

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR COLBERN ROAD INVESTMENTS - SENIOR LIVING FACILITY ON LAND LOCATED AT 900 NE COLBERN ROAD, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2023-057 submitted by Engineering Solutions, LLC, requesting approval of a preliminary development plan in District PMIX on land located at 900 NE Colbern Road was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the preliminary development plan on May 11, 2023, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on June 6, 2023, and rendered a decision to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved on the following described property:

HCA MIDWEST, LOTS 1A & 1B---LOT 1A

SECTION 2. That the following conditions of approval apply:

1. Development shall be in accordance with the preliminary development plan dated March 7, 2023.
2. Development shall be in accordance with the Transportation Impact Analysis by Susan Barry, PE PTOE, dated April 28, 2023.
3. Approval of this PDP (PL2023-057) shall be contingent upon the approval of the associated rezoning and conceptual PDP (PL2023-056).

SECTION 3. Development shall be in accordance with the preliminary development plan dated March 7, 2023 appended hereto as an attachment.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 13th day of

June, 2023.



W. A. Baird
Mayor William A. Baird

ATTEST:

for Stacy Lombardo
City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 15th day of June, 2023.

W. A. Baird
Mayor William A. Baird

ATTEST:

for Stacy Lombardo
City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:

for Brian W. Head
City Attorney Brian W. Head



Colbern Road Senior Site

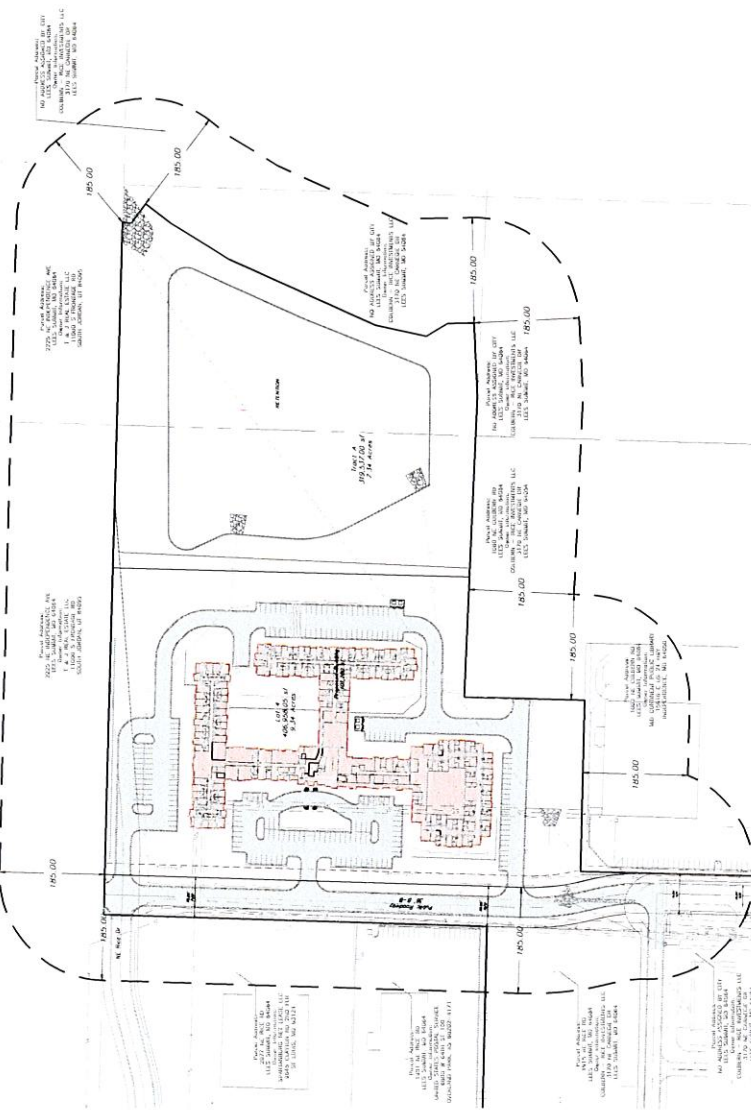
Preliminary Development Plan

Section 29, Township 48, Range 31

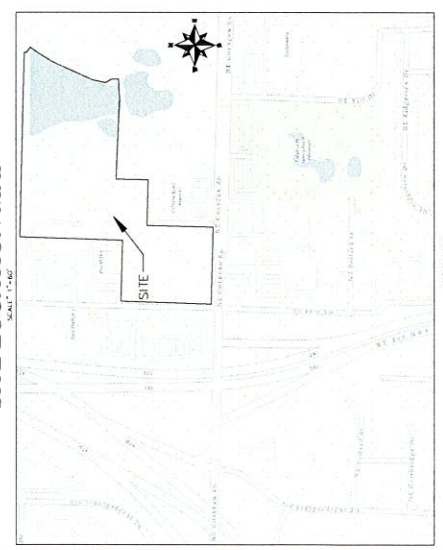
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

LIST OF SHEETS
 C-01 - DEVELOPMENT PLAN
 C-02 - GRADING PLAN
 C-03 - UTILITIES PLAN
 C-04 - DRAINAGE PLAN
 C-05 - LANDSCAPE PLAN

PROJECT DESCRIPTION



SITE LOCATION MAP



LEGEND:

- Existing Underground Power
- Existing Conc. Curb & Gutter
- Existing Wood Fence
- Existing Gas Main
- Existing Water Main
- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Underground Telephone
- Existing Overhead Power
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Underground Power
- Proposed Gas Service
- Proposed 8" D.I.P. Water
- Proposed Electrical Service



UTILITY COMPANIES:

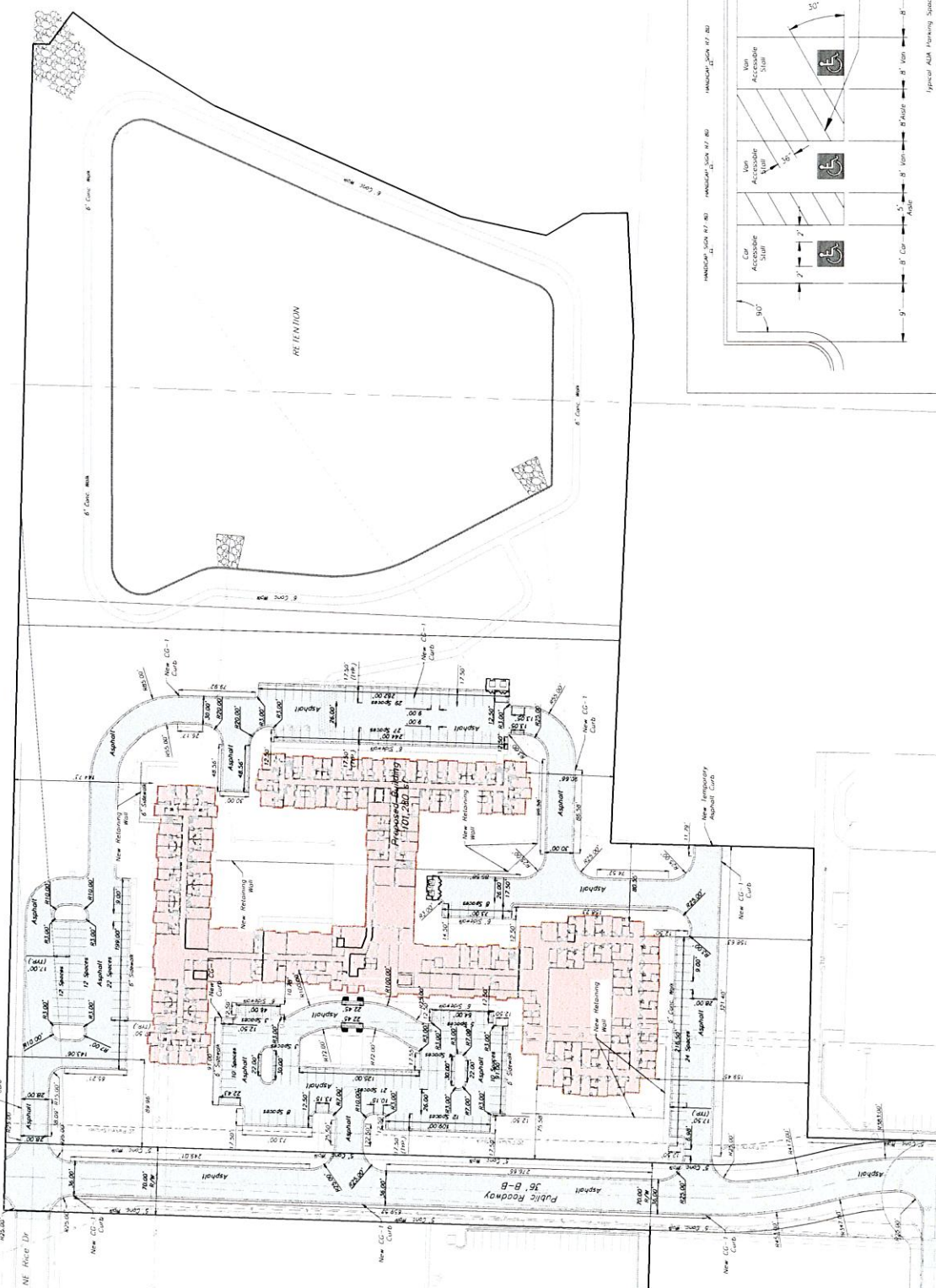
THE FOLLOWING COMPANIES HAVE BEEN CONTACTED FOR UTILITY INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI BUILDING CODE AND ALL APPLICABLE ORDINANCES.
- ALL UTILITIES SHALL BE DEPTH MARKED PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI BUILDING CODE AND ALL APPLICABLE ORDINANCES.
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Site Plan



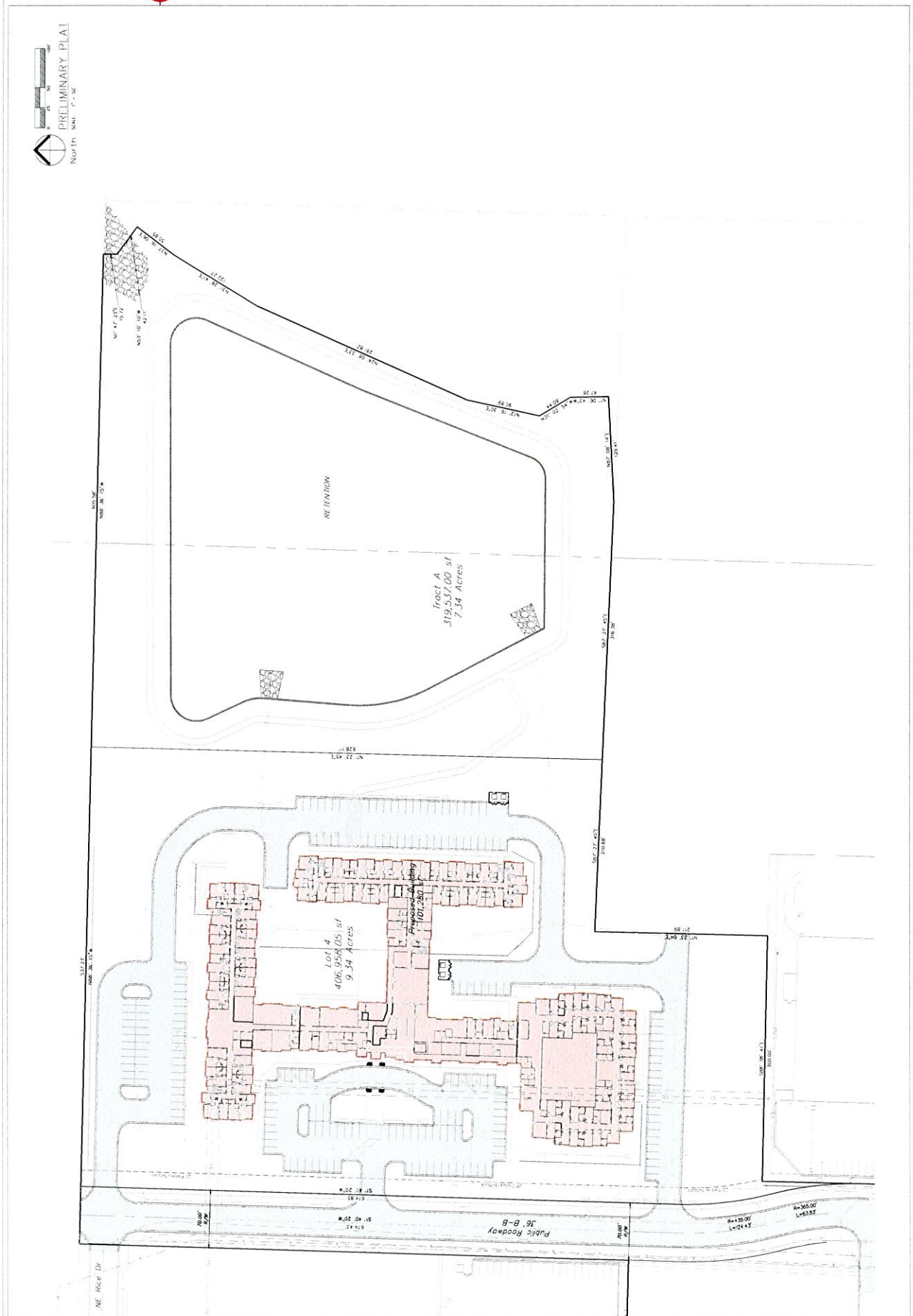
Typical ADA Parking Space Design

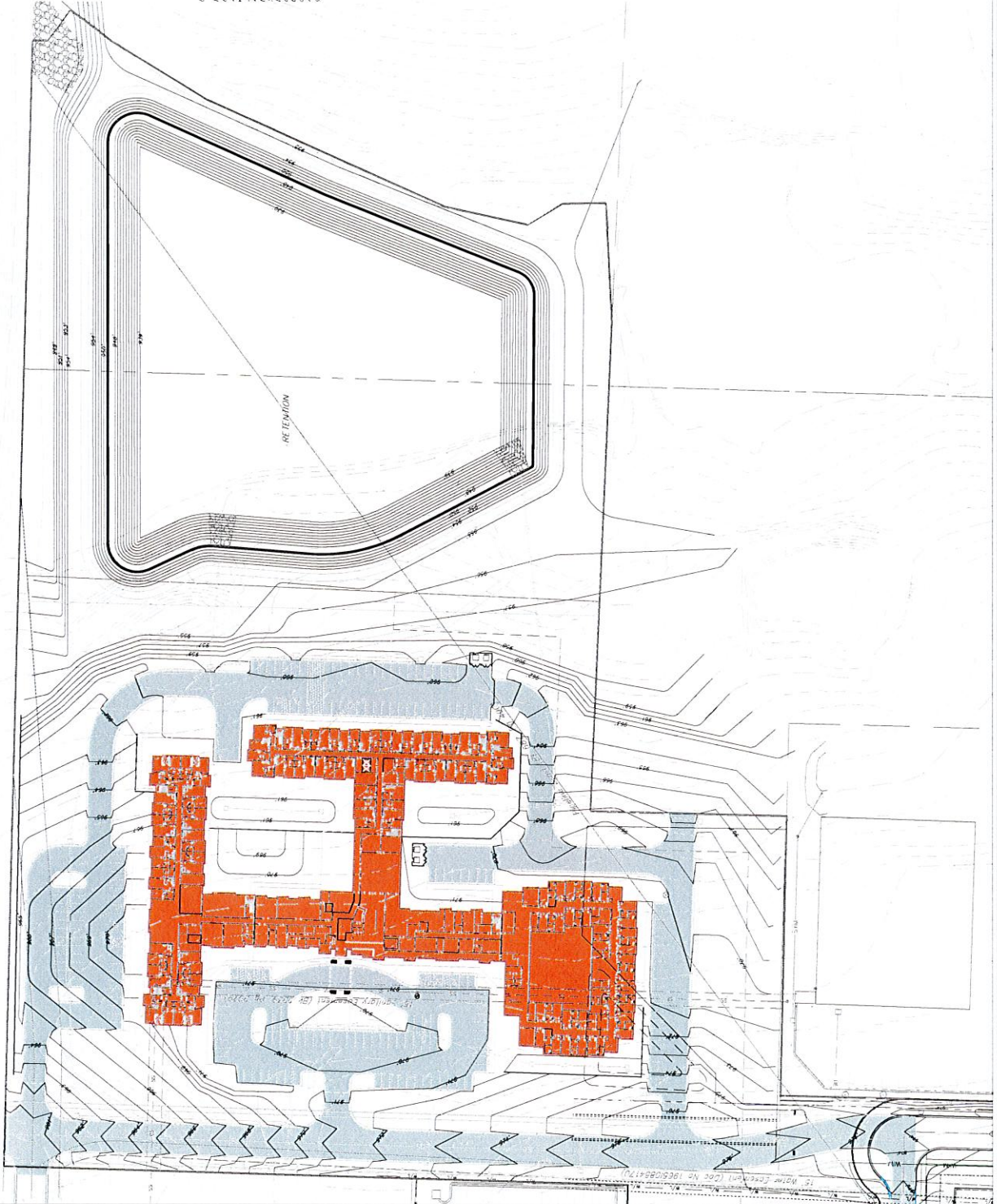


Preliminary Plat
Construction Plans for:
Colbern Road Senior Site
Lee's Summit, Jackson County, Missouri

Colbern Road Investments
Lee's Summit, Jackson County, Missouri

ENGINEERING
SOLUTIONS
ENGINEERING & SURVEYING
5115 E. 12TH STREET
LEE'S SUMMIT, MO 64086
P: 816.221.1888 F: 816.221.1845





- NOTES**
1. Contractor is responsible for verifying all existing utility locations prior to construction.
 2. There are no known natural or artificial water storage detention areas, or other features that may affect the proposed grading plan.
 3. All erosion and sediment control measures shall be implemented prior to construction.
 4. No part of the project shall be completed within the 100 year flood plain.
 5. Additional erosion control may be required by the City Engineer, during construction.
 6. Soil Stabilization of disturbed areas shall be completed within 14 days of grading.
 7. Contractor responsible for all density testing of roadway subgrade and granular base.



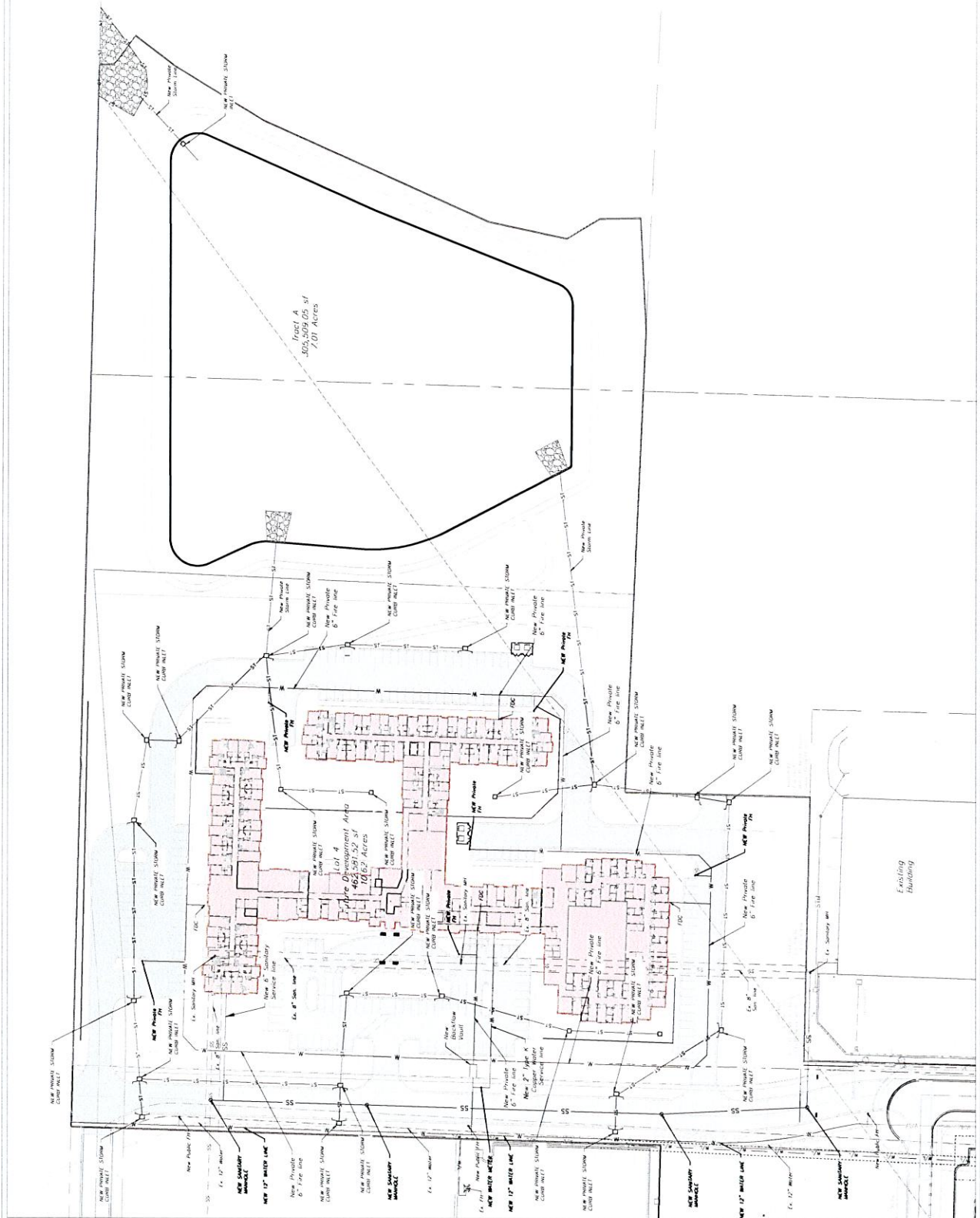
Lee's Summit, Jackson County, Missouri
Construction Plans for
Colbern Road Senior Site

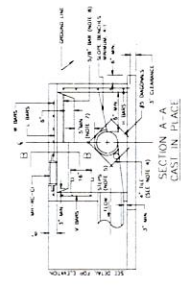
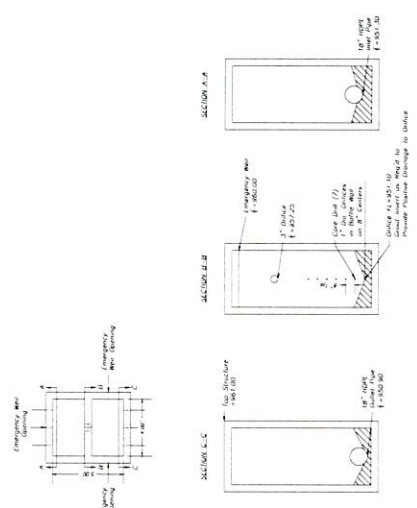
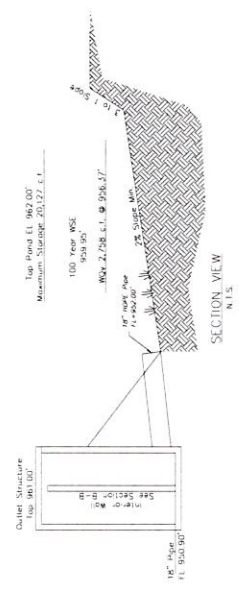
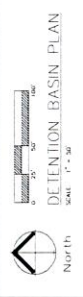
DATE: 11/17/2023
PROJECT NO: 23-005
DRAWN BY: [Signature]

Colbern Road Investments
Lee's Summit, Jackson County, Missouri

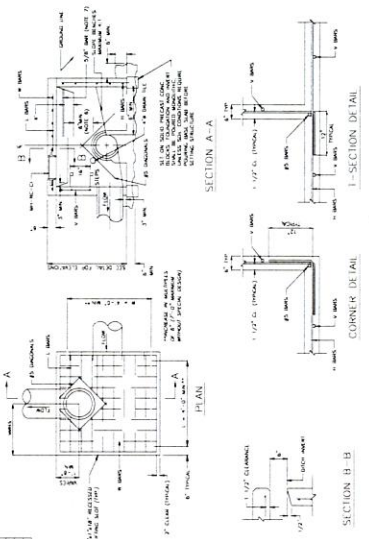
Professional Engineer
Lee's Summit, Missouri
Professional Seal No. 12345
Expiration Date: 12/31/2024

ENGINEERING SOLUTIONS
5000 N. 100th Street
Lee's Summit, MO 64063
913.123.4567

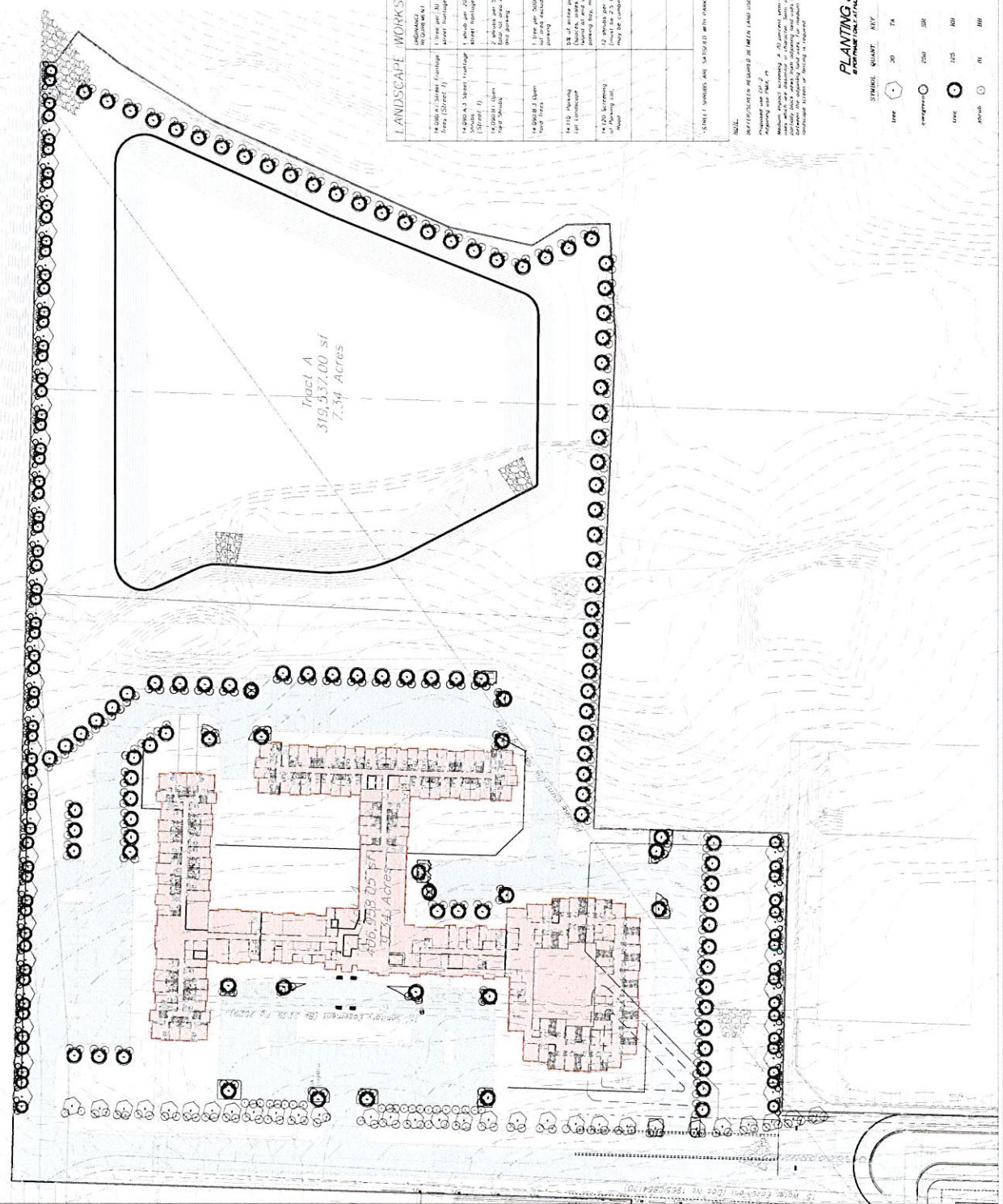




bars	size	spacing (in.)
10	#	12
9	#	12
1	5	8
8	5	8



1. Locate ring and cover over outlet
2. All work and materials shall conform to ASTM Sect. 2600
3. Use 1/2" x 1/2" chamber strip on all exposed concrete corners.
4. Steps required of 18" O.C. when depth from face of walking to invert exceeds 4 feet.
5. Handrails will not be allowed to project through the corners of the structure.
6. The minimum reinforcing shall be 1 H-bar over a cast-in place pipe and 2 H-bars over a precast boxout!
7. (min) opening height to 6" with No. 5 galvanized bars extending to cover rebars
8. Show field condition on plans plus number and size of opening
9. D.C. = one half outside pipe diameter (O.D.)
11. "A" field for precast boxout shall be located at entering pipe and in the front face lump points. These legs or openings shall be capped with 2" galvanized iron mesh on the substrate of the inlet and clear the invert and main sewer
12. Location of the Manhole shall be located along the Northeast side of the structure



LANDSCAPE WORKSHEET				PROPOSED LANDSCAPE
UNDESIGNED REQUIREMENTS	DESIGNED REQUIREMENTS	RELATIVE TO (SEE PLAN SHEET)	DESIGNED REQUIREMENTS	PROPOSED LANDSCAPE
1. Slope: 1:1	1. Slope: 1:1	1. Slope: 1:1	1. Slope: 1:1	1. Slope: 1:1
2. Slope: 1:1	2. Slope: 1:1	2. Slope: 1:1	2. Slope: 1:1	2. Slope: 1:1
3. Slope: 1:1	3. Slope: 1:1	3. Slope: 1:1	3. Slope: 1:1	3. Slope: 1:1
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* SINGLE STUDENTS ARE SATISFIED WITH PARKING LOT SCHEDULING MEASUREMENTS

7/08

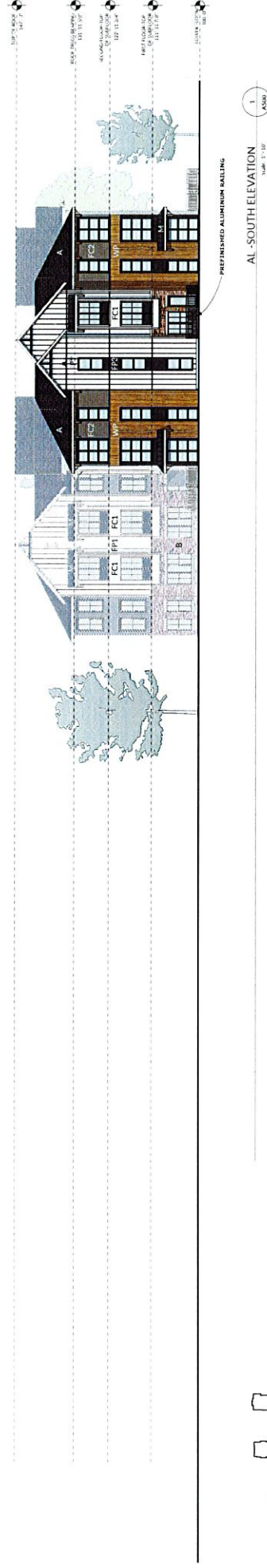
DATE/IN/SCATEIN RE GRANTED DE INREN LAINED USIS

Medium impact screening: A 20 percent screen between land uses which are identified in Chapter 3. Some impact screening should partially block views from adjoining land uses and create a separation between the adjoining land uses. For medium impact screening either a landscape screen or fencing is required.

PLANTING SCHEDULE:

SYMBOL	QUANT.	NAME	SIZE
	30	AMERICAN BASSWOOD LINER	3.0" CAL.
	74	TELA MEXICANA	3.0" CAL.
	125	SYNTHETIC LINER	3.0" CAL.
	250	SYNTHETIC LINER	3.0" CAL.
	60	ORALINUM REINFORCED LINER	3.0" CAL.
	81	REINFORCED LINER	3.0" CAL.
	100	REINFORCED LINER	3.0" CAL.

B-BLOCK
 A-ASYMUL SHINGLE
 FP1-FIBER CEMENT PANEL - COLOR A -SMOOTH-BATTEN 16" O.C
 FP2-FIBER CEMENT PANEL - COLOR B -SMOOTH-BATTEN 16" O.C
 FP3-FIBER CEMENT PANEL - COLOR C -SMOOTH-BATTEN 16" O.C
 FP4-FIBER CEMENT PANEL - COLOR D -SMOOTH-RUNNING BOND
 FP5-FIBER CEMENT PANEL - COLOR B -SMOOTH-VERTICAL
 FC1-FIBER CEMENT LAP SIDING-COLOR A
 FC2-FIBER CEMENT LAP SIDING-COLOR B
 WP-FIBER CEMENT PANEL -NICHIBA-VINTAGE WOOD CEDAR
 M-METAL-STANDING SEAM

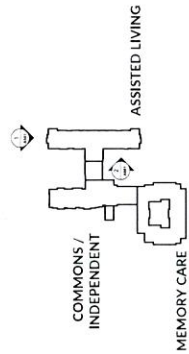
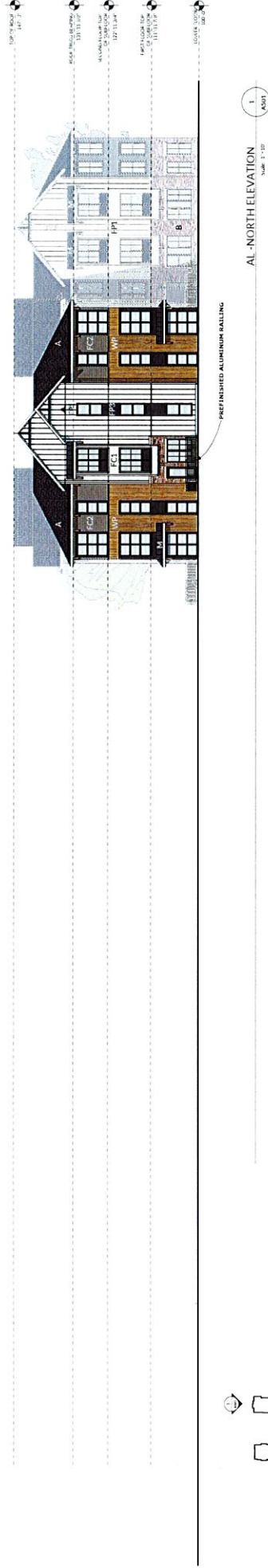
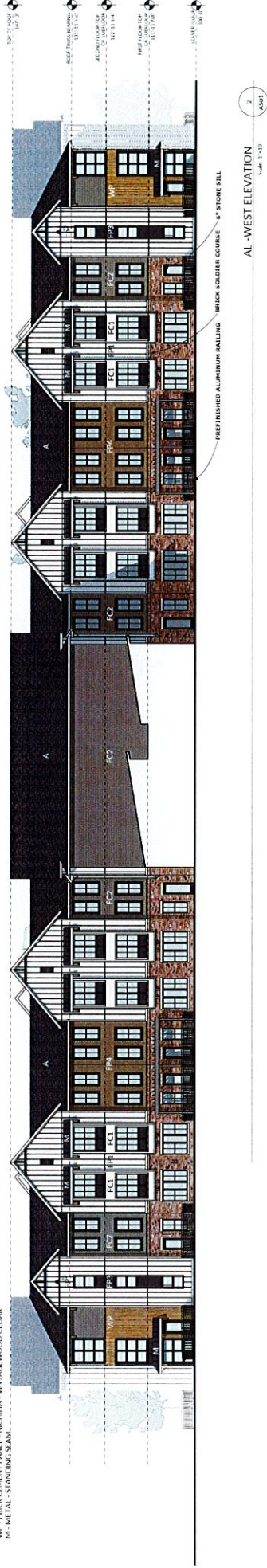


REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI



MATERIAL LEGEND

- B - BRICK
- A - ASPHALT SHINGLE
- FP1 - FIBER CEMENT PANEL - COLOR A - SMOOTH - BATTEN 1/2" O.C.
- FP2 - FIBER CEMENT PANEL - COLOR B - SMOOTH - BATTEN 1/2" O.C.
- FP3 - FIBER CEMENT PANEL - COLOR C - SMOOTH
- FP4 - FIBER CEMENT PANEL - COLOR D - SMOOTH - RUNNING BOND
- FP5 - FIBER CEMENT PANEL - COLOR E - SMOOTH - VERTICAL
- FC1 - FIBER CEMENT LAP SIDING - COLOR A
- FC2 - FIBER CEMENT LAP SIDING - COLOR B
- WP - FIBER CEMENT PANEL - NICHIA - VINTAGE WOOD CEDAR
- M - METAL - STANDING SEAM



SCALE: 1" = 10'

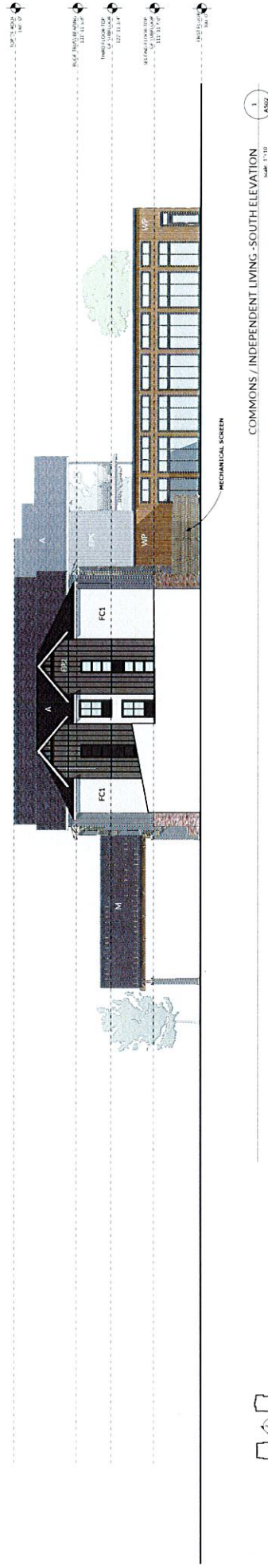
EXTERIOR ELEVATIONS | ASSISTED LIVING

REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI

03 APR 2023
A501



IL - INTER
 A - ASPHALT SHINGLE
 FP1 - FIBER CEMENT PANEL - COLOR - SMOOTH - BATTEN 16" O.C.
 FP2 - FIBER CEMENT PANEL - COLOR - SMOOTH - BATTEN 16" O.C.
 FP3 - FIBER CEMENT PANEL - COLOR - SMOOTH
 FP4 - FIBER CEMENT PANEL - COLOR - SMOOTH - RUNNING ROND
 FP5 - FIBER CEMENT PANEL - COLOR - SMOOTH - RUNNING ROND
 FC1 - FIBER CEMENT LAP SIDING - COLOR - SMOOTH - VERTICAL
 FC2 - FIBER CEMENT LAP SIDING - COLOR
 WP - FIBER CEMENT PANEL - NO. 1816 - 19" x 36" x 1/2" CELUM
 M - METAL - STANDING SEAM

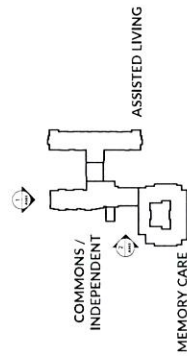
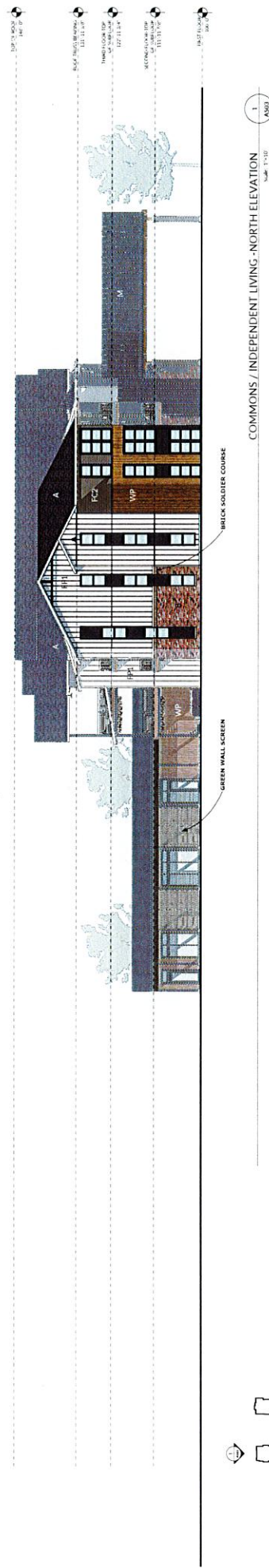


REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI



MATERIAL LEGEND

- B - BRICK
- A - ASPHALT SHINGLE
- FP1 - FIBER CEMENT PANEL - COLOR A - SMOOTH - HATCH 10' O.C.
- FP2 - FIBER CEMENT PANEL - COLOR B - SMOOTH - HATCH 10' O.C.
- FP3 - FIBER CEMENT PANEL - COLOR C - SMOOTH - RUNNING BOND
- FP4 - FIBER CEMENT PANEL - COLOR D - SMOOTH - VERTICAL
- FC1 - FIBER CEMENT LAP SIDING - COLOR A
- FC2 - FIBER CEMENT LAP SIDING - COLOR B
- WP - FIBER CEMENT PANEL - NICHIEVA - VINTAGE WOOD CLEAR
- M - METAL - STANDING SEAM



SCALE: 1" = 10'

EXTERIOR ELEVATIONS | COMMONS AND INDEPENDENT LIVING

REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI

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A503



B - BRICK
A - ASPHALT SHINGLE

FPS - FIBER CEMENT PANEL - COLOR A - SMOOTH - BATTEN 16" O.C.
F2S - FIBER CEMENT PANEL - COLOR C - SMOOTH - BATTEN 16" O.C.
F2C - FIBER CEMENT PANEL - COLOR C - SMOOTH
F4C - FIBER CEMENT PANEL - COLOR C - SMOOTH - RUNNING BOND
F4I - FIBER CEMENT PANEL - COLOR A
FC2 - FIBER CEMENT JAP.SILING - COLOR B

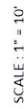
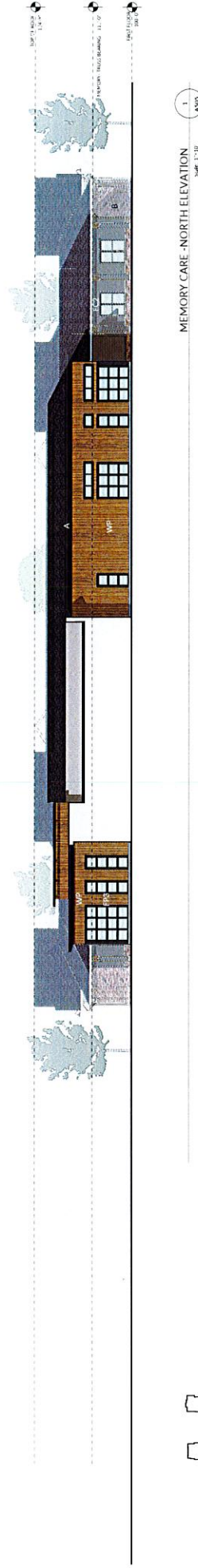
WP - FIBER CEMENT PANEL - NCI.BATH - VINTAGE WOOD CIDER
M - METAL - STANDING SEAM



REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI



B - BRICK
 A - ASPHALT SHINGLE
 FP1 - FIBER CEMENT PANEL - COLOR A - SMOOTH - BATTEN 16" O.C.
 FP2 - FIBER CEMENT PANEL - COLOR B - SMOOTH - BATTEN 16" O.C.
 FP3 - FIBER CEMENT PANEL - COLOR C - SMOOTH
 FP4 - FIBER CEMENT PANEL - COLOR D - SMOOTH - RUNNING BOND
 FC1 - FIBER CEMENT LAP SIDING - COLOR A
 FC2 - FIBER CEMENT LAP SIDING - COLOR B
 WP - FIBER CEMENT PANEL - NICHILIA - VINTAGE WOOD CEDAR
 M - MAT TAIL - STANDING SIAM

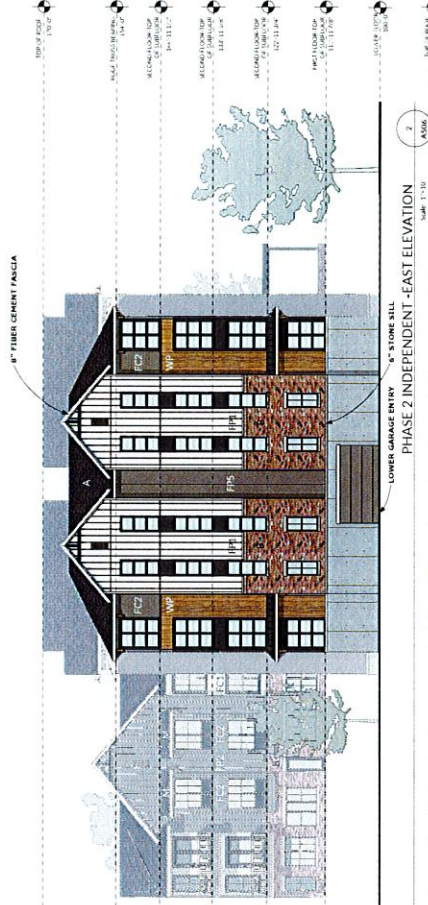


REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI

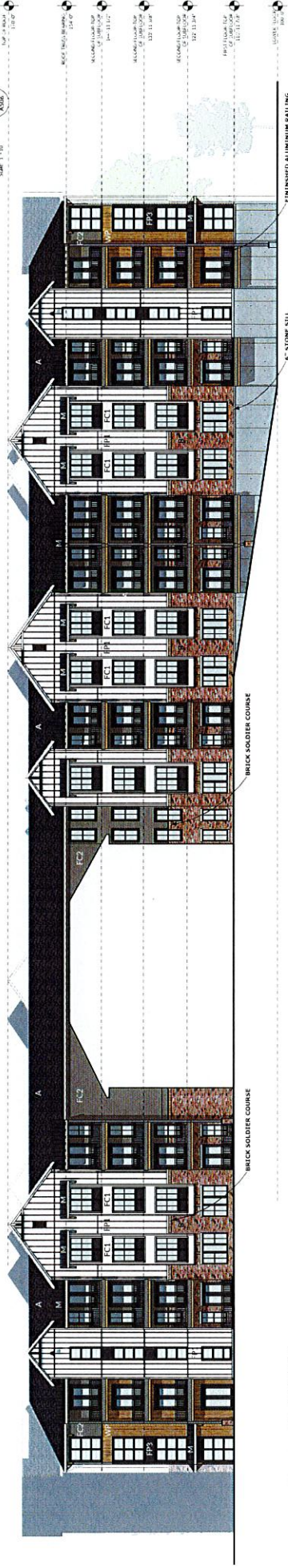


MATERIAL LEGEND

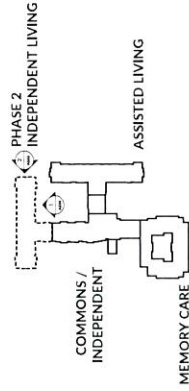
- B - BRICK
- A - ASPHALT SHINGLE
- P1 - FIBER CEMENT PANEL - COLOR A - SMOOTH - GUTTER 16" O.C.
- P2 - FIBER CEMENT PANEL - COLOR A - SMOOTH - GUTTER 16" O.C.
- P3 - FIBER CEMENT PANEL - COLOR C - SMOOTH - GUTTER 16" O.C.
- P4 - FIBER CEMENT PANEL - COLOR D - SMOOTH - RUNNING BOND
- P5 - FIBER CEMENT PANEL - COLOR E - SMOOTH - VERTICAL
- F1 - FIBER CEMENT LAP SIDING - COLOR A
- F2 - FIBER CEMENT LAP SIDING - COLOR B
- VP - FIBER CEMENT PANEL - NICHIA - VINTAGE WOOD CLEAR
- M - METAL - STAINLESS STEEL



PHASE 2 INDEPENDENT -EAST ELEVATION



PHASE 2 INDEPENDENT -SOUTH ELEVATION



EXTERIOR ELEVATIONS | PHASE 2 INDEPENDENT LIVING

REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI

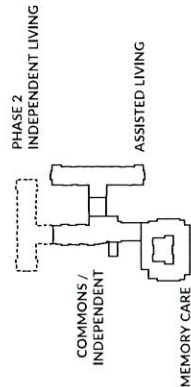
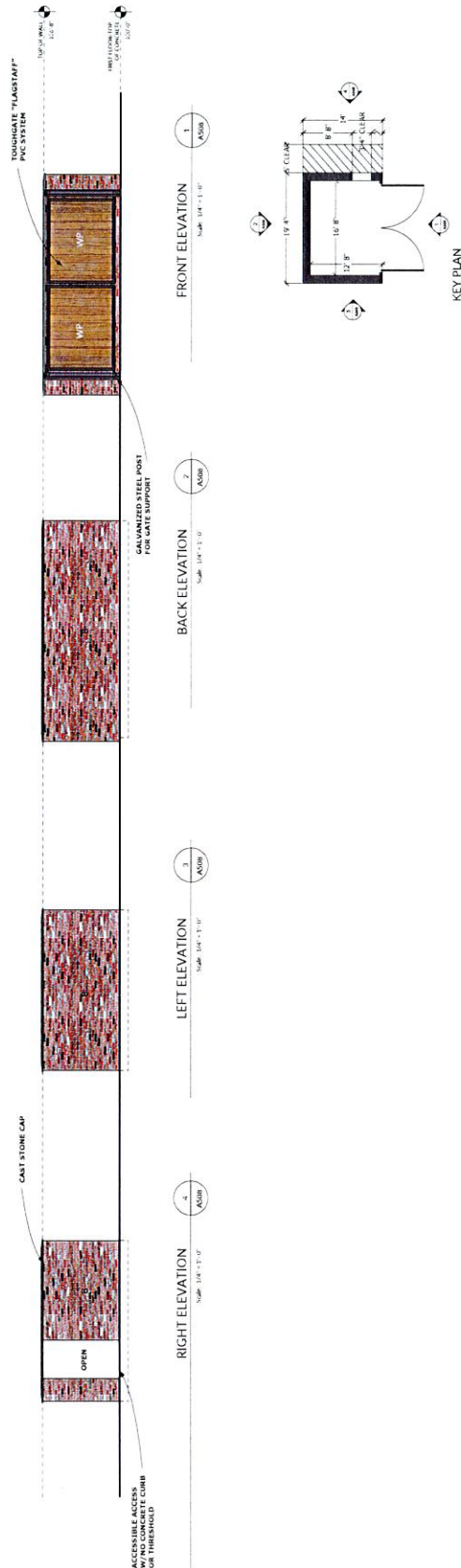


SCALE : 1" = 10'

03 APR 2023
A506

MATERIAL LEGEND

- B - BRICK
- A - ASPHALT SHINGLE
- FP1 - FIBER CEMENT PANEL - COLOR A - SMOOTH - BATTEN 1/2" O.C.
- FP2 - FIBER CEMENT PANEL - COLOR B - SMOOTH - BATTEN 1/2" O.C.
- FP3 - FIBER CEMENT PANEL - COLOR C - SMOOTH - RUNNING BOARD
- FP4 - FIBER CEMENT PANEL - COLOR D - SMOOTH - VERTICAL
- FP5 - FIBER CEMENT PANEL - COLOR E - SMOOTH - VERTICAL
- FC1 - FIBER CEMENT LAP SIDING - COLOR A
- FC2 - FIBER CEMENT LAP SIDING - COLOR B
- WP - FIBER CEMENT PANEL - NICHIA - VINTAGE WOOD CELLAR
- M - METAL - STANDING SEAM



SCALE: 1" = 10'

EXTERIOR ELEVATIONS | SITE STRUCTURES

REPRESENTATIVE OF ARCHITECTURE OF THE OVERALL DEVELOPMENT 03 APR 2023
SENIOR LIVING DEVELOPMENT | LEE'S SUMMIT, MISSOURI A508

