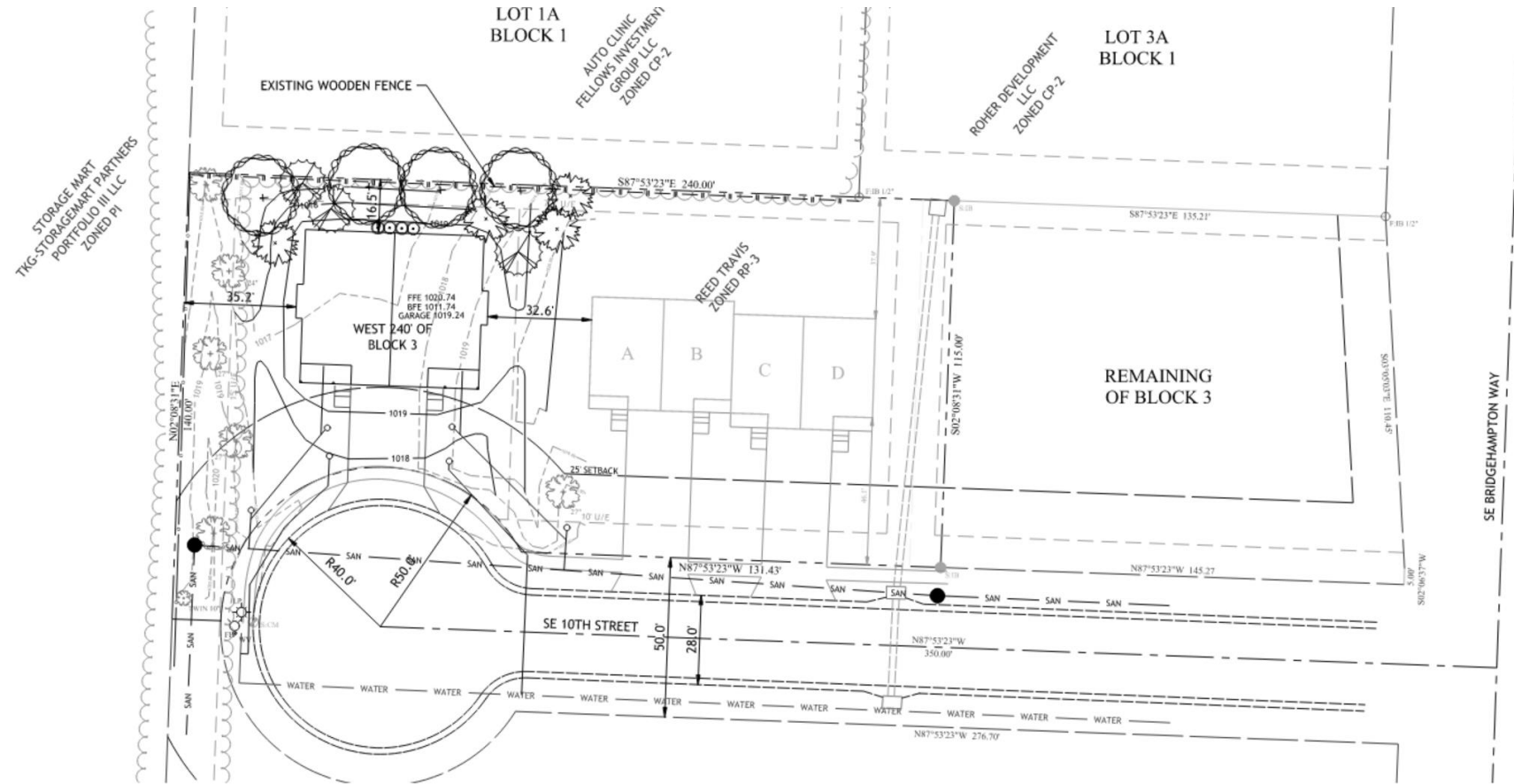




# Application Information

Neighborhood meeting held on February 3, 2025.

Two (2) members of the public attended the meeting. Staff has not received any written comments in favor or in opposition of the project.

