

**GENERAL NOTES**

1. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
2. ALL WORK IN PUBLIC EASEMENT AND RIGHT-OF-WAY SHALL BE INSTALLED PER THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF LEE'S SUMMIT.
3. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL FEDERAL, STATE, AND LOCAL PERMITS REQUIRED FOR THIS PROJECT PRIOR TO COMMENCING CONSTRUCTION.
4. ANY WORK ADJACENT TO OR CROSSING EXISTING STREETS REQUIRES PROPER TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. THE CONTRACTOR SHALL NOT DISRUPT ANY OPERATIONS OF ADJACENT PROPERTIES DURING CONSTRUCTION. IF DISRUPTION IS NECESSARY TO FACILITATE CONSTRUCTION, CONTRACTOR IS TO CONTACT ENGINEER FOR COORDINATION.
6. ANY UNFORESEEN CONDITIONS, SITE DISCOVERIES, OR INTERACTION WITH ADJACENT PROPERTY OWNERS OR THE CITY SHALL BE BROUGHT UP WITH THE ENGINEER IMMEDIATELY FOR REMEDY AND DOCUMENTATION. ANY MODIFICATION TO THE PLANS MUST BE AUTHORIZED BY THE ENGINEER WHERE APPLICABLE.
7. THE CONTRACTOR SHALL BE REQUIRED TO DEMOLISH, REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, PAVEMENTS, AND FEATURES NECESSARY TO CONSTRUCT THE IMPROVEMENTS SHOWN HEREON. ANY WASTE MATERIALS GENERATED DURING CONSTRUCTION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
8. THE CONTRACTOR SHALL PREVENT ANY TRASH, DEBRIS, OR LIQUID WASTES FROM BEING DISPOSED OF IN SANITARY SEWERS, STORM SEWERS, OR OPEN DRAINAGE SYSTEMS.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DAMAGE CAUSED TO OTHER PROPERTIES DURING CONSTRUCTION. IN THE EVENT OF DAMAGE TO ADJACENT PROPERTY, STRUCTURES, OR IMPROVEMENTS, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH DAMAGE TO THE PRECONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTORS AT THE SITE SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY FOR ALL ASPECTS OF WORK SHOWN HEREON.
11. ALL WORK AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON SHALL COMPLY WITH ALL REFERENCED STANDARDS, SPECIFICATIONS, AND PLAN NOTES.
12. ALL BUILDINGS ARE SHOWN AS A REFERENCE ONLY. ALL BUILDINGS SHALL BE LOCATED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS PREPARED BY OTHERS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES AFFECTED BY THE CONTRACT. ALL EXISTING UTILITIES INDICATED ON THESE PLANS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER; HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.
14. ANY AND ALL HAZARDS SHALL BE PROPERLY IDENTIFIED AND BARRICADED FROM ACCESS DURING ALL NON-CONSTRUCTION PERIODS. ALL EXCAVATIONS AND HAZARDOUS AREAS SHALL BE FENCED OFF OR OTHERWISE SECURED AS TO NOT PRESENT A HAZARD TO THE GENERAL PUBLIC, AT A MINIMUM AT THE END OF EACH WORKING DAY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
15. ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.
16. PRIVATE EROSION & SEDIMENT CONTROL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH NPDES SCHEDULE AND REQUIREMENTS. AFTER INSPECTIONS, PROVIDE THE CITY OF LEE'S SUMMIT WITH REPORTS AND DOCUMENTATION.
17. A RIGHT-OF-WAY PERMIT IS REQUIRED FROM THE CITY OF LEE'S SUMMIT PUBLIC WORKS DEPARTMENT FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
18. WORKING HOURS SHALL BE FROM 7AM TO 7PM MONDAY THROUGH SATURDAY, WITH NO WORK ON SUNDAY WITHOUT PRIOR WRITTEN PERMISSION FROM THE CITY OF LEE'S SUMMIT.
19. CONTRACTOR SHALL PROVIDE ONE CHEMICALLY-TREATED PORTABLE TOILET FOR EVERY 20 EMPLOYEES ON THE JOB SITE.
20. FOLLOWING SUBSTANTIAL COMPLETION OF SITE/BUILDING IMPROVEMENTS, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO PERFORM A CHECKLIST OF SITE IMPROVEMENTS PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.

**FEMA INFORMATION:**

THE SITE IS LOCATED WITHIN FLOOD ZONE X PER FEMA FIRM MAP 29095C0417G; EFFECTIVE DATE OF JANUARY 20, 2017.

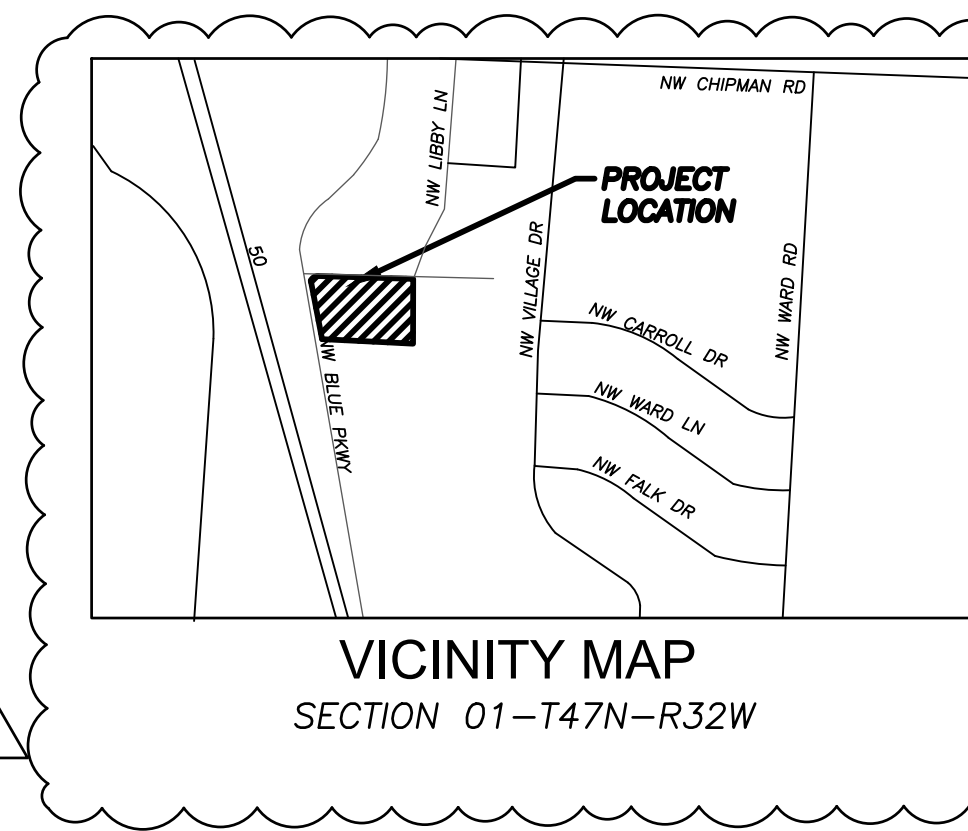
**LEGAL DESCRIPTION:**

Lot 3B, Replat of Lot 3, McCord Addition,  
Instrument #198610697663, Book 43 Page 26 Jackson  
County Recorder of Deeds  
Lot size 129,781 SF/2.98 Acres

# PRELIMINARY DEVELOPMENT PLAN FOR GERBER COLLISION - LEE'S SUMMIT

555 NW BLUE PKWY  
LEE'S SUMMIT, MISSOURI 64086

SECTION 01, TOWNSHIP 47 NORTH, RANGE 32 WEST



Know what's below.  
Call before you dig.



**UTILITIES**

**SANITARY & WATER**  
CITY OF LEE'S SUMMIT  
JEFF THORN  
1200 SE HAMBLEN STREET  
LEE'S SUMMIT, MO 64081  
PHONE (816) 969-1900

**STORM WATER**  
CITY OF LEE'S SUMMIT  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
PHONE (816) 969-1800

**STREETS**  
CITY OF LEE'S SUMMIT  
MICHAEL PARK  
220 SE GREEN STREET  
LEE'S SUMMIT, MO 64063  
PHONE (816) 969-1800

**AT&T**  
RONALD GIPFERT  
500 E 8TH STREET  
KANSAS CITY, MO 64106  
PHONE (816) 275-1550

**EVERGY**  
RON DEJARNETTE  
1300 SE HAMBLEN ROAD  
LEE'S SUMMIT, MO 64081  
PHONE (816) 347-4316

**MISSOURI GAS ENERGY**  
RICHARD FROCK  
3025 SW CLOVER DRIVE  
LEE'S SUMMIT, MO 64082  
PHONE (816) 472-3489

**PROPOSED LAND USE DATA**

Total Lot Area: 92,716 SF (2.12 Ac)  
Impervious Area: 63,481 SF  
Pervious Area: 29,235 SF  
Building Total Floor Area: 14,200 SF  
Floor Area Ratio: 0.15  
Number of Dwelling Units: 0

**PARKING CALCULATIONS**

Total Building Area: 14,200 SF  
Required Parking: (11 bays\* 3 stalls) = 33 stalls  
Stalls Provided:  
44 Standard Stalls  
2 Accessible Stalls Including 1 Van Accessible

**CONTROL POINT INFORMATION:**

**HORIZONTAL CONTROL**  
CONTROL POINT 103  
N: 1003337.4270  
E: 2816512.3760

CONTROL POINT 104  
N: 1003683.7640  
E: 2816802.2250

CONTROL POINT 105  
N: 1003448.6730  
E: 2816657.7510

CONTROL POINT 107  
N: 1003583.9873  
E: 2816973.6567

**BENCHMARKS**  
BM-106 ELEV.=994.675  
N: 1003637.3462  
E: 2816896.4456

\*COORDINATES SHOWN ARE GRID VALUES BASED ON MO83-WF

**DEVELOPER**

BURMAN COMPANIES  
3885 N 20TH STREET  
OZARK, MISSOURI 65720  
(417)-288-9554  
CONTACT: MICHELLE ANGLIN

**OIL & GAS WELLS**

Per the Missouri Department of Natural Resources Well Database, there are no Active, Inactive or Capped Oil or Gas Wells Located on this Site.

**SHEET INDEX**

SITE CIVIL	COVER SHEET
C001	EXTERIOR ELEVATIONS
A-211	VICINITY & ZONING MAP
C101	EXISTING CONDITIONS
C102	SITE PLAN
C103	GRADING & UTILITY PLAN
C104	SITE DRAINAGE PLAN
C105	LANDSCAPING
L101	EXTERIOR LIGHTING
LTG1	

**ANDERSON ENGINEERING**  
EMPLOYEE OWNED

ENGINEERS - SURVEYORS - LABORATORIES - DRILLING  
4240 PHILLIPS FARM RD. STE. 101 • COLUMBIA, MO 65201 • PHONE (673) 397-5476  
FAX (673) 397-5477  
MISSOURI CERTIFICATE OF AUTHORITY #00068 EXPIRES 12/31/2023

DRAWING INFO:		M/J/W	
DRAWN BY:	LICENSE NO.	CHECKED BY:	LICENSE NO.
CITY 3/11	3/21	RAB	03-21-2022
REVISIONS:	DESCRIPTION	DATE	JOB NUMBER:
NO.	1.		21KC10063

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Gerber Collision - Lee's Summit  
BURMAN COMPANIES  
3885 N 20TH STREET OZARK, MO 65720

