



LEE'S SUMMIT
MISSOURI®

102 NW Orchard Duplex

Preliminary Development Plan

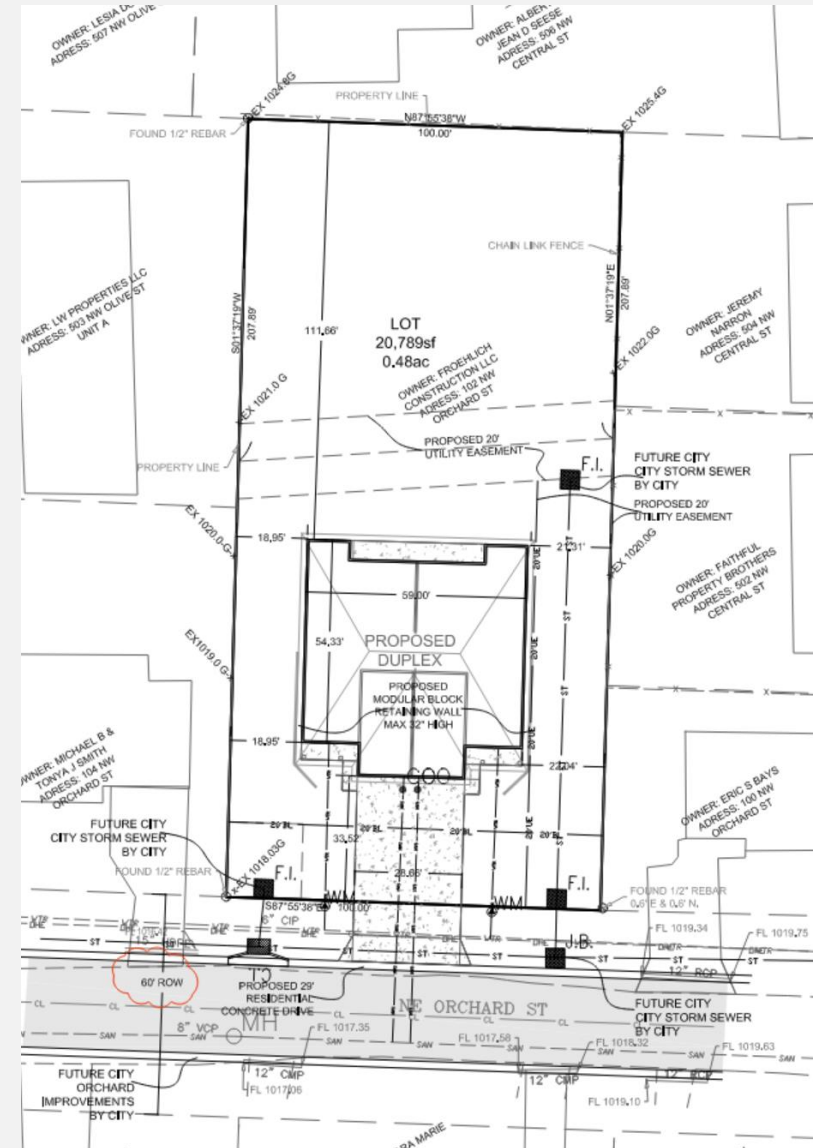
PL2024-127



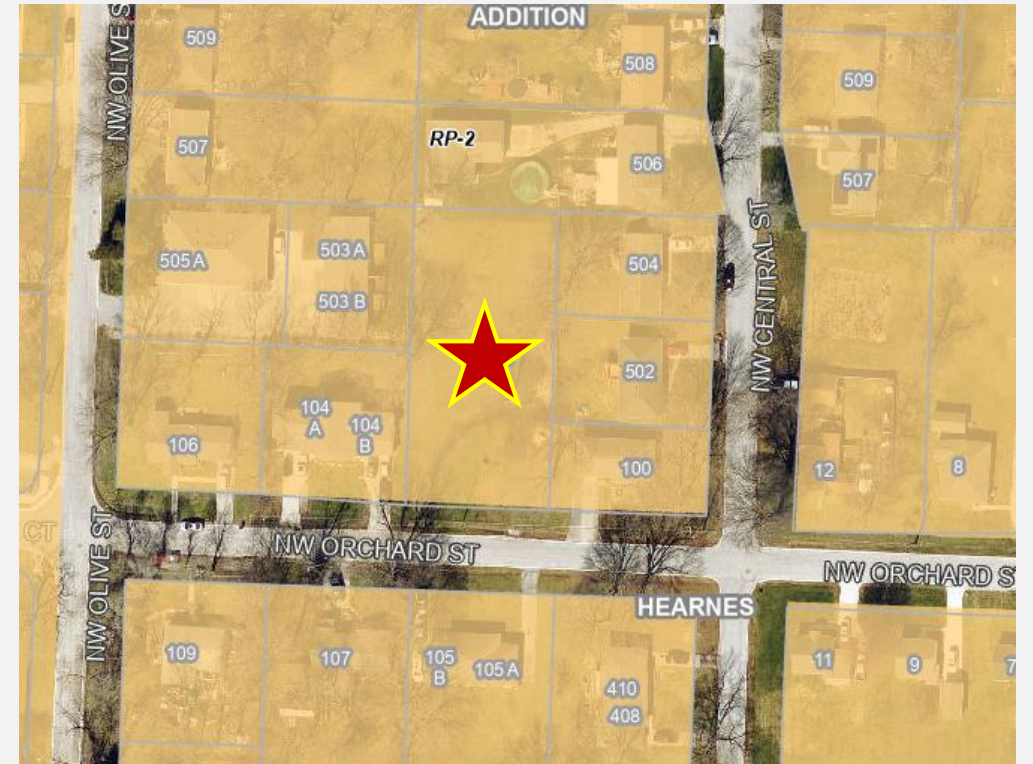
Project Request

The applicant requests preliminary development plan approval of a 3,270 sq. ft. duplex residential unit on Lot 1 of the Froehlich Addition subdivision.

No modifications are requested.



Zoning and Land Use Information



Adjacent Land Uses

North

- Single-family, detached

East

- Single-family, detached

South

- Duplex
- Single-family, detached

West

- Duplex
- Single-family, detached

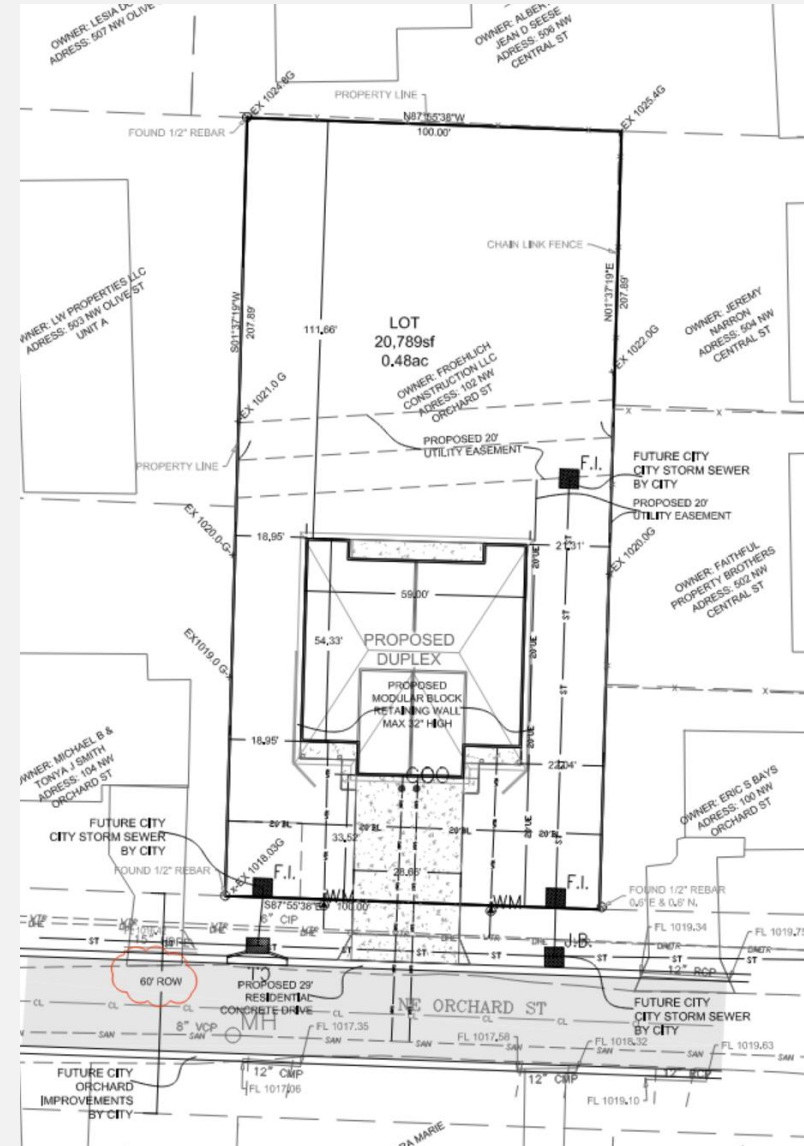


Site Plan

Proposed

- 0.48 acres
- 3,270 sq. ft. duplex residential
- Parking
 - 4 parking spaces required (2 enclosed)
 - 4 parking spaces (2 enclosed)

Project meets all UDO development standards.

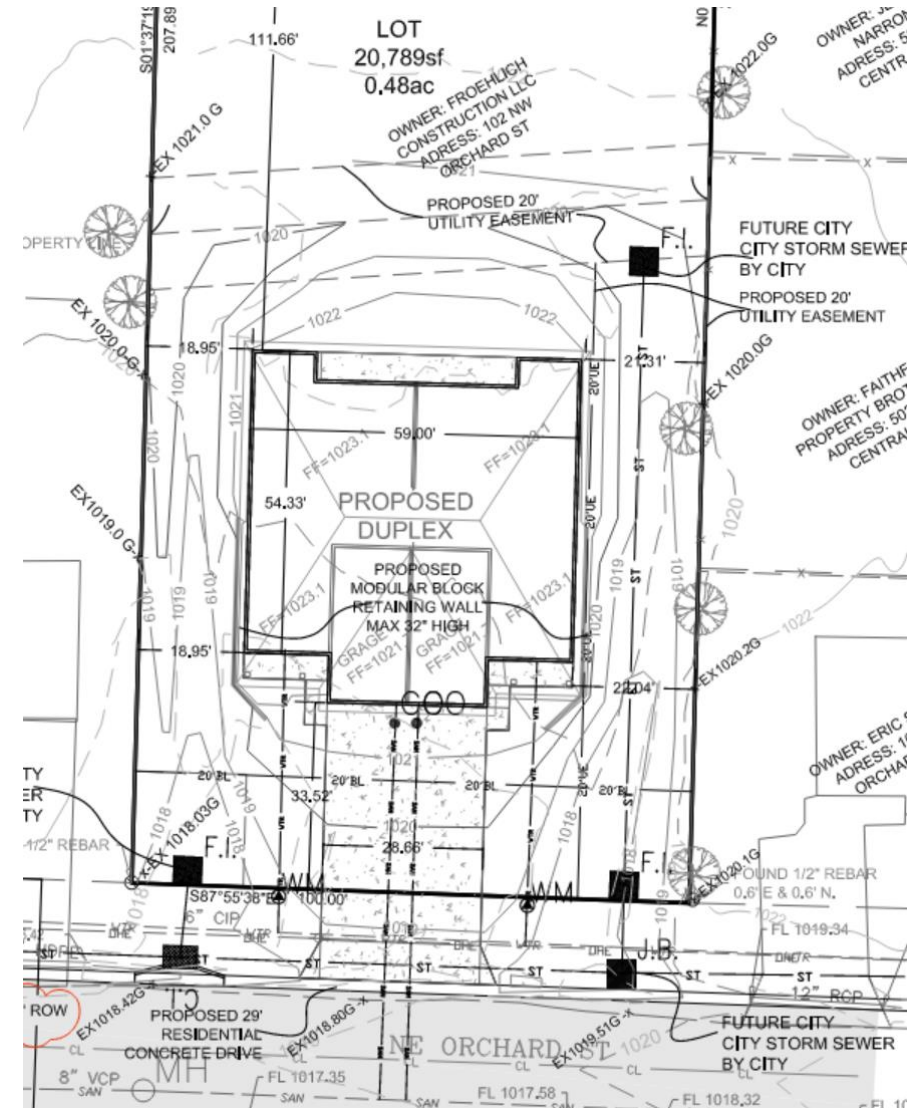


Proposed
Plan

Site Plan

Proposed

- Swale will be added to handle stormwater in the interim
 - Required with the building permit submittal
- Future Public Works CIP project amended to add two more inlets to the site for long-term drainage



Proposed
Plan

Building Elevations



BUILDER/CONTRACTOR IS RESPONSIBLE TO
CHECK ALL DIMENSIONS FOR ACCURACY
BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS.
ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS,
AND COLUMN SIZES.

FRONT ELEVATION

1/4" = 10'

ALL NOTES, SECTIONS, AND DRAWINGS
ARE IN ACCORDANCE WITH THE 2018 IRC

NOTE:
ACTUAL ELEVANT
DRAWINGS, ETC.
MAY VARY DUE TO

South

Materials

- LP Smart Lap Siding
- LP Smart Trim
- Asphaltic Shingles

North



REAR ELEVATION

1/4" = 10'

SQUARE FOOT
LIVING AREA
FIRST FLOOR = 1201

Building Elevations



RIGHT ELEVATION
 $\frac{1}{4}" = 1'0"$

East



LEFT ELEVATION
 $\frac{1}{4}" = 1'0"$

West

Approval Conditions

1. Development shall be in accordance with the preliminary development plan dated August 18, 2025, and building elevations uploaded August 20, 2025.
2. An engineered plot plan will be required as part of the building permit submittal.



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