

RADER REAL ESTATE

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLAN

OFFICE BUILDING

INDEX
CIVIL SUBMITTAL

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UTILITIES

City of Lee's Summit
Department of Public Works
220 SE Green
Lee's Summit, Mo.
816-969-1800

Evergy
401 SE Bailey Road
Lee's Summit, Mo. 64081
816-347-4320

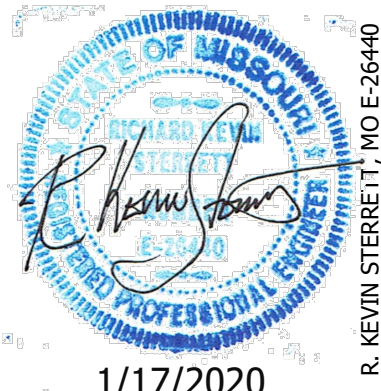
Spire
Bobbie Saulsberry
(Administrative Offices)
3025 SE Clover Road
Lee's Summit, MO
816-969-2266

AT&T
Craig Perkins
500 E. 8th Street
Kansas City, MO 64106
816-275-2721

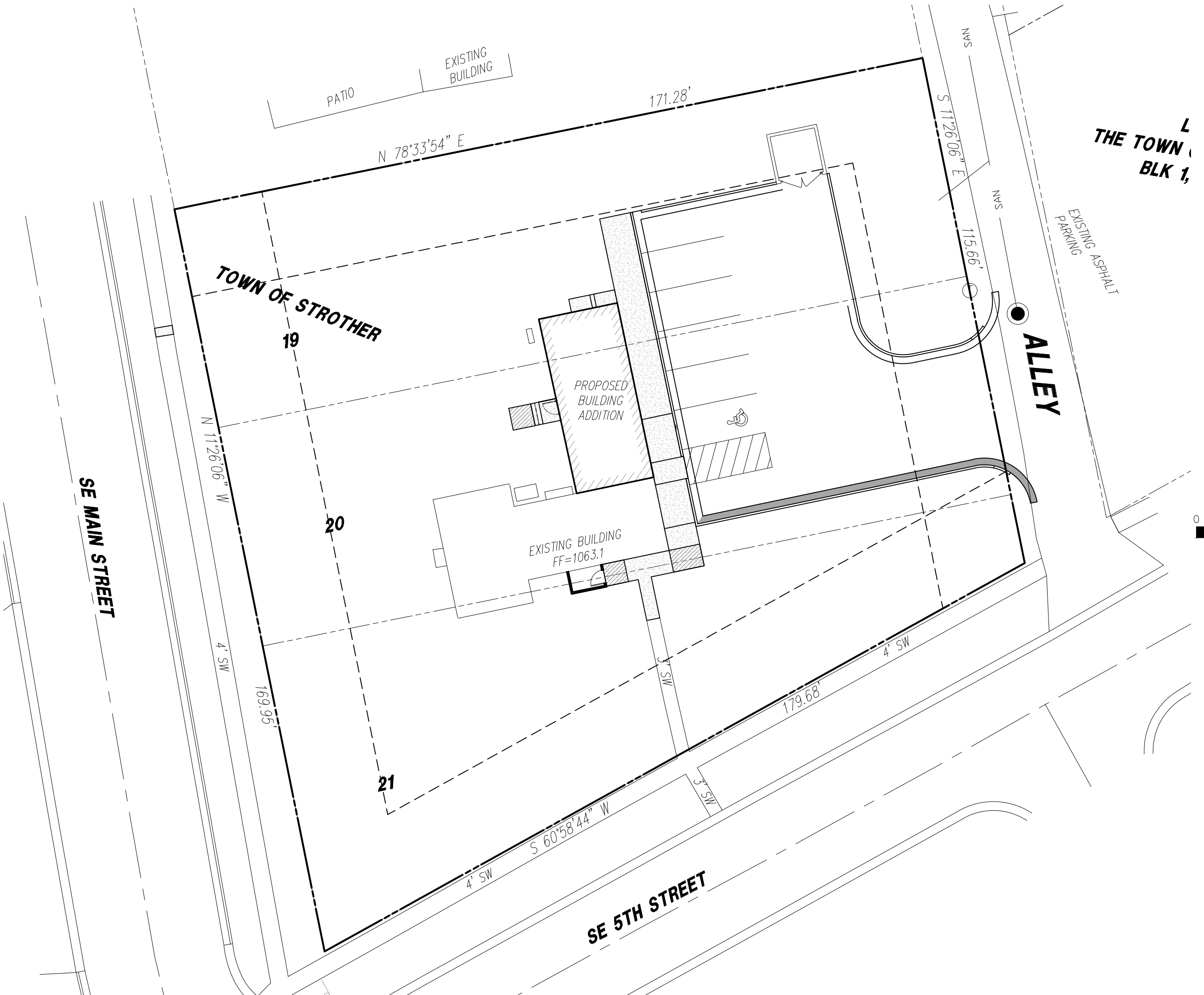
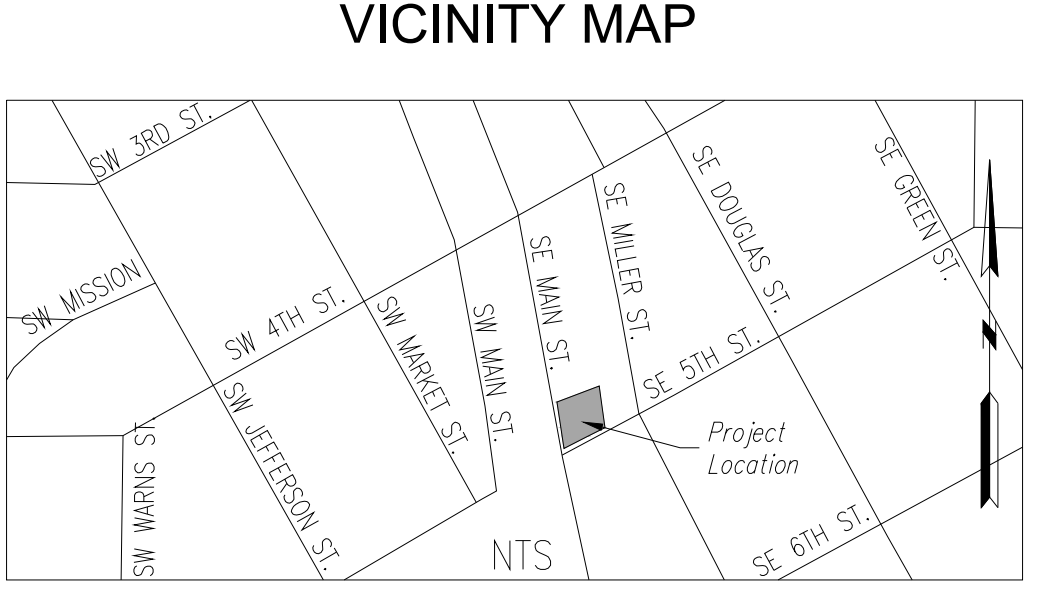
Comcast
New Construction Hotline
866-771-2281

Missouri One Call
1-800-344-7483

NO.	BY	DATE	REVISION



1/17/2020

PLANS PREPARED FOR
CYNDA SELLS REAL ESTATE CO.
211 NW EXECUTIVE WAY, SUITE 1
LEE'S SUMMIT, MO 64063
CONTACT - CYNDA RADER
816-245-7807