Cover Sheet

555 NW BLUE PKWY  
LEE'S SUMMIT, JACKSON COUNTY, MO



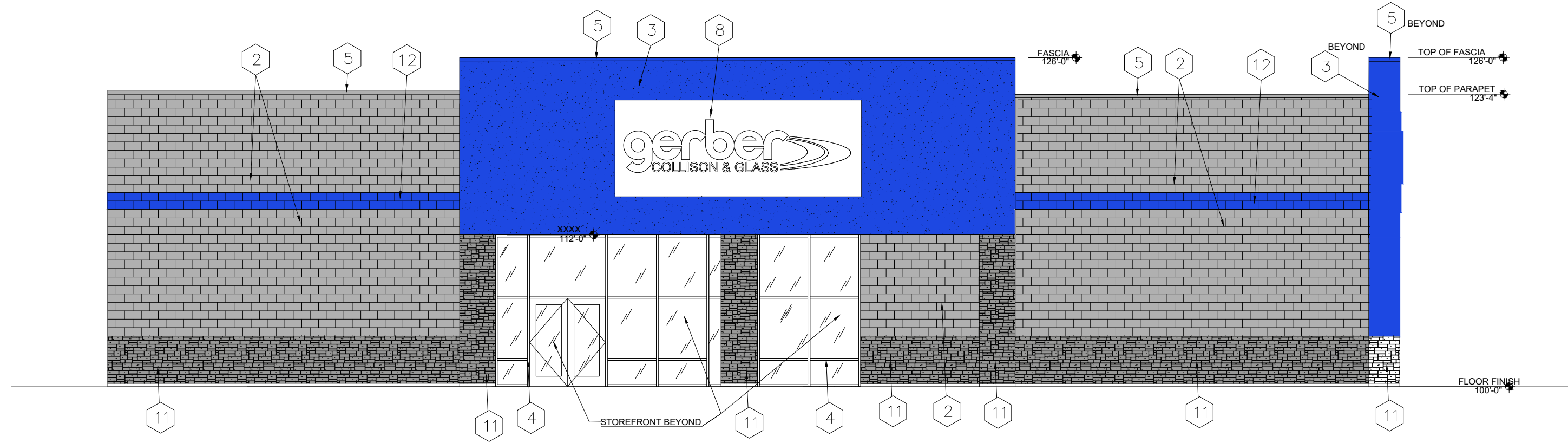
SHEET NUMBER  
**C001**  
1 OF 9

Mar 21, 2022 - 2:17pm Plotted By: Matt  
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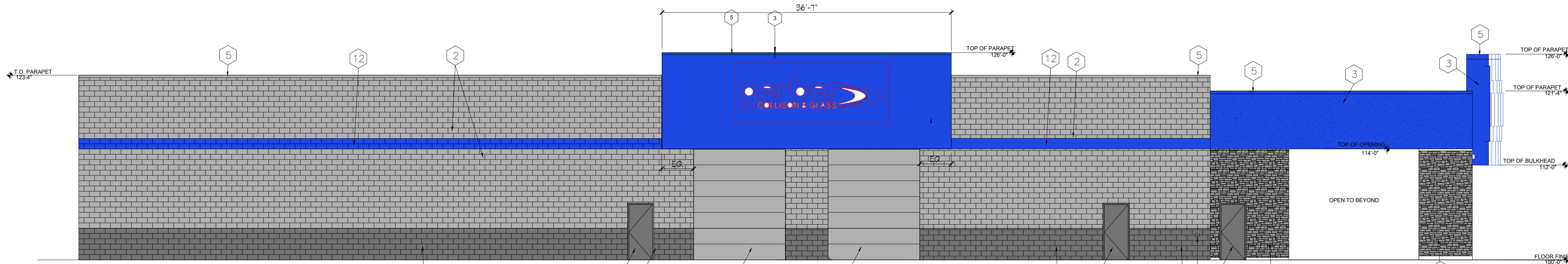
SUEDE LIMESTONE BY CULTURED STONE COMPANY  
"NIGHTFALL" COLOR WATER TABLE BY CULTURED STONE

6 STONE SAMPLE VIEW  
SCALE: NON

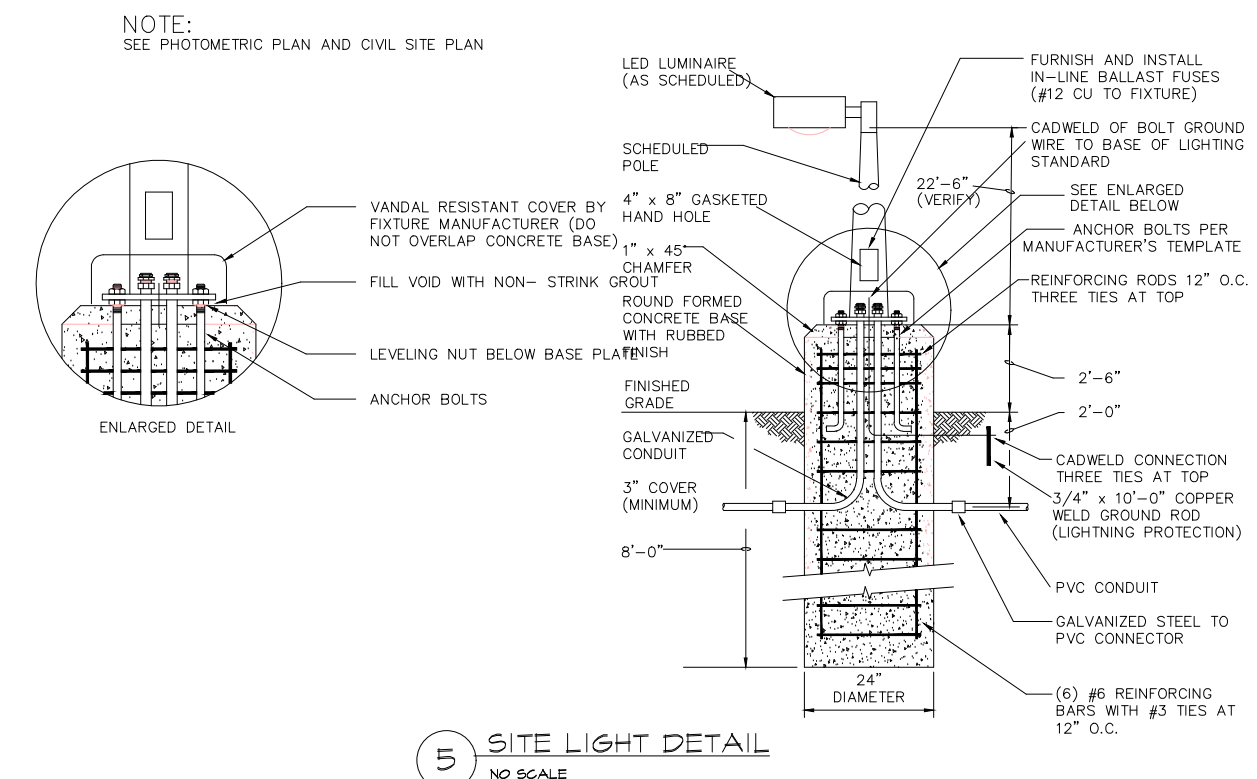


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

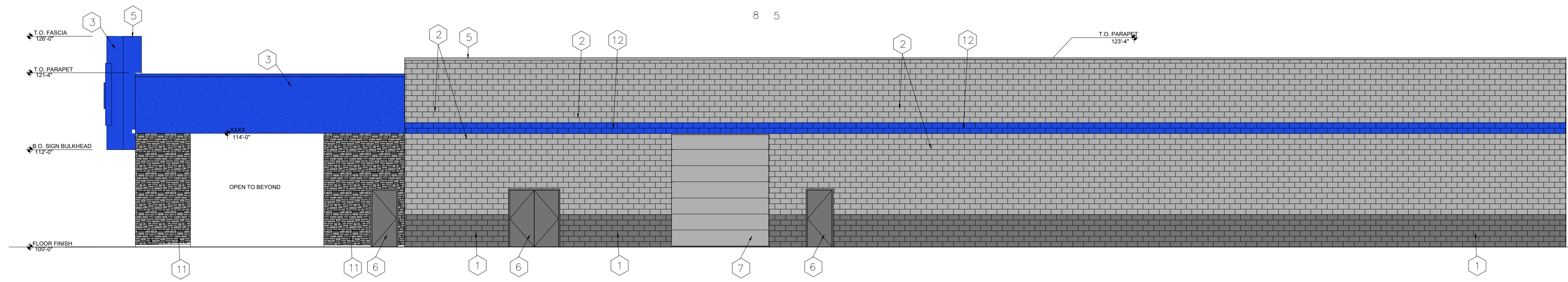
EXTERIOR FINISHES			
KEY	MATERIAL	COLOR	REMARKS
1	CONC. BLOCK	PPG #430 CUSTOM DARK GREY	SPLIT FACE 6-2150X, SPEEDHIDE EXT.STATIN
2	CONC. BLOCK	PPG #429 CUSTOM LIGHT GREY	SMOOTH FACE 6-2110X, SPEEDHIDE EXT.STATIN
3	EIFS	PPG #287 CUSTOM BLUE	-
4	ALUM/GLASS STOREFRONT	DARK ANODIZE DARK BRONZE	-
5	CAP FLASHING	PAINT TO MATCH ADJACENT COLOR	-
6	MAN DOOR	PPG #430 DARK GRAY	-
7	OVERHEAD DOOR	PAINT PPG #287 CUSTOM BLUE	-
8	SIGN	PROPOSED SIGN LOCATIN. SHOWN FOR REFERENCE ONLY. SIGN VENDOR TO INSTALL UNDER SEPARATE PERMIAT. GC TO PROVE EXTERIOR GRADE PLYWOOD SUBMSTATE AT ALL SIGN LOCATIONS.	-
9	WALL MOUNTED LIGHT	DARK BRONZE	-
10	MECHANICAL GRILLE	PAINT TO MATCH ADJACENT COLOR	-
11	FAUX STONE	SUEDE LIMESTONE BY CULTURED STONE	-
12	CONC. BLOCK	PPG #287 CUSTOM BLUE	SPLIT FACE 6-2150X, SPEEDHIDE EXT.STATIN



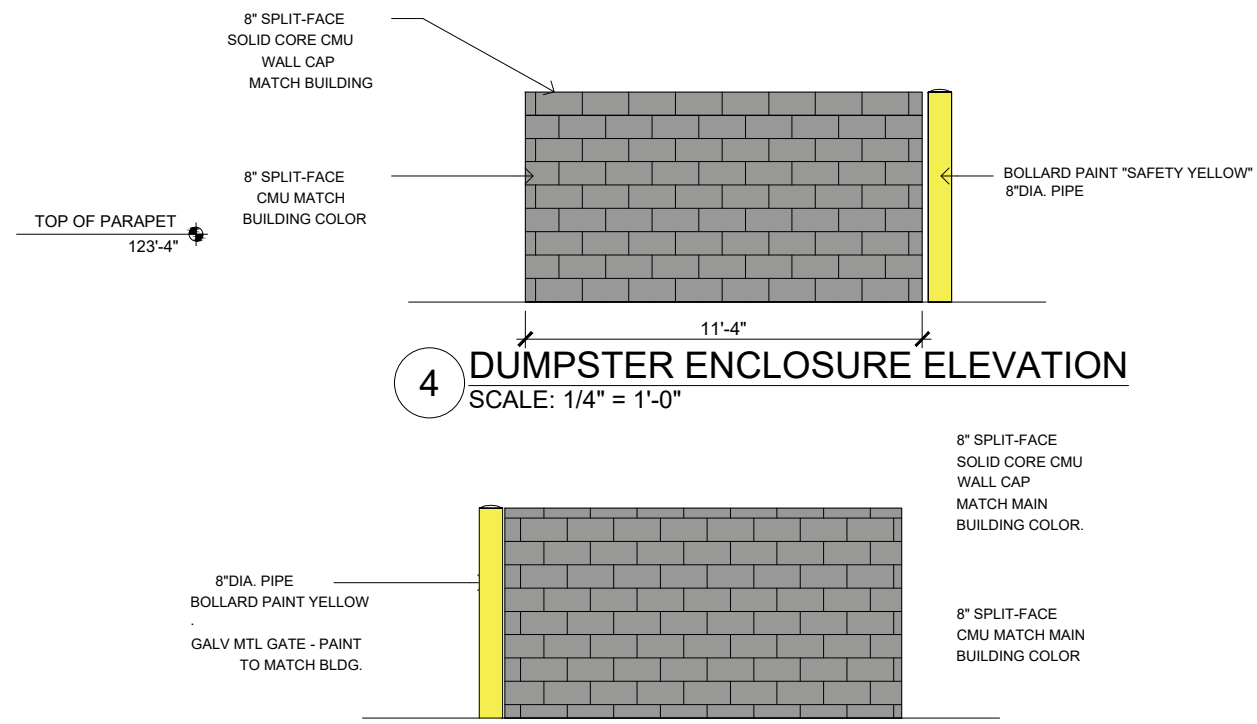
2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



