

HAWTHORN

ASSISTED LIVING COMMUNITY

OWNER:

HAWTHORN ASSISTED LIVING COMMUNITY

ARCHITECT: SULLIVAN PALMER ARCHITECTS

8621 Johnson Drive
Merriam, KS 66202
Tel: 913-888-8540
Email: nick@sullivanpalmer.com

STRUCTURAL ENGINEER: SDC ENGINEERING

5907 Raytown Trafficway
Raytown, MO 64133
Tel: 816-356-1445
Email: alhermans@sdcorp.com

MEP ENGINEER: SDC ENGINEERING

5907 Raytown Trafficway
Raytown, MO 64133
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- ## S SURVEY

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| AS1 | SITE PLAN, NOTES, & DETAILS |
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COLOR RENDERINGS |
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COLOR RENDERINGS |

- L1 LANDSCAPE PLAN, SCHEDULE, & DETAILS
PH1 PHOTOMETRIC PLAN

CODE ITEMS:

2024 INTERNATIONAL BUILDING CODE, CITY OF LEE'S SUMMIT, MO
2024 INTERNATIONAL PLUMBING CODE
2024 INTERNATIONAL MECHANICAL CODE
2024 INTERNATIONAL FUEL GAS CODE
2024 INTERNATIONAL FIRE CODE
2023 NATIONAL ELECTRICAL CODE
ICC/ANSI A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
ALL CODE ITEMS AS AMENDED BY THE CITY OF LEE'S SUMMIT

SITE DATA:

ZONING: CP-2
SITE AREA: 82,124 S.F. (1.88 ACRES)
PERVIOUS AREA: 53,950 S.F.
IMPERVIOUS AREA: 28,174 S.F.
BUILDING AREA: 9,530 S.F.

F.A.R. (REQUIRED): 55
F.A.R. (PROPOSED): 0.116

PARKING (REQUIRED): 13 SPACES
PARKING (PROPOSED): 20 SPACES

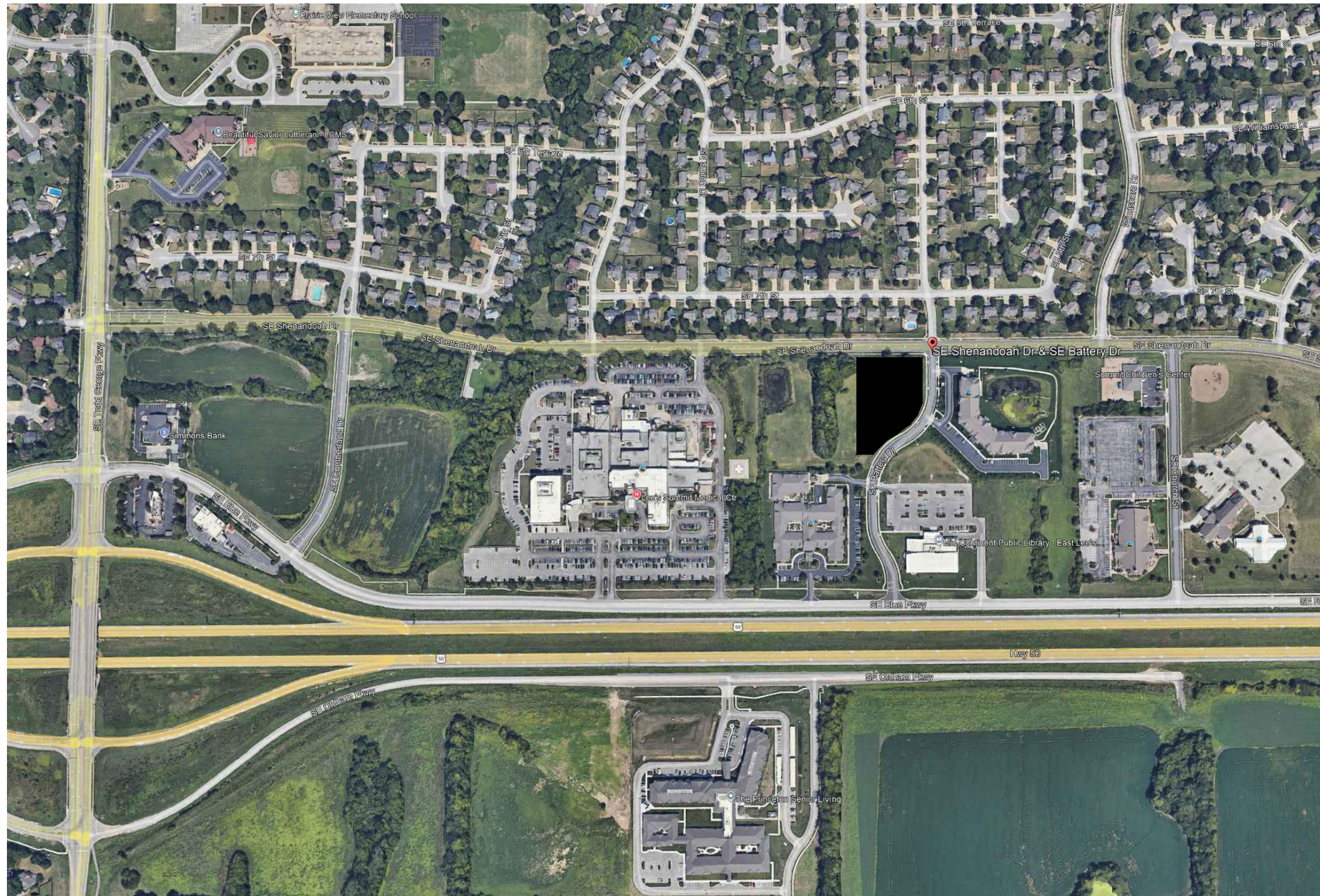
BUILDING DATA:

BUILDING HEIGHT: 1 STORY / 29'-8" HIGH
BUILDING USE: ASSISTED LIVING FACILITY
OCCUPANCY CLASS: R4 - RESIDENTIAL
CONSTRUCTION TYPE: VB, SPRINKLERED
TENANT FINISH AREA: 9,530 S.F.

OCCUPANT LOAD:
RESIDENTIAL I = 16 OCC.
SUPPORT STAFF = 5 OCC.

TOTAL OCCUPANT LOAD = 21 OCCUPANTS

EXITS: 4



* PER THE MODNR GIS MAPPING, THERE IS NO PRESENCE OF ANY ACTIVE, INACTIVE, OR CAPPED OIL AND GAS WELLS ON THE PROPERTY.

[illegible]

SYMBOLS & LEGEND

- | | | | |
|---|--|---|--|
|  | EXISTING DUPLEX OUTLET TO REMAIN |  | HORN/RIM ARROWHEADS INDICATE NUMBER OF CIRCUITS |
|  | NEW PHONE WALL BOX TO BE REMOVED |  | NEW BRANCH CIRCUIT, CONCEALED WALL CABLE OR SLAB |
|  | NEW DUPLEX OUTLET |  | DUPLEX RECEPTACLE |
|  | NEW PHONE WALL BOX, CONDUIT TO CEILING AND PULL WIRE - PHONE INSTALLATION BY TENANT |  | FOUR RECEPTACLE |
|  | EXISTING TELEPHONE BOX TO REMAIN |  | GROUND FAULT INTERRUPT DUPLEX (GFI) |
|  | EXISTING PHONE BOX TO BE REMOVED |  | TAMPER-RESISTANT RECEPTACLE (TRR) |
|  | NEW SINGLE POLE WALL SWITCH |  | TELEPHONE OUTLET |
|  | EXISTING SINGLE POLE SWITCH TO REMAIN |  | DATA OUTLET |
|  | EXISTING SWITCH |  | SINGLE POLE SWITCH |
|  | NEW 2'X4' FLUORESCENT FIXTURE IN CEILING GRID OR EXISTING FIXTURE, RELOCATED IN CEILING GRID |  | THREE WAY SWITCH |
|  | EXISTING 2'X4' FLUORESCENT FIXTURE TO REMAIN |  | SINGLE POLE KEYED SWITCH |
|  | EXISTING 2'X4' FLUORESCENT FIXTURE TO BE REMOVED |  | JUNCTION BOX |
|  | CEILING MOUNTED SUPPLY GRILL |  | DISCONNECT SWITCH |
|  | CEILING MOUNTED RETURN AIR GRILL |  | FUSED DISCONNECT SWITCH |
|  | EXISTING TOILET FAN |  | MOTOR |
|  | EXISTING EXIT LIGHT W/ BATTERY BACK-UP |  | MANUAL MOTOR STARTER |
|  | NEW EMERGENCY LIGHT |  | THERMOSTAT |
|  | EXISTING WALL PANELS TO BE REMOVED |  | COMBINATION STARTER/DISCONNECT |
|  | NEW WALL CONSTRUCTION TO BE 3'-6 3/8" DBT, STUCCO @ 16" O.C. WITH 2x8 STUDS, JOIST 8" ON CENTER, TAPE, SAND AND FINISH |  | FLOW SWITCH |
|  | NEW DOORS AND FRAMES TO MATCH EXISTING. AT NEW OVP, PARTITIONS, INSTALL NEW DOORS AND FRAMES, AND |  | ON SENSOR W/ AUTO-ON CONTROL |
| | |  | OFF SENSOR W/ MANUAL CONTROL |



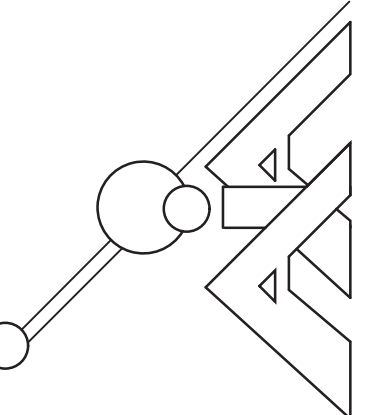
PAVEMENT TYPES	
TYPE	COMPONENTS
①	2" APWA TYPE 3-01 AC SURFACE 4" APWA TYPE 1-01 AC BASE 6" AGGREGATE BASE COURSE 12" MOISTURE CONDITIONED & RECOMPACTED SUBGRADE (LL<55, PI<30)
②	2" APWA TYPE 3-01 AC SURFACE 6" APWA TYPE 1-01 AC BASE 6" AGGREGATE BASE COURSE 12" MOISTURE CONDITIONED & RECOMPACTED SUBGRADE (LL<55, PI<30)