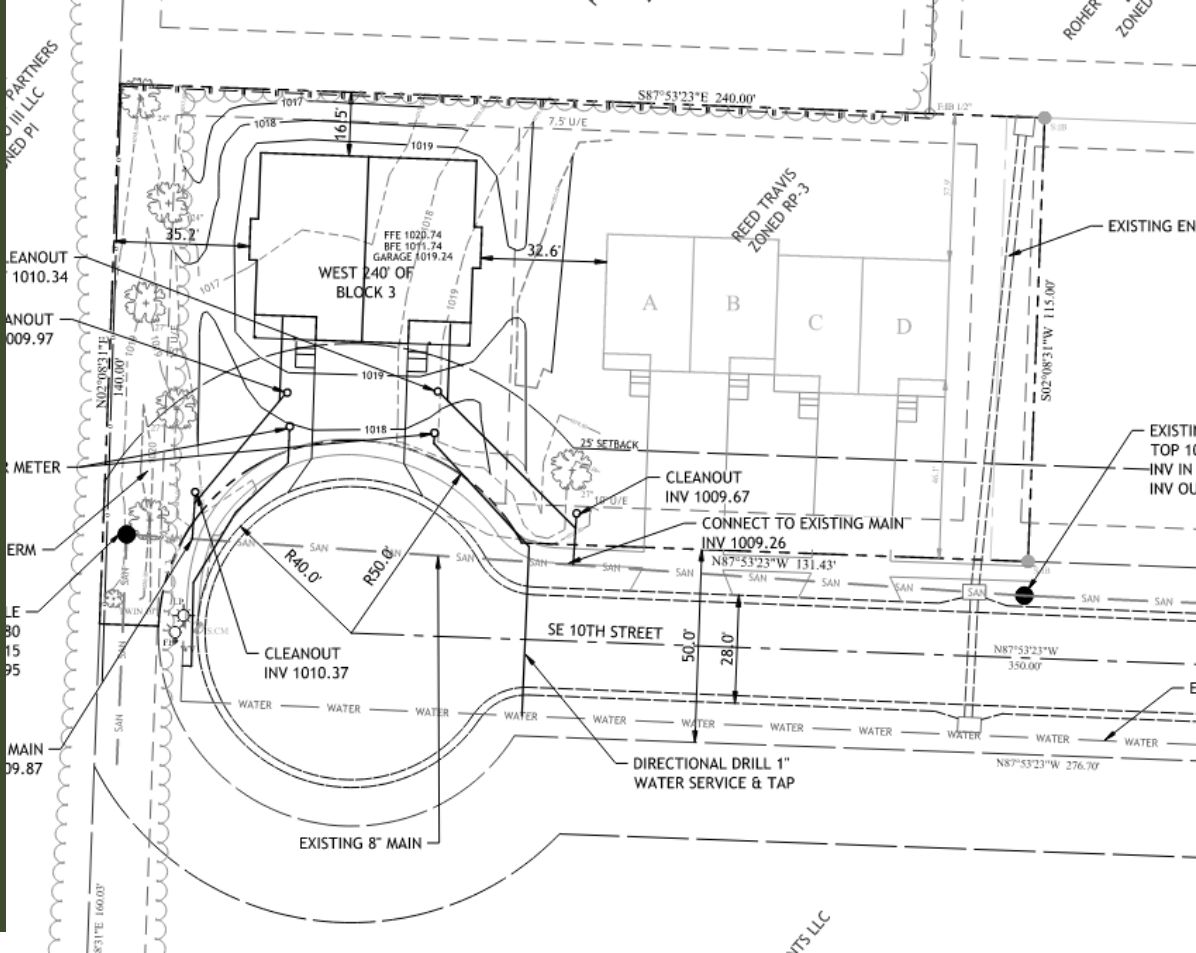


# Approval Conditions

## Site Specific

1. Development shall be in accordance with the preliminary development plan, including landscape plan, dated February 21, 2025, and building elevations uploaded March 4, 2025.
2. A modification to the required 20' rear primary structure setback shall be granted, to allow for a 15' rear primary structure setback along the northern property line.
3. A modification to the required density maximum of 6.97 units shall be granted, to allow for a density of 9.83 units.





**PL2024-326**

# **DUPLEX PRELIMINARY DEVELOPMENT PLAN**

March 13, 2025 Planning Commission