5 SITE LIGHT DETAIL  
NO SCALE

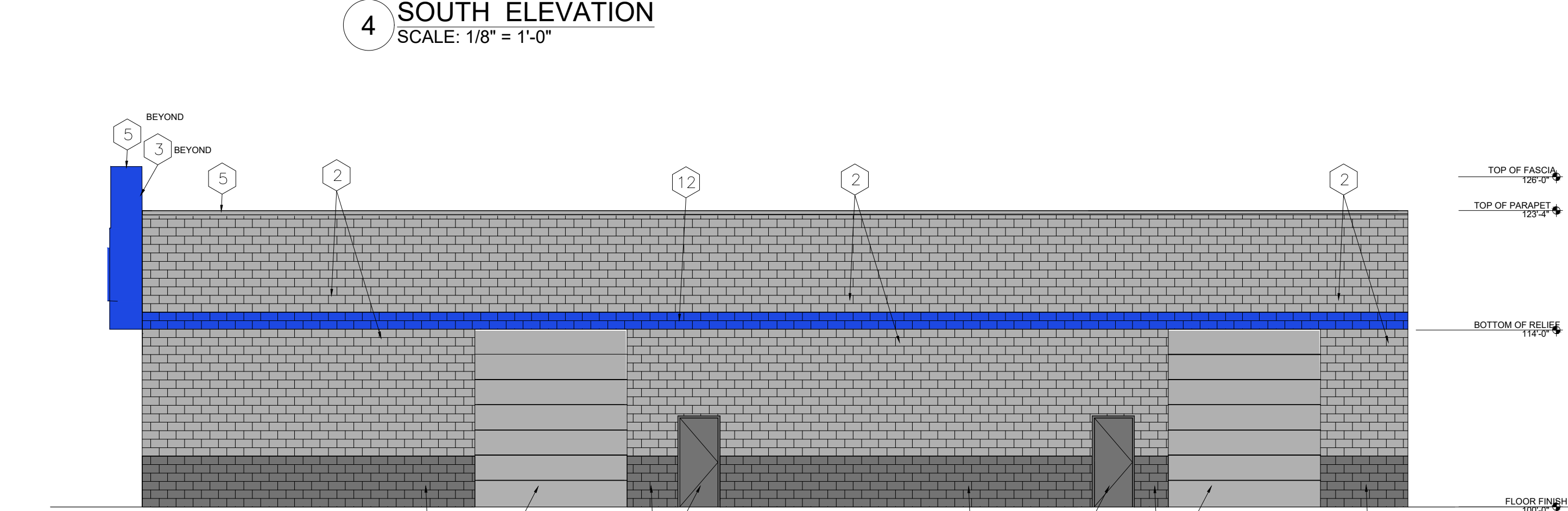


4 SOUTH ELEVATION  
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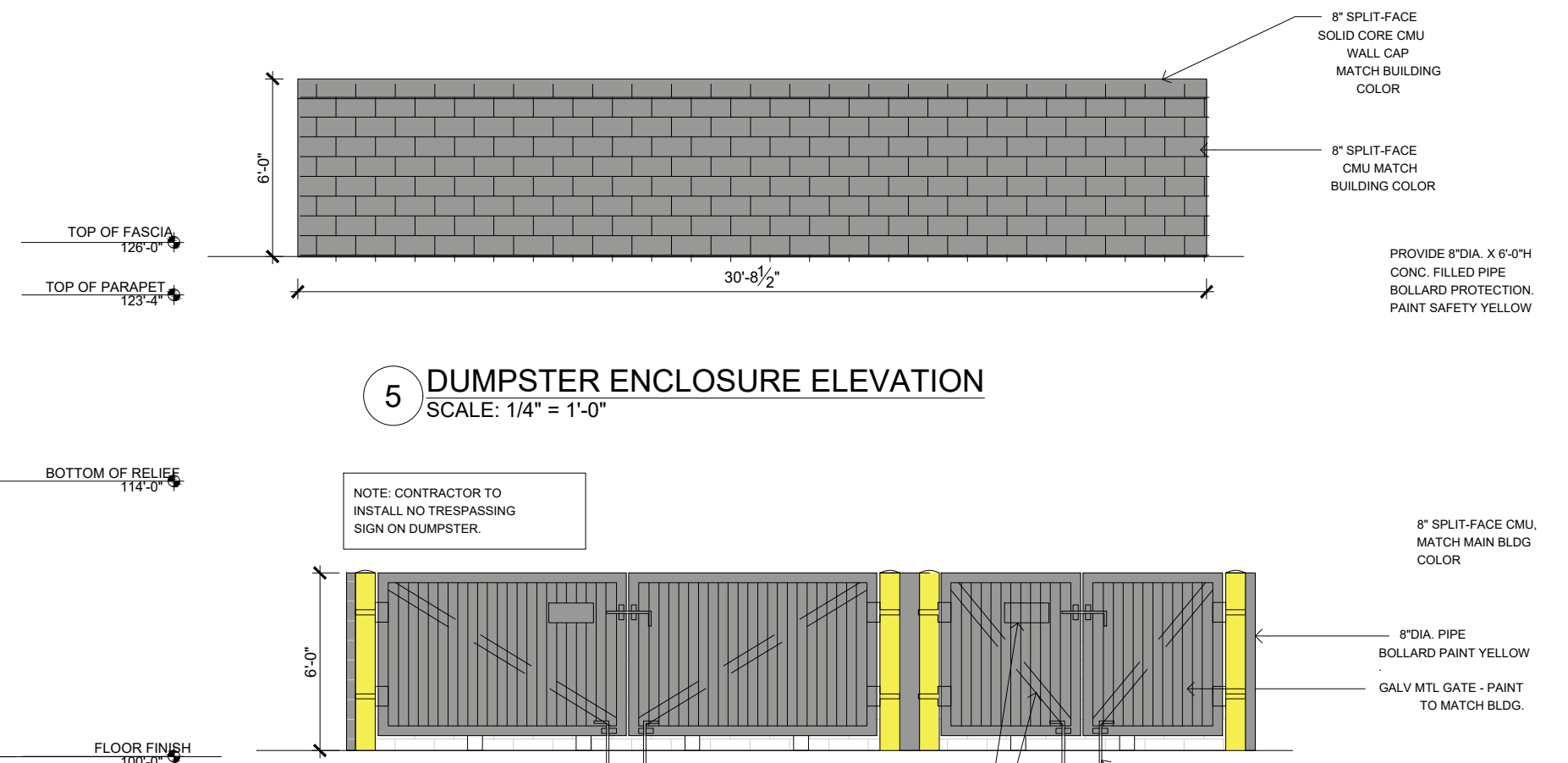


4 DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"

2 DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"

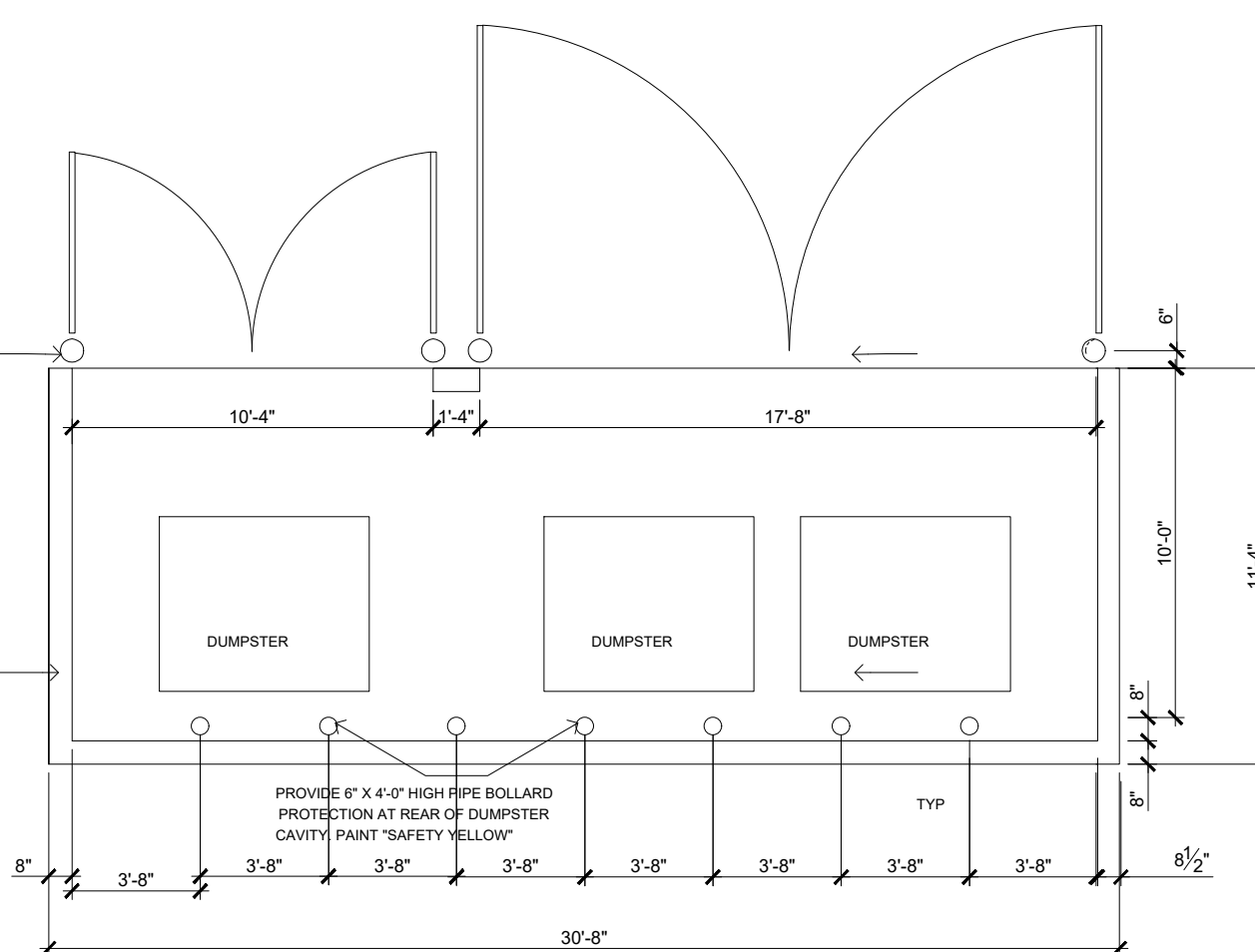


3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



5 DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"

3 DUMPSTER ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN VIEW  
SCALE: 1/4" = 1'-0"

GERBER COLLISION  
555 NW BLUE PARKWAY, UNIT A  
LEES SUMMIT, MISSOURI 64063

ARCHITECT OF RECORD

COMMENTS

DATE

REVISION

ARCOCDEV JOB #:

CLIENT JOB #:

DRAWN BY: JTK

CHECKED BY: NLH

DATE OF ISSUE: 03-15-2022

ARCHITECT

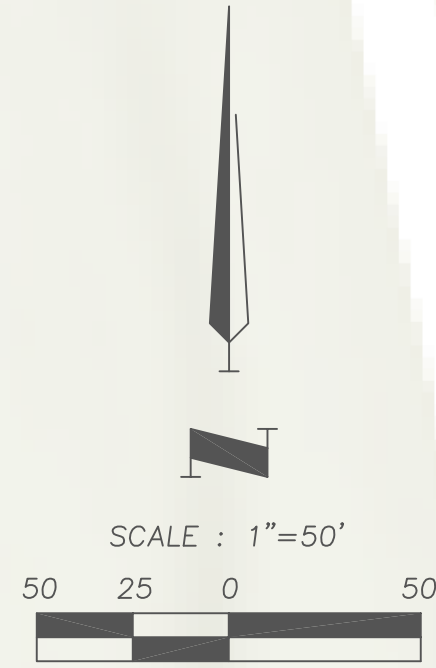
NORMAN L. HERMAN

65 SPYGLASS DRIVE  
LITTLETON, COLORADO 80123  
VOICE: 303.881-8925  
NORMHERMAN@ARCOCDEV.COM

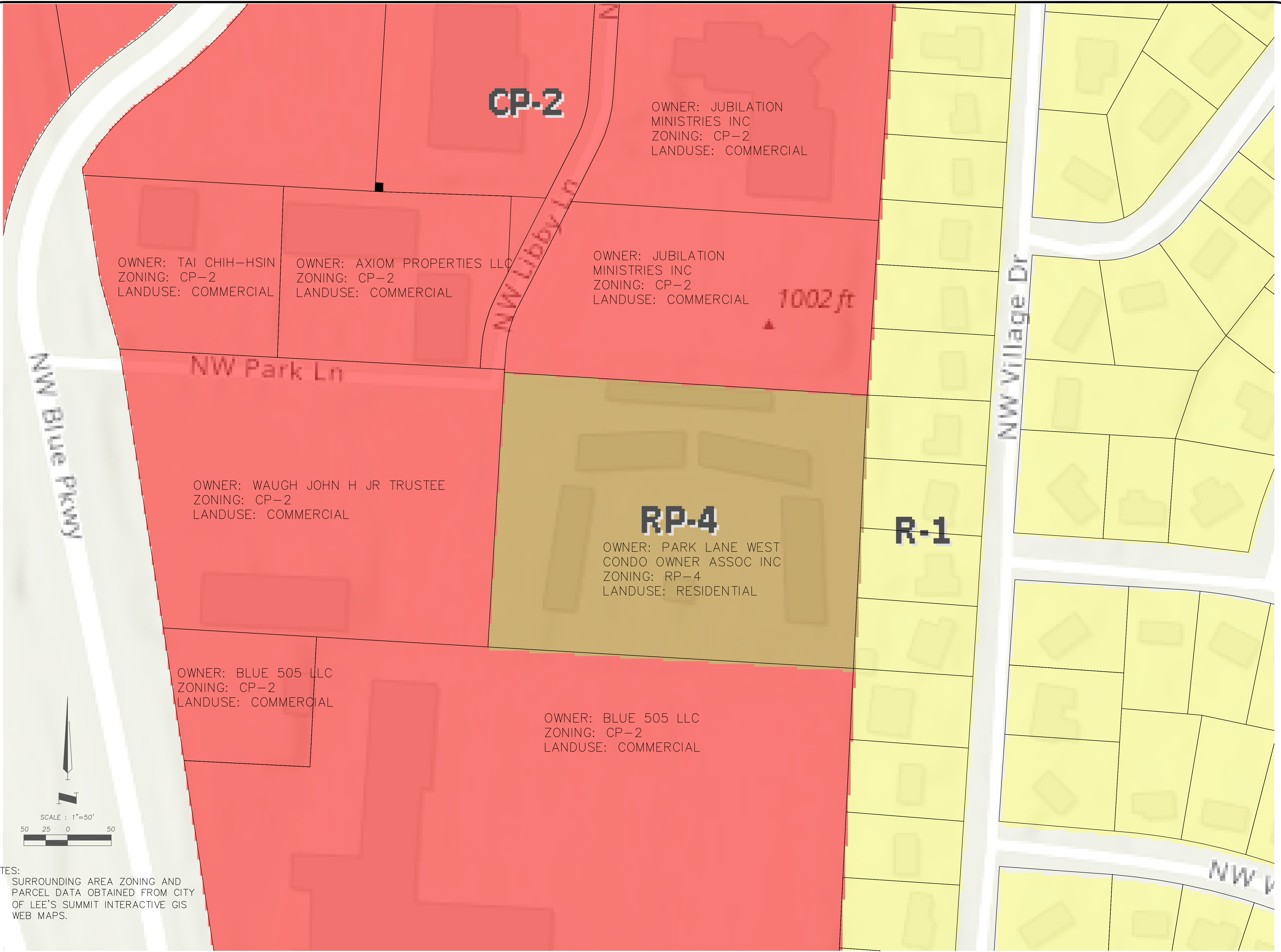
SHEET

A-211

EXTERIOR ELEVATIONS



NOTES:  
 1. SURROUNDING AREA ZONING AND PARCEL DATA OBTAINED FROM CITY OF LEE'S SUMMIT INTERACTIVE GIS WEB MAPS.



OWNER: TAI CHIH-HSIN  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

OWNER: AXIOM PROPERTIES LLC  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

OWNER: JUBILATION MINISTRIES INC  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

OWNER: WAUGH JOHN H JR TRUSTEE  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

**RP-4**

OWNER: PARK LANE WEST CONDO OWNER ASSOC INC  
 ZONING: RP-4  
 LANDUSE: RESIDENTIAL

**R-1**

OWNER: BLUE 505 LLC  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

OWNER: BLUE 505 LLC  
 ZONING: CP-2  
 LANDUSE: COMMERCIAL

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 MISSOURI PROFESSIONAL ENGINEERS & SURVEYORS LICENSE NO. 0000022 EXPIRES 02/21/2023  
 MISSOURI CERTIFICATE OF AUTHORITY #0000022 EXPIRES 02/21/2023

REVISIONS		DRAWING INFO.	
NO.	DESCRIPTION	BY	DATE
		DRAWN BY:	MJW
		LICENSE NO.:	
		CHECKED BY:	
		LICENSE NO.:	
		DATE:	3-21-2022
		JOB NUMBER:	21KC10063

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**Gerber Collision - Lee's Summit**  
 BURMAN COMPANIES  
 3885 N 20TH STREET OZARK, MO 65720

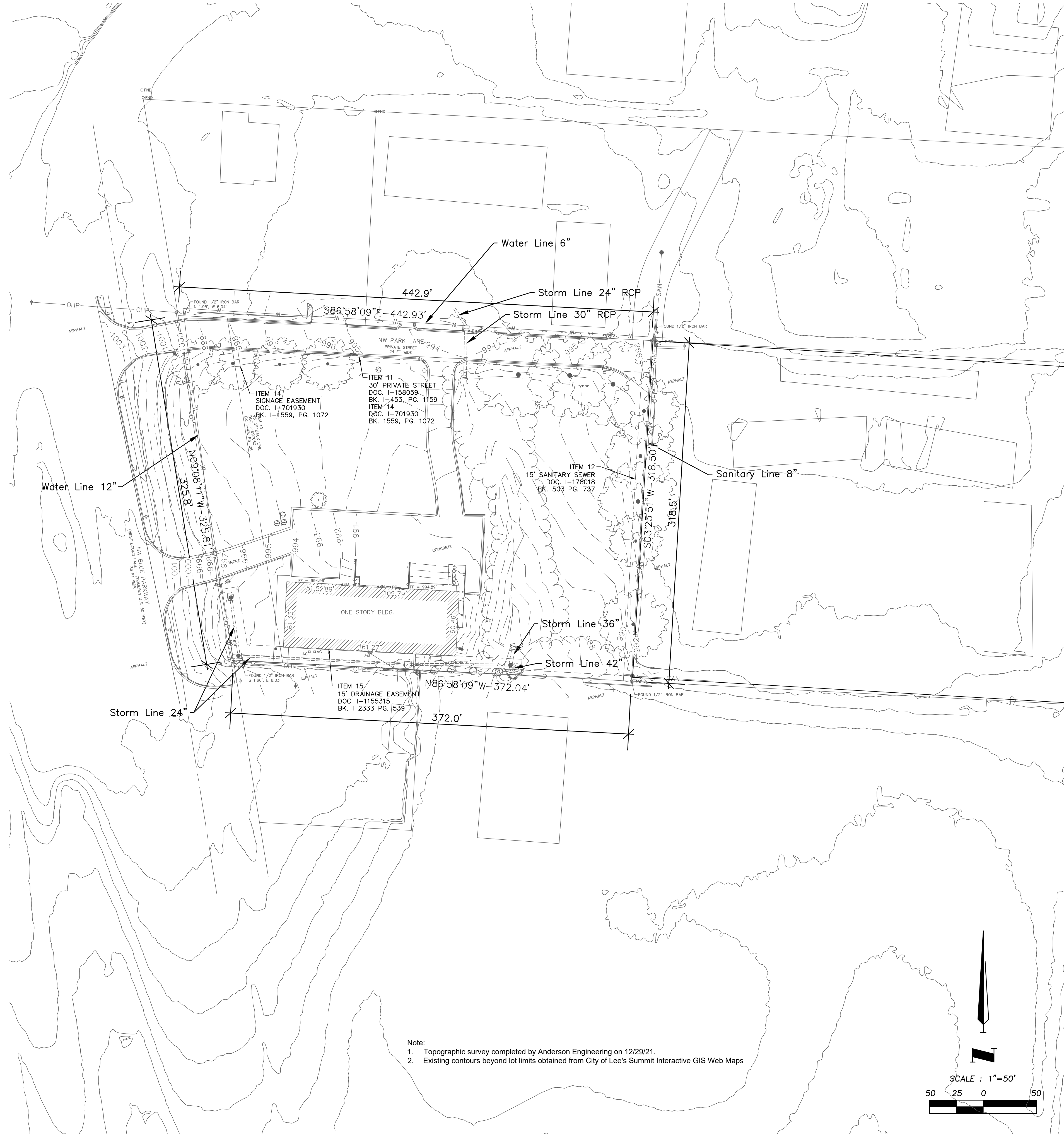
**Vicinity and Zoning Map**

555 NW BLUE PKWY  
 LEE'S SUMMIT, JACKSON COUNTY, MO

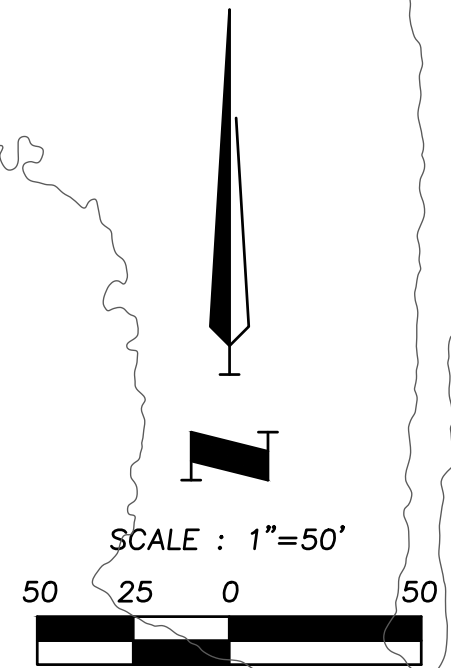


SHEET NUMBER  
**C101**  
 3 OF 9

Mar 21, 2022 - 2:40pm Plotted By: Matt V:\Projects\21\10063 - Gerber Collision\Draw\PPP Draw\21K10063 - Gerber Collision Existing Conditions.dwg Layout: C102



Note:  
 1. Topographic survey completed by Anderson Engineering on 12/29/21.  
 2. Existing contours beyond lot limits obtained from City of Lee's Summit Interactive GIS Web Maps



**PROPERTY DESCRIPTION**

Lot 3-B, Replat of Lot 3, MCCORD ADDITION, a subdivision in Lee's Summit, Jackson County, Missouri

**NOTES CORRESPONDING TO SCHEDULE B, PART II (EXCEPTIONS)**

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. (Not a survey matter)
- Rights or claims of parties in possession not shown by the Public Records. (Not a survey matter)
- Easements, or claims of easements, not shown by the Public Records. (Not a survey matter)
- Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land. (Not a survey matter)
- Any lien, or right to lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records. (Not a survey matter)
- Taxes, or special assessments, if any, not shown as existing liens by the Public Records. (Not a survey matter)
- General taxes and special assessments for the year 2020 are as follows:

Tax ID No.: 62-110-04-87-00-0-00-000  
 2020 Tax Amount: \$18,975.22, PAID  
 2021 Assessed Value: \$194,560.00  
 2021 Mill Levy/Tax Rate: 0.082396

NOTE: We have been advised that the property address is:  
 555 NW Blue Pkwy., Lee's Summit, MO 64063

NOTE: It is noted for informational purposes only that the tax rolls reflect a common address of:  
 555 NW Blue Pkwy, Unit A, Lee's Summit, MO 64063 (Not a survey matter)

- Special assessments, if any, which are due and payable to the City of Lee's Summit. (Not a survey matter)
- Easements, restrictions, setback lines or servitudes, if any, reflected on the plat of MCCORD ADDITION filed August 16, 1954 as Document No. 628130 in Book 17 at Page 77. (Affects subject property, shown hereon)
- Easements, restrictions, setback lines or servitudes, if any, reflected on the plat of REPLAT OF LOT 3, MCCORD ADDITION filed June 19, 1986 as Document No. I-697663 in Book I-43 at Page 26. (Affects subject property, shown hereon)
- Terms and provisions, including maintenance charges set forth in instrument designated "Agreement Creating Private Street Easement" filed for record July 16, 1973, under Document No. I-158059 in Book I-453 at Page 1159, over the North 30 feet of the premises in question. (Affects subject property, shown hereon)
- Sewer Easement granted to the City of Lee's Summit, Missouri as set forth in instrument filed March 5, 1974, under Document No. I-176018 in Book I-503 at Page 737, over part of the premises in question. (Affects subject property, shown hereon)
- Easement granted to The City of Lee's Summit, Missouri as set forth in instrument filed March 5, 1974, under Document No. I-176020 in Book I-503 at Page 744, over part of the premises in question. (Affects subject property, not plottable)
- Terms and provisions, including maintenance charges, set forth in instrument designated "Easement Agreement" dated July 9, 1986, by and between Country Estates, Inc., a Missouri Corporation, and Timothy W. Hickok, a single person, filed for record July 9, 1986, under Document No. I-701930 in Book I-1559 at Page 1072. (Affects subject property, shown hereon)
- Storm Drainage Easement granted to the City of Lee's Summit, Missouri, a Municipal corporation recorded December 17, 1992 as Document No. I-1155315 in Book I-2333 at Page 539. (Affects subject property, shown hereon)
- Rights of parties in possession under unrecorded leases. (Not a survey matter)

**SURVEYOR'S GENERAL NOTES & TABLE A NOTES**

- The basis of bearing for this survey is Missouri State Plane Coordinate System, 1983, Missouri West Zone (NSRS 2011)
- A 1/2" x 24" rebar with cap stamped LS-62 has been (or to be, depending) set at all property corners unless otherwise noted.
- The site address of the subject property is 555 Northwest Blue Parkway, Lee's Summit, MO as shown on the Jackson County GIS.
- The subject property lies in Zone X, Other Flood Areas, as shown on Flood Insurance Rate Map 29095C0417G, dated 1/20/2017
- The gross land area of the subject property is 129,780.88 square feet, or 2.979 acres.
- The title commitment did not provide any zoning or setback information. The subject property is zoned CP-2 - Planned Community Commercial, as shown on the city of Lee's Summit, MO zoning map.
- There is one, one story block building on the subject property. The building height at the southwest corner is 23.3 feet above the adjacent existing grade. The exterior footprint of the building contains 9,797 square feet.
- All substantial visible improvements on the subject property have been shown on this survey.
- The subject property has xx regular car parking spaces and x handicap spaces for a total of xx striped parking spaces.
- The utility information shown on this survey has S.U.E. (Subsurface Utility Engineering) Level of C. Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies and utility line locate markings provided by various utility locating companies per Missouri One Call or Kansas 811 utility Locate Ticket Number 213120082. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that all utility lines, cables, pipes or wires (active or inactive) are shown on this survey.
- The names of the adjoining owners have been taken from the Jackson County GIS.
- The subject property has direct access NW Blue Parkway.
- Rectified orthophotography, photogrammetric mapping, remote sensing, airborne/mobile laser scanning and other similar products or technologies as the basis for showing the location of certain features where ground measurements are not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary.
- There is no evidence of earth moving work on the subject property.
- The surveyor is not aware of any proposed changes in street right of way lines.
- The easements, covenants, restrictions and entitlements shown on this survey were taken from the title commitment prepared by First American Title Insurance Company in File No. 2481830, dated October 15, 2021 at 7:00 a.m., and we have relied solely on said information.