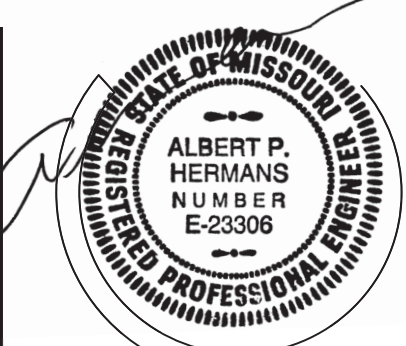
REFERENCE SECTION 7.5 OF SOIL REPORT PREPARED BY
COOK, FLATT & STROBEL ENGINEERS DATED 6/10/26



1 PAVEMENT SITE PLAN

1" = 20'





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**HAWTHORN
ASSISTED LIVING**

10/10/2016



Date:

6-22-26

Revision:

7-15-

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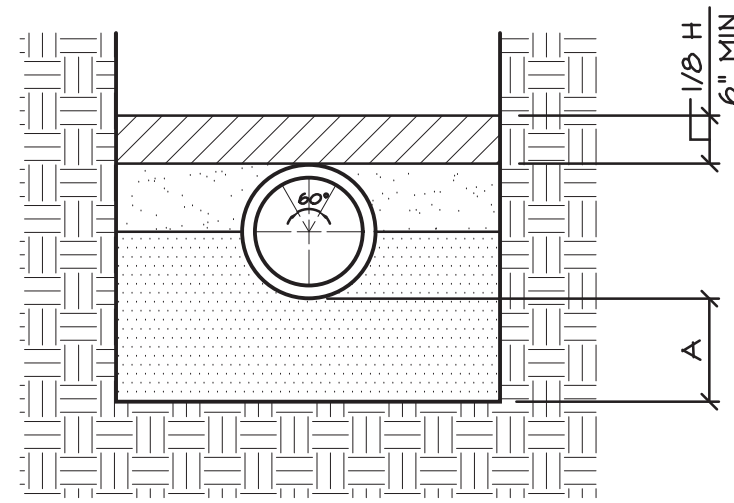
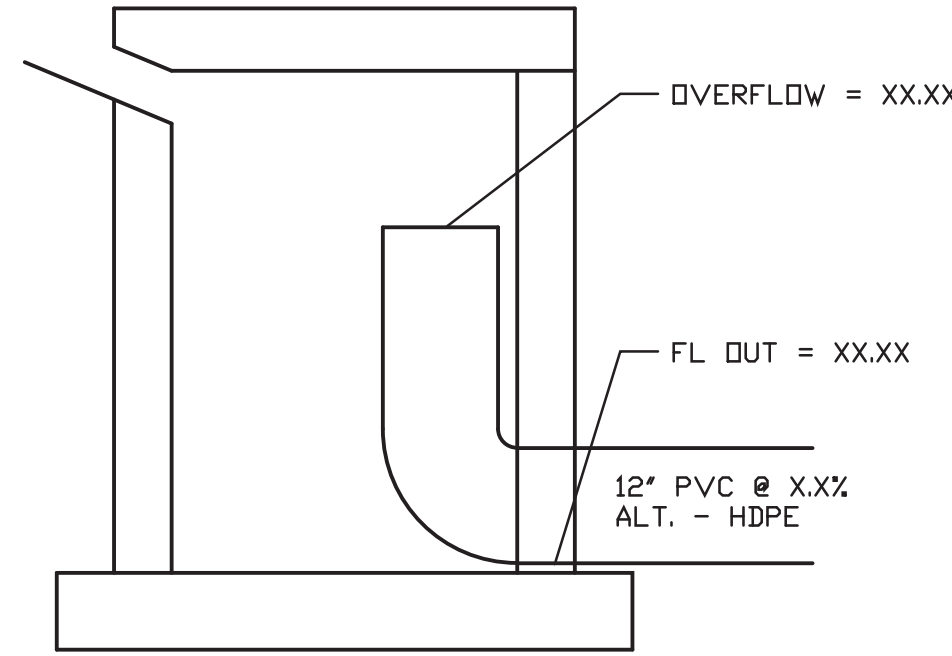
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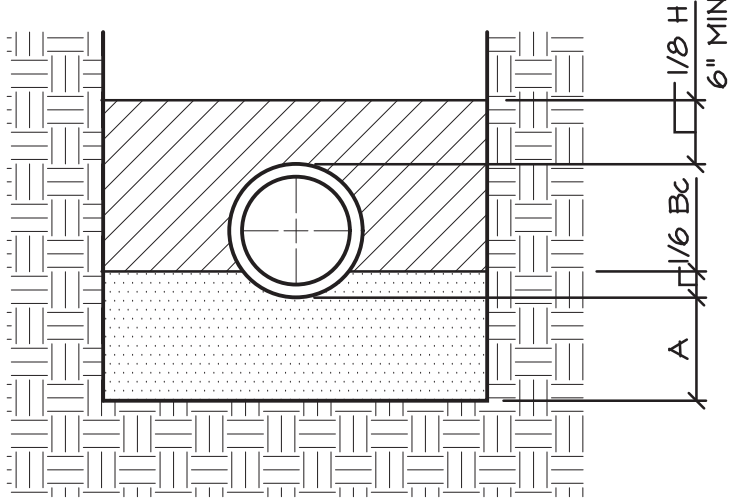
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FIRST CLASS BEDDING
CLASS B

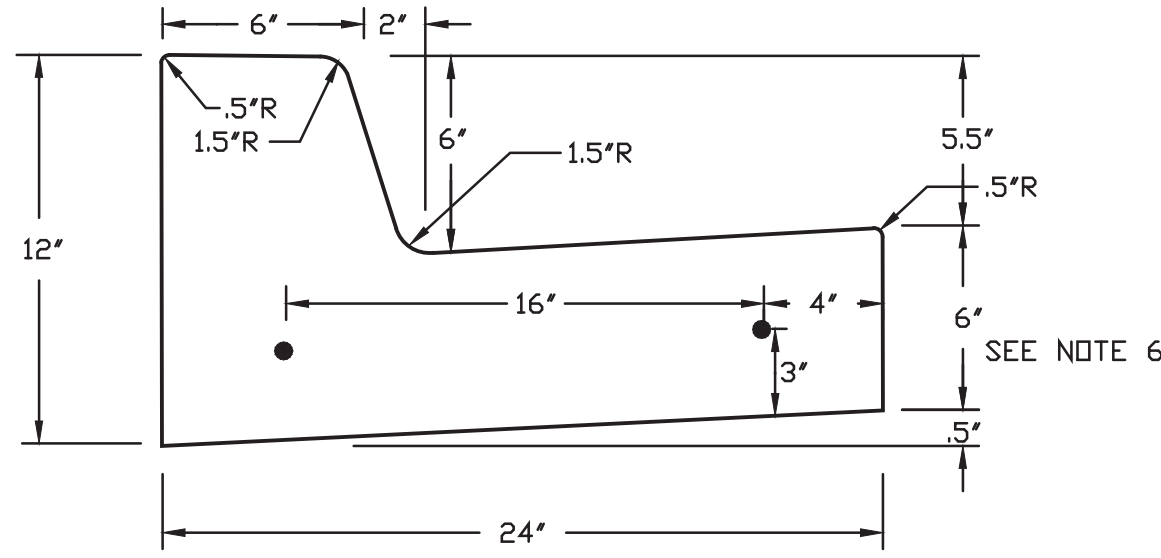


ORDINARY BEDDING
CLASS C

- LEGEND
- B_C = OUTSIDE DIAMETER OF PIPE
H = BACKFILL COVER ABOVE TOP OF PIPE
D = NOMINAL PIPE SIZE
A = FILL BELOW PIPE (SEE TABLE)
- = HAND PLACED BACKFILL
 = TAMPED BACKFILL
 = GRANULAR BACKFILL
 = CONCRETE

TABLE OF FILL DEPTHS BELOW PIPE		
D	"A" MIN. IN SOIL	"A" MIN. IN ROCK
27" & SMALLER	3"	6"
30" TO 60"	4"	9"
66" & LARGER	6"	12"

- NOTES:
- GRANULAR FILL TO BE CRUSHED STONE OR PEA GRAVEL WITH NOT LESS THAN 95% PASSING 1/2" AND NOT LESS THAN 45% TO BE RETAINED ON A #41 TO BE PLACED IN NOT MORE THAN 6" LAYERS AND COMPACTED BY SLICING WITH A SHOVEL.
 - TAMPED BACKFILL SHALL BE FINELY DIVIDED JOB EXCAVATED MATERIAL FREE FROM DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY AASHTO STANDARD, METHOD T-99. GRANULAR FILL MAY BE SUBSTITUTED FOR ALL OR PART OF TAMPED BACKFILL.
 - HAND-PLACED BACKFILL SHALL BE FINELY DIVIDED MATERIAL FREE FROM DEBRIS AND STONE.



CG-1 CURB SECTION

CONCRETE CURB NOTES:

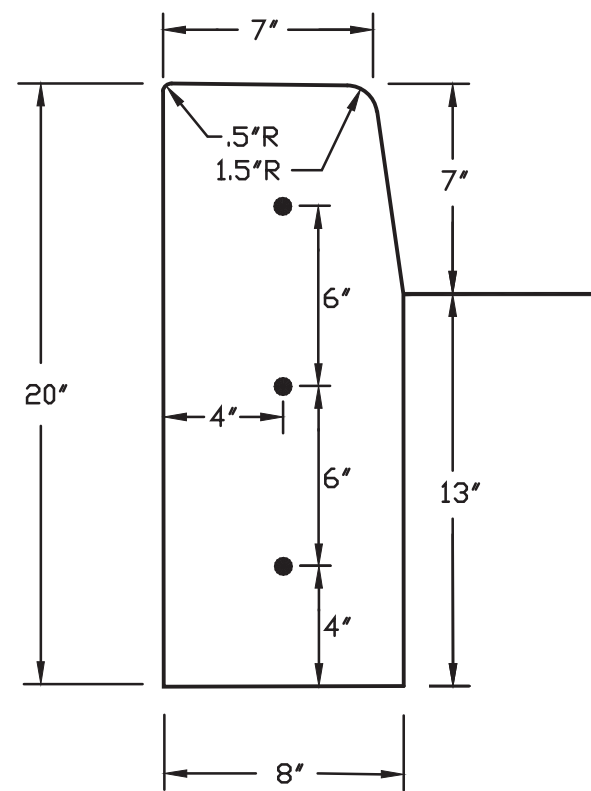
- 1/2" EXPANSION JOINTS WITH 2' DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 1" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- FIX DOWELS WITH BAR SUPPORTS.
- CONCRETE SHALL CONFORM TO SECTION 2200 UNLESS OTHERWISE SPECIFIED IN PLANS PROJECT MANUAL. FOR C&D OF KCMO SEE SECTION 2300 OF STANDARD SPECIFICATIONS AND DESIGN CRITERIA.
- USE 5/8" DIAMETER BY SMOOTH DOWELS AT LOCATIONS SHOWN ON EACH TYPICAL SECTION.
- DEPTH OF GUTTER SHALL BE A MINIMUM OF 8" THRU THE HANDICAP ACCESS RAMP.
- ONLY WHITE CURING MEMBRANES SHALL BE PERMITTED AND SHALL CONFORM TO STANDARD SPECIFICATION SECTION 2200.