PLANS PREPARED BY
HG CONSULT
11010 HASKELL ST. #210,
KANSAS CITY, KS 66109
CONTACT: KEVIN STERRETT
816-703-7098

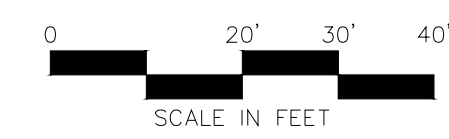
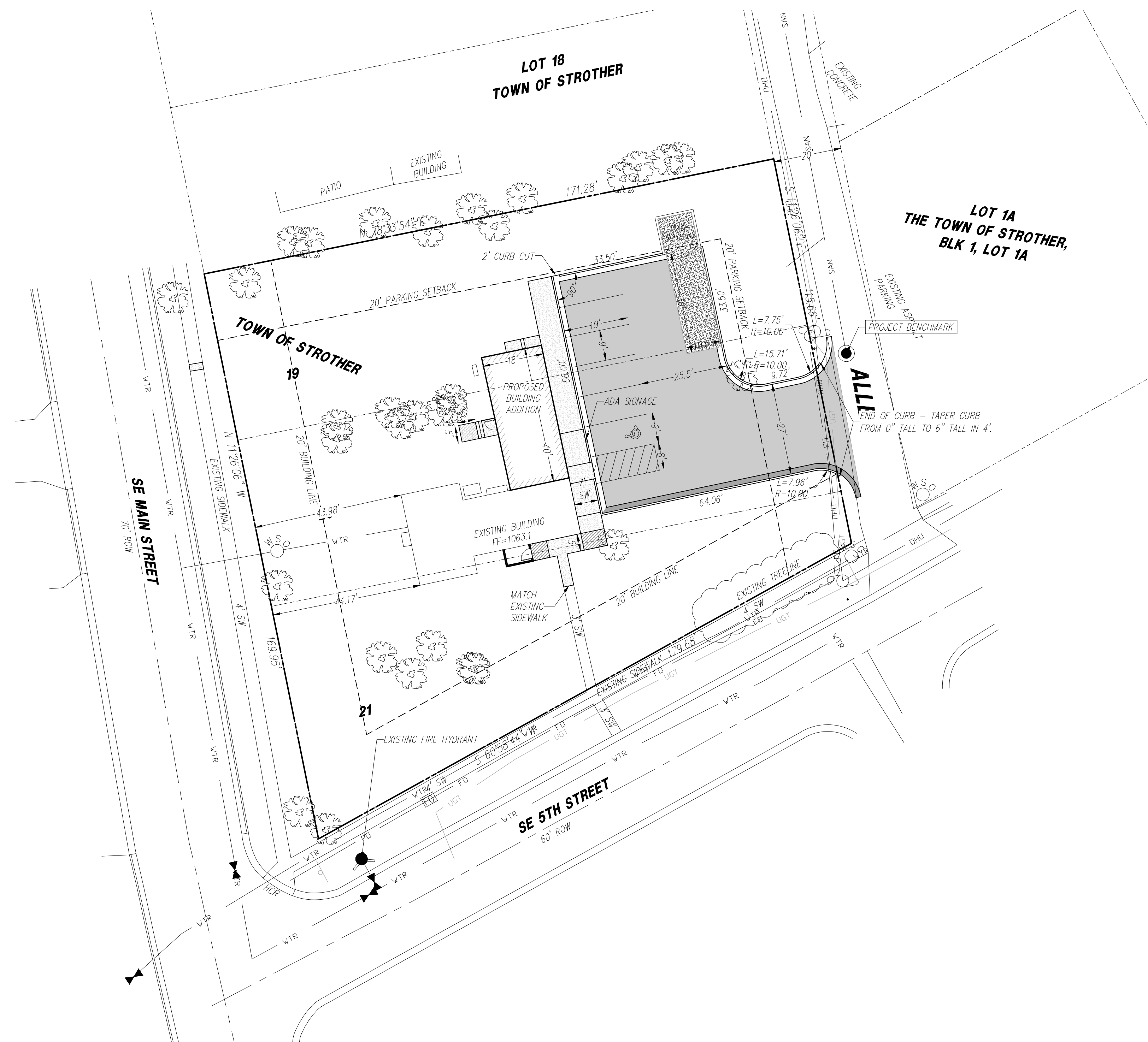
- GENERAL NOTES:**
1. The underground utilities shown herein have been plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or locations of these or other utilities. The contractor shall be responsible for verifying the actual locations of all underground utilities, shown or not shown, and said utilities shall be located in the field prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the "UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT", Chapter 319, RSMO.
 2. Gas, Water, and other Utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers, including building laterals.
 3. Prior to submittal of construction bids, the Contractor shall be required to visit the site to verify existing conditions and proposed improvements.
 4. The Contractor shall be responsible for notification and coordination with all Utility Companies.
 5. The Contractor shall notify the Engineer immediately of any discrepancies in the plans.
 6. All sidewalk shall be ADA compliant.
 7. All curb shall be CC-1 unless otherwise noted.
 8. There are no oil or gas wells located on the subject property as of October 30, 2019 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).

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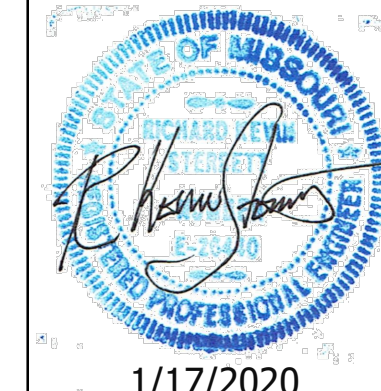
CORPORATE LICENSE NO. E2000005873

COVER SHEET
RADER REAL ESTATE
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 191338	1
DRAWING NO. 19075	10
DATE OCTOBER 30, 2019	
JOB NO. 19075	

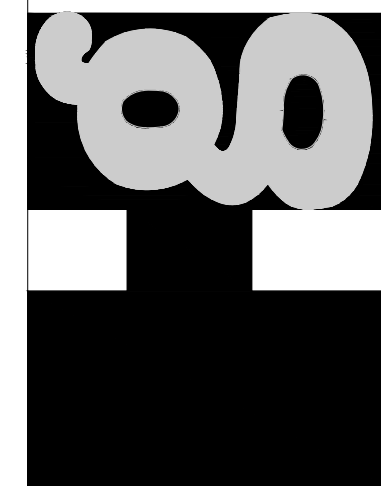


NO.	BY	DATE	REVISION



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LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

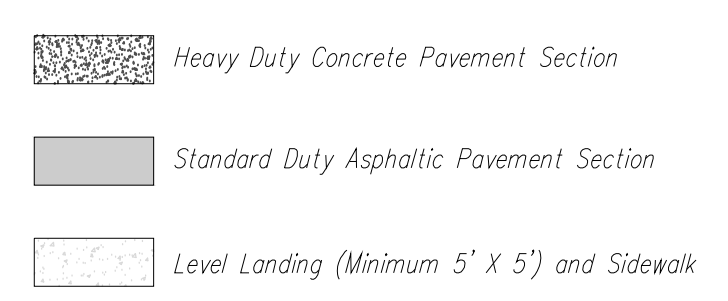
SITE DIMENSION PLAN
RADER REAL ESTATE
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 191338
DRAWING NO. 19075
DATE OCTOBER 30, 2019
JOB NO. 19075
2 SHEET OF 10

