

O VATION

Preliminary Development Plan LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BOUNDARY DESCRIPTION

THE NORTH 1308.7 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, SUBJECT TO THAT PART IN M 150 HIGHWAY.

INDEX OF SHEETS:

- C.001 ~ COVER SHEET
- C.002 ~ EXISTING CONDITIONS
- C.100 ~ SITE PLAN
- C.102 ~ DIMENSION PLAN
- C.200 ~ GRADING PLAN
- C.201 ~ GRADING PLAN
- C.300 ~ UTILITY PLAN
- C.301 ~ UTILITY PLAN
- L.101 ~ LANDSCAPE PLAN
- L.102 ~ LANDSCAPE PLAN DETAILS

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS

ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

SURVEY AND PLAT NOTES:

THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X), AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. MAP, COMMUNITY PANEL NO. 29095C0551G EFFECTIVE DATE: JANUARY 20, 2017.

UTILITY COMPANIES:

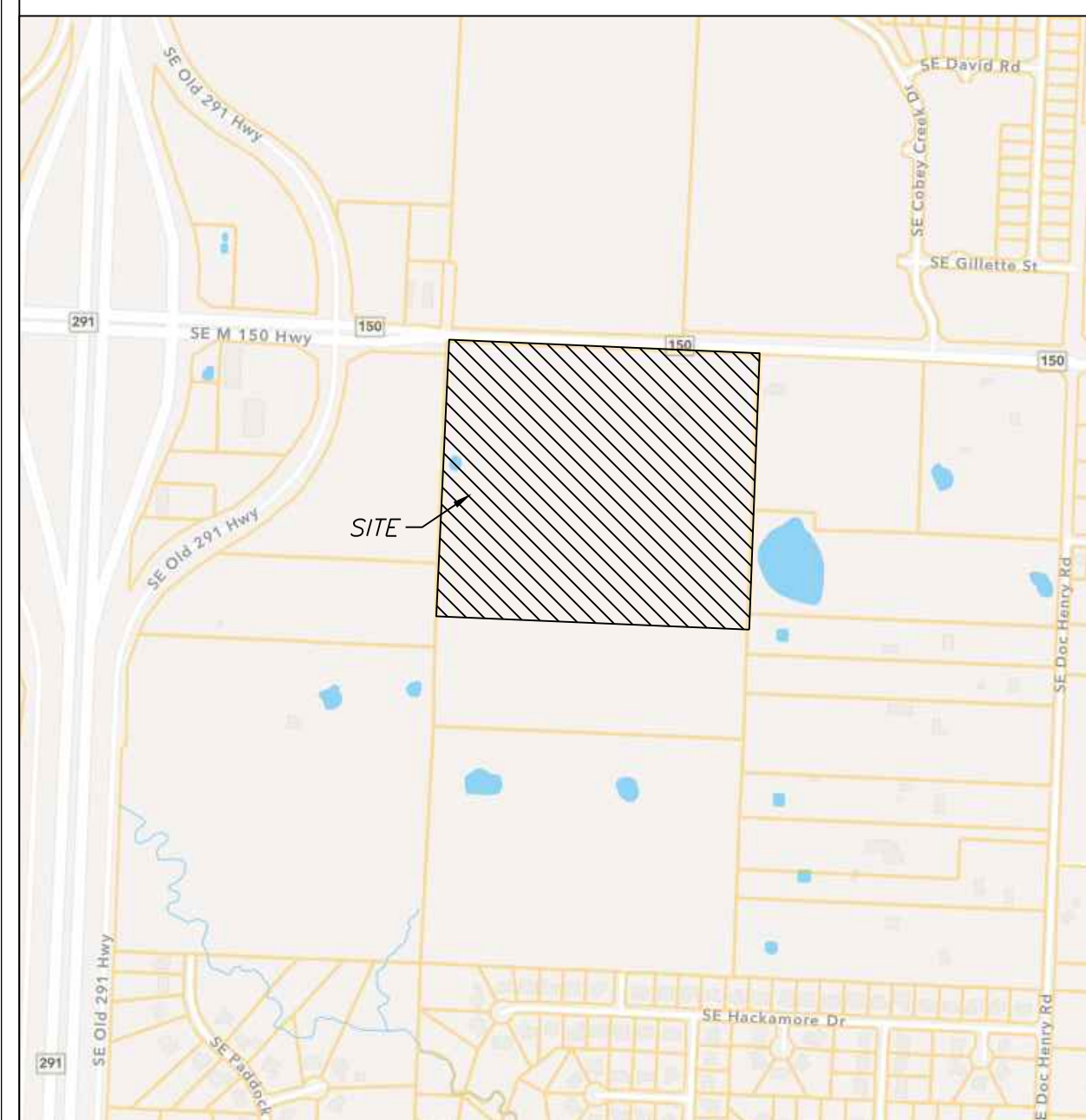
THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