TO:Shoobox Holdings, LLC, a Missouri Limited Liability Company, John H. Waugh, Jr., Trustee for John H. Waugh, Jr. Trust dated July 30, 1982 and Shirley A. Waugh, Trustee for Shirley A. Waugh Trust dated July 30, 1982 & First American Title Insurance Company, LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 16, 17, and 18 of table "A" thereof. Pursuant to the accuracy standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the state of Missouri, the relative positional accuracy of this survey does not exceed that which is certified therein, and that said survey meets or exceeds the current Missouri standards for property boundary surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Land Surveyors and Landscape Architects, and the Missouri Department of Agriculture Land Survey Program.

The field work was completed on 2021/12/29.

**ANDERSON ENGINEERING**  
 EMPLOYEE OWNED

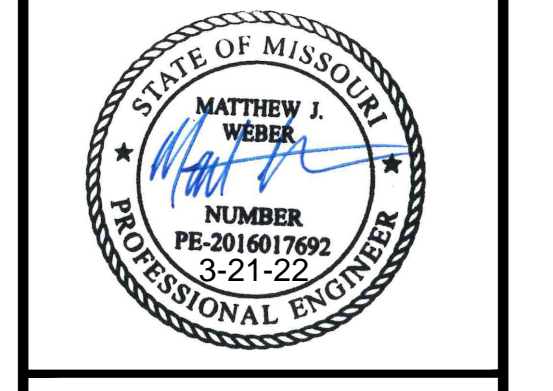
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING  
 4240 PHILLIPS FARM RD. STE. 101 • COLUMBIA, MO 65201 • PHONE (673) 397-5476  
 MISSOURI CERTIFICATE OF AUTHORITY NUMBER 12012023

DRAWING INFO.		M/J/W	
NO.	REVISIONS	DATE	DESCRIPTION
	DRAWN BY:		
	LICENSE NO.		
	CHECKED BY:		
	LICENSE NO.		
	DATE:	03-21-2022	
	JOB NUMBER:		21KC10063

Gerber Collision - Lee's Summit  
 BURMAN COMPANIES  
 3885 N 20TH STREET OZARK, MO 65720

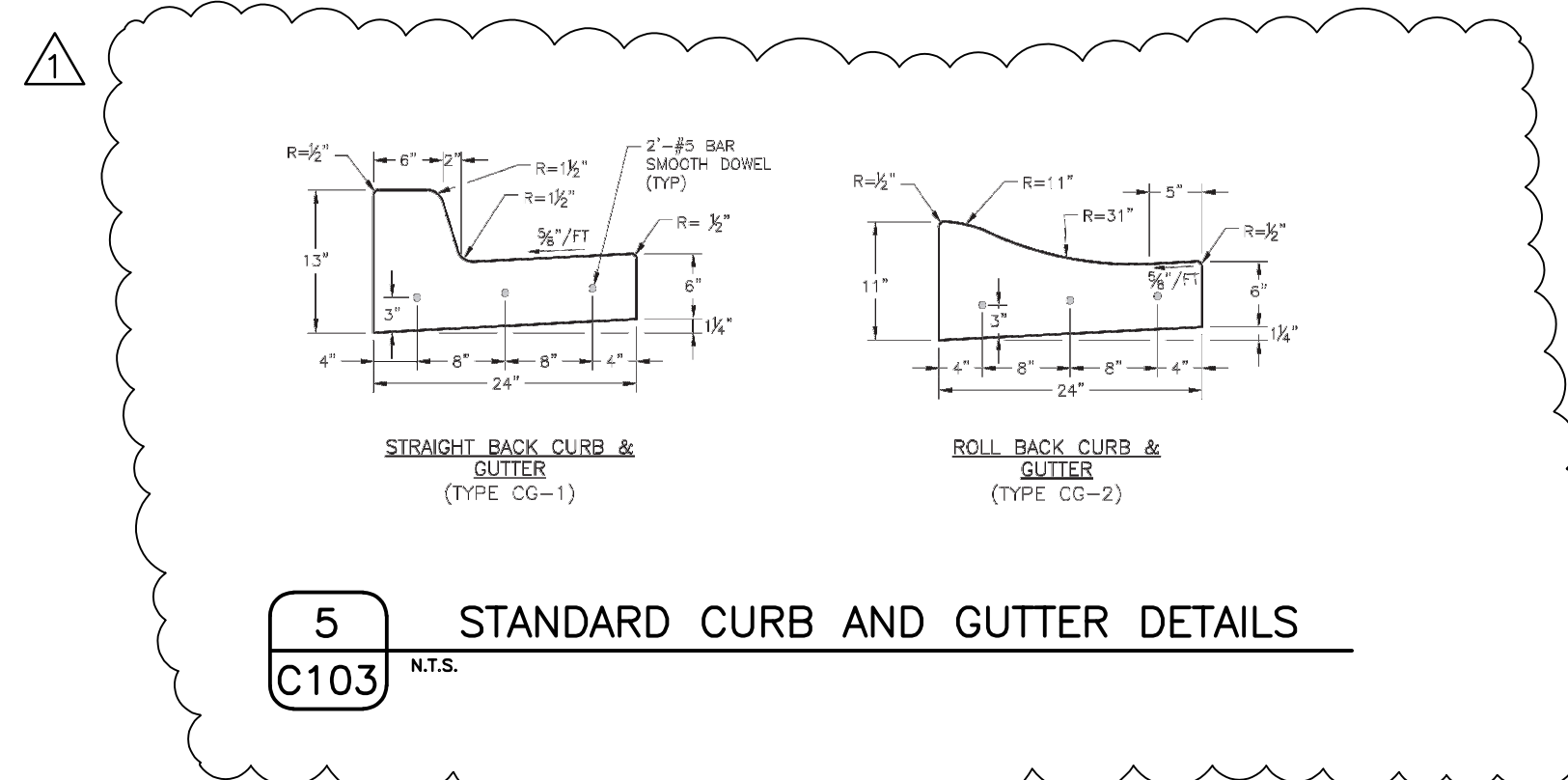
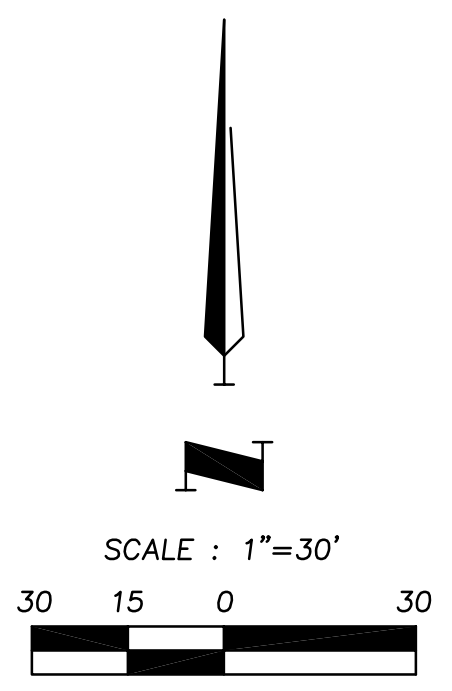
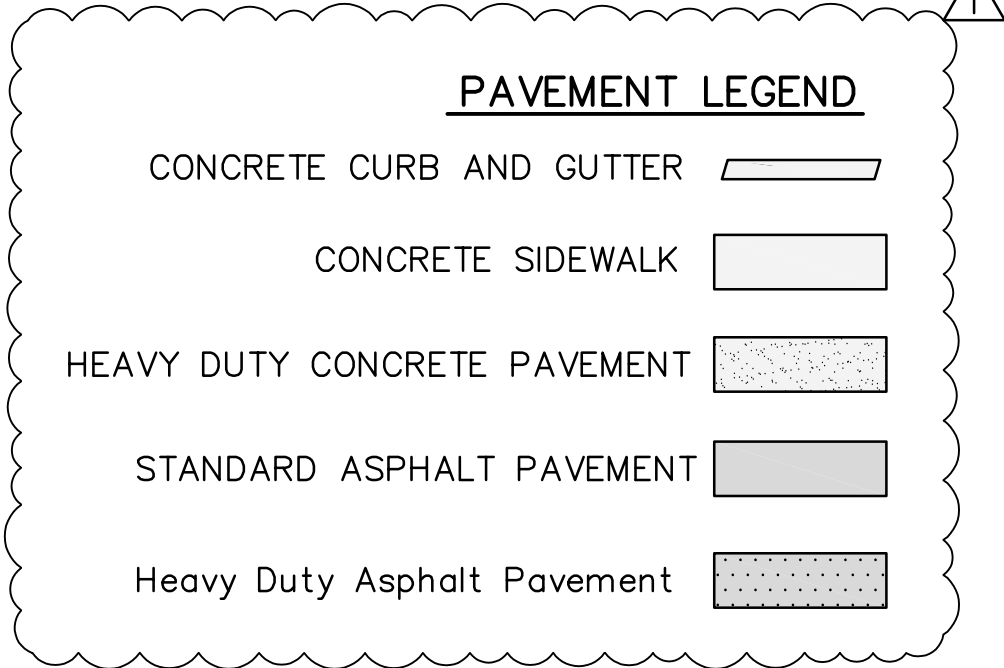
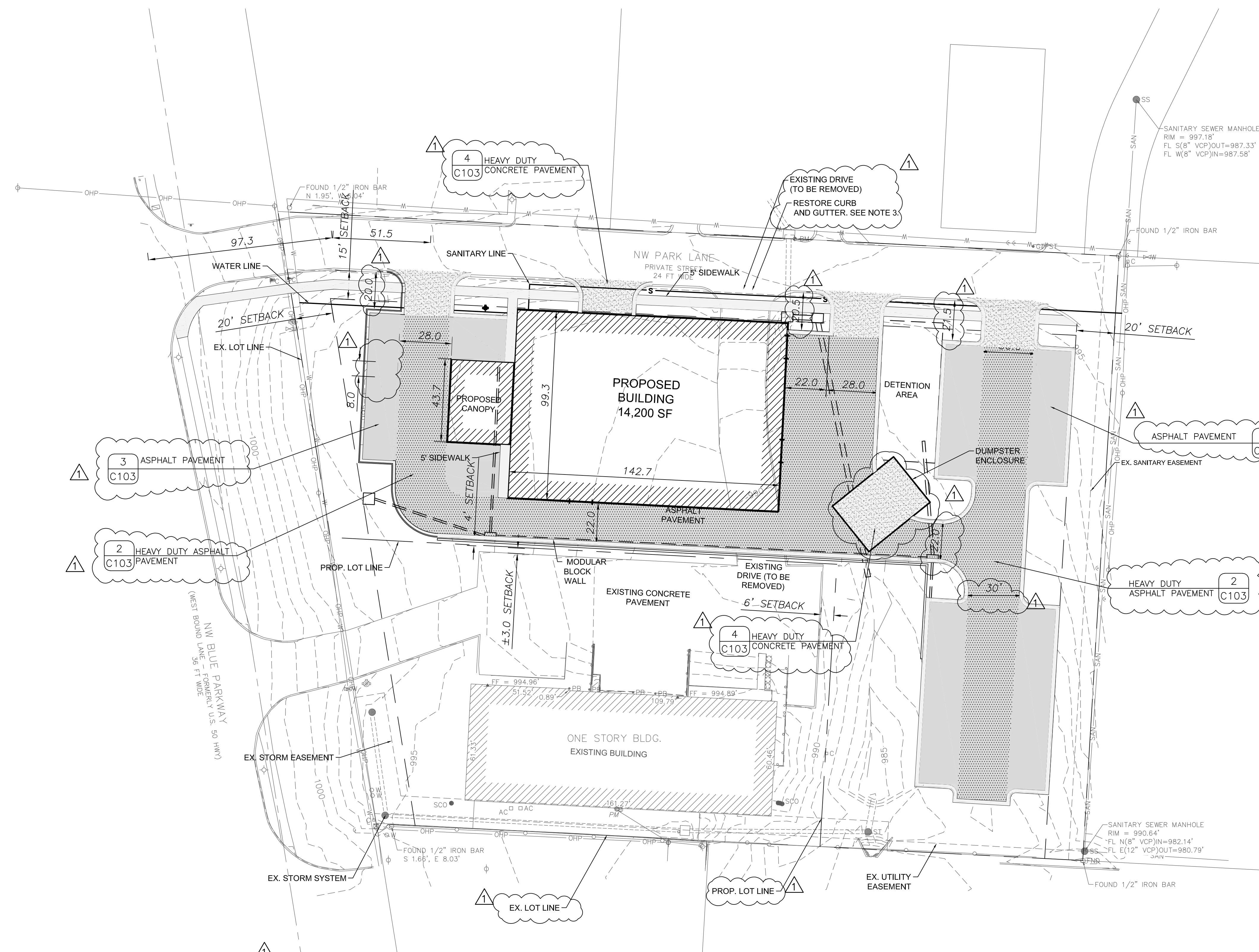
**Existing Conditions**