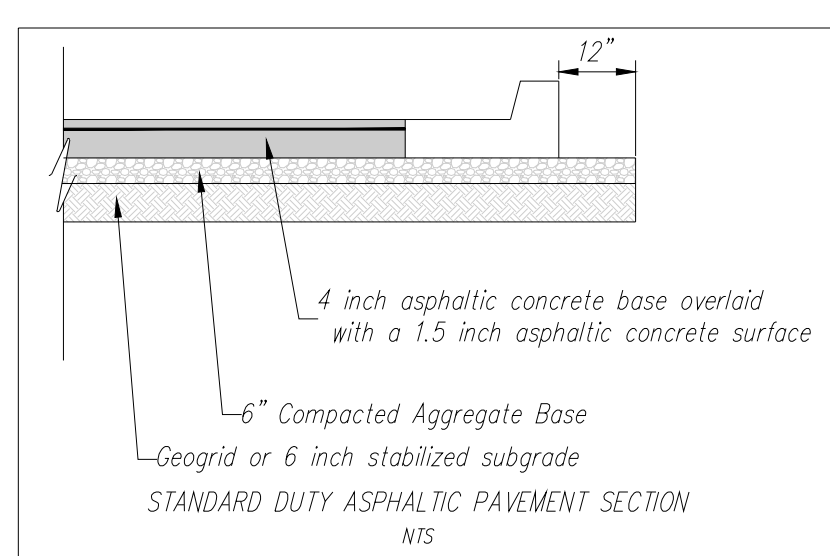
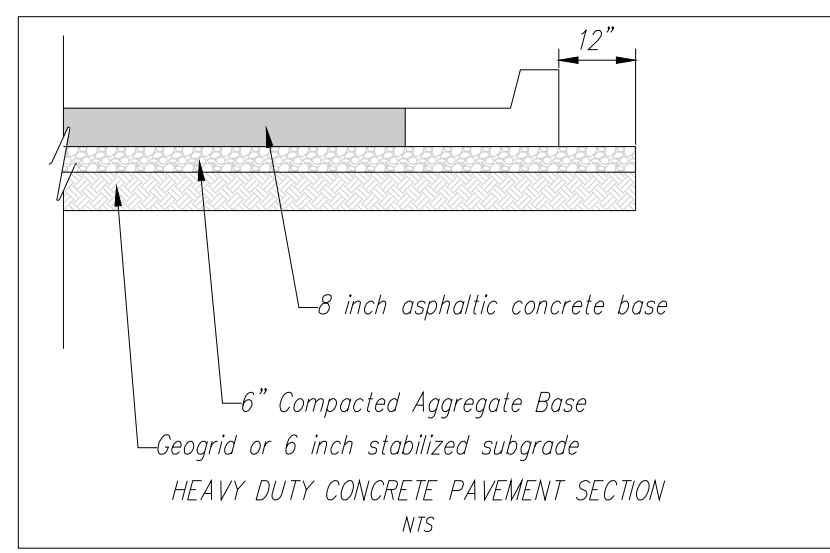
SITE INFORMATION:
 Property Description: Lot 19, 20 and 21, Town of Strother
 Site Address: 2 SE 5th Street
 Zoning: TNZ Transitional Neighborhood Zone
 Lot Area: 24,460 SF (0.56 AC)
 Building Area (GFA): 1,009 SF Existing Home
 720 SF Proposed addition
 Total SF: 1,729 SF
 FAR: .07 to 1
 Impervious Coverage: 6,659 SF, 27%
 Parking Space Required:
 Retail: 4 space/1000 SF = 7 spaces
 Parking Spaces Provided: 7 spaces
 ADA Spaces Required/Provided: 1/1
 Standard Space Size: 9'x19'
 Planned Use: Real Estate office
 Anticipated Completion: Spring 2020
 Watershed - West Tributary to Prairie Lee Lake

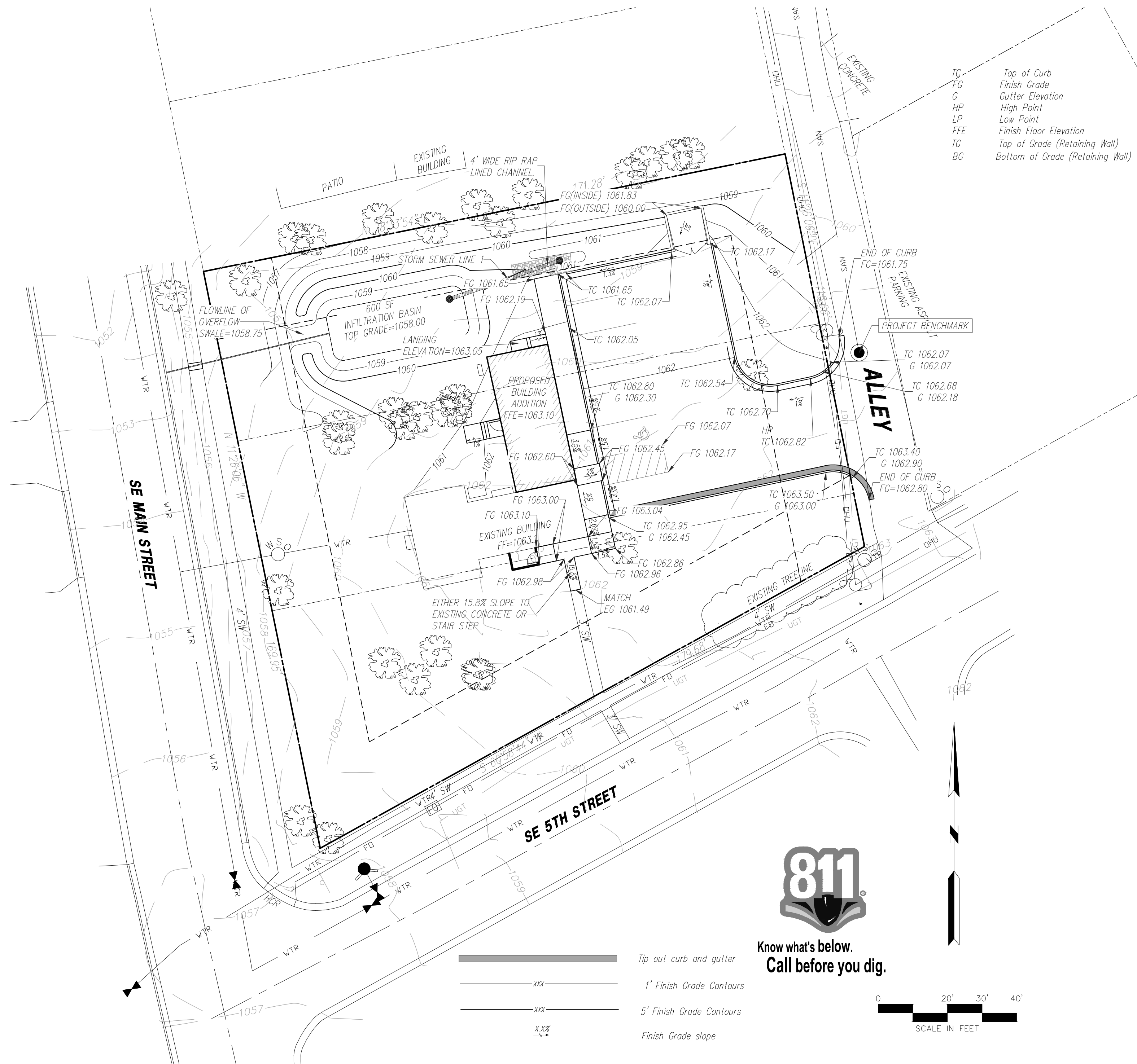
- NOTES:**
- All construction and materials to conform to the city and the specifications and details per the Kansas City Metro Chapter APWA. It is advisable that the contractor become familiar with this document in the event that there is a discrepancy between this and the approved plan and the Manual. Advise the design engineer of any discrepancy prior to bidding or working on this project.
 - Silt fence shall be installed at the perimeter of all disturbed areas within the site during construction for erosion control.
 - Contractor shall contact the Public Works Inspections 48 hours prior to commencement of work at (816) 969-1800.
 - Contractor to locate and relocate any existing utilities that may conflict with construction as necessary.
 - All curb shall be CG-1 or integral with the sidewalk.
 - A handicap parking sign, 5' above finish grade, shall be placed at the head of the designated parking space.
 - There shall be two way traffic movement.
 - Perimeter parking area dimensions shown are to the back of curb.
 - All mechanical equipment shall be screened to 100% opacity and match building material (See Architectural Submittal). (Height of screen shall equal the height of mechanical equipment that is being screened).
 - See architectural submittal for all building dimensions, monument signs and lighting details.
 - This lot is not in a flood plane per FIRM Panel 417 of 625, Map No. 29095C0417G, dated Jan. 20, 2017.
 - ADA accessible ramp to have detectable surface on public handicap ramps only. Detectable surfaces do not need to be installed on the ramps at commercial drives. See KCAPWA web site for details.
 - Building coordinates are pointed to or measured at the outside face of building foundation corners. Contractor shall confirm building dimensions with structural drawings.
 - Other coordinates are pointed to or measured from the back of curb, back of wall or property corner location.
 - Contractor shall coordinate building entrances, egresses, walkways and door locations with architectural and structural drawings.
 - See architectural/structural/mechanical/electrical drawings for miscellaneous site equipment and pads.
 - Curb to be installed at proposed drives by saw cutting a clean straight edge of existing asphalt and forming curb to edge of gutter existing elevation.