- EVERGY - 298-1196
- MISSOURI GAS ENERGY - 756-5261
- SOUTHWESTERN BELL TELEPHONE - 761-5011
- COMCAST CABLE - 795-1100
- WILLIAMS PIPELINE - 422-6300
- CITY OF LEE'S SUMMIT PUBLIC WORKS - 969-1800
- CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS - 969-1800
- CITY OF LEE'S SUMMIT WATER UTILITIES - 969-1900
- MISSOURI ONE CALL (DIG RITE) - 1-800-344-7483

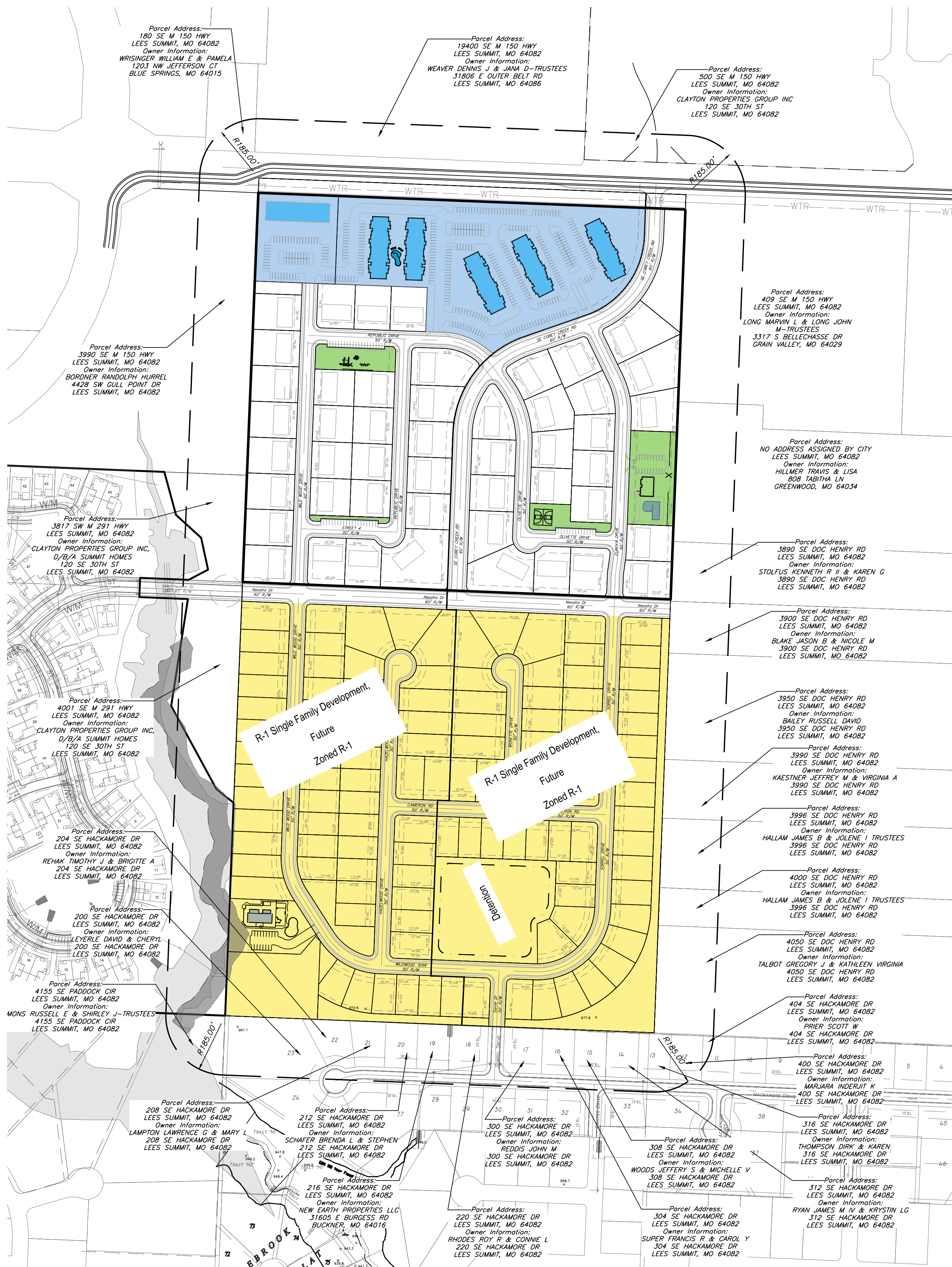
GENERAL NOTES:

- 1 - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 - ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT.
- 3 - ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 - THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5 - THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

Current Zoning: RP-3, CP-2
Proposed Zoning: RP-4, PMIX

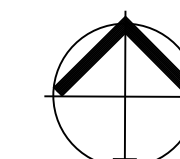


Vicinity Map

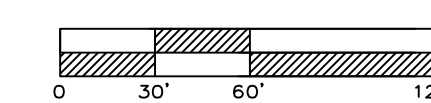


SITE LOCATION MAP

SCALE: 1"=200'



North



Preliminary Development Plan

SCALE: 1" = 60'

Site Data Table

Total Area	37.24 acres (1,622,174.40 s.f.)
PMIX Area	9.18 acres (399,765.79 sq.)
RP-4 Area	28.06 acres (1,222,408.61 s.f.)
Building Area	25.51 acres (1,111,341.12 s.f.)
Common Area	2.55 acres (111,067.49 s.f.)

Proposed Site Unit Count	192 Total Units
PMIX Area	200 Total Units (Concept Only)

Proposed Site Density	7.53 Units / Acre (Net)
PMIX Area	6.84 Units / Acre (Gross)
PMIX Area	21.79 Units / Acre (Concept Only)

Proposed Site Impervious Area	279,074 sq. ft.
Building	229,087 sq. ft.
Street/Sidewalk	508,167 sq. ft. (31.33% of Site)

Apartment Buildings	66,126 sq. ft. x 3 floors = 198,378 total sq. ft. (Concept Only)
4-Plex Buildings	(4,416 sq. ft. x 2 floors) * 48 Buildings = 423,936 sq. ft.

Parking:	
RP-4 Area	
4-Plex Buildings	192 x 2 = 384 Spaces
Required	
Driveway	1 PER UNIT = 192
Garage	1 PER UNIT = 192
Provided	384 Spaces

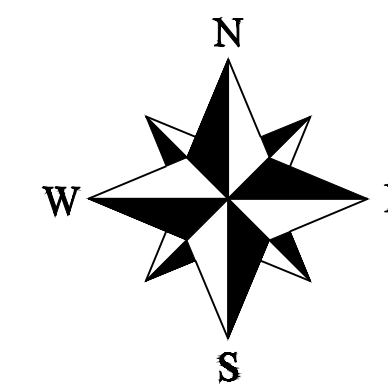
PMIX Apartment Area (Concept Only)	
Required	200 Units
Provided	400 Spaces

Site Improvement Notes

- Sanitary Sewer Improvements
- The site will utilize the existing sanitary sewer on the southwest side of property
- Water Main Improvements
- The existing 8" water main located on the south side of SE M 150 HWY and south side of property and the existing main to the south.
- Storm Sewer
- Enclosed pipe systems and inlets will collect and convey the onsite storm water runoff and direct it toward the retention facility shown.
- Storm Water Detention
- The site will utilize the existing regional detention facility
- Common Area
- HOA will be responsible for all maintenance

LEGEND:

Existing Underground Power	—UGP—
Existing Conc. Curb & Gutter	—
Existing Wood Fence	—X—X—X—
Existing Gas Main	—GAS—
Existing Water Main	—X-W/M—X-W/M—
Existing Storm Sewer	—X-STIM—X-STIM—
Existing Sanitary Sewer	—X-SAN—X-SAN—
Existing Underground Telephone	—UGT—UGT—
Existing Overhead Power	—OHE—
Proposed Storm Sewer	—STM—
Proposed Sanitary Sewer	—SAN—SAN—
Proposed Underground Power	—UGT—UGT—
Proposed Gas Service	—GAS—
Proposed 8" D.I.P. Water	—W/M—W/M—
Proposed Electrical Service	—UGP—UGP—