EMBEDMENTS FOR STORM SEWER

- GENERAL NOTES:
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT 'CITY STANDARDS' AND SPECIFICATIONS OF THE DEPARTMENT OF DEVELOPMENT SERVICES, LEES SUMMIT, MISSOURI, EXCEPT AS NOTED.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ACQUIRE ALL STATE, CITY, AND CORPS OF ENGINEERS PERMITS REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES IS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, SITE CONSTRUCTION PLANS AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. PRIVATE ON-SITE UTILITIES SUCH AS AREA / ORNAMENTAL LIGHTING AND COMMUNICATION CONDUITS, WATER SERVICE LINES, SANITARY SEWER AND GAS LINES SHALL BE LOCATED AT THE EXPENSE OF THE CONTRACTOR IN THE EVENT THAT EXISTING UTILITIES ARE CONTRACTED, DISRUPTED, OR IN ANY WAY ALTERED. CONTACT THE RESPECTIVE UTILITY COMPANY IMMEDIATELY. IN THE CASE OF AN EMERGENCY, DIAL 911.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE ALL THE UTILITIES AT PIPE CROSSINGS TO DETERMINE CONFLICTS PRIOR TO THE SETTING OF STRUCTURES OR LAYING THE PIPE.
 - THE CONTRACTOR SHALL SUPPORT ALL UTILITIES DURING THIS CONSTRUCTION TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANY.
 - THE CONTRACTOR SHALL PROVIDE EROSION AND SILT PROTECTION AS REQUIRED DURING CONSTRUCTION ONCE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES AND SHALL PROMPTLY REPAIR ANY AREAS REQUIRING ATTENTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SURFACE AND SUBSURFACE WATER AS REQUIRED BY CONDITIONS OF CONSTRUCTION.
 - PRIOR TO ORDERING MATERIALS, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABORATORY AND FIELD TESTING AS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH TESTING LAB PERSONNEL IN THE PERFORMANCE OF THEIR DUTIES.
 - AS NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS.
 - CONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND / OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
 - THE CONTRACTOR SHALL RESTRICT ALL WORK AND STORAGE OF MATERIALS WITHIN THE PROPERTY LINES HEREIN DESCRIBED BY THESE PLANS.
 - THE CONTRACTOR SHALL PROVIDE AT LEAST ONE (1) CHEMICALLY TREATED PORTABLE TOILET UNIT. THE UNIT SHALL REMAIN ON THE SITE DURING ALL ACTIVE PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL ENFORCE THE USE OF THE FACILITY BY ALL PERSONNEL AT THE SITE. THE UNIT SHALL BE OBTAINED FROM PUBLIC VIEW TO THE GREATEST EXTENT PRACTICAL.
 - SAFETY NOTICE TO CONTRACTOR - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

SHOP DRAWING NOTE:

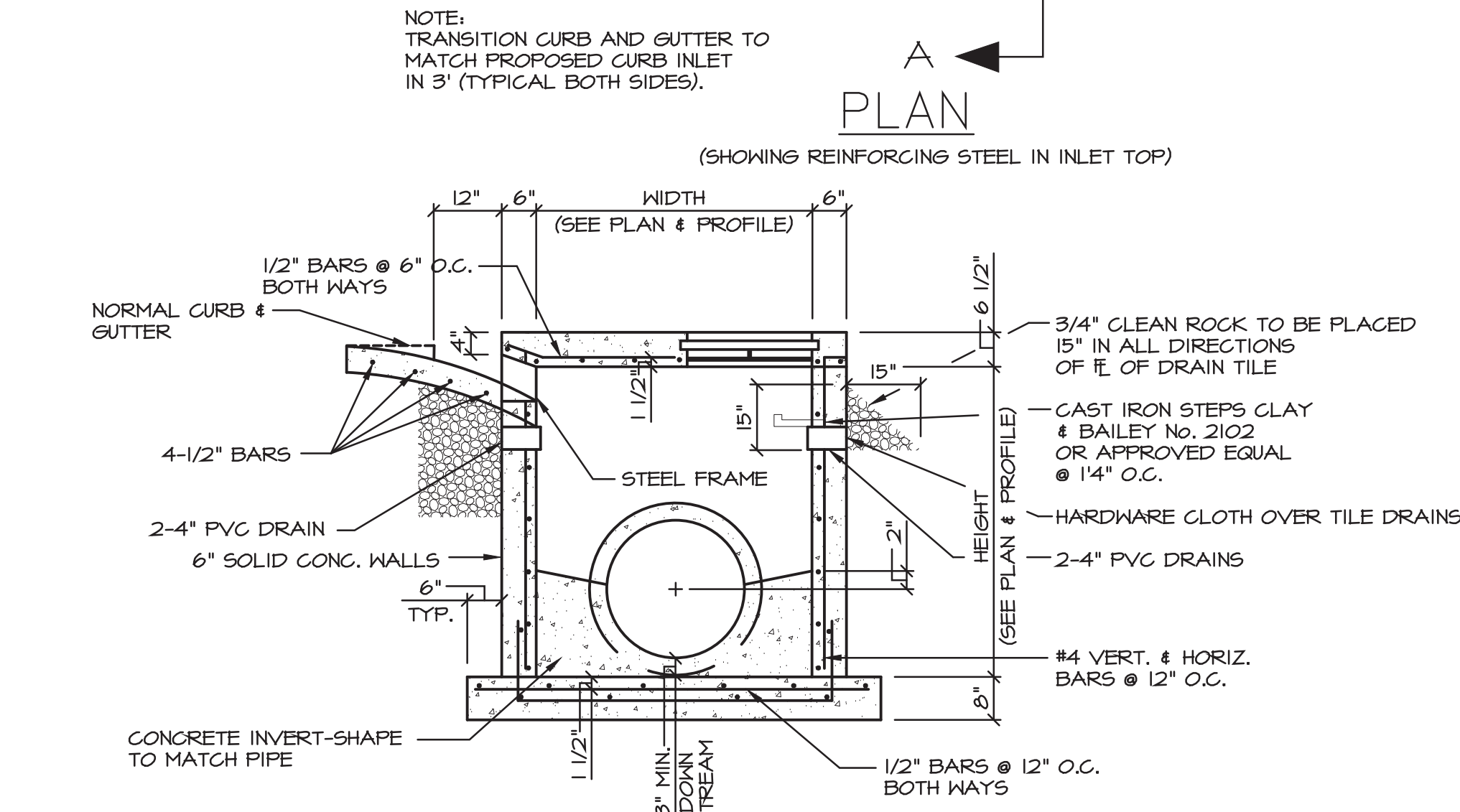
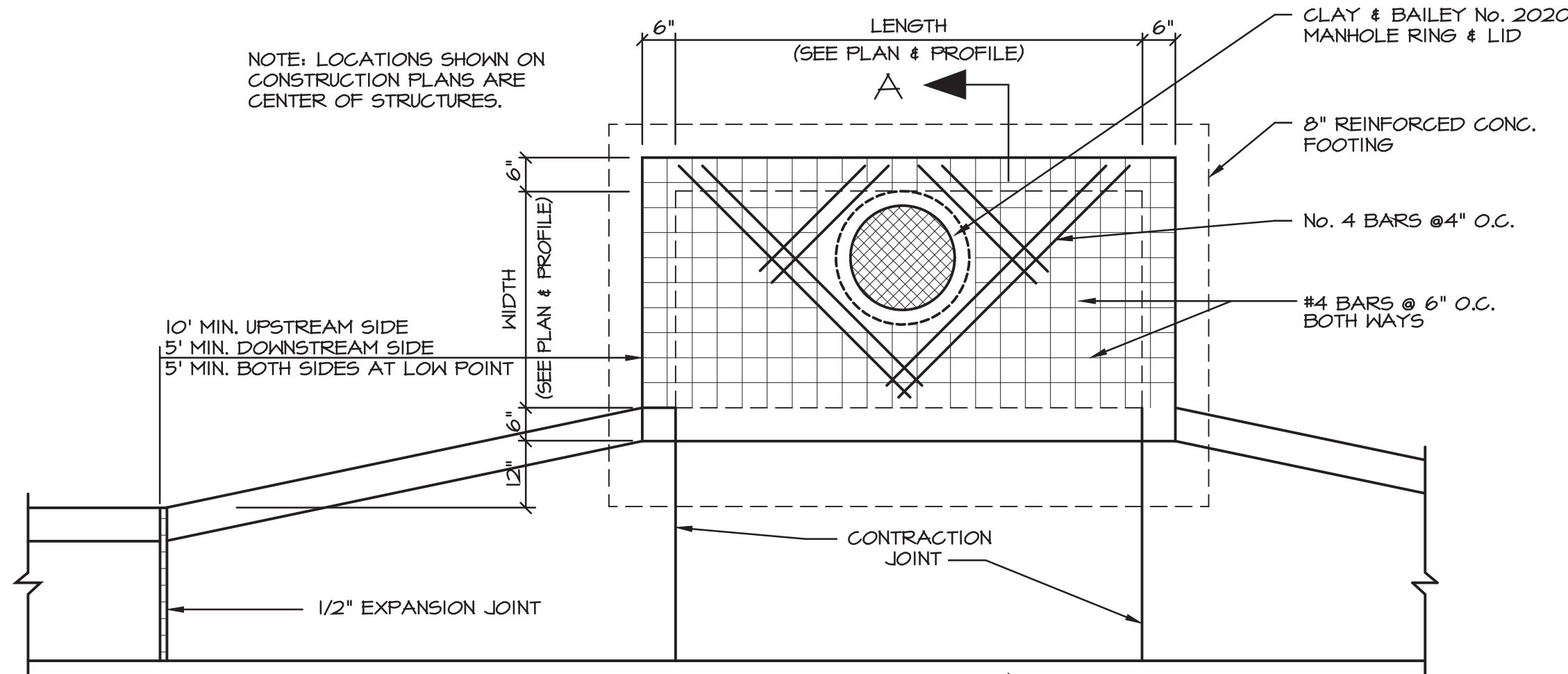
PRIOR TO ORDERING PRE-CAST STRUCTURES, SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. THE DESIGN ENGINEER SHALL INDICATE APPROVAL OF THE SHOP DRAWINGS AND ADD THE PERMIT TYPE AND NUMBER ON THEM AND THEN SUBMIT THEM TO THE CITY PLANNING AND DEVELOPMENT DEPARTMENT, LAND DEVELOPMENT DIVISION, DEVELOPMENT SERVICES ON THE 5TH FLOOR OF CITY HALL, 414 EAST 12TH STREET, KANSAS CITY, MO. 64106.