PROJECT BENCHMARK:
 #1 Top of Sanitary Manhole lid on the east side of site in alley.
 N: 998700.1600
 E: 2824128.9460
 TOP ELEV. 1061.64

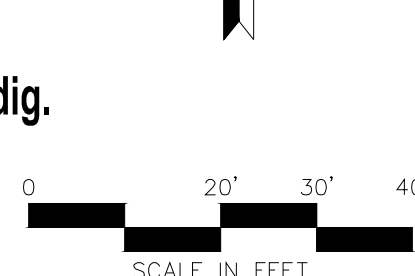
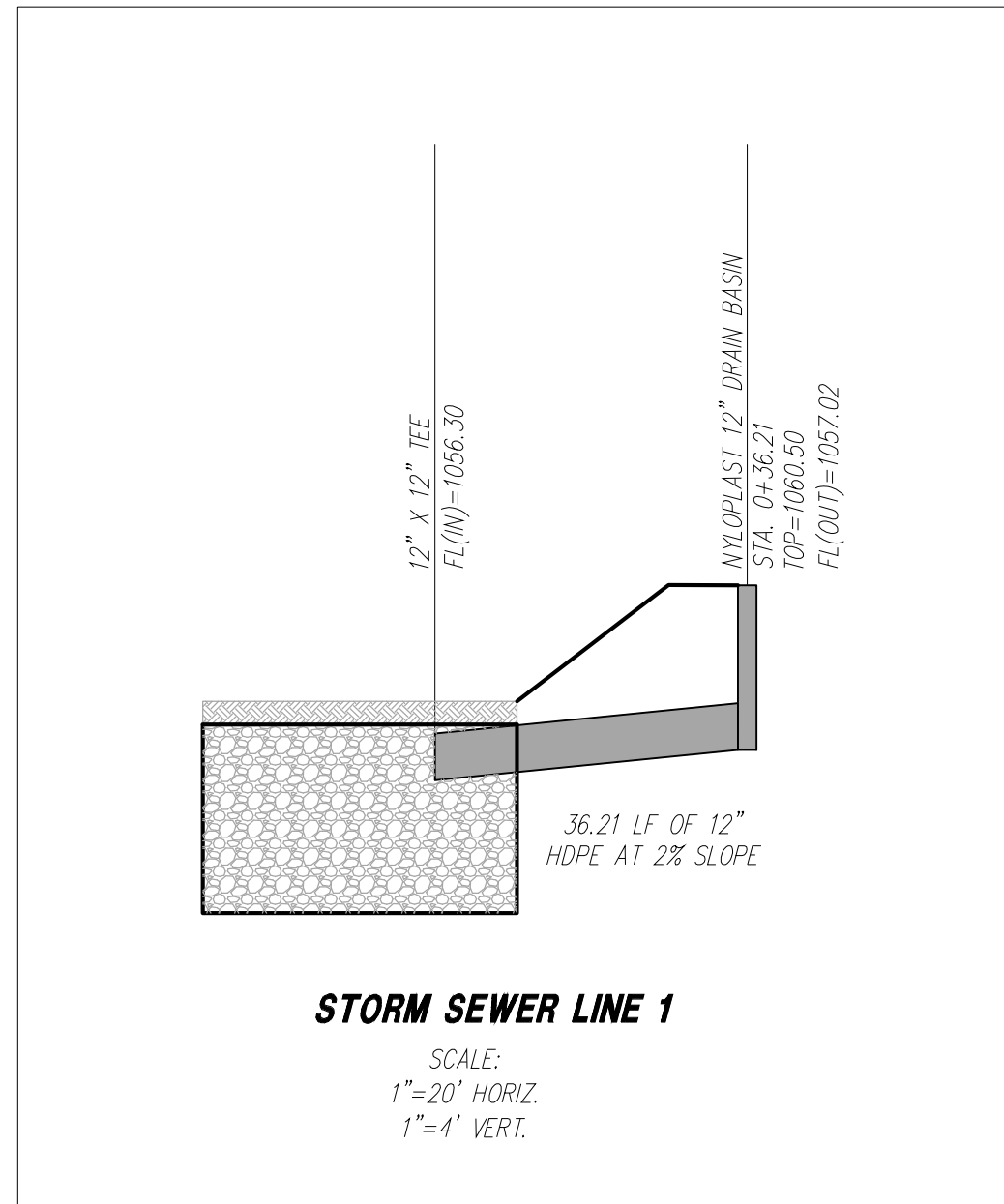
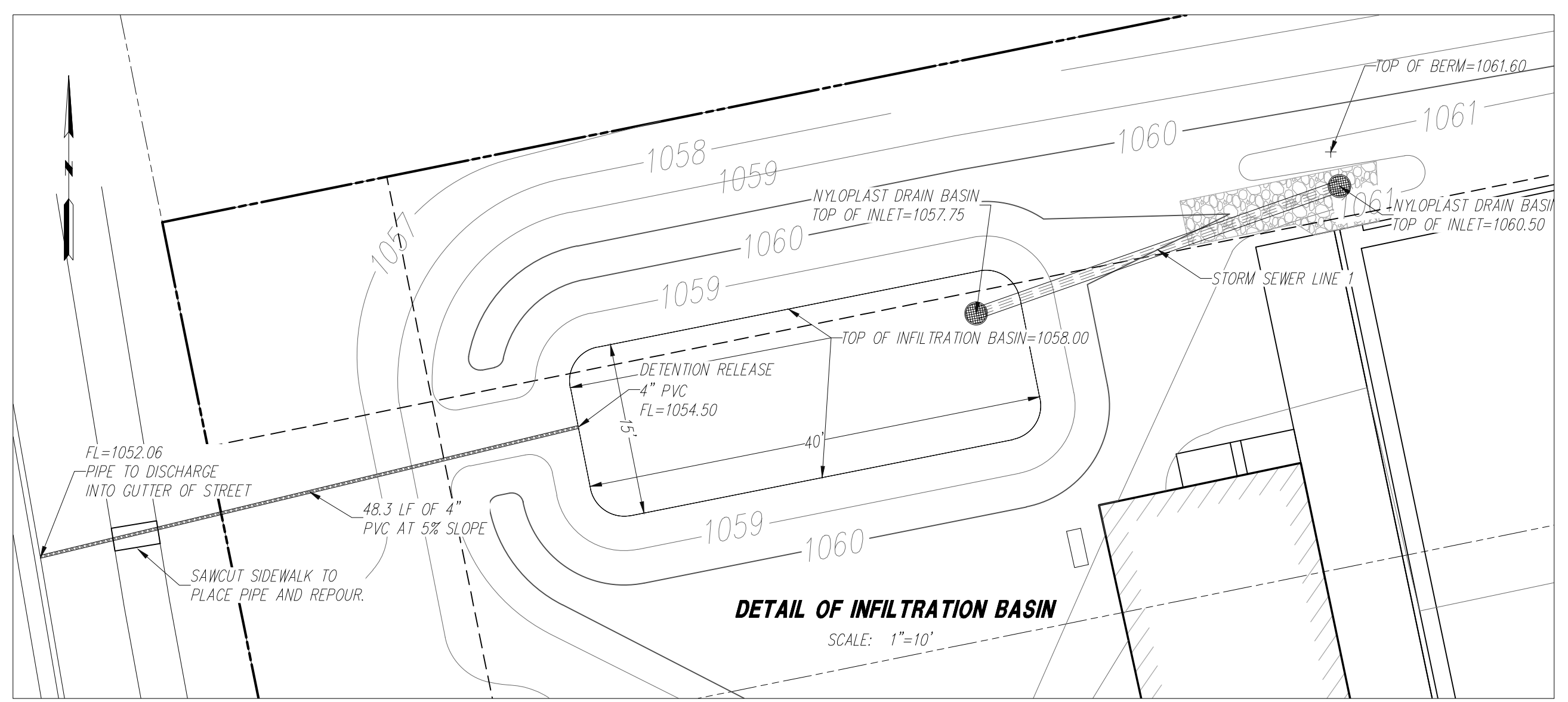


All level landings to have a minimum of 18" of level pavement beyond the pull/latch side of all ADA doorways designated with "LEVEL LANDING"

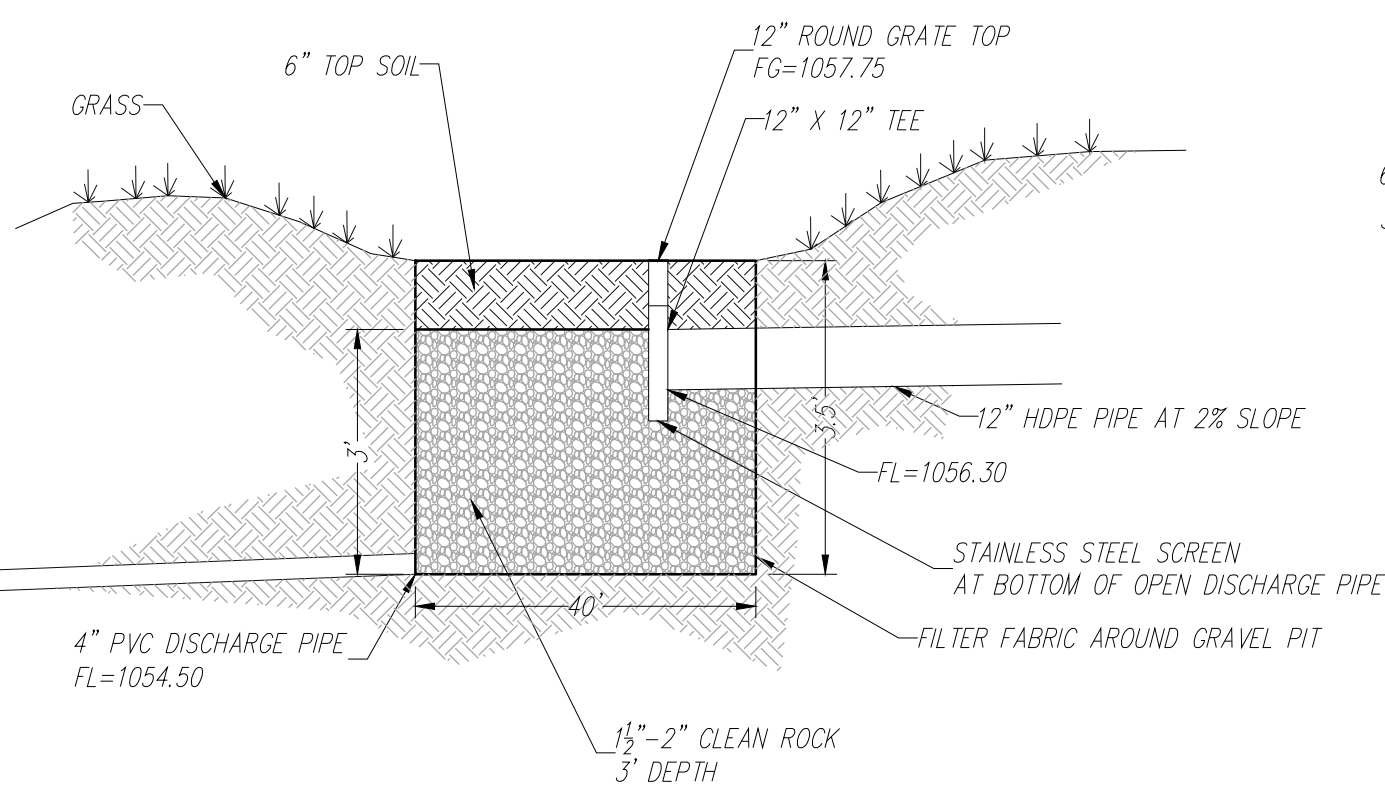




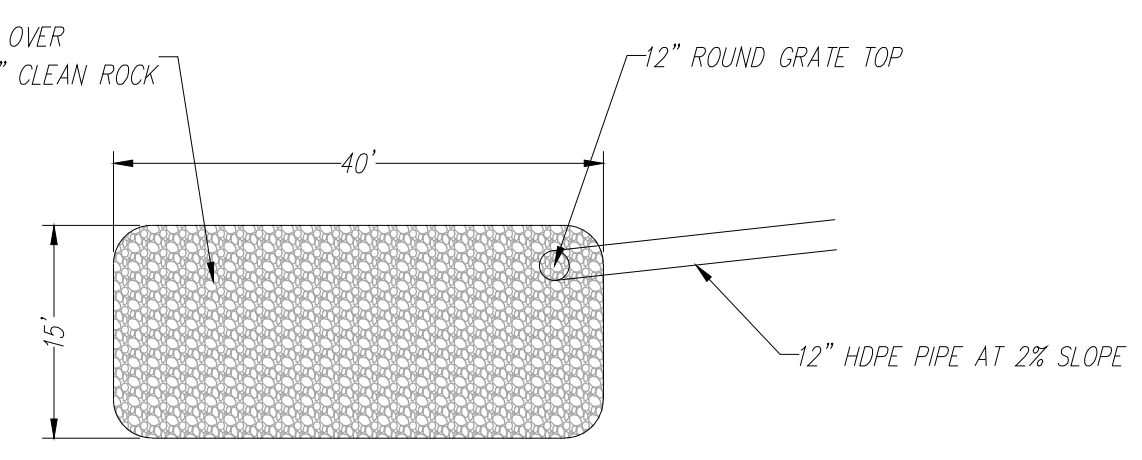
TC Top of Curb
 FG Finish Grade
 G Gutter Elevation
 HP High Point
 LP Low Point
 FFE Finish Floor Elevation
 TG Top of Grade (Retaining Wall)
 BG Bottom of Grade (Retaining Wall)



Tip out curb and gutter
 1' Finish Grade Contours
 5' Finish Grade Contours
 Finish Grade slope



PROFILE VIEW OF INFILTRATION BASIN
 N15



PLAN VIEW OF INFILTRATION BASIN
 N15

PROJECT BENCHMARK:
 #1 Top of Sanitary Manhole lid on the east side of site in alley.
 N: 998700.1600
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 TOP ELEV. 1061.64

GRADING AND DRAINAGE NOTES:

Information pertaining to under ground utilities was obtained from available records and field locations when possible, but the contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings in advance of machine trenching. If clearances are less than specified on these plans or 24", which ever is less, contact the Engineer and the Owner/Developer prior to proceeding with construction. All structures located within Right Of Way or otherwise noted on these plans shall be constructed per City Standards. If structure(s) are not prototypical or construction cannot be achieved contractor shall submit shop drawing to HC Consult, for review and approval. Contractor shall be responsible for relocation or removal of existing underground utilities shown or not shown at no additional cost to the owner.

Contractor shall coordinate with utility companies on adjusting existing utility line as required by cut and fill at no additional cost to the owner.

Contractor shall be held responsible for the design and implementation of sheeting, shoring, bracing and special excavation measures required to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on these drawings.

All disturbed areas and slopes shall be graded smooth and (4") of top soil applied. The area shall be seeded and watered until hardy grass growth has been established.

Storm drain pipe bedding shall be installed per APWA, section 2100.

See Erosion Control Plan for rip rap pad sizes.

Elevations are called out to top of curb, top of pavement, or top of structure, unless otherwise noted.

Parking lot grading shall be performed to route storm water as directed to the storm collection system.

All curb shall be CC-1.

Clear and grub areas to be filled, remove trees, vegetation, roots, or other debris, and other materials that would affect the stability of the fill.

Ensure that fill material is free of brush, rubbish, rocks, logs, stumps, building debris, and other materials inappropriate for constructing stable fills.

Do not incorporate frozen material or soil, muck, or highly compressible materials into fill slopes.

Permanently stabilize all graded areas after final grading is completed on each area of the grading plan; apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed (see Erosion Control Plan(s)).

Contractor shall match top of proposed drainage structures with proposed grades. If a discrepancy occurs between proposed grades and proposed structure tops, the grading shall govern. If the discrepancy is more than 4 inches the contractor shall contact the Engineer of Record.

All utilities, including storm sewer, shown within public easements or right of ways shall be constructed to the governing agency's specifications. All other utilities shall be constructed to the client's or the governing agency's specifications, whichever is more stringent, if there is a question as to which specifications should apply the contractor shall contact the Engineer of Record.

All existing structures, unless otherwise noted to remain, all fencing, trees, & etc., within construction area shall be removed & disposed of off site, unless otherwise noted. Any burning on site shall be subject to local ordinances and/or the owner/developers standards and specifications.

All drainage structures shall be pre-cast.

All drainage structures and storm sewer pipes shall meet heavy duty traffic (H20) loading and be installed accordingly.

Contractor shall notify all utility companies having underground utilities on site or in right-of-way prior to excavation. Contractor shall contact utility locating company (STATE ONE CALL system) and locate all utilities prior to grading start.

Site grading shall not proceed until Erosion Control measures have been installed.

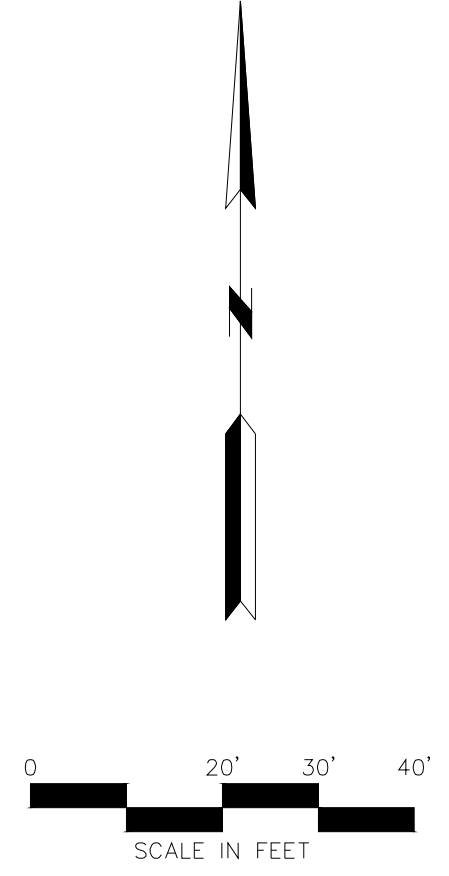
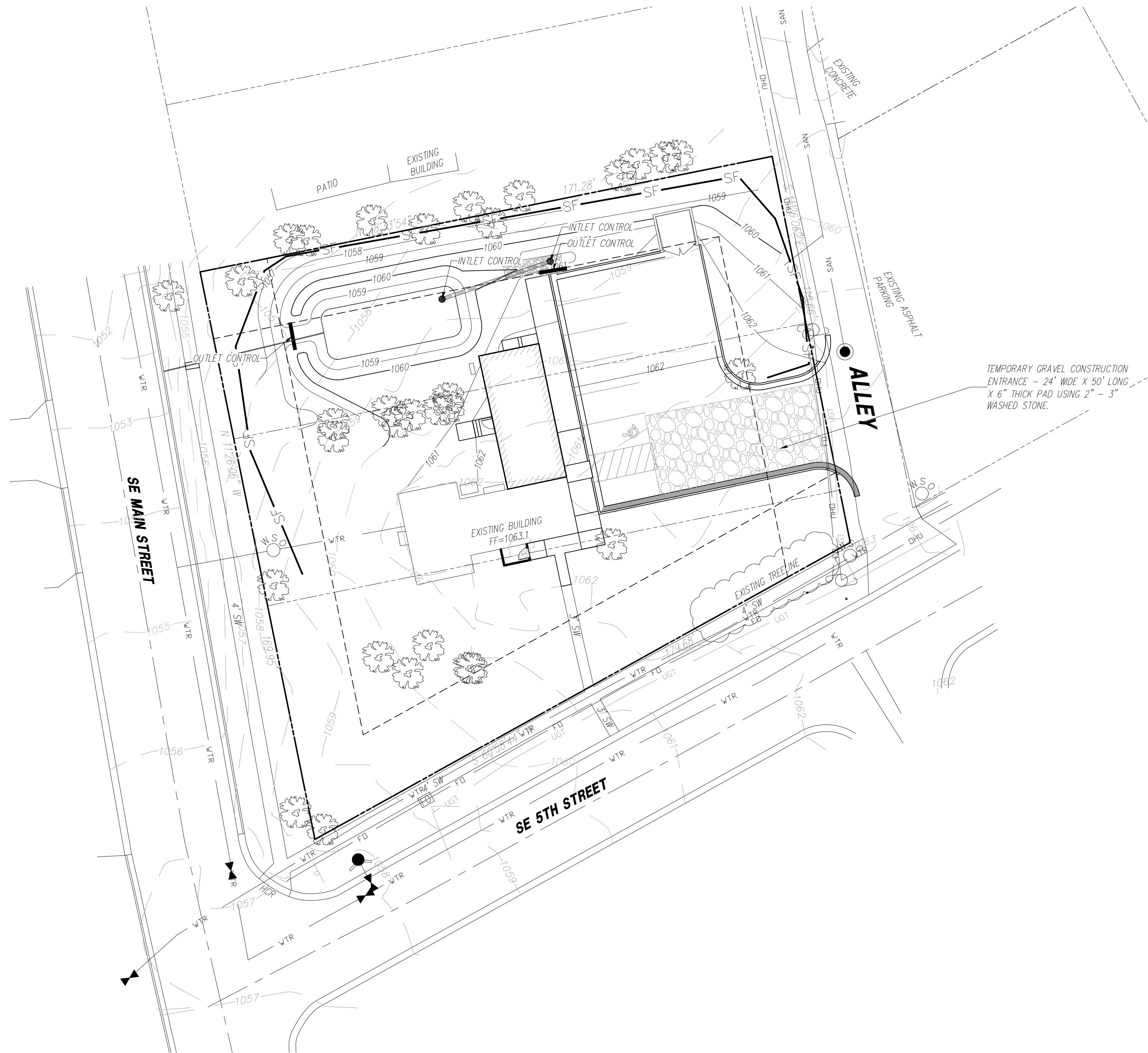
After permits have been obtained and Erosion Control measures installed, the contractor shall grade building pad & aprons to 0" to - 1/2" of subgrade.

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1/17/2020

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R. KEVIN STERRETT, NO. E-26440
 MISSOURI PROFESSIONAL ENGINEER
 CORPORATE LICENSE NO. E200005873



Know what's below.
Call before you dig.

TEMPORARY GRAVEL CONSTRUCTION
ENTRANCE - 24" WIDE X 50' LONG
X 6" THICK PAD USING 2" - 3"
WASHED STONE.

KEY	
— 979 —	Grades
— 960 —	Grades
— SF —	Proposed Silt Fence

Area of Disturbance: 14,545 SF (0.33 AC)

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EROSION CONTROL GENERAL NOTES:

The contractor shall inspect, repair and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended.
The topsoil stockpile shall be graded to drain and seeded with a temporary seed mix.
All erosion and sediment control devices shall be inspected, cleaned repaired in accordance with the Storm Water Pollution Prevention Plan.
Temporary sediment control measures (silt fence, construction entrance, etc.) shall be maintained until all contributing areas are graded and stabilized.
Dust control on site shall be minimized by spraying water on dry areas of the site. The use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited.
If the majority of mud or dirt is not removed from exiting traffic, contractor shall establish vehicle wash areas at construction traffic exit points and vehicle operation shall be intercepted and trapped before wash water is allowed to be discharged offsite. Rise-off will not be allowed outside the project construction limits.
Repair eroded areas immediately, reseed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as needed.
Inspect and repair the collection system (i.e. catch basins, piping, swales, rip rap, etc.) after significant rainfall to maintain proper functioning.
All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. Any burning on site shall be subject to local ordinances.
All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site.
All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
Contractor shall remove all temporary erosion control devices/ditches and dispose of per local codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades.
Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
No land clearing or grading shall begin until all erosion control measures have been installed.
All exposed areas shall be seeded as specified within 14 days of final grading.
Should construction stop for longer than 14 days, the site shall be seeded as specified.
After every significant runoff producing rainfall event of 1/2" or greater and at least once a week:
A. Inspect the detention basin system for sediment accumulation, erosion, trash accumulation, vegetated cover, and general condition.
B. Check and clear the outfall device of any obstructions.
This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
General Contractor shall comply with all State and Local ordinances that apply.
Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
Additional erosion and siltation control methods and devices may be required as directed by the City or M&NR.

NO.	BY	DATE	REVISION

1/17/2020

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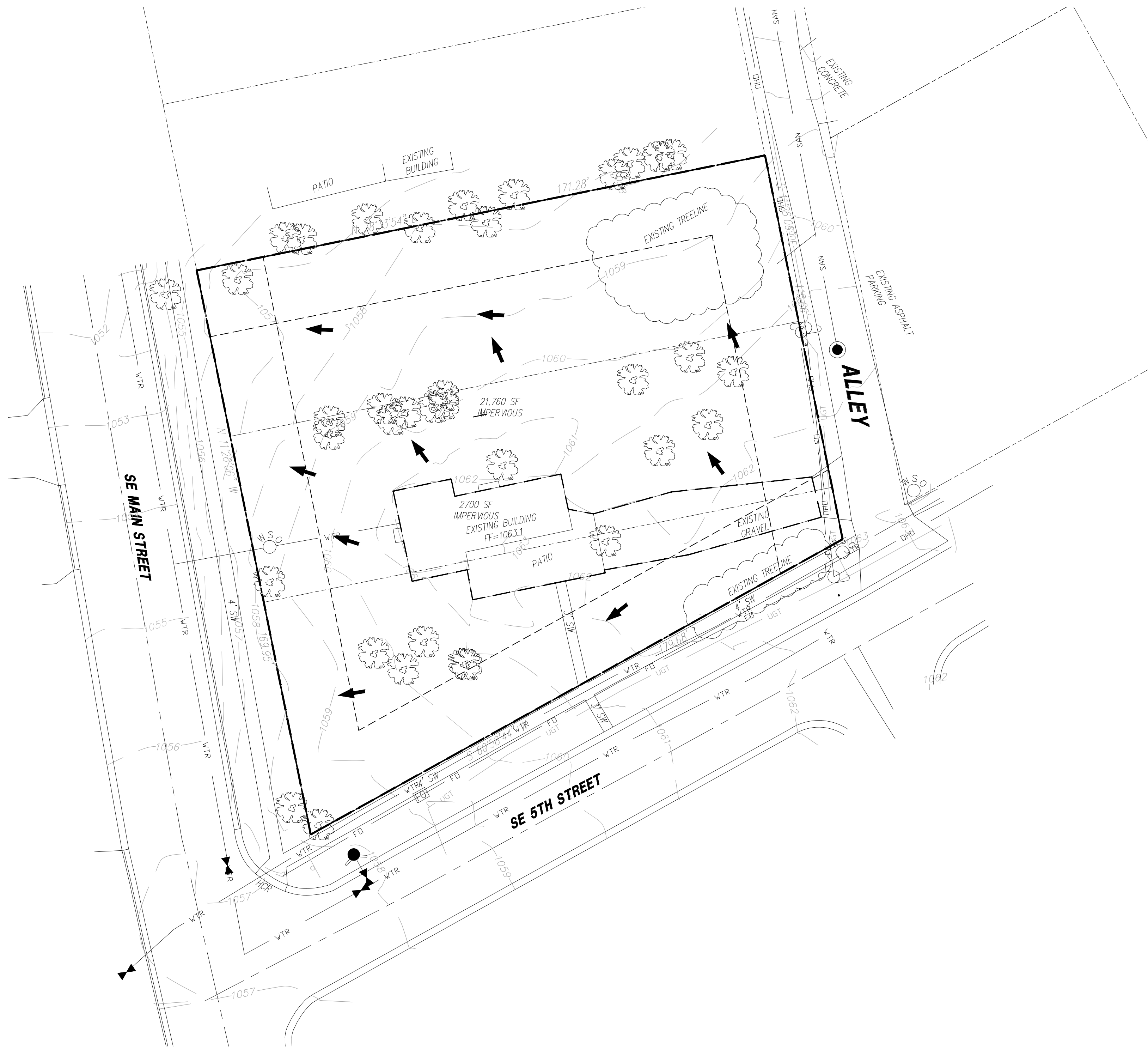
CORPORATE LICENSE No. E2000005873

EROSION CONTROL PLAN

RADER REAL ESTATE

LEES SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.	191338
DRAWING NO.	19075
DATE	OCTOBER 30, 2019
JOB NO.	19075
SHEET OF	10



Know what's below.
Call before you dig.

PROJECT BENCHMARK:

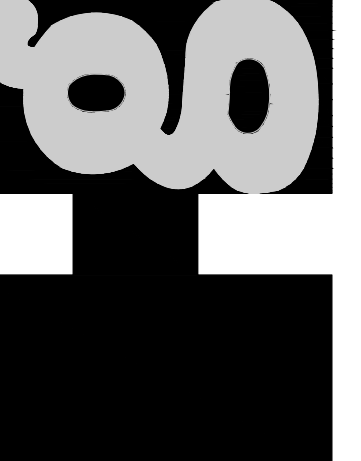
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DATE	REVISION	NO.	BY	CHK/APP

1/17/2020

R. KEVIN STERRETT, NO. E-26440

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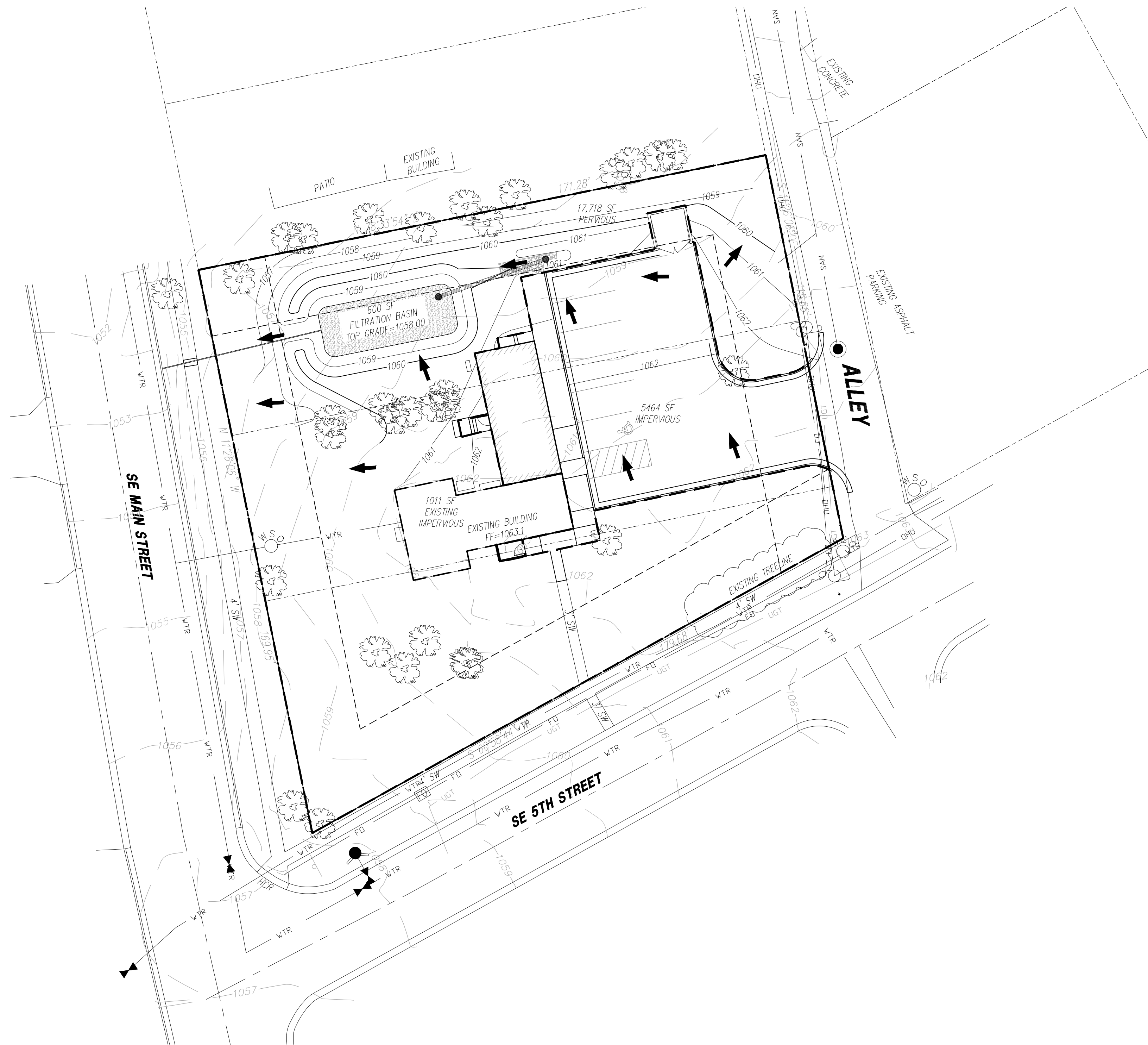


DRAINAGE AREA MAP
FOR EXISTING CONDITIONS

RADER REAL ESTATE

LEES SUMMIT - JACKSON COUNTY - MISSOURI

X-REF. NO. 191336	5	10
DRAWING NO. 19075		
DATE OCTOBER 30, 2019		
JOB NO. 19075		
	SHEET	OF

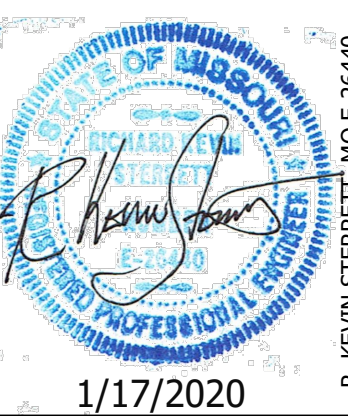


Know what's below.
Call before you dig.

<u>KEY</u>	
<u>PROPOSED</u>	<u>EXISTING</u>
— 979 —	Grades — 960 —
➔	100 Year Overflow

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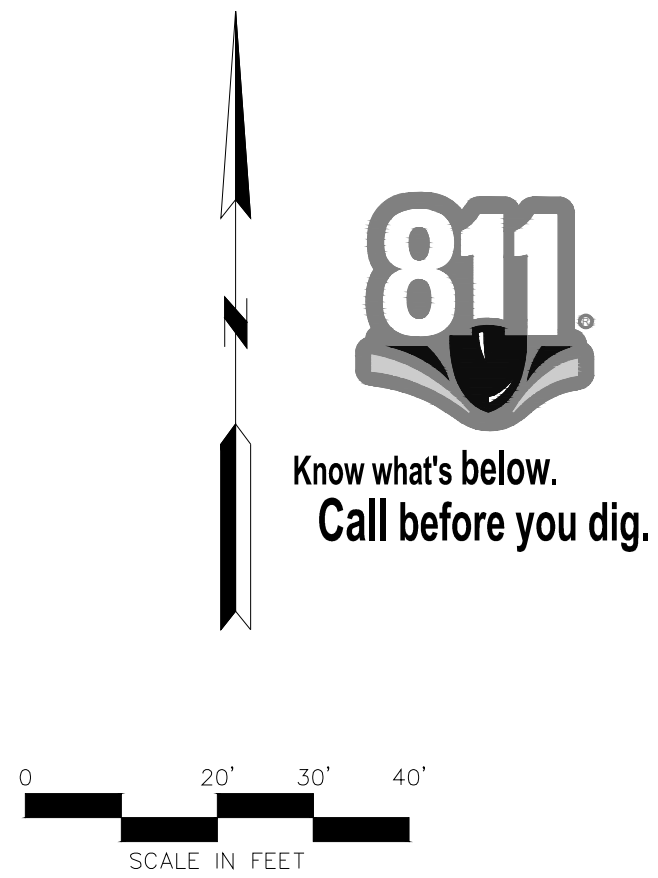