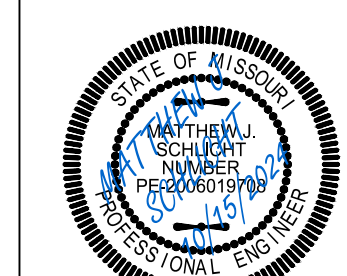


Professional Registration
Missouri
Engineering 200602198-D
Surveying 200500319-D
Kansas
Engineering E-1695
Surveying LS-216
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

Tracts A-F
South Lee's Summit Residential
Lee's Summit, Jackson County, Missouri

Project:
O VATION, LSMO
Issue Date:
October 15, 2024

PRELIMINARY DEVELOPMENT PLAN
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
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OK PE 25226

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Table Development Standards

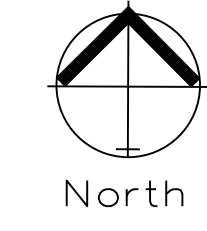
4-plexes		
Front Yard	20 ft	Building
Front Yard	25 ft	Garage
Rear Yard	20 ft	
Side Yard	10 ft	
Apartment Buildings		
Front Yard	30 ft	
Rear Yard	30 ft	
Side Yard	20 ft	

PMIX development standards are established at the time of rezoning.

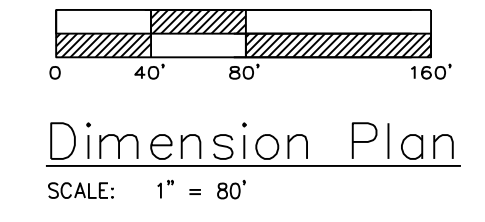


SONIC

COBY CREEK



North



Hatched Area
Concept Only
Future Preliminary Development Plan Required
Rezoning to PMIX with this Project

Hatched Area
Concept Only
Future Preliminary Development Plan Required
Rezoning to PMIX with this Project

R-1 Single Family
Zoned R-1
Future

R-1 Single Family
Zoned R-1
Future

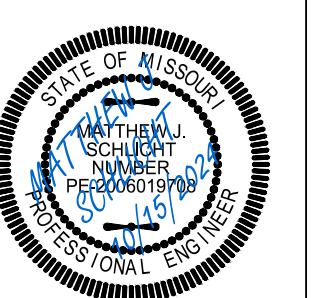


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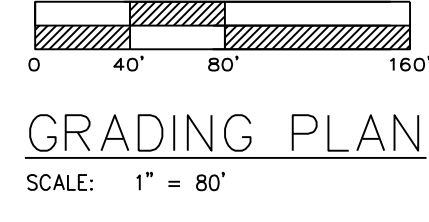
DIMENSION PLAN
Preliminary Plans for:
Ovation
Lee's Summit, Jackson County, Missouri



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KS PE 19071
OK PE 25226

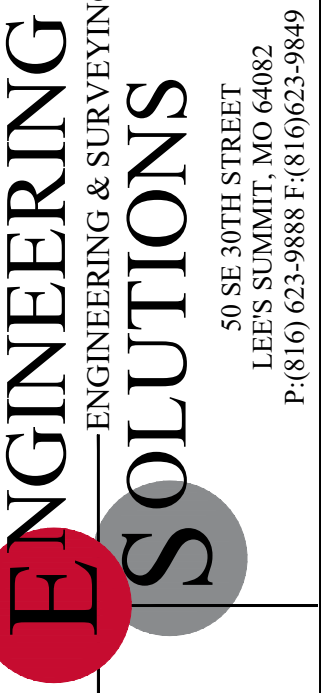
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NO.	DATE	DESCRIPTION



Notes

1. Contractor is responsible for verifying all existing utility locations prior to excavation
2. There are no known natural or artificial water storage detention areas, or wetlands in the area designated for construction
3. No part of the project lies within the 100 year flood plain
4. All erosion and sediment control measures need to be implemented prior to construction
5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or existing measures are found to be ineffective
6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
7. Contractor responsible for all density testing of roadway subgrade and granular base.