C-1 STRAIGHT CURB SECTION

CONCRETE CURB NOTES:

- 1/2" EXPANSION JOINTS WITH 2' DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 1" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- FIX DOWELS WITH BAR SUPPORTS.
- CONCRETE SHALL CONFORM TO SECTION 2200 UNLESS OTHERWISE SPECIFIED IN PLANS PROJECT MANUAL. FOR C&D OF KCMO SEE SECTION 2300 OF STANDARD SPECIFICATIONS AND DESIGN CRITERIA.
- USE 5/8" DIAMETER BY SMOOTH DOWELS AT LOCATIONS SHOWN ON EACH TYPICAL SECTION.
- DEPTH OF GUTTER SHALL BE A MINIMUM OF 8" THRU THE HANDICAP ACCESS RAMP.
- ONLY WHITE CURING MEMBRANES SHALL BE PERMITTED AND SHALL CONFORM TO STANDARD SPECIFICATION SECTION 2200.



SECTION A-A

TYP. CURB INLET DETAIL
NO SCALE

NOTES:

- USE MCIB MIX A618-1-4 THROUGHOUT.
- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
- FLOOR OF INLET SHALL BE SHAPED WITH NON-REINFORCED MCIB MIX A618-1-4 INVERT TO PROVIDE SMOOTH FLOW.
- TRANSITION OF CURB & GUTTER AND INLET THROAT SHALL BE PAID FOR AS CONCRETE CURB & GUTTER.
- CAST IRON STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY.
- BEVEL ALL EXPOSED EDGES WITH 3/4" TRIANGULAR MOLDING.
- ON-GRADE INLETS SHALL CONFORM TO THE CURB GRADE AND SUMP INLETS SHALL BE LEVEL.
- 8" SOLID CONCRETE BLOCK OR BRICK MAY BE USED IN WALLS IN LIEU OF POURED CONCRETE WHERE NEITHER "H" OR "W" (IN FEET) EXCEED FOURTEEN. BLOCK OR BRICK MAY BE USED IN ANY BOX WHERE "H" IS 5' OR LESS.

Date:

6-22-26

Revision:

Drawn by:

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Sheet:

ALTA/NSPS LAND TITLE SURVEY
A PART OF THE N. 1/2
SEC. 10, TOWNSHIP 47, RANGE 31
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

NOTES:

- TRACT 1 CONTAINS 39,664 SQ FT (0.91 ACRES MORE OR LESS), TRACT 2 CONTAINS 45,454 SQ FT (1.04 ACRES MORE OR LESS), AND TRACT 3 CONTAINS 36,670 SQ FT (0.84 ACRES MORE OR LESS)
- ACCESS TO PROPERTY VIA PUBLIC RIGHTWAY, SE SHENANDOAH DR AND SE BATTERY DR.
- UTILITY INFORMATION SHOWN HERON IS BASED UPON THE FOLLOWING:
A. FIELD SURVEY METHODS FOR OBSERVABLE FACILITIES.
- THE OWNERSHIP OF THE FENCES SHOWN OF THIS SURVEY IS NOT TO BE DETERMINED BY THE SURVEYOR. THE SURVEYOR CAN ONLY GIVE THE LOCATION OF THE FENCES.
- THERE ARE NO VISIBLE BUILDINGS ON THE SUBJECT PROPERTY.
- THERE ARE NO VISIBLE PAINTED PARKING STALLS ON THE SUBJECT PROPERTY.
- THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS ON THE SUBJECT PROPERTY.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON THE SUBJECT PROPERTY.
- CLASS OF PROPERTY- URBAN
- ELEVATION CONTOURS OUTSIDE OF TRACTS 2 AND 3 ARE SHOWN PER GIS MAPPING.

BASIS OF BEARINGS:

BEARINGS SHOWN ARE GRID BEARINGS BASED ON MISSOURI STATE PLANE COORDINATE SYSTEM OF 1983, WEST ZONE.

ZONING REGULATIONS:

ACCORDING TO THE CITY OF LEE'S SUMMIT, MISSOURI THE SUBJECT PROPERTY IS ZONED "CP-2" PLANNED COMMUNITY COMMERCIAL

FLOOD STATEMENT:

THE SUBJECT PROPERTY LIES IN AN AREA LABELED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AS DETERMINED BY THE FEMA FLOOD INSURANCE RATE MAP NUMBER 28095C0439G, WITH AN EFFECTIVE DATE OF JANUARY 20, 2017.

SURVEY REFERENCE:

TITLE COMMITMENT NUMBER: 26-0147-1
EFFECTIVE DATE: FEBRUARY 5, 2026 AT 11:00 PM
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THE REFERENCED TITLE REPORT DESCRIBES THE FOLLOWING EASEMENTS IN SCHEDULE B (SECTION II):
ITEMS #1 AND #2 - (VERBAGE AND NOT PLOTTABLE)
ITEM #3 - PUBLIC UTILITY EASEMENT AND RESTRICTION AS SET FORTH ON THE RECORDED PLAT IN BOOK 137 AT PAGE 75. (TRACT 1) (SHOWN)
ITEM #4. TERMS AND PROVISION OF THE EASEMENT AGREEMENT RECORDED 08/01/2011 AS DOCUMENT NO. 2011E0070108. (TRACT 1) (SHOWN)
ITEM #5 - TERMS AND PROVISION OF THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND GRANT OF EASEMENTS AS SET FORTH IN DOCUMENT NO. 2011E0064743. (TRACT 1) (VERBAGE AND NOT PLOTTABLE-TRACT IS MEANT TO BE USED AS DETENTION FACILITY)
ITEM #6 - WATER EASEMENT GRANTED TO THE CITY OF LEE'S SUMMIT FILED AS DOCUMENT NO. 2015E0091576. (TRACTS 2&3) (SHOWN)
ITEM #7 - TEMPORARY ACCESS AND WATER MAIN CONSTRUCTION EASEMENT GRANTED TO KLATON PROPERTIES, LLC FILED AS DOCUMENT NO. 2017E0078512. (TRACTS 2&3) (SHOWN)
ITEM #8 - TERMS AND PROVISIONS OF THE CROSS PARKING AND DRIVEWAY ACCESS EASEMENT FILED AS DOCUMENT NO. 2017E0078540. (SHOWN)

TITLE COMMITMENT DESCRIPTION:

TRACT 1:
TRACT A, MAGNOLIA PLACE AT CHARLESTON PARK FIRST PLAT, LOTS 1-2 TRACTS A-B, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
TRACT 2:
SEC-10 TWP-47 RNG-31--BEG NE COR MAGNOLIA PLACE AT CHARLESTON PARK SECOND PLAT TH W ALG ROW 76S' MOL TO POB TH S 02 DEG 13 MIN 32 SEC W 219' MOL TH N 71 DEG 44 MIN 03 SEC E 298' MOL TH N 02 DEG 18 MIN 49 SEC E 87.03' MOL TH NWLY ALG CURV LF 28.86' RAD 30' TH N 86 DEG 58 MIN 18 SEC W264' MOL TO POB (EX PT IN ROW) ALL IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.
TRACT 3:
SEC-10 TWP-47 RNG-31--BEG NE COR MAGNOLIA PLACE AT CHARLESTON PARK SECOND PLAT TH W ALG ROW 500.88' MOL TH S 113.38' TO POB TH S 71 DEG 44 MIN 03 SEC W 298' MOL TH S 02 DEG 13 MIN 32 SEC W 141' MOLTH ALG CURV LF 2.21' RAD 100' TH ALG CURV RI 89.38' RAD 100' TH NELY ALG CURV RI 122' MOL TH ALG CURV LF 193.39' TH NLY 13' MOL TO POB ALL IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

SURVEYOR'S MEASURED DESCRIPTION (TRACTS 2 AND 3)

TRACT 2:
A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED BY ROGER A. BACKUES, PLS 2134, ON MARCH 20, 2026, AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF TRACT A, MAGNOLIA PLACE AT CHARLESTON PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE SOUTH 87 DEGREES 41 MINUTES 11 SECONDS EAST, 195.75 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 87 DEGREES 41 MINUTES 11 SECONDS EAST, 241.75 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT, HAVING A CHORD BEARING OF SOUTH 42 DEGREES 41 MINUTES 11 SECONDS EAST, CHORD DISTANCE OF 42.43 FEET, A RADIUS OF 30.00 FEET, AND AN ARC LENGTH OF 47.12 FEET; THENCE SOUTH 02 DEGREES 18 MINUTES 49 SECONDS WEST, 87.09 FEET; THENCE SOUTH 71 DEGREES 44 MINUTES 03 SECONDS WEST, 289.91 FEET; THENCE NORTH 02 DEGREES 13 MINUTES 32 SECONDS EAST, 219.00 FEET TO THE POINT OF BEGINNING. CONTAINING 1.04 ACRES, MORE OR LESS.

TRACT 3:
A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 47, RANGE 31, IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED BY ROGER A. BACKUES, PLS 2134, ON MARCH 20, 2026, AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF TRACT A, MAGNOLIA PLACE AT CHARLESTON PARK, FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE SOUTH 87 DEGREES 41 MINUTES 11 SECONDS EAST, 195.75 FEET; THENCE SOUTH 02 DEGREES 13 MINUTES 32 SECONDS WEST, 219.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 71 DEGREES 44 MINUTES 03 SECONDS EAST, 289.91 FEET; THENCE SOUTH 02 DEGREES 18 MINUTES 49 SECONDS WEST, 13.27 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE RIGHT, HAVING A CHORD BEARING OF SOUTH 33 DEGREES 58 MINUTES 19 SECONDS WEST, A CHORD DISTANCE OF 183.70 FEET, A RADIUS OF 175.00 FEET, AND AN ARC LENGTH OF 193.39 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE LEFT, HAVING A CHORD BEARING OF SOUTH 50 DEGREES 46 MINUTES 13 SECONDS WEST, A CHORD DISTANCE OF 115.41 FEET, A RADIUS OF 225.00 FEET, AND AN ARC LENGTH OF 116.71 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE LEFT, HAVING A CHORD BEARING OF NORTH 85 DEGREES 18 MINUTES 33 SECONDS WEST, A CHORD DISTANCE OF 86.44 FEET, A RADIUS OF 100.00 FEET, AND AN ARC LENGTH OF 89.38 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE RIGHT, HAVING A CHORD BEARING OF SOUTH 69 DEGREES 43 MINUTES 05 SECONDS WEST, A CHORD DISTANCE OF 2.21 FEET, A RADIUS OF 100.00 FEET, AND AN ARC LENGTH OF 2.21 FEET; THENCE NORTH 02 DEGREES 13 MINUTES 32 SECONDS EAST, 141.52 FEET TO THE POINT OF BEGINNING. CONTAINING 0.84 ACRES, MORE OR LESS.