555 NW BLUE PKWY  
 LEE'S SUMMIT, JACKSON COUNTY, MO

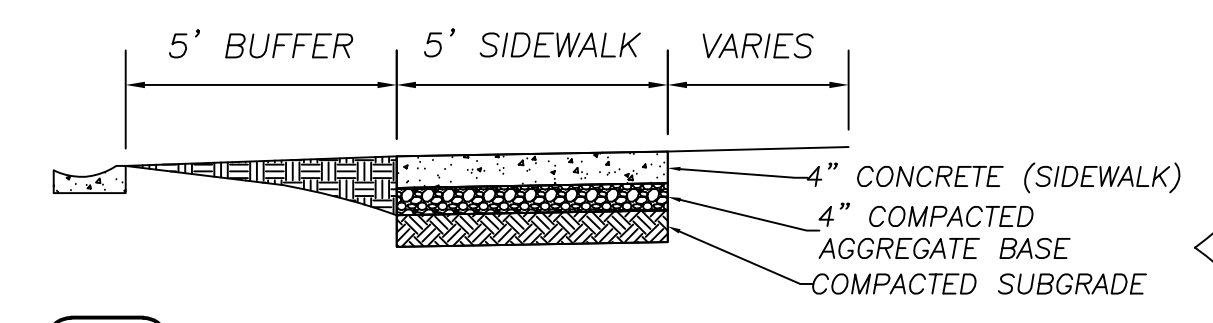


**SHEET NUMBER**  
**C102**  
 4 OF 9

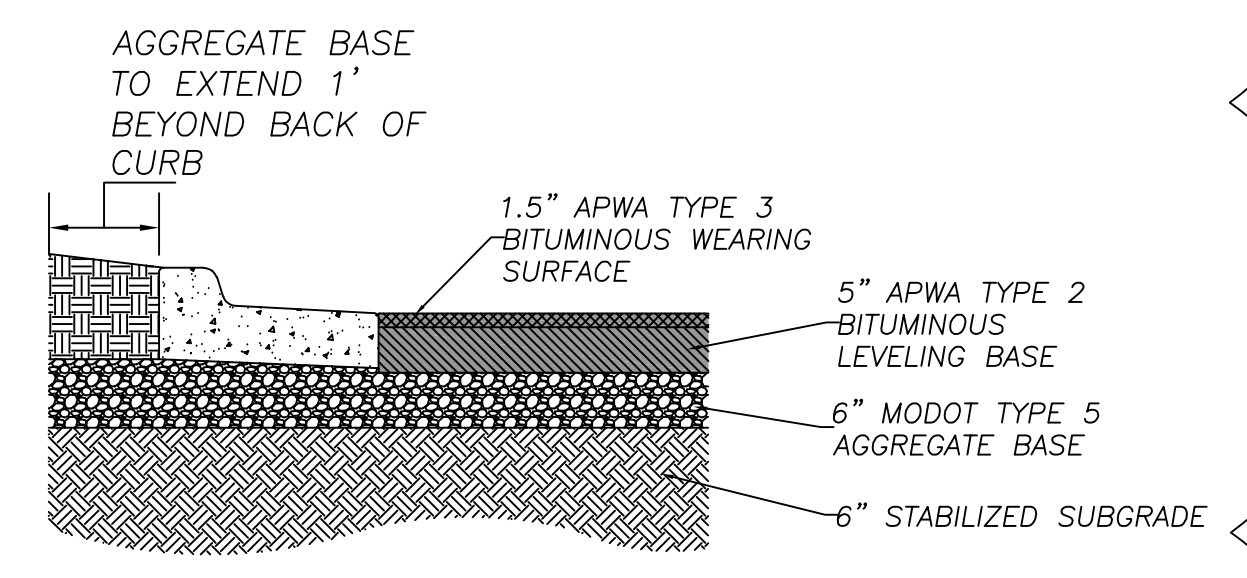
Mar 21, 2022 - 2:08pm Plotted By: Matt V:\1-Projects\1214c10063 - Gerber Collision\Draw\PP\1214c10063 - Gerber Collision Site Plan.dwg Layout: C103



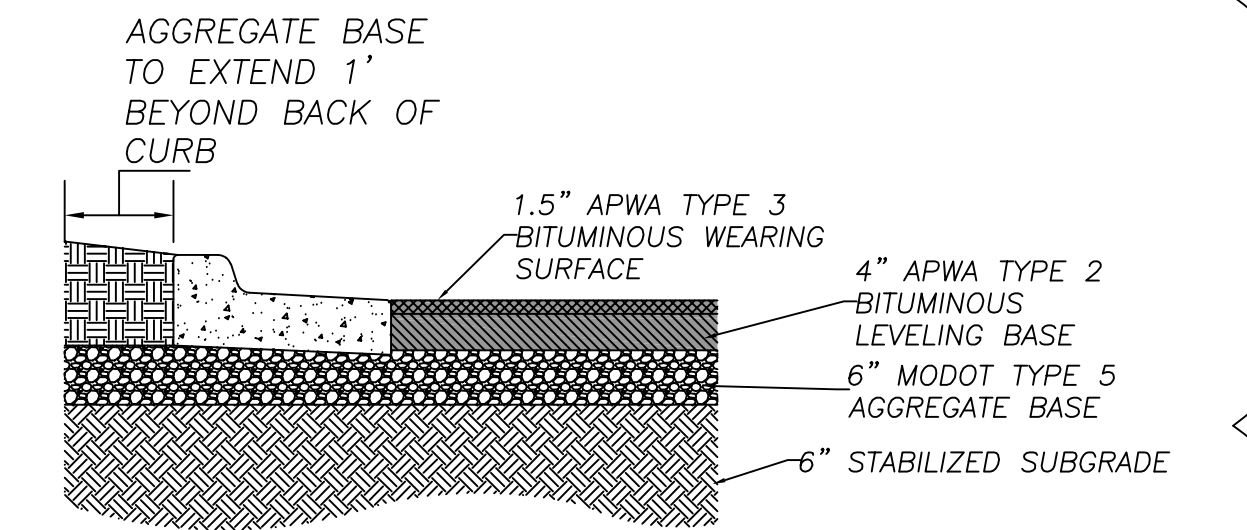
- NOTES:**
- ALL PAVEMENT SECTIONS SHALL BE IN ACCORDANCE WITH CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
  - CONCRETE CURB AND GUTTER (CITY OF LEE'S SUMMIT STANDARD CG-1) SHALL BE PLACED ALONG THE PERIMETER OF ALL PARKING AREAS. SEE DETAIL 5, ON SHEET 103.
  - CURB AND GUTTER SECTION ALONG NW BLUE PKWY SHALL BE RESTORED TO CITY OF LEE'S SUMMIT CG-2. SEE DETAIL 5 ON SHEET 103.



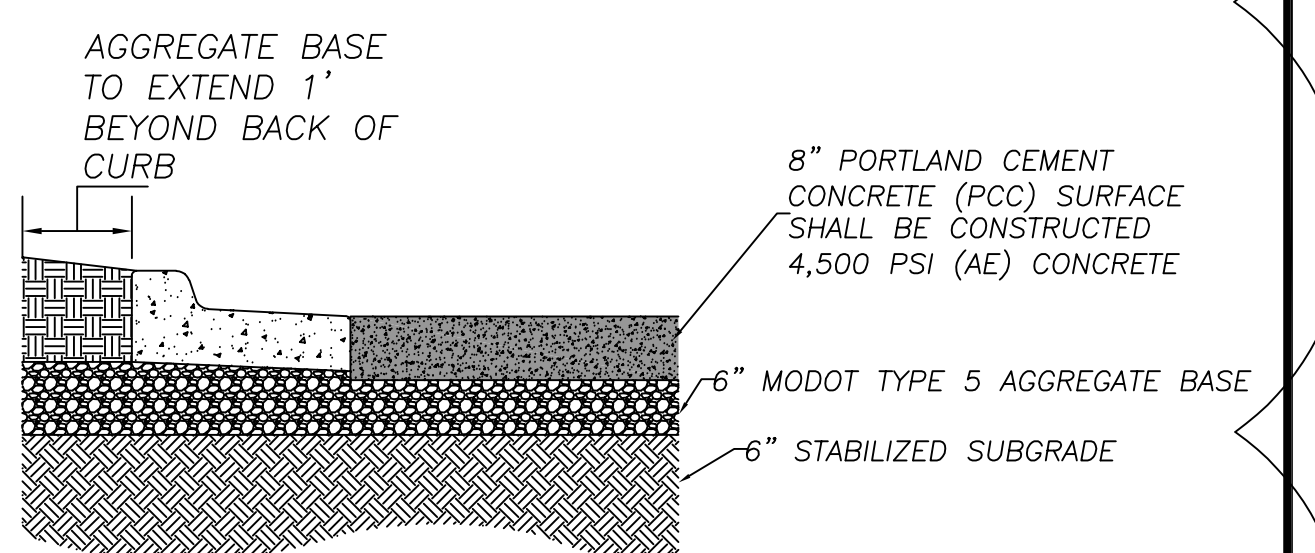
**1 SIDEWALK SECTION DETAILS**  
C103 N.T.S.



**2 HEAVY DUTY ASPHALT PAVEMENT SECTION DETAILS**  
C103 N.T.S.



**3 ASPHALT PAVEMENT SECTION DETAILS**  
C103 N.T.S.



**4 HEAVY DUTY CONCRETE PAVEMENT DETAILS**  
C103 N.T.S.

THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION.

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4240 PHILIPS FARM RD. STE. 101 - COLUMBIA, MO 65201 - PHONE (673) 397-5476  
MISSOURI CERTIFICATE OF AUTHORITY #000662 EXPIRES 12/31/2023