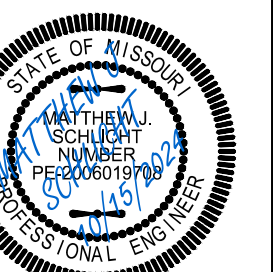


Professional Registration
 Missouri
 Engineering 200502188-D
 Surveying 200500319-D
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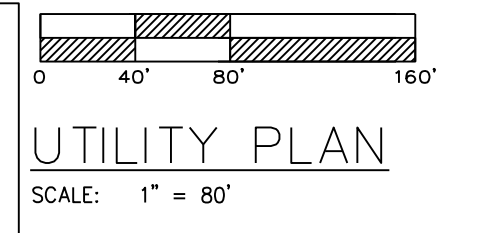
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Grading Plan
 Preliminary Plans for:
 Ovation
 Lee's Summit, Jackson County, Missouri

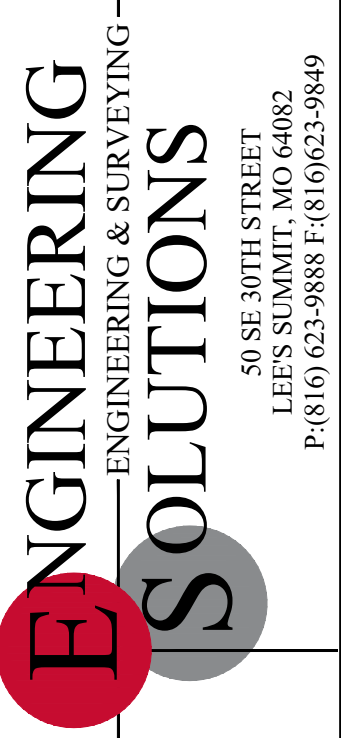


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UTILITY PLAN
SCALE: 1" = 80'

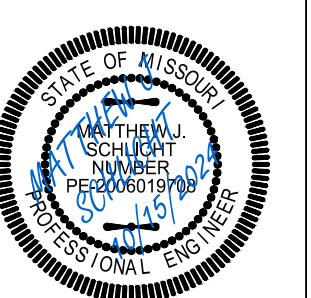


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Lee's Summit, Jackson County, Missouri



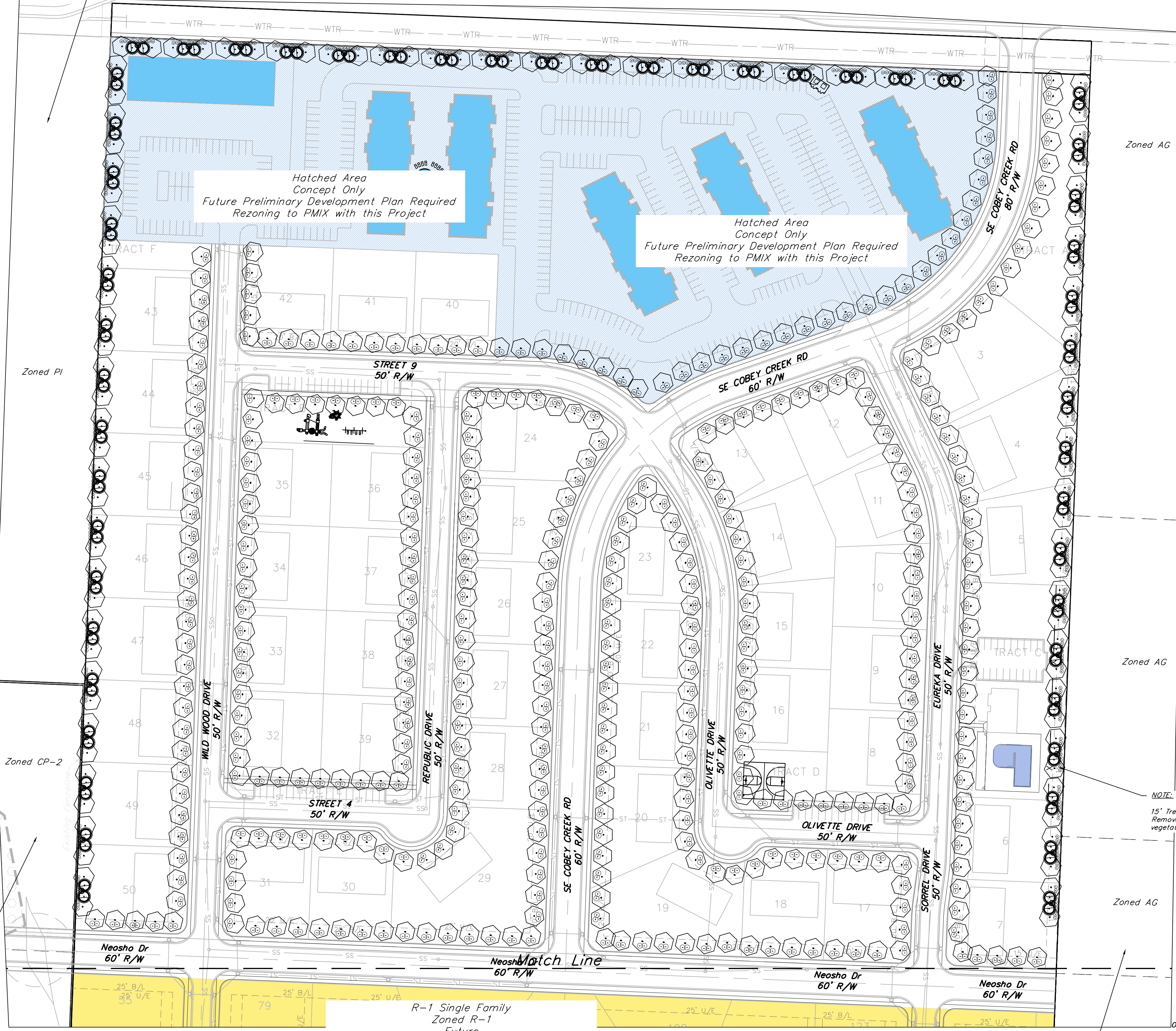
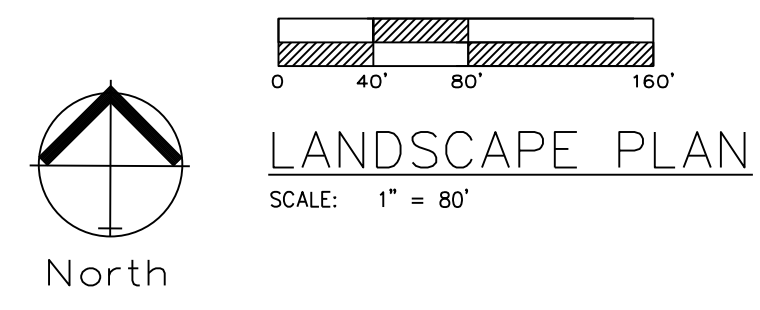
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NO.	REVISIONS



NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use PI

High impact screening. A 100 percent opaque screen between land uses, which are dissimilar in character. When the proposed plan is considered to have a high impact on surrounding properties or the adjacent property is considered to have an adverse impact, both of the following shall be installed within the 20-foot buffer yard: (1) a six-foot high masonry wall or opaque vinyl fence, (2) and low impact screening shall be planted on both sides of the wall or the fence.



LANDSCAPE WORKSHEET

	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED LANDSCAPE
8.790.A.1 Street Frontage Trees (Cobey Creek Rd)	1 tree per 30 feet of street frontage	2811 ft. of street frontage /30= 94 trees required	94 Trees Provided
8.790.A.3 Street Frontage Shrubs (Cobey Creek Rd)	1 shrub per 20 feet of street frontage	2811 ft. of street frontage /20= 141 shrubs required	190 shrubs provided
8.790.A.1 Street Frontage Trees (Eureka Dr)	1 tree per 30 feet of street frontage	1615 ft. of street frontage /30= 54 trees required	54 Trees Provided
8.790.A.3 Street Frontage Shrubs (Eureka Dr)	1 shrub per 20 feet of street frontage	1615 ft. of street frontage /20= 80 shrubs required	108 shrubs provided
8.790.A.1 Street Frontage Trees (Olivette Dr)	1 tree per 30 feet of street frontage	1578 ft. of street frontage /30= 52 trees required	52 Trees Provided
8.790.A.3 Street Frontage Shrubs (Olivette Dr)	1 shrub per 20 feet of street frontage	1578 ft. of street frontage /20= 78 shrubs required	104 shrubs provided
8.790.A.1 Street Frontage Trees (Republic Dr)	1 tree per 30 feet of street frontage	1167 ft. of street frontage /30= 38 trees required	38 Trees Provided
8.790.A.3 Street Frontage Shrubs (Republic Dr)	1 shrub per 20 feet of street frontage	1167 ft. of street frontage /20= 58 shrubs required	104 shrubs provided
8.790.A.1 Street Frontage Trees (Wild Wood Dr)	1 tree per 30 feet of street frontage	1759 ft. of street frontage /30= 59 trees required	59 Trees Provided
8.790.A.3 Street Frontage Shrubs (Wild Wood Dr)	1 shrub per 20 feet of street frontage	1759 ft. of street frontage /20= 88 shrubs required	88 shrubs provided
8.790.A.1 Street Frontage Trees (STREET 4)	1 tree per 30 feet of street frontage	491 ft. of street frontage /30= 17 trees required	17 Trees Provided
8.790.A.3 Street Frontage Shrubs (STREET 4)	1 shrub per 20 feet of street frontage	491 ft. of street frontage /20= 26 shrubs required	34 shrubs provided
8.790.A.1 Street Frontage Trees (STREET 9)	1 tree per 30 feet of street frontage	1028 ft. of street frontage /30= 34 trees required	34 Trees Provided
8.790.A.3 Street Frontage Shrubs (STREET 9)	1 shrub per 20 feet of street frontage	1028 ft. of street frontage /20= 51 shrubs required	51 shrubs provided
8.790.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding building.	1,620,943 sq. ft. of total lot area minus 220,800 sq. ft. of 1,400,143 sq. ft. /5,000 = 280 trees	280 Provided
8.810. Parking Lot Landscape	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	178,947 sq. ft. of parking area x .05 = 8,947 sq. ft. of landscape parking lot islands required	9,000 sq. ft.

• STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS.
 • Single-family and two-family (duplex) developments are exempt from landscaping requirements.

NOTE:
 15' Tree Preservation Easement
 Removal of existing debris and dead vegetation only, no mass clearing

PLANTING SCHEDULE:
 IS FOR PHASE 1 ONLY. AT FULL BUILD THE UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.

SYMBOL	QUANT.	KEY	NAME	SIZE
	730	TA	LARGE VARIETY DECIDUOUS TREE LARGE VARIETY CONIFEROUS TREE	2.5' CAL 6' HL.
	127	SR	SKINNY VARIETY CONIFEROUS TREE JUNIPER VARIETY CONIFEROUS TREE	6' HL. 6' HL.
	309	RB	FLOWERING VARIETY DECIDUOUS TREE ORNAMENTAL CONIFEROUS TREE	2.5' CAL 6' HL.
	2142	BB	DECIDUOUS SHRUB CONIFEROUS SHRUB	2 Gallon Pot 2 Gallon Pot

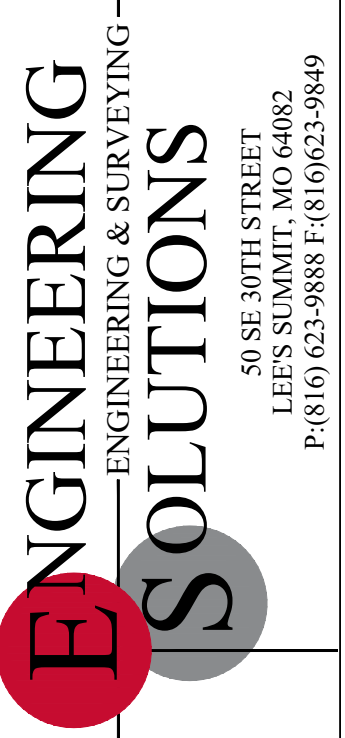
NOTE:
 Landscape Planting Material Notes
 -No single species of tree can account for more than 35% of any tree variety
 -Deciduous tree varieties shall be a minimum of 40% of the total tree plantings
 -No single planting type shall be planted in a continuous row without 2 different planting types being utilized

NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use CP-2

High impact screening. A 100 percent opaque screen between land uses, which are dissimilar in character. When the proposed plan is considered to have a high impact on surrounding properties or the adjacent property is considered to have an adverse impact, both of the following shall be installed within the 20-foot buffer yard: (1) a six-foot high masonry wall or opaque vinyl fence, (2) and low impact screening shall be planted on both sides of the wall or the fence.

NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use AG

C. Low impact screening. An open screen between relatively similar land uses. Open screening shall provide an attractive separation between land uses.

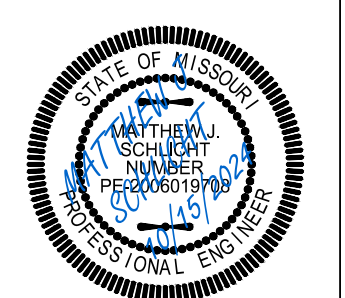


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WEST LANDSCAPE PLAN
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