

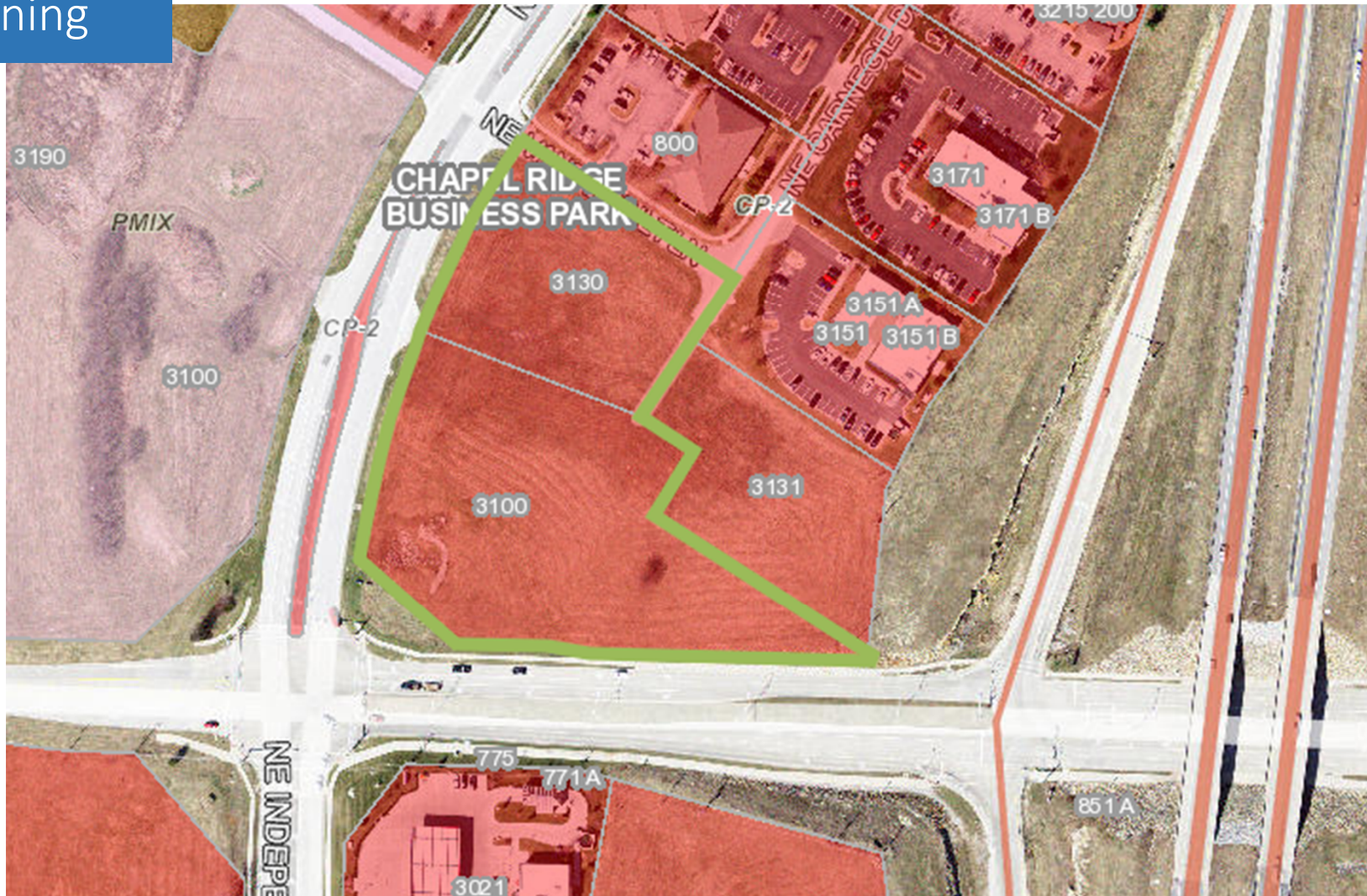
PL2023-319

Outlaw Harley
Davidson

Preliminary
Development
Plan

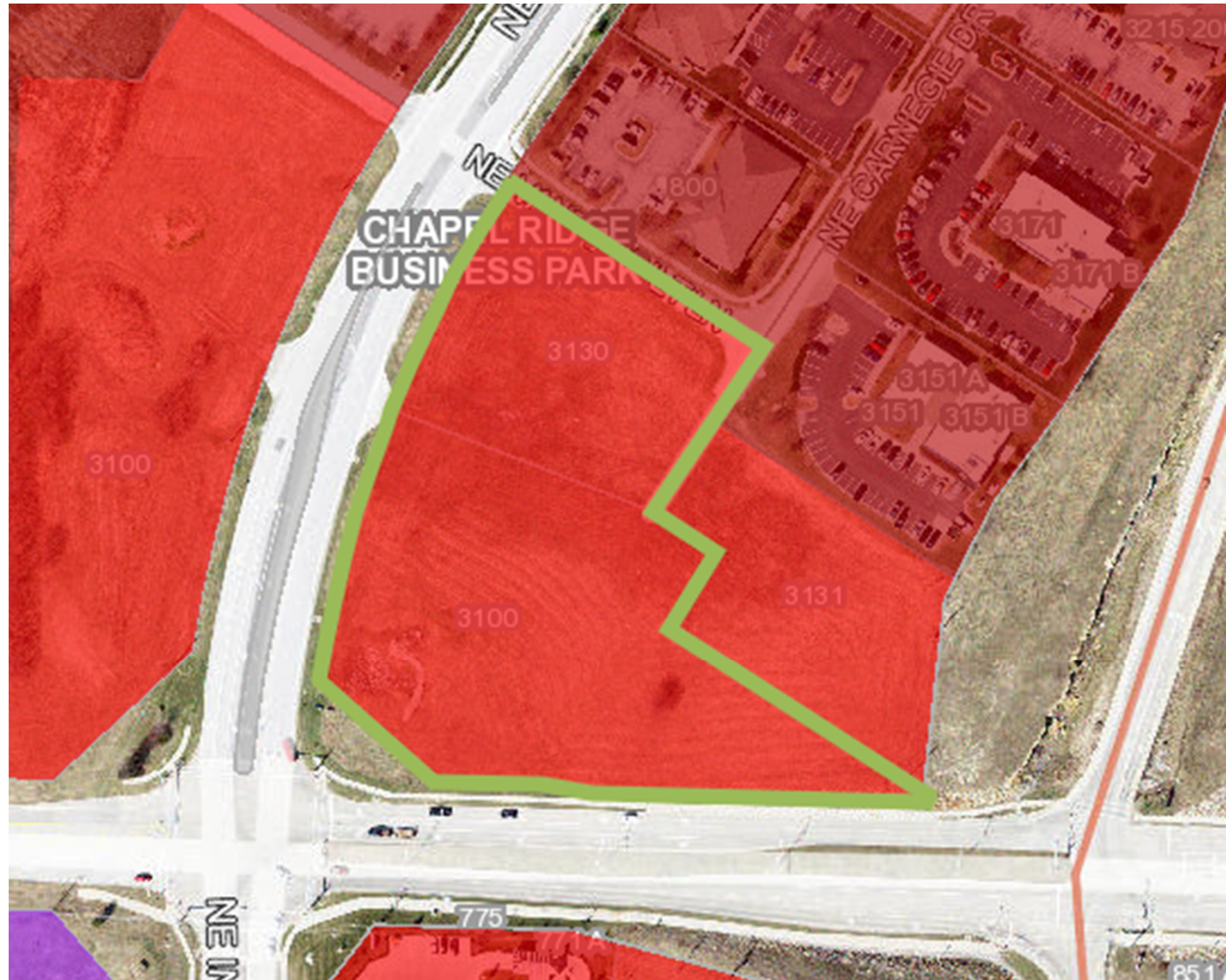


Surrounding Zoning



Ignite! Land Use Map

- Activity Center Downtown
- Activity Center New Longview
- Activity Center North PRI
- Activity Center South PRI
- Activity Center Summit
- Airport
- Civic
- Commercial
- Industrial
- Infrastructure
- Mixed Use
- Office
- Parks/Open Space
- Residential 1
- Residential 2
- Residential 3
- Water Bodies



Preliminary Development Plan

Zoning

- CP-2 (existing)

Property Size

- 3.80 AC

Building Area

- 34,000 sq. ft.