DRAWING INFO.		M/J/W	
NO.	DESCRIPTION	BY	DATE
1.	CITY 3111 REVIEW COMMENTS	RAB	3/21
REVISIONS		CHECKED BY:	LICENSE NO.
		DATE:	03-21-2022
		JOB NUMBER:	21KC10063
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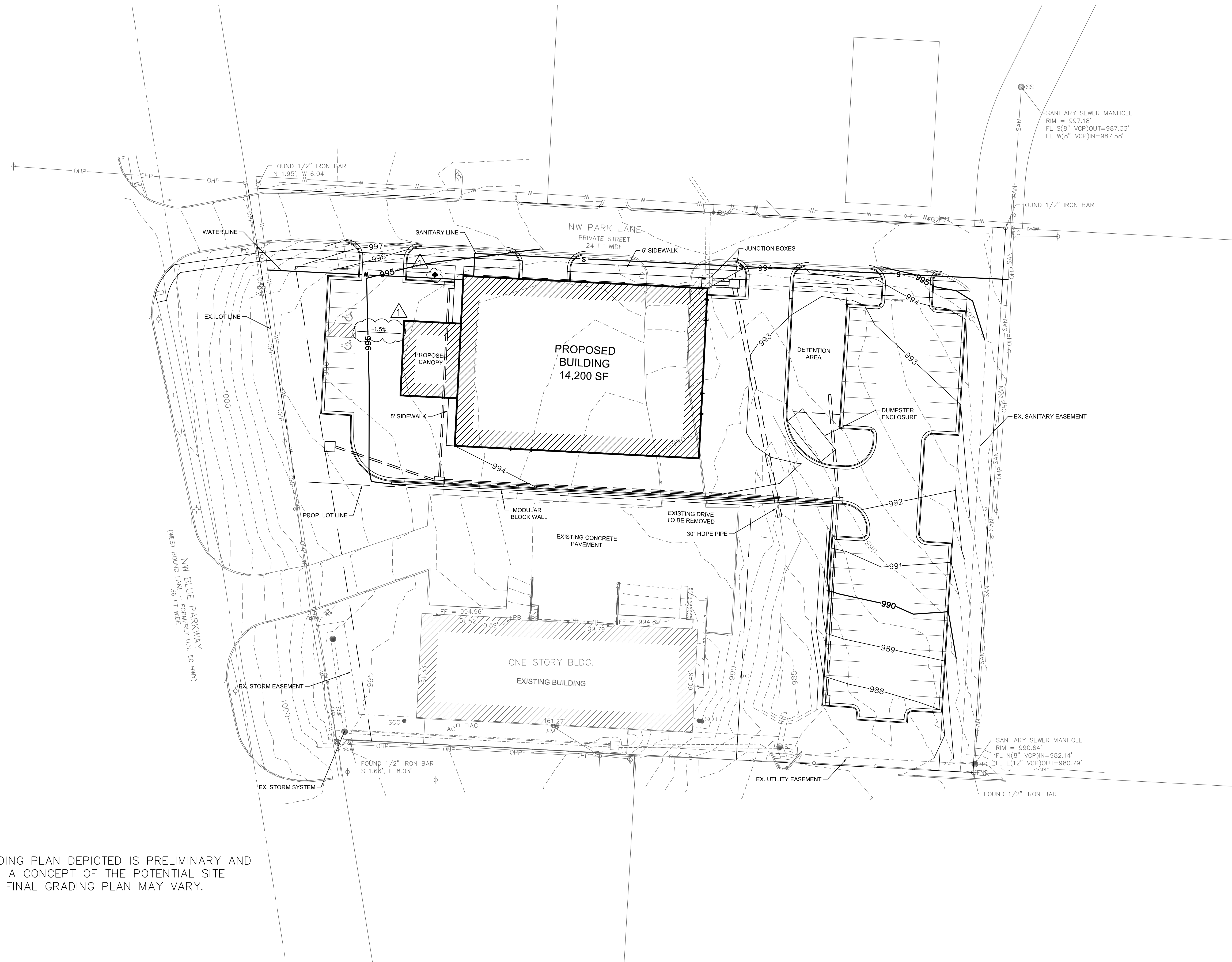
Gerber Collision - Lee's Summit  
BURMAN COMPANIES  
3885 N 20TH STREET OZARK, MO 65720

**Site Plan**

555 NW BLUE PKWY  
LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET NUMBER  
**C103**  
5 OF 9



**NOTES:**

1. THE GRADING PLAN DEPICTED IS PRELIMINARY AND PROVIDES A CONCEPT OF THE POTENTIAL SITE GRADING. FINAL GRADING PLAN MAY VARY.

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NO.	DESCRIPTION	BY	DATE
1	CITY 3/11 REVIEW COMMENTS	RAB	3/21

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**Gerber Collision - Lee's Summit**  
 BURMAN COMPANIES  
 3885 N 20TH STREET OZARK, MO 65720

**Grading and Utility Plan**

555 NW BLUE PKWY & NW PARK LN  
 LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET NUMBER  
**C104**  
 6 OF 9

**Lot Area Watershed Data - Pre-Developed Conditions**

Drainage Area	Total Area (sqft)	Impervious Area (sqft)	Pervious Area (sqft)
1A	13188	13188	0
1B	79528	3698	75830
<b>Total</b>	<b>92716</b>	<b>16886</b>	<b>75830</b>
Area (Acres)		Rational Method "C"	Curve Number
Pre-Developed	2.12	0.41	78

**Lot Area Watershed Data - Developed Conditions**

Drainage Area	Total Area (sqft)	Impervious Area (sqft)	Pervious Area (sqft)
1A	13188	13188	0
1B	79528	50293	29235
<b>Total</b>	<b>92716</b>	<b>63481</b>	<b>29235</b>
Area (Acres)		Rational Method "C"	Curve Number
Developed	2.12	0.71	90

**Drainage Area Watershed Data - Pre-Developed Conditions**

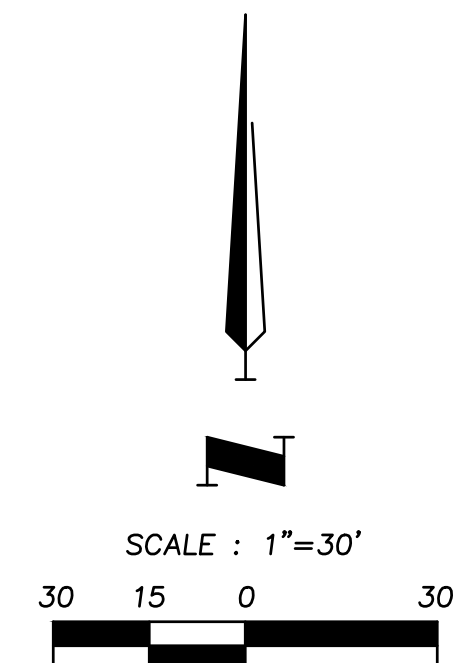
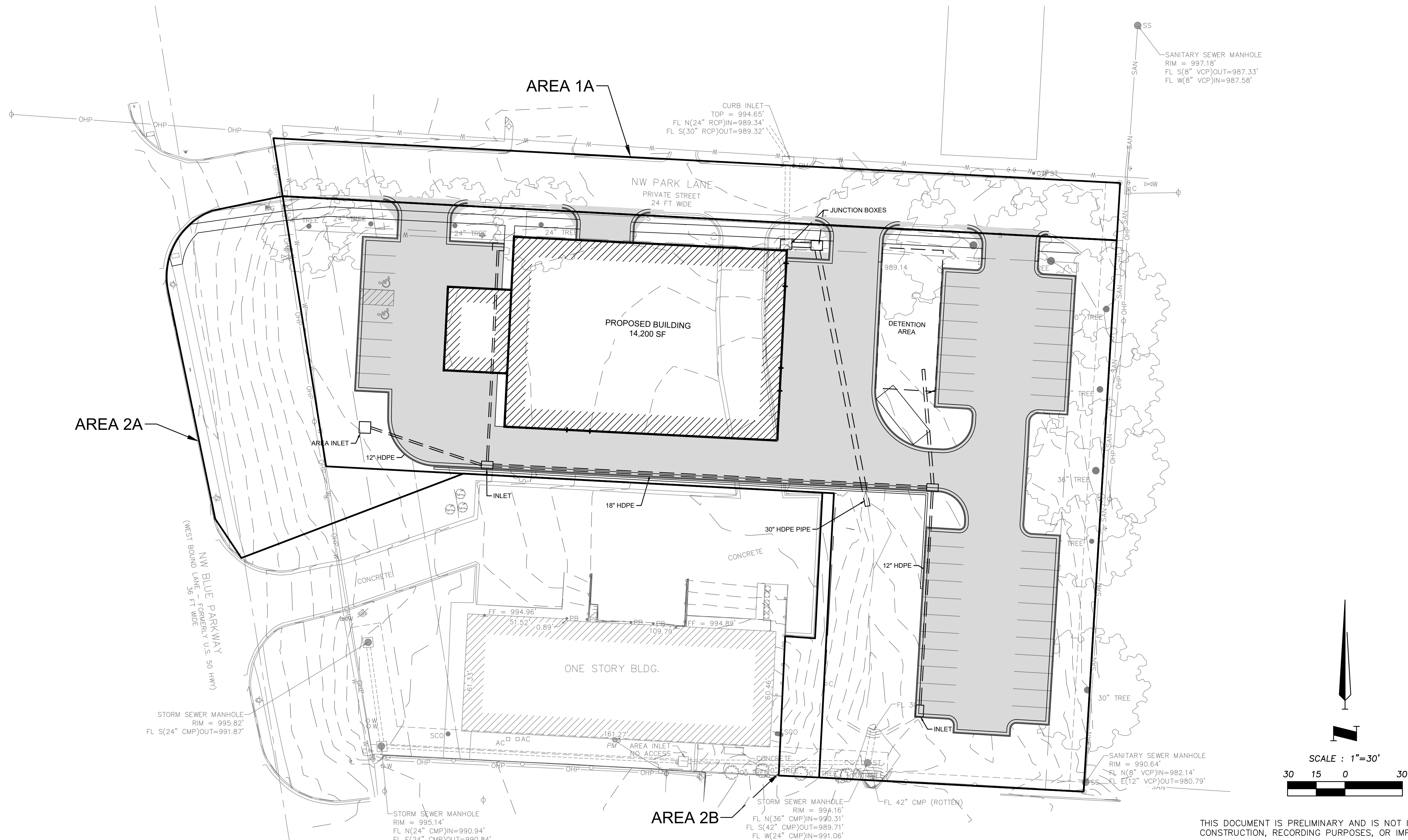
Drainage Area	Total Area (sqft)	Impervious Area (sqft)	Pervious Area (sqft)
1B	79528	3698	75830
2A	12110	0	12110
2B	2003	0	2003
<b>Total</b>	<b>93641</b>	<b>3698</b>	<b>89943</b>
Area (Acres)		Rational Method "C"	Curve Number
Pre-Developed	2.15	0.32	75

**Drainage Area Watershed Data - Developed Conditions**

Drainage Area	Total Area (sqft)	Impervious Area (sqft)	Pervious Area (sqft)
1B	79528	50293	29235
2A	12110	0	12110
2B	2003	0	2003
<b>Total</b>	<b>93641</b>	<b>50293</b>	<b>43348</b>
Area (Acres)		Rational Method "C"	Curve Number
Developed	2.15	0.62	86

**NOTES:**

1. THE PLAN DEPICTS A DEVELOPED IMPERVIOUS PERCENTAGE OF 68 PERCENT. THE LOT SHALL NOT EXCEED 80 PERCENT IMPERVIOUS.
2. THE PROJECT SITE CONTAINS AN OFFSITE DRAINAGE AREA AS WELL FRINGE AREAS THAT DRAIN ONTO THE SITE.
3. FOR THE STORMWATER ANALYSIS, THE OFFSITE DRAINAGE AREA, AREA 1A, WAS EXCLUDED FROM THE DRAINAGE AREA AND FRINGE DRAINAGE AREAS, AREA 2A AND AREA 2B, WERE ADDED TO THE DRAINAGE AREA.
4. THIS PLAN IS PRELIMINARY. DETAILED ANALYSIS OF THE STORMWATER MANAGEMENT SYSTEM MAY ALTER THE LOCATION, SIZE, AND CONFIGURATION OF STORMWATER CONTROL FEATURES.
5. THE STORMWATER MANAGEMENT PLAN WILL MEET THE REQUIREMENT OF THE CITY'S UNIFIED DEVELOPMENT ORDER AND THE APWA SECTION 5600 DATED FEBRUARY 16, 2011.



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FAX (673) 397-5477  
MISSOURI CERTIFICATE OF AUTHORITY ADDRESS EXPRES 12012023

DRAWING INFO.		REVISIONS	
DRAWN BY:	M/JW	NO.	DESCRIPTION
LICENSE NO.		DATE	
CHECKED BY:		DESCRIPTION	
LICENSE NO.		DATE	
DATE:	8-21-2022		
JOB NUMBER:	21KC10063		

Gerber Collision - Lee's Summit  
BURMAN COMPANIES  
3885 N 20TH STREET OZARK, MO 65720






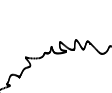

**Site Drainage Plan**

555 NW BLUE PKWY  
LEE'S SUMMIT, JACKSON COUNTY, MO

STATE OF MISSOURI  
MATTHEW J. WEBER  
NUMBER  
PE-2016017692  
3-21-22  
PROFESSIONAL ENGINEER

SHEET NUMBER  
**C105**  
7 OF 9

**PROPOSED LANDSCAPING FEATURES**

-  ORNAMENTAL TREE
-  MEDIUM DECIDUOUS SHADE TREE  
3" CALIPER @ 6" FROM GROUND LEVEL
-  LARGE DECIDUOUS SHADE TREE  
3" CALIPER @ 6" FROM GROUND LEVEL
-  EVERGREEN TREE  
8' TALL AT PLANTING
-  SHRUB, 5 GALLON
-  SHRUB, 2 GALLON
-  EXISTING TREE TO REMAIN, SIZE INDICATED

**LANDSCAPE NOTES**

- All landscaping shall comply with the minimum requirements of Article 8, Division III of the City of Lee's Summit Unified Development Ordinance.

