

Summer Moon Coffee Preliminary Development Plan

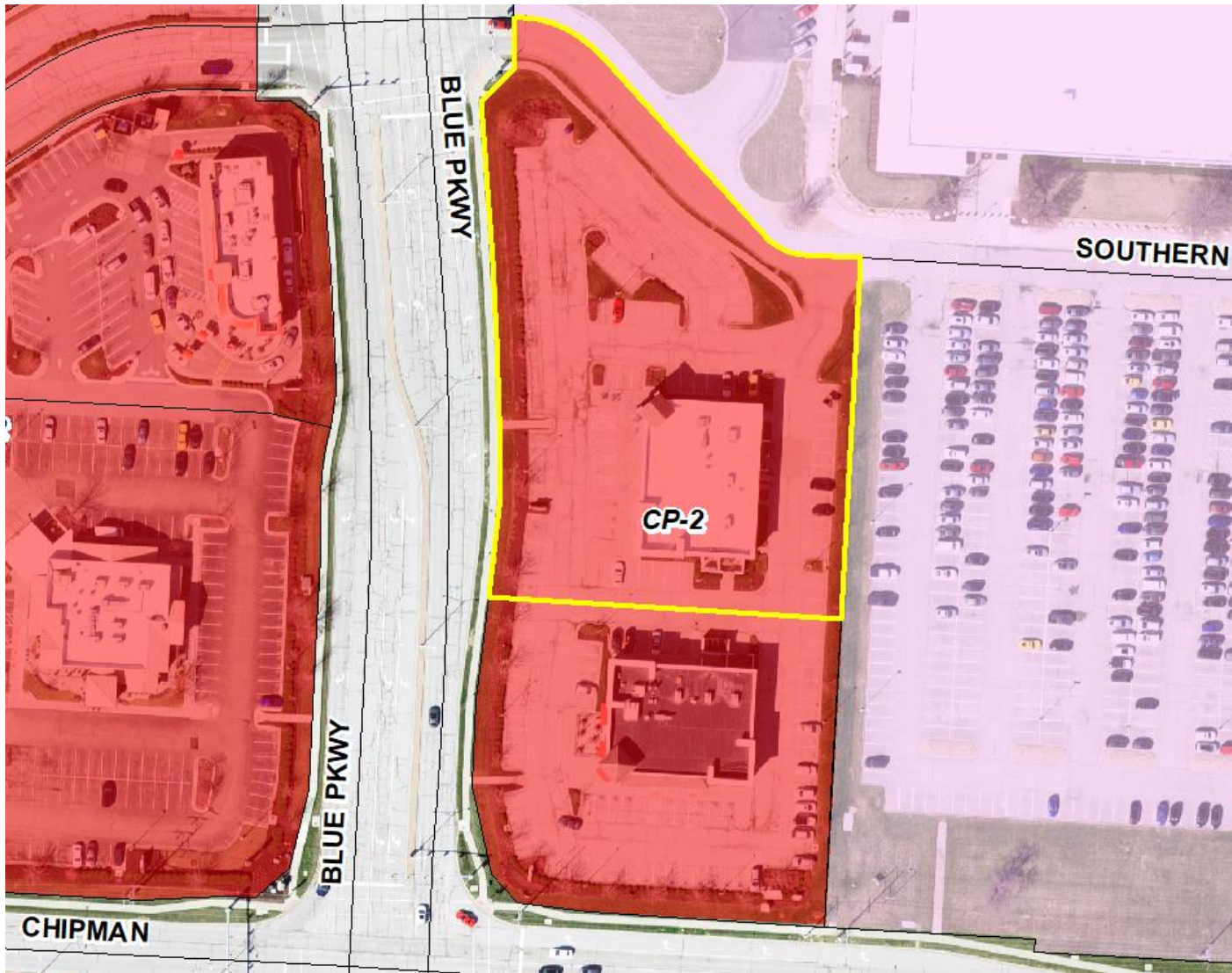
File #PL2022-405
February 28, 2023



LEE'S SUMMIT
MISSOURI

Yours Truly





Lot Area – 1.7 acres

Zoning – CP-2

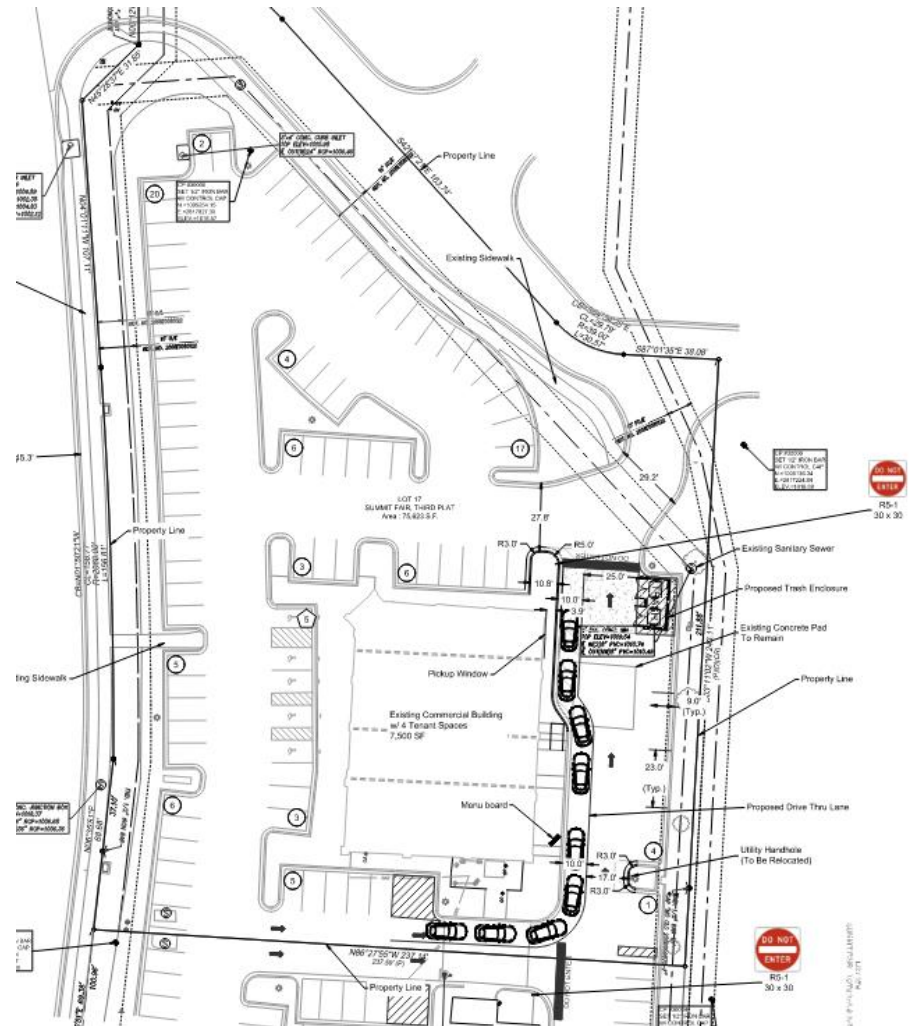
Building Area

- 1,500 sq. ft. – tenant space
- 7,500 sq. ft. - total

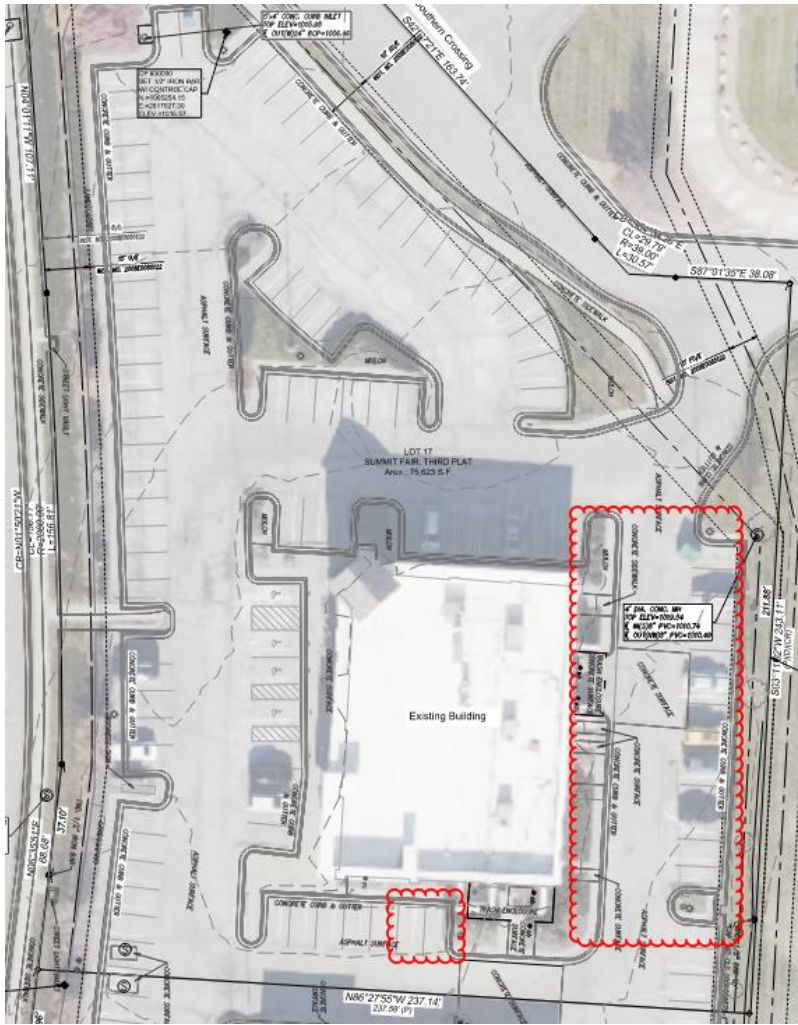
FAR – 0.10

Parking

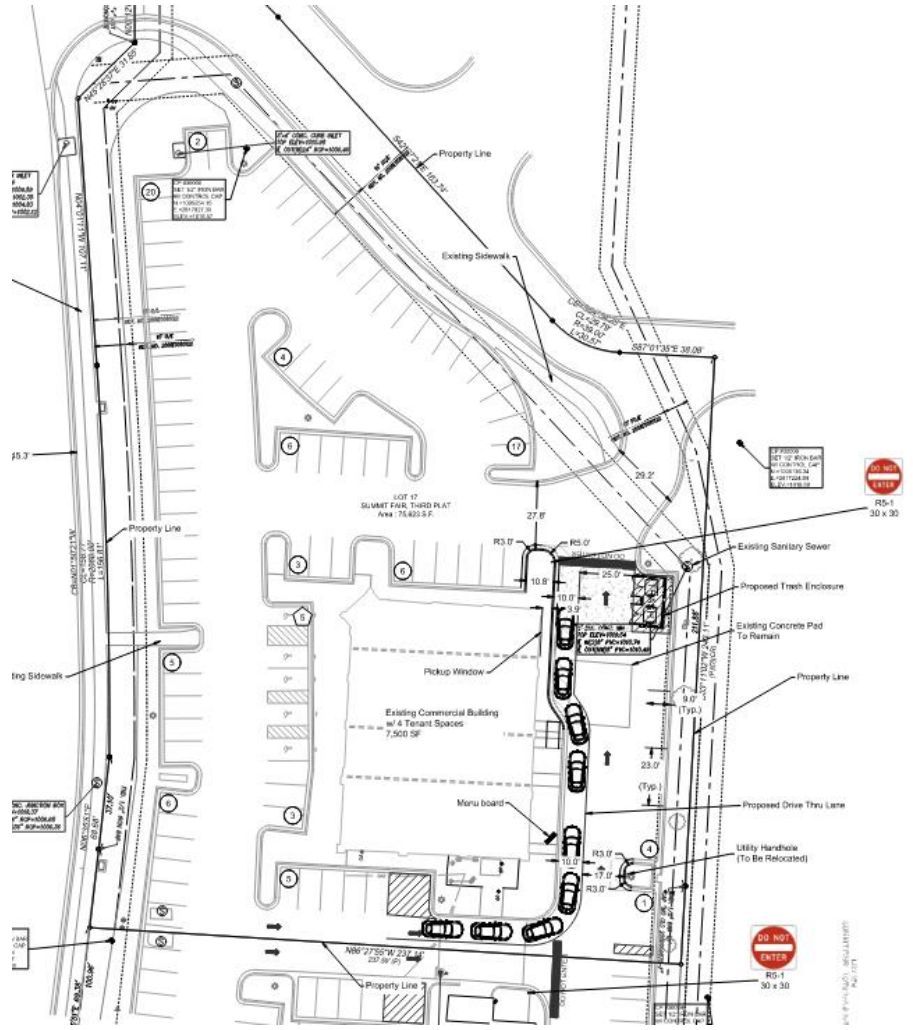
- 100 existing;
- 87 proposed (removal of 13 spaces);
- 85 required



Project Information



Existing



Proposed



Site Plan Comparison

- The introduction of a drive-through facility to serve the pad site tenant is consistent with area drive-through restaurants and increased use of drive-through/drive-up facilities for general commercial uses.
- The proposed drive-through facility meets the minimum queuing requirement of 4-car stacking from the window plus 5-car stacking from the order box.
- The elimination of 13 parking spaces for the proposed site improvements results in adequate parking (87 spaces) to meet the UDO minimum (85 spaces).
- The proposed site improvements results in a net decrease of 44 sq. ft. of impervious coverage.

1. Development shall be in accordance with the preliminary development plan dated December 6, 2022.