Building Height

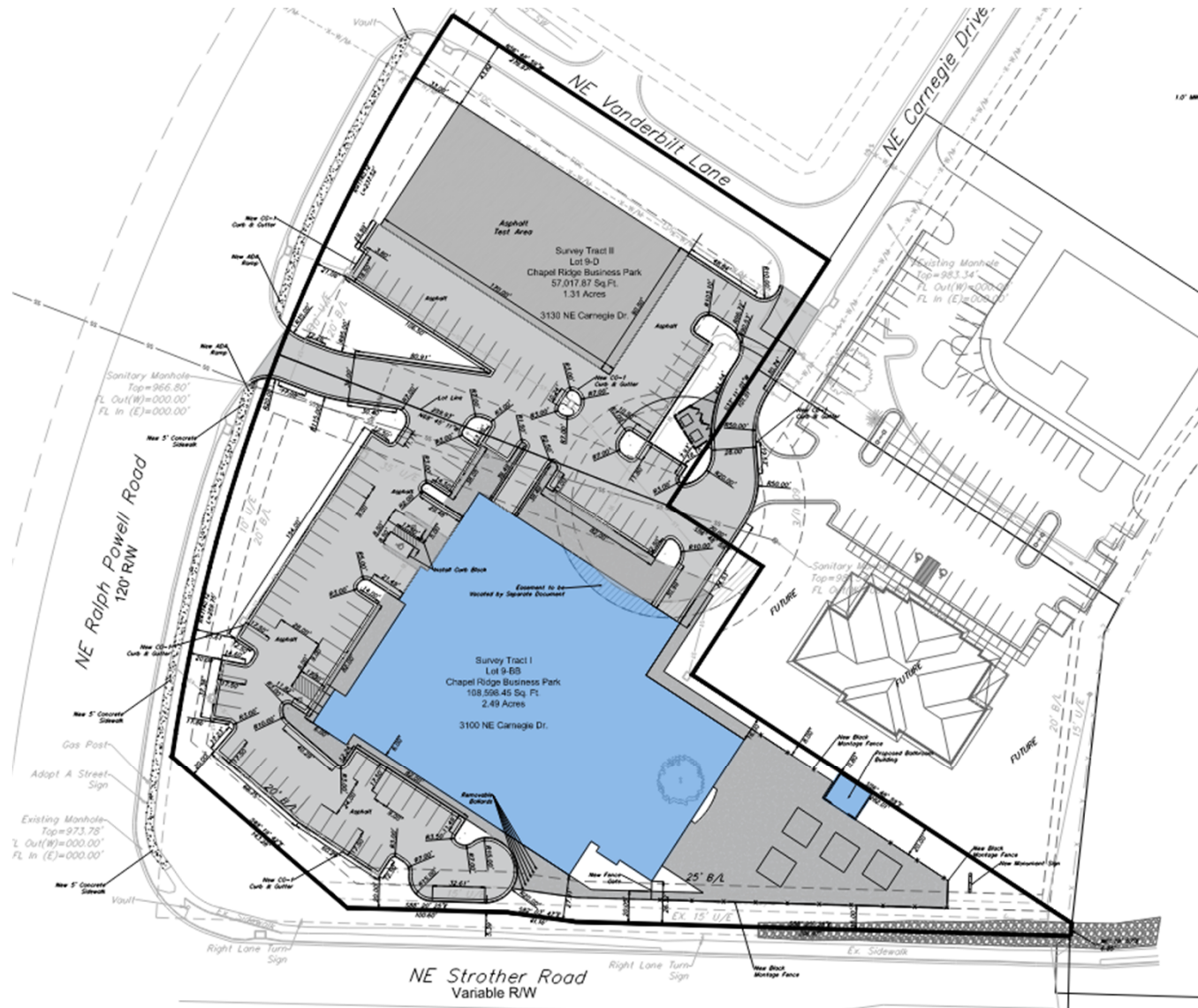
- 28'