**Street Tree and Shrub Requirements:**

1 tree per 30' of street frontage  
 1 shrub per 20' of street frontage  
 Total street frontage: 580 LF (includes private street)  
 580 LF/30 = 20 street trees required (20 Proposed)  
 580 LF/20 = 29 shrubs required (29 Proposed)

**Interior Landscaping/Open Space Requirements:**

1 tree per 5,000 SF of lot area, excluding building area  
 2 shrubs per 5,000 SF of lot area, excluding building area  
 Total lot area: 2.12 Ac = 92,347 SF  
 Proposed building area: 14,200 SF  
 92,347 SF - 14,200 SF = 78,147 SF  
 78,147 / 5,000 = 16 trees; 32 shrubs (16 trees proposed, 32 shrubs proposed)

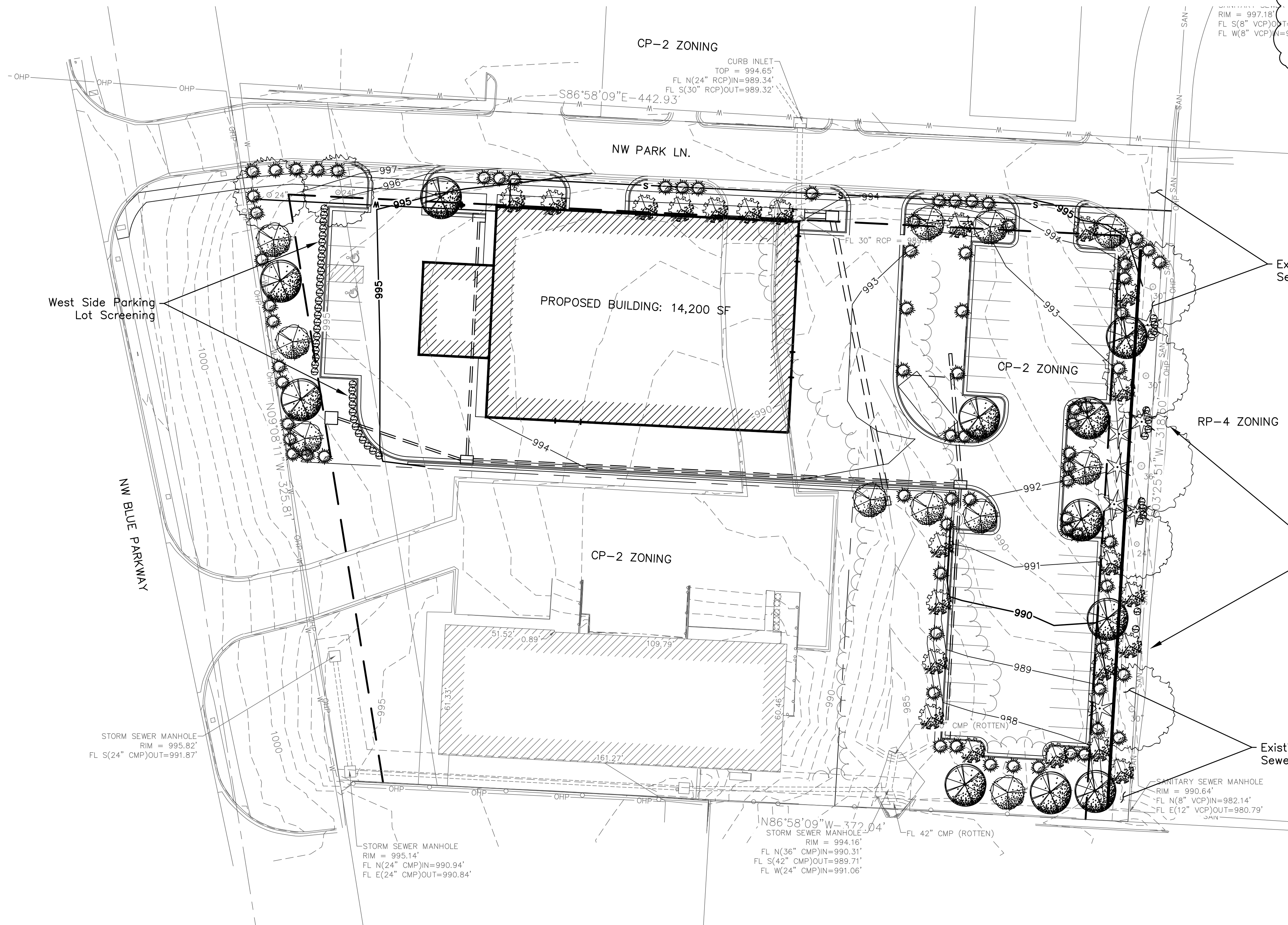
**Buffer/Screen Between Land Uses, East Property Line:**

Adjoining Uses: CP-2 (Subject Site); RP-4 (Neighboring Site)  
 High Impact Screening Required per Table 8.890  
 Proposed Screening: 6' Tall Opaque Vinyl Fence Plus Low Impact Screening.  
 Option C Proposed for Low Impact Screening.  
 Total Length of Area to be Screened: 275'  
 Screen Area: 275'x20' = 5500 SF  
 Low Impact Screening, Option C Requirements per 8.900:  
 Shade Trees @ 1/750 SF: 5500/750 = 8 Shade Trees Required (12 Proposed)  
 Ornamental Trees @ 1/750 SF: 5500/750 = 8 Ornamental Trees Required (23 Proposed)  
 Evergreen Trees @ 1/750 SF: 5500/750 = 8 Evergreen Trees Required (8 Proposed)  
 Shrubs @ 1/200 SF: 5500/200 = 28 Shrubs Required (28 Proposed)

**Parking Lot Screening Requirements (West Side):**

Option 1, Planted Only: 12 shrubs per 40 LF.  
 Parking Lot Frontage Length: 120 LF; 36 Shrubs Required. (36 Proposed)  
 Shrubs Shall be 18" Tall Minimum when Planted and be of a Species that will grow to at least 30" in Height at Maturity and Grow into a Continuous Visual Screen within 2 Growing Seasons.

NOTE:  
 OPEN AREAS SHALL BE SODDED  
 IN ACCORDANCE WITH CITY OF  
 LEE'S SUMMIT UNIFIED  
 DEVELOPEMENT ORDINANCE.



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NO.	DESCRIPTION	DATE	BY
1.	CITY 3/11 REVIEW COMMENTS	3/21	RAB

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LICENSE NO.:	
CHECKED BY:	
LICENSE NO.:	
DATE:	03-21-2022
JOB NUMBER:	21KC10063

Gerber Collision - Lee's Summit  
 BURMAN COMPANIES  
 3885 N 20TH STREET OZARK, MO 65720

**Landscape Plan**

NW BLUE PKWY & NW PARK LN  
 LEE'S SUMMIT, JACKSON COUNTY, MO



SHEET NUMBER  
**L101**  
 8 OF 9

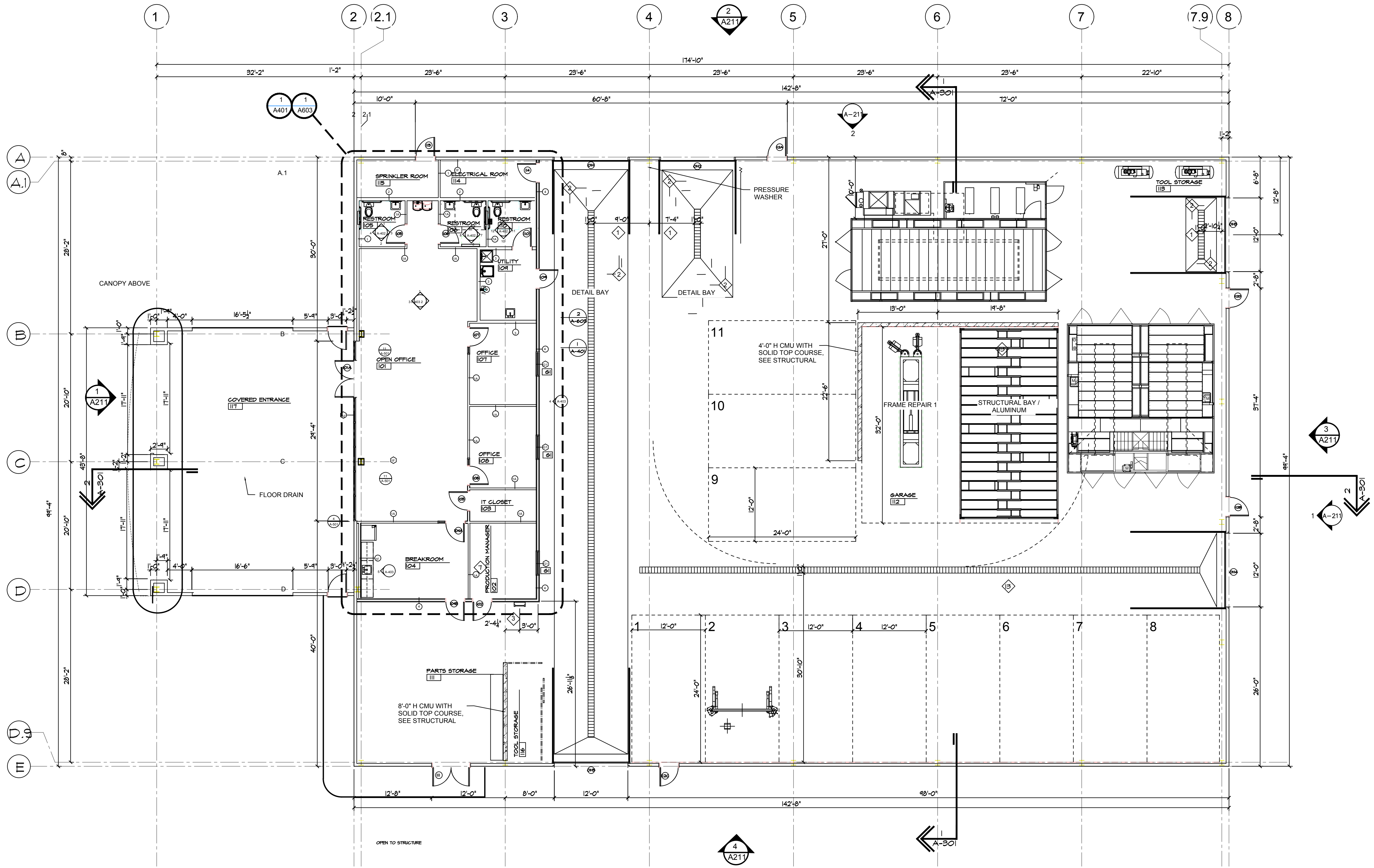




KEYNOTE LEGEND	
	TRENCH DRAIN
	SLOPE CONG FLOOR TO DRAIN
	ROOF ACCESS LADDER

FLOOR PLAN LEGEND	
	PARTITION TYPE
	DOOR NUMBER
	ROOM NAME / NUMBER
	GLAZING FRAME

- GENERAL NOTES**
- T/O SLAB ELEVATIONS  
I.A. LEVEL 01 = 100'-0" = CIVIL DATUM F.F.E.
  - SEE SHEET A-601 FOR PARTITION TYPES SCHEDULE.
  - SEE SHEET A-602 FOR DOOR, FRAMES, AND HARDWARE SCHEDULE.
  - SEE SHEET A-602 FOR GLAZING FRAMES SCHEDULE.
  - SEE SHEET A-603 FOR MATERIAL FINISHES AND ROOM FINISH PLAN & SCHEDULE.
  - SEE SHEET A-604 FOR FIXTURES, FURNITURE, AND EQUIPMENT PLAN & SCHEDULE.
  - ALL PARTITION METAL STUD AND GYP BD SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
  - ALL LUMBER USED FOR FRAMING AND BLOCKING SHALL BE BE FIRE-RETARDANT TREATED.
  - SUBCONTRACTOR IS RESPONSIBLE FOR FIRE STOPPING AND SEALING THEIR PENETRATIONS THROUGH RATED FLOORS AND PARTITIONS. CONTRACTOR SHALL PROVIDE DETAILS OF RATED FIRE STOPS FOR REVIEW AND APPROVAL.
  - ALL MATERIALS AND PRODUCTS SPECIFIED SHALL BE NEW AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ANY DEVIATION FROM THE INTENT OF THE DOCUMENTS WITHOUT WRITTEN APPROVAL IS AT THE GC / TRADES OWN RISK AND MAY RESULT IN CORRECTIVE ACTION WITHOUT COST TO THE DESIGNER, TENANT, AND/OR OWNER.
  - DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING AND/OR FACE OF MASONRY.



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**GERBER COLLISION**  
555 NW BLUE PARKWAY, UNIT A  
LEES SUMMIT, MISSOURI 64063

ARCHITECT OF RECORD

REVISION	DATE	COMMENTS
	01.21.22	
	02.04.22	

ARCDEV JOB #:  
CLIENT JOB #:  
DRAWN BY: CARL JTK  
CHECKED BY: PZS NLH  
DATE OF ISSUE: 11-10-2021

**ARCHITECT**  
NORMAN L. HERMAN  
45 SPYGLASS DRIVE  
LITTLETON, COLORADO 80123  
VOICE: 303.881-8925  
NORMHERMAN@ARCDEV.COM

SHEET  
**A-101**  
FLOOR PLAN