ALTA/NSPS LAND TITLE SURVEY

A PART OF THE N. 1/2
SEC. 10, TOWNSHIP 47, RANGE 31
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

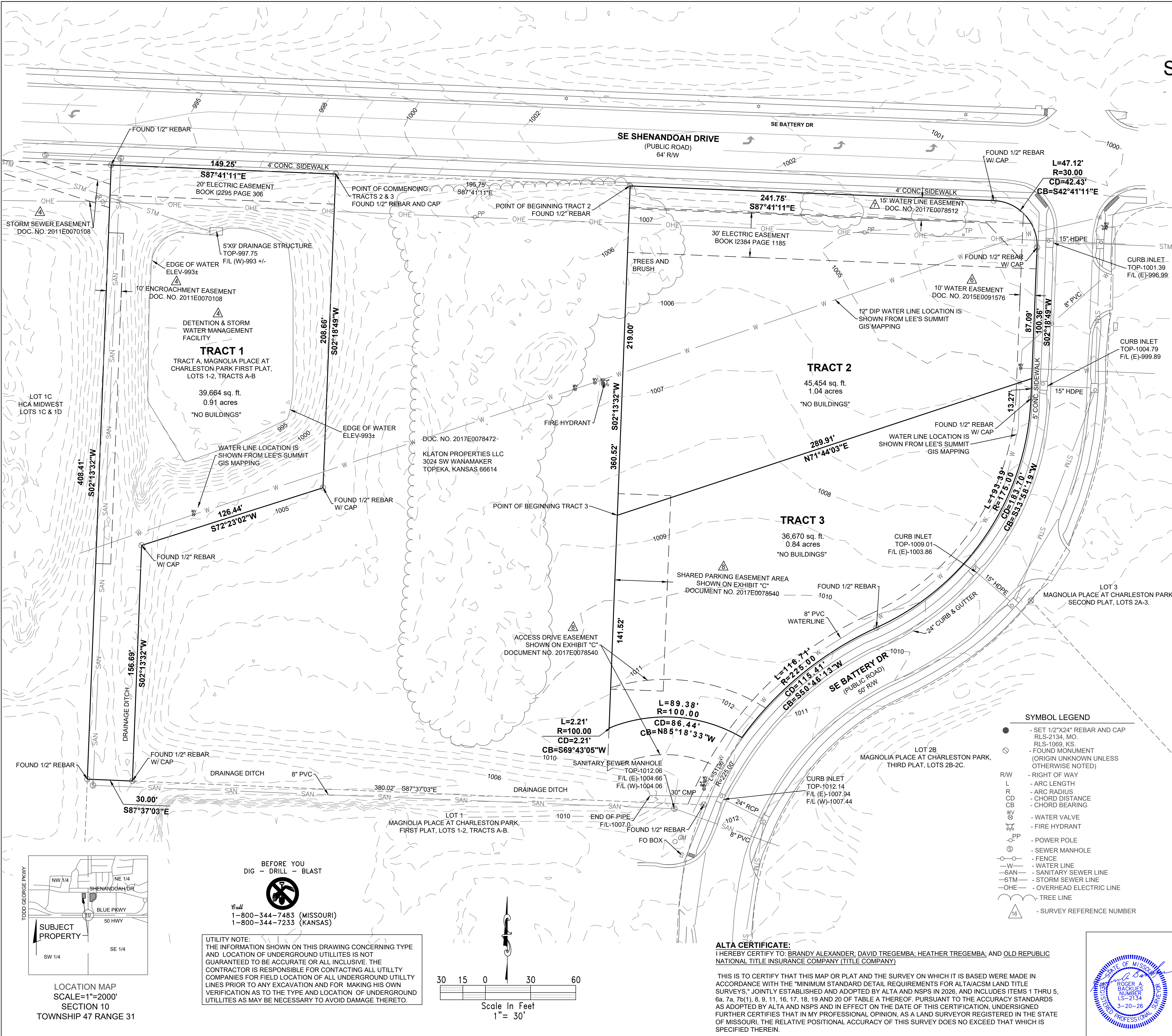
DATE: MARCH 20, 2026
CLIENT:

DAVID TREGEMBA &
SCOTT ALEXANDER

BOUNDARY & CONSTRUCTION
SURVEYING, INC.

821 NE COLUMBUS STREET SUITE 100, LEE'S SUMMIT, MO. 64063
PH.# 816/554-9798, FAX # 816/554-0337
CERTIFICATE OF AUTHORITY - MO 000345 / KS LS244