FAR

- 0.20

Parking

- 91 standard
- 4 ADA



Architectural Elevations

Metal Panels

- 36.8%

Fiber Cement

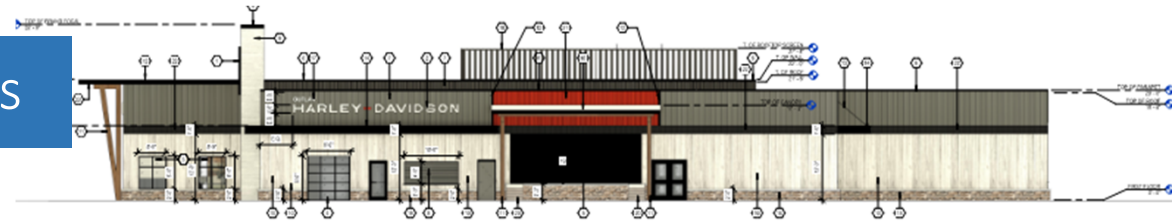
- 36.0%

Stone Veneer

- 11.8%

Glass (windows/doors)

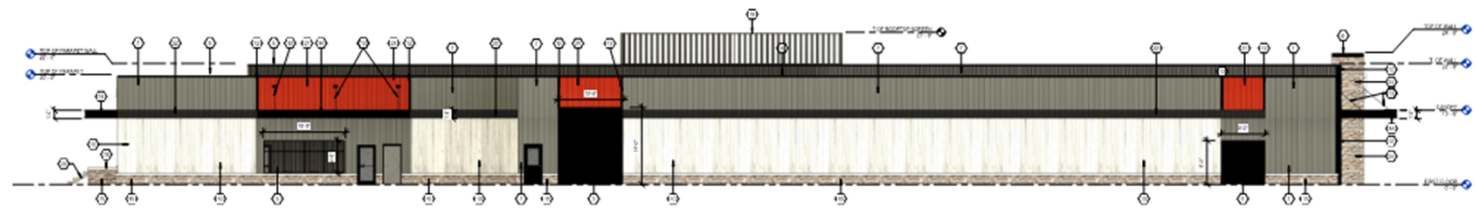
- 15.4%



EAST ELEVATION
 METAL PANELS: 1,209 S.F. (32%)
 FAUX FIBER CEMENT: 1,705 S.F. (46%)
 THIN STONE VENEER: 310 S.F. (8%)
 WINDOWS/DOORS: 440 S.F. (12%)
 FACADE TOTAL: 3,664 S.F. (100%)



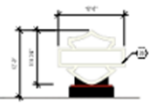
SOUTH ELEVATION
 METAL PANELS: 1,739 S.F. (33%)
 FAUX FIBER CEMENT: 1,834 S.F. (32%)
 THIN STONE VENEER: 545 S.F. (11%)
 WINDOWS/DOORS: 1,269 S.F. (24%)
 FACADE TOTAL: 5,178 S.F. (100%)



NORTH ELEVATION
 METAL PANELS: 2,154 S.F. (43%)
 FAUX FIBER CEMENT: 1,960 S.F. (31%)
 THIN STONE VENEER: 861 S.F. (17%)
 WINDOWS/DOORS: 385 S.F. (8%)
 FACADE TOTAL: 4,960 S.F. (100%)



WEST ELEVATION
 METAL PANELS: 1,445 S.F. (30%)
 FAUX FIBER CEMENT: 1,510 S.F. (38%)