PROJECT NO. 26-146 SHEET 1 OF 1
SHENANDOAH DR & BATTERY DR, LEE'S SUMMIT, MO

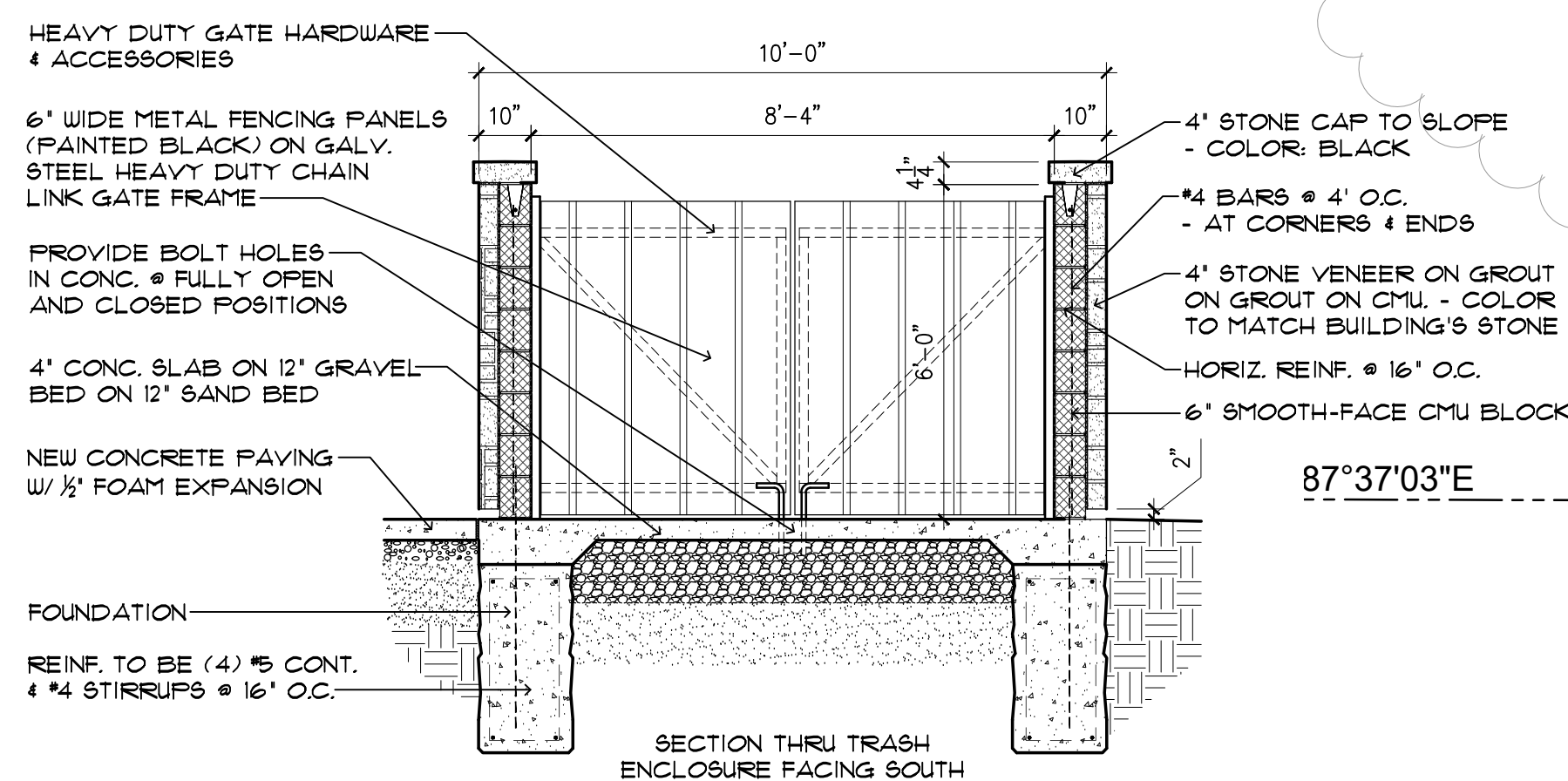
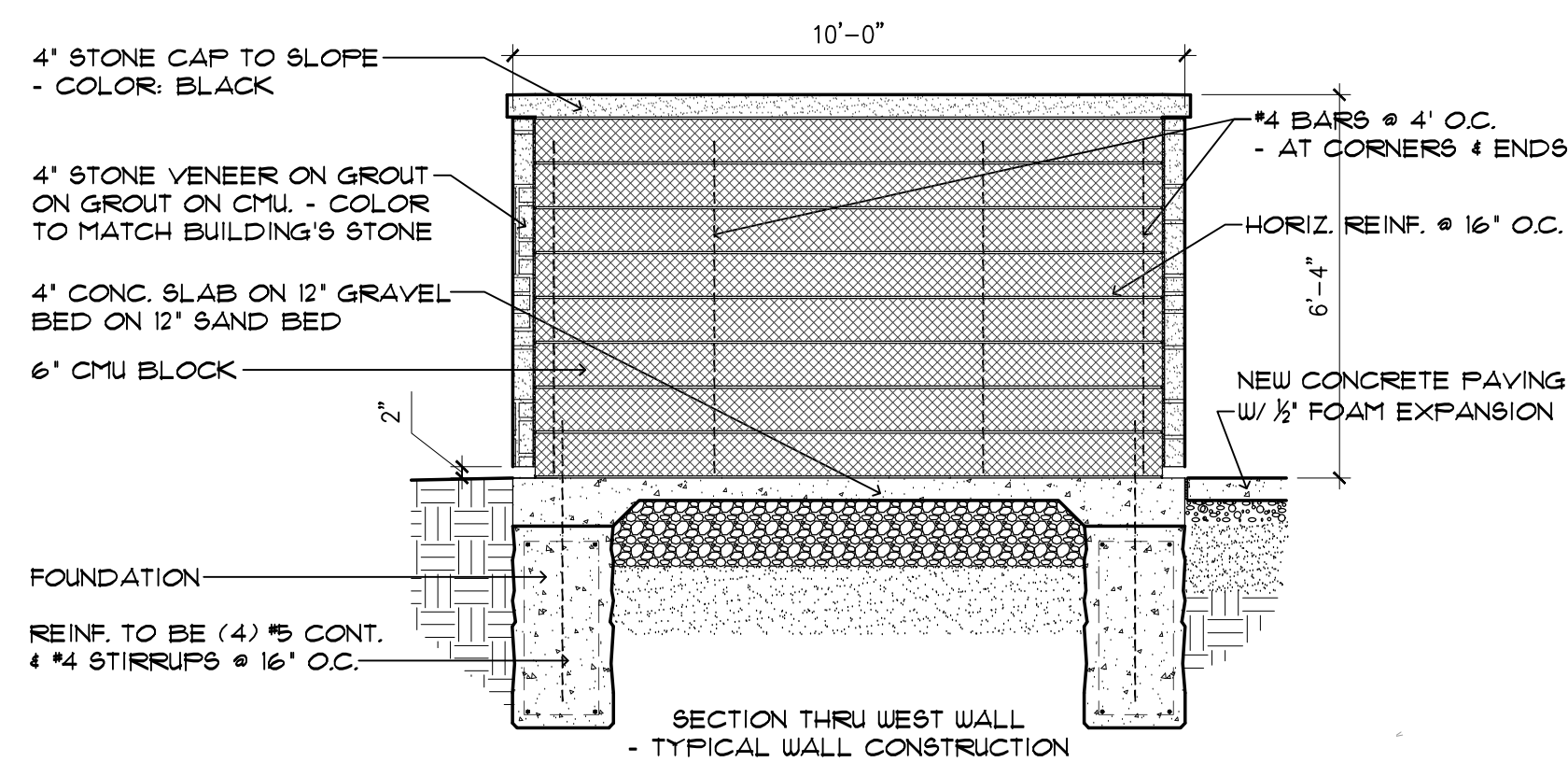
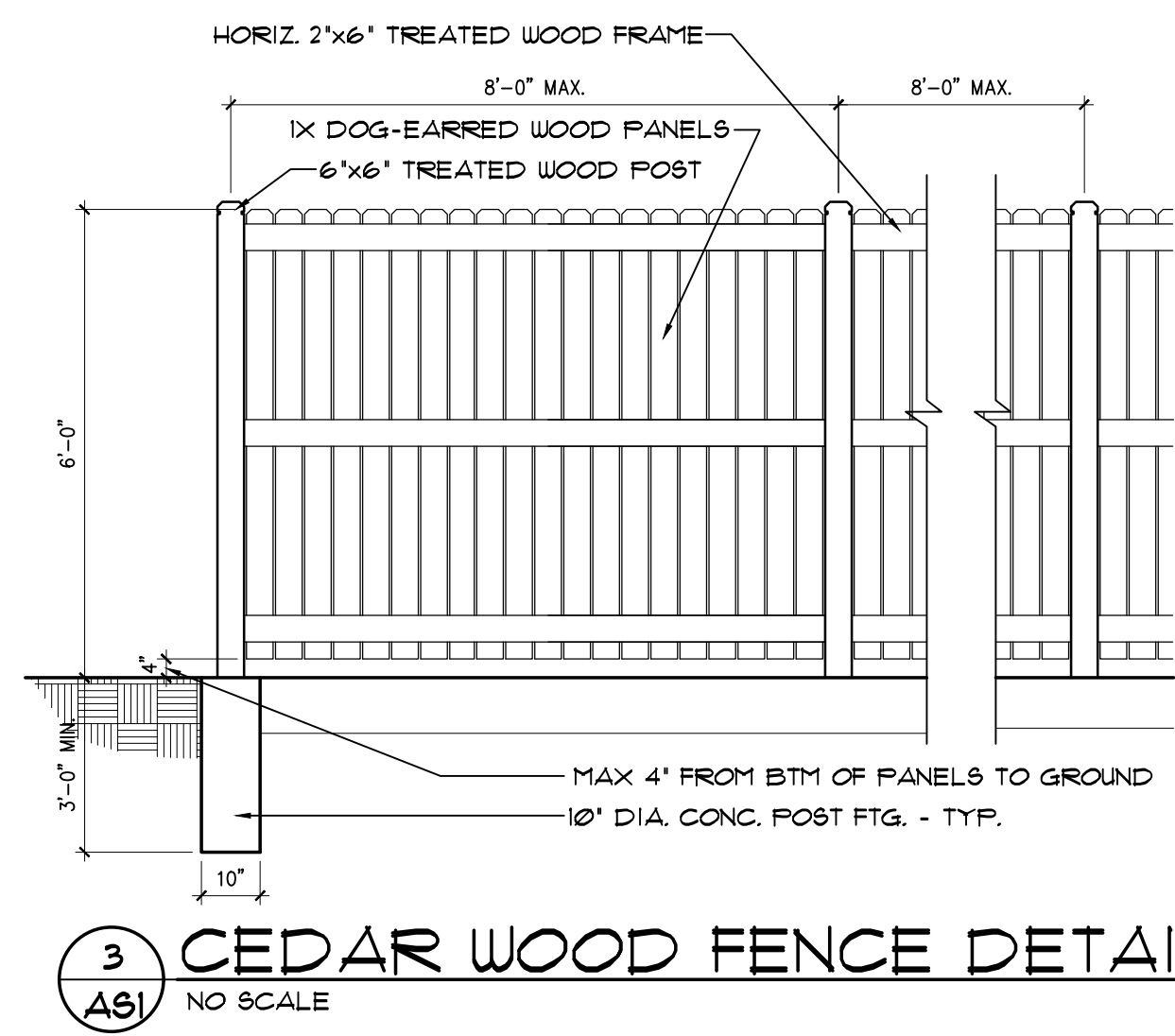
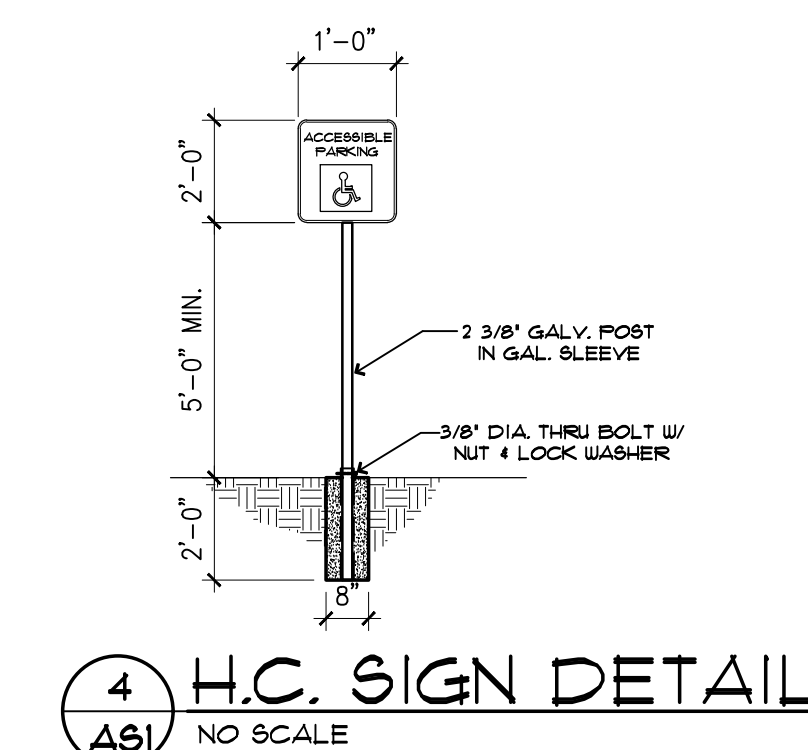


ALTA CERTIFICATE:

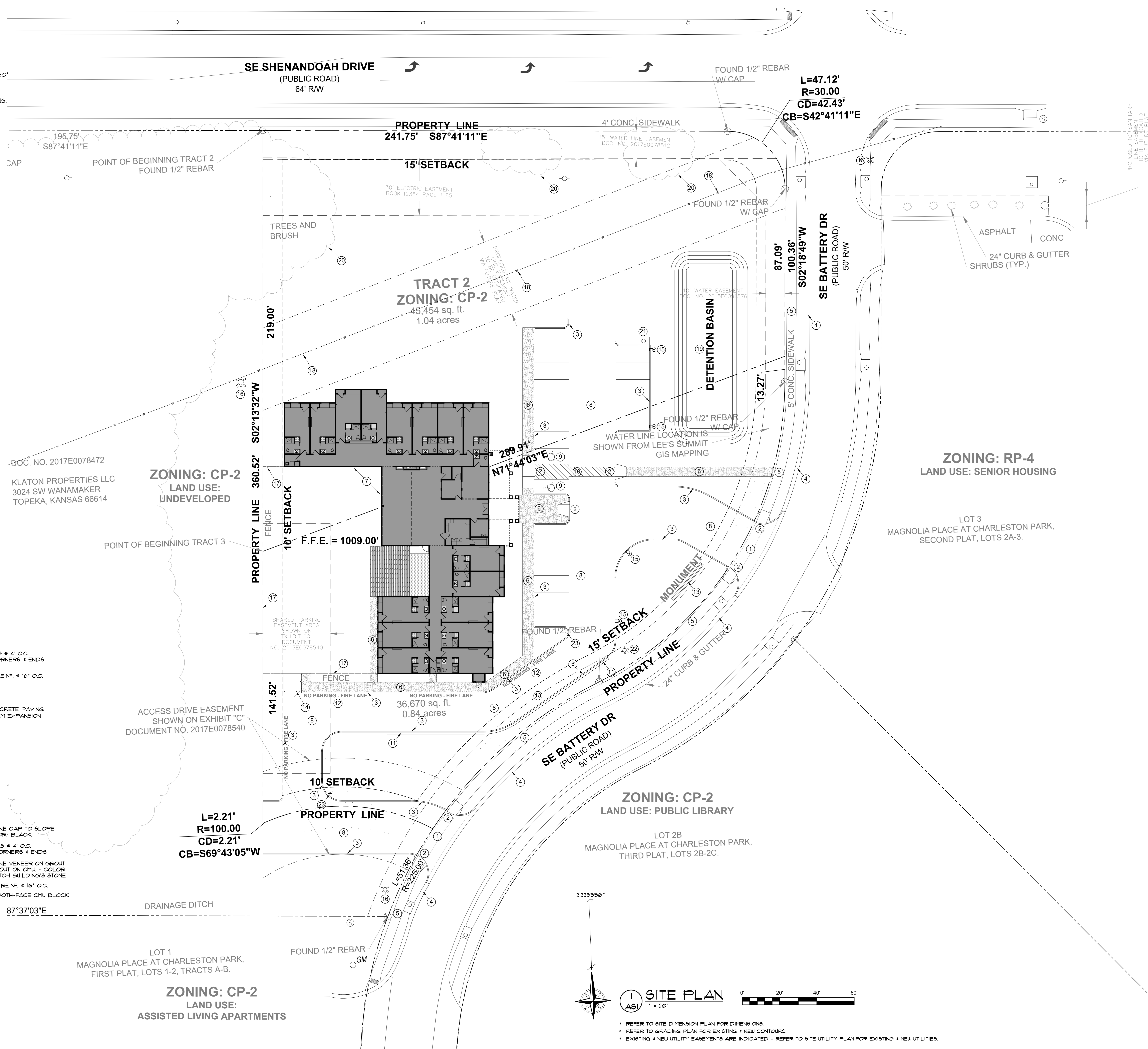
I HEREBY CERTIFY TO: BRANDY ALEXANDER, DAVID TREGEMBA, HEATHER TREGEMBA, AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY (TITLE COMPANY)

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2026, AND INCLUDES ITEMS 1 THRU 5, 6a, 7a, 7b(1), 8, 9, 11, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

1. NEW DRIVEWAY APRON 4' CURB. DEMO EXISTING CURB, SIDEWALK, AND LANDSCAPING, AS NECESSARY. REFER TO CIVIL.
2. NEW ADA CONCRETE CURB RAMP (1:12 SLOPE) W/ FLARED SIDES (1:10 SLOPE). REFER TO CIVIL.
3. NEW CONCRETE CURB. REFER TO CIVIL.
4. EXISTING CURB TO REMAIN.
5. EXISTING SIDEWALK TO REMAIN.
6. NEW CONCRETE SIDEWALK. REFER TO CIVIL.
7. NEW BUILDING.
8. NEW PAVEMENT. REFER TO CIVIL FOR GRADING PLAN & PAVEMENT PLAN.
9. ADA ACCESSIBLE PARKING SPACE. REFER TO DETAIL 4461 FOR SIGN DETAIL.
10. PROVIDE STRIPING FOR ADA ACCESSIBLE ROUTE, AS INDICATED.
11. NEW LANDSCAPE WALL. REFER TO GRADING PLAN.
12. PROVIDE FIRE LANE PAVEMENT MARKINGS, AS INDICATED, PER CITY STANDARDS.
13. PAINT CURBS THROUGHOUT AT BOTH SIDES ADJACENT TO THE FIRE LANE.
14. NEW MONUMENT SIGN. REFER TO CIVIL FOR UTILITIES.
15. NEW TRASH ENCLOSURE, AS INDICATED, REFER TO DETAIL 2461.
16. NEW LIGHT POLE. REFER TO PHOTO-METRIC PLAN I/F1.
17. EXISTING FIRE HYDRANT TO REMAIN.
18. NEW 6" HIGH OPAQUE FENCE, AS INDICATED, REFER TO DETAIL 3461.
19. EXISTING 12" DIA. WATER LINE MAIN TO REMAIN. NO CONSTRUCTION SHALL BE WITHIN 20' OF EXISTING WATER MAIN, AND A 40' WIDE EASEMENT IS PROPOSED TO BE DEDICATED VIA UTILITY PLAT.
20. NEW DETENTION BASIN. REFER TO CIVIL.
21. EXISTING TREE TO REMAIN. REFER TO LANDSCAPING PLAN I/L1 FOR NEW LANDSCAPING.
22. NEW CURB INLET. REFER TO CIVIL.
23. NEW FIRE HYDRANT. REFER TO CIVIL.
24. PROVIDE 'FIRE LANE' SIGNAGE PER CITY FIRE DEPARTMENT'S STANDARDS.



ZONING: R-1
LAND USE: RESIDENTIAL HOUSING



SDC ENGINEERING, INC.
consulting structural and civil engineers
7007 RAYTOWN RD.
RAYTOWN, MO 64133
Raytown, Missouri
816/258-1445 fax 816/358-8364

**HAWTHORN
ASSISTED LIVING**
55 BATTERY DR. & SE SHENANDOAH

**SULLIVAN
PALMER
ARCHITECTS**

89521 Johnson Dr.
Merriam, Kansas, 66202
PHONE: (913) 808-8540
(913)-888-0152
FAX:

Date:
6-22-26

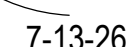
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AS1

- REFER TO SITE DIMENSION PLAN FOR DIMENSIONS.
- REFER TO GRADING PLAN FOR EXISTING & NEW CONTOURS.
- EXISTING & NEW UTILITY EASEMENTS ARE INDICATED - REFER TO SITE UTILITY PLAN FOR EXISTING & NEW UTILITIES.



11

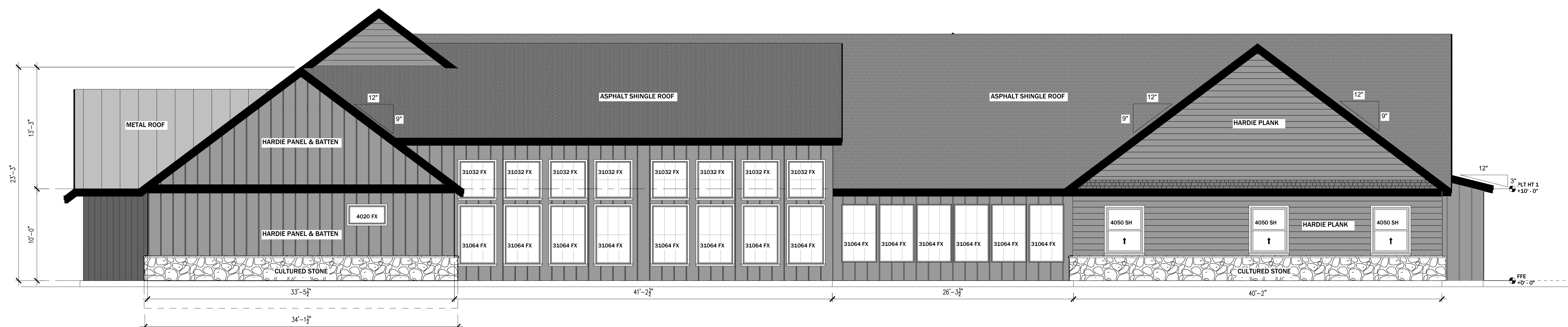
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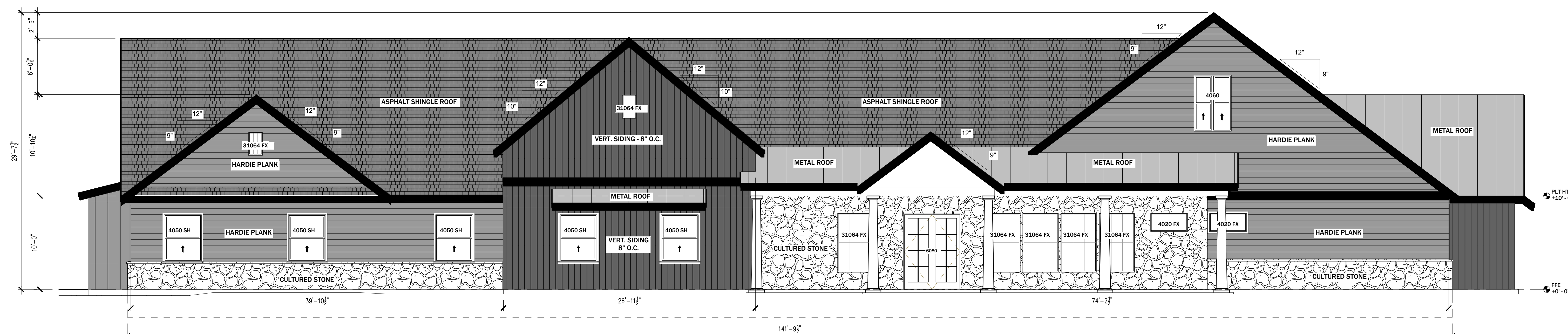
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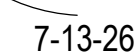
A1.1



2 WEST ELEVATION
A.I.1 $3/16" = 1"$



1 EAST ELEVATION
A.I. $3/16" = 1"$



100

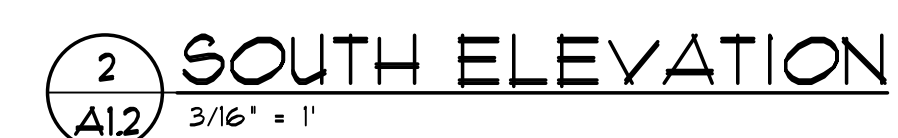
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5-23-26

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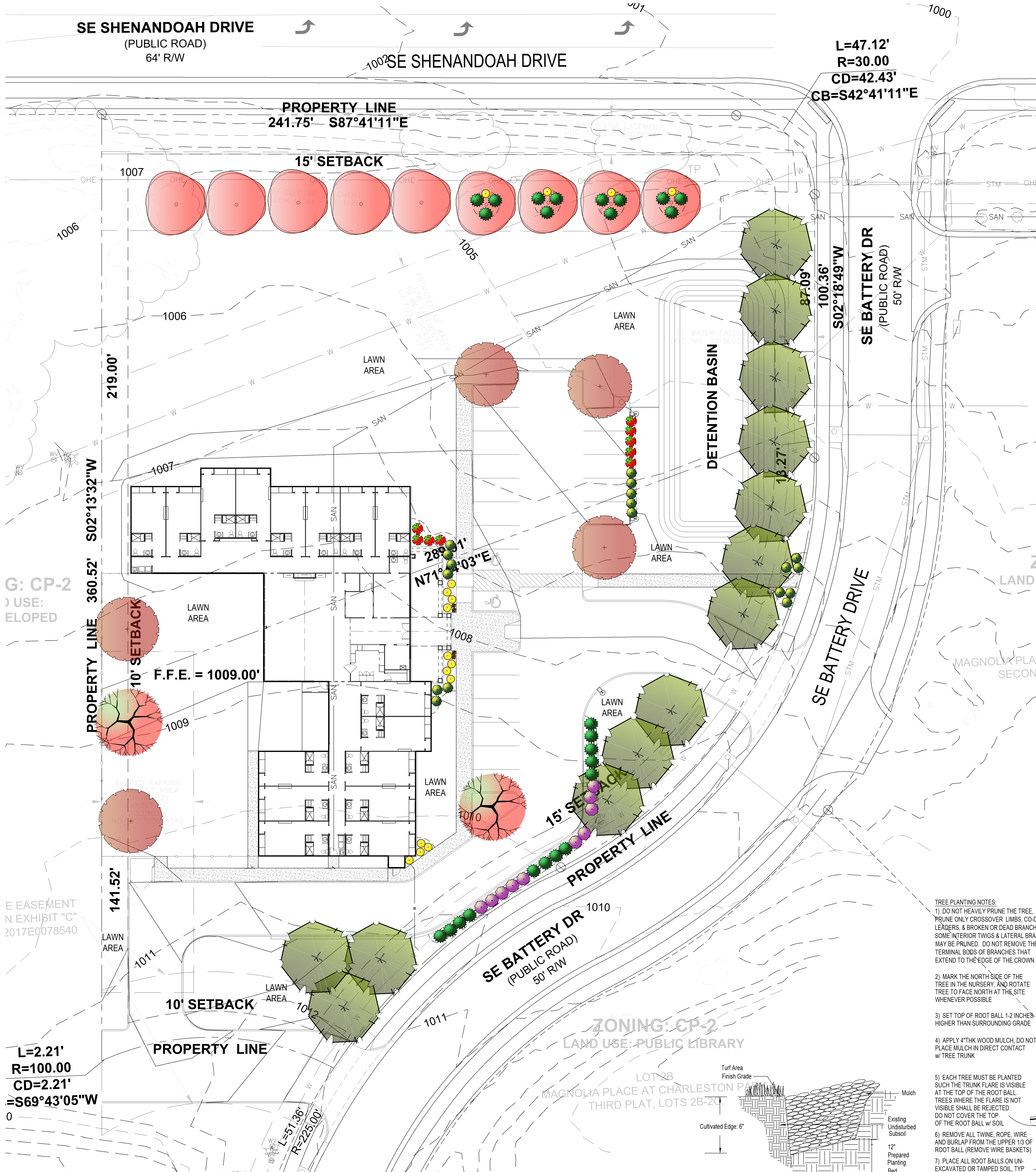
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A1.2









Landscape Calculations/Requirements

	Quantity	Required	Provided
Site Area	45,454		
Open Space			
Pervious landscape areas	25,991.00		
1 tree/ 5,000 SF of ttl lot area		5.20	5
2 shrubs/ 5,000 SF of ttl lot area		10.40	11
Street Trees			
Shenandoah Drive (minus driveways)	261.00		
20' Insc buffer		Y	Y
1 tree/30 LF of frontage		8.70	9
1 shrub/20 lf of frontage		13.05	13
Battery Drive	376		
20' Insc buffer		Y	Y
1 tree/30 LF of frontage		12.53	13
1 shrub/20 lf of frontage		18.80	19
12 shrub/40 lf of frontage		20	20
Perimeter Parking	94		
Battery Drive	LF	28.2	29
Screening @ 2.5' ht parallel to the street		Y	Y
Interior Parking	8,027.00		
5% of parking lot area	SF	401.35	426.00
1 island/every 4 rows of pkg		Y	Y
1 island at end of row		Y	Y
islands to be planted w/trees, shrubs, grass, groundcover		Y	Y
Site Utilities			

Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
 - Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
 - Note: If plants are not labeled - they are existing and shall remain.
- Materials:
 - Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
 - Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.
- Installation:
 - All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
 - After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
 - Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
 - Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
 - Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

MEIER
LANDSCAPE
ARCHITECTURE
15245 Metcalf Ave.
Overland Park, KS 66223
913.787.2817



CLIENT

Hawthorn Assisted Living
SE Battery Drive and
Shenandoah Drive
Lee's Summit, MO

PROJECT

Hawthorn Assisted Living
SE Battery Drive and
Shenandoah Drive
Lee's Summit, MO

Landscape Schedule

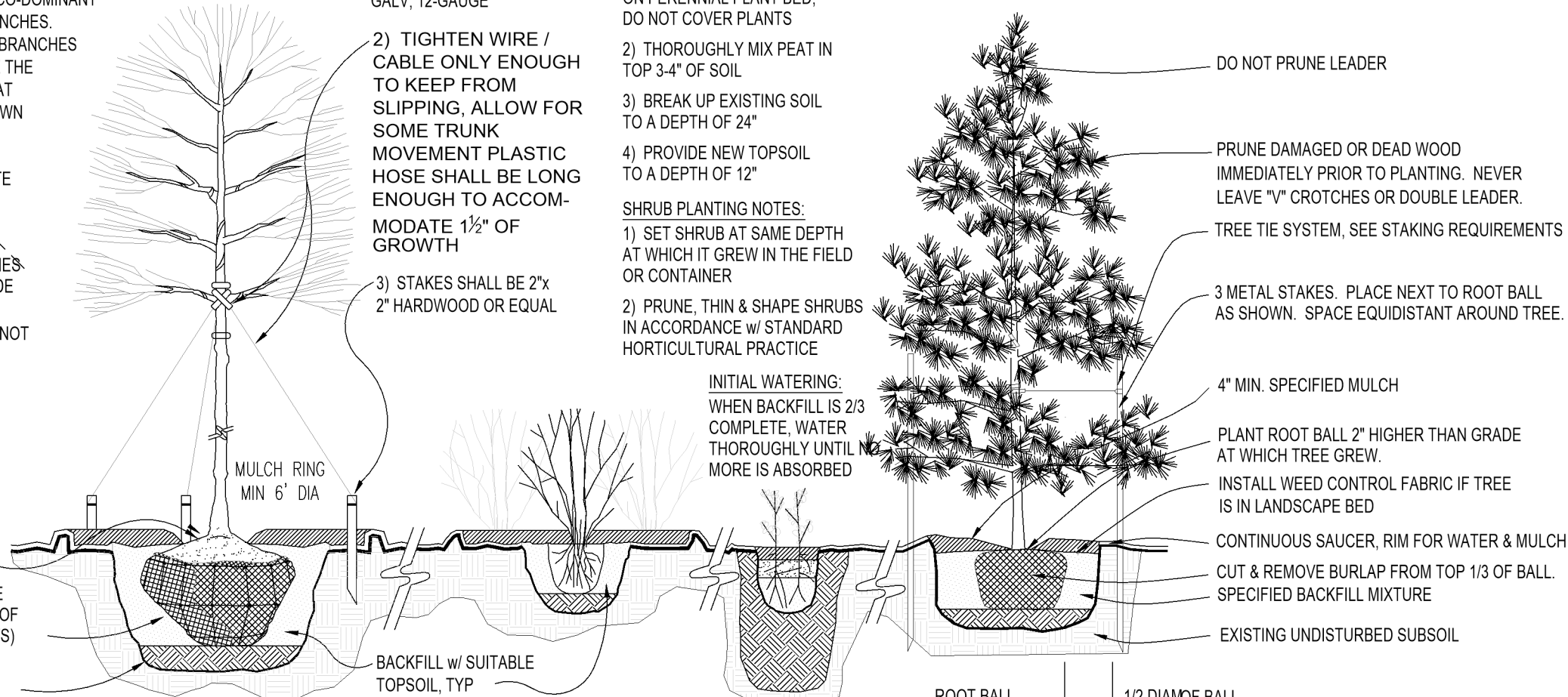
Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	5	Nyssa sylvatica	Black Tupelo	2.5"	6" min. clear., ground to canopy		
	2	Quercus rubra	Northern Red Oak	2.5"	6" min. clear., ground to canopy		
	19	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2.5"	6" min. clear., ground to canopy		
	9	Acer x truncatum 'Warrenred'	Pacific Sunset Maple	2.5"	6" min. clear., ground to canopy		
DECIDUOUS SHRUBS							
	16	Spiraea japonica	Double Play Candy Corn Spirea	2 gal.			
	9	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	2 gal.			Plant @ 4' O.C.
	10	Syringa X 'Penda'	Bloomerang Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	25	Juniperus chinensis 'Sea Green'	Sea Green Juniper	2 gal.			Plant @ 4' O.C.
	18	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	2 gal.			Plant @ 4' O.C.
PERENNIALS							
	4	Allium 'Millenium'	Ornamental Onion	1 gal.			Plant @ 18" O.C.

- TREE PLANTING NOTES:**
- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BODS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
 - APPLY 4"THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK
 - EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

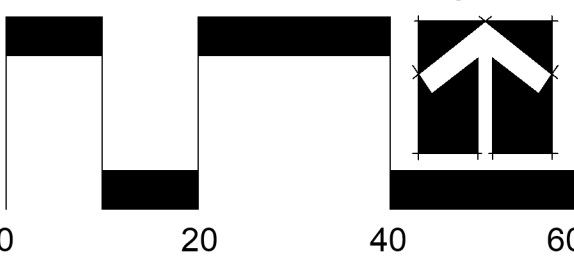
- STAKING REQUIREMENTS:**
- WIRE / CABLE SHALL BE GALV. 12-GAUGE
 - TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH
 - STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:**
- APPLY 2"THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - PROVIDE NEW TOPSOIL TO A DEPTH OF 12"
- SHRUB PLANTING NOTES:**
- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING:
WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



SCALE: 1"=20'



Date: 7.6.2026
Project #: 1399
Landscape Plan

L1



1

LANDSCAPE PLAN

SCALE: 1"=20'-0"

2

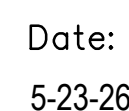
CULTIVATED EDGE DETAIL

SCALE: NTS

3

PLANTING INSTALLATION DETAILS

SCALE: NTS



Revision:
6-22
7-3-

Drawn by:
NCE

Sheet:

PH1



1. See drawing for mounting height.
2. Calculation points are set on a 10' x 10' grid.
3. Maintained light levels are shown at grade.
4. LMF based on initial light levels.

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting Canada used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	0.34	14.7	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	2.03	5.5	0.4	5.08	13.75