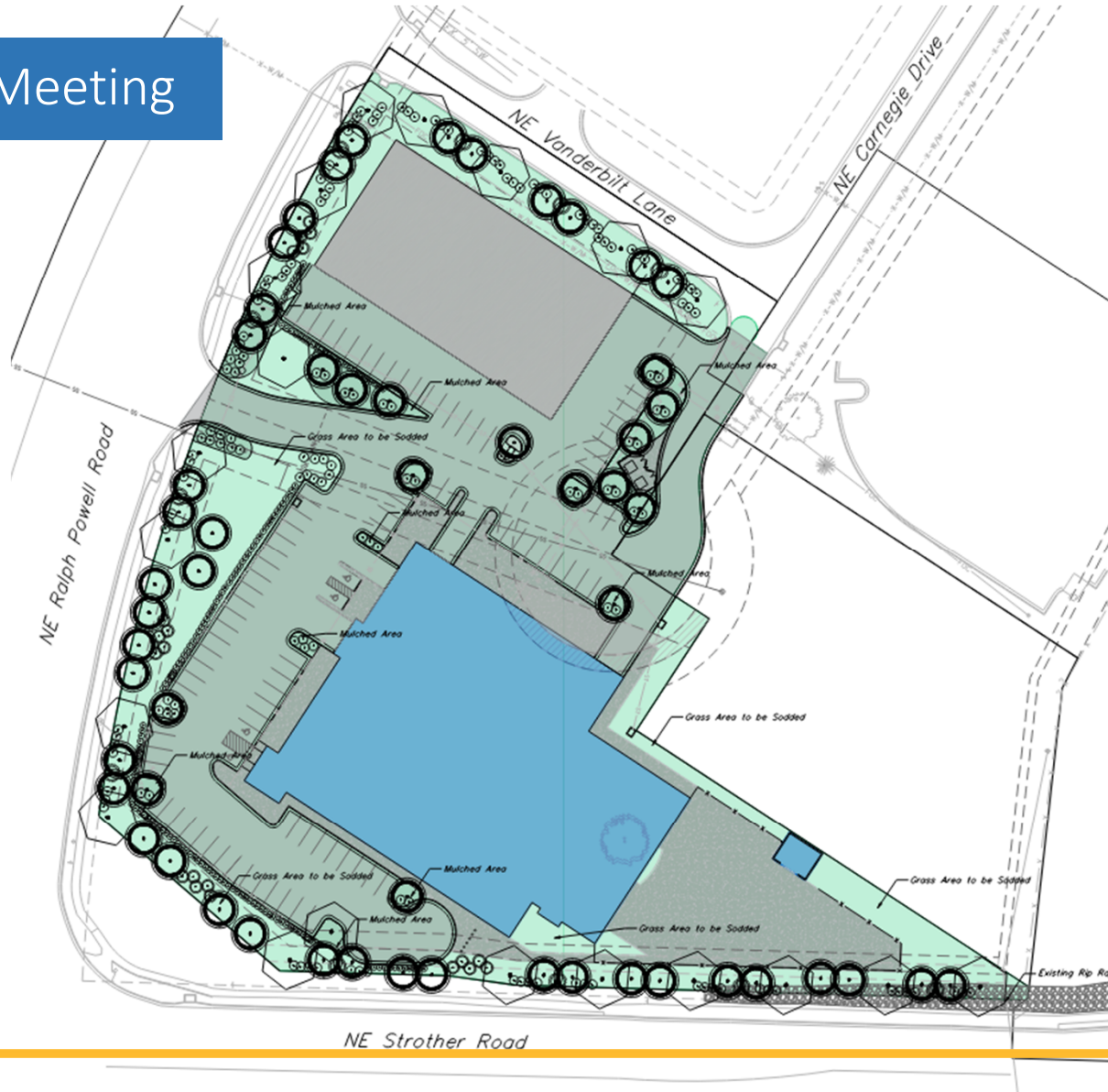


5
 A2.1
 MONUMENT SIGN ELEVATION

Neighborhood Meeting



Neighborhood Meeting



Modifications Request

Modification to UDO Sec. 8.180 - Architectural Characteristics.

Required –

- All roof-mounted equipment shall be screened entirely from view by using parapet walls at the same height as the mechanical units.

Proposed –

- The applicant has proposed to utilize bolt on screening in the place of a parapet wall.



Approval Conditions

1. A modification shall be granted to the minimum 20' parking lot setback from right-of-way, to allow a 5.39' parking lot setback from the NE Strother Rd. right-of-way.
2. A modification shall be granted to the required straight-back Portland cement concrete curbing (CG-1) to allow for a ribbon curb type as depicted on the preliminary development plan dated November 17, 2023 & revised December 22, 2023.
3. A modification shall be granted to the requirement that all roof-mounted equipment be screened entirely from view by using parapet walls at the same height as the mechanical units, to allow the proposed screening system in lieu of parapet walls for screening around the periphery of the rooftop mechanical equipment as depicted on the submitted Building Elevations, dated November 17, 2023 & revised December 22, 2023.
4. Development shall be in accordance with the preliminary development plan dated November 17, 2023 & revised December 22, 2023.
5. The use of architectural metal panels shall be allowed as a conditional material as depicted on the building elevations dated November 17, 2023 & revised December 22, 2023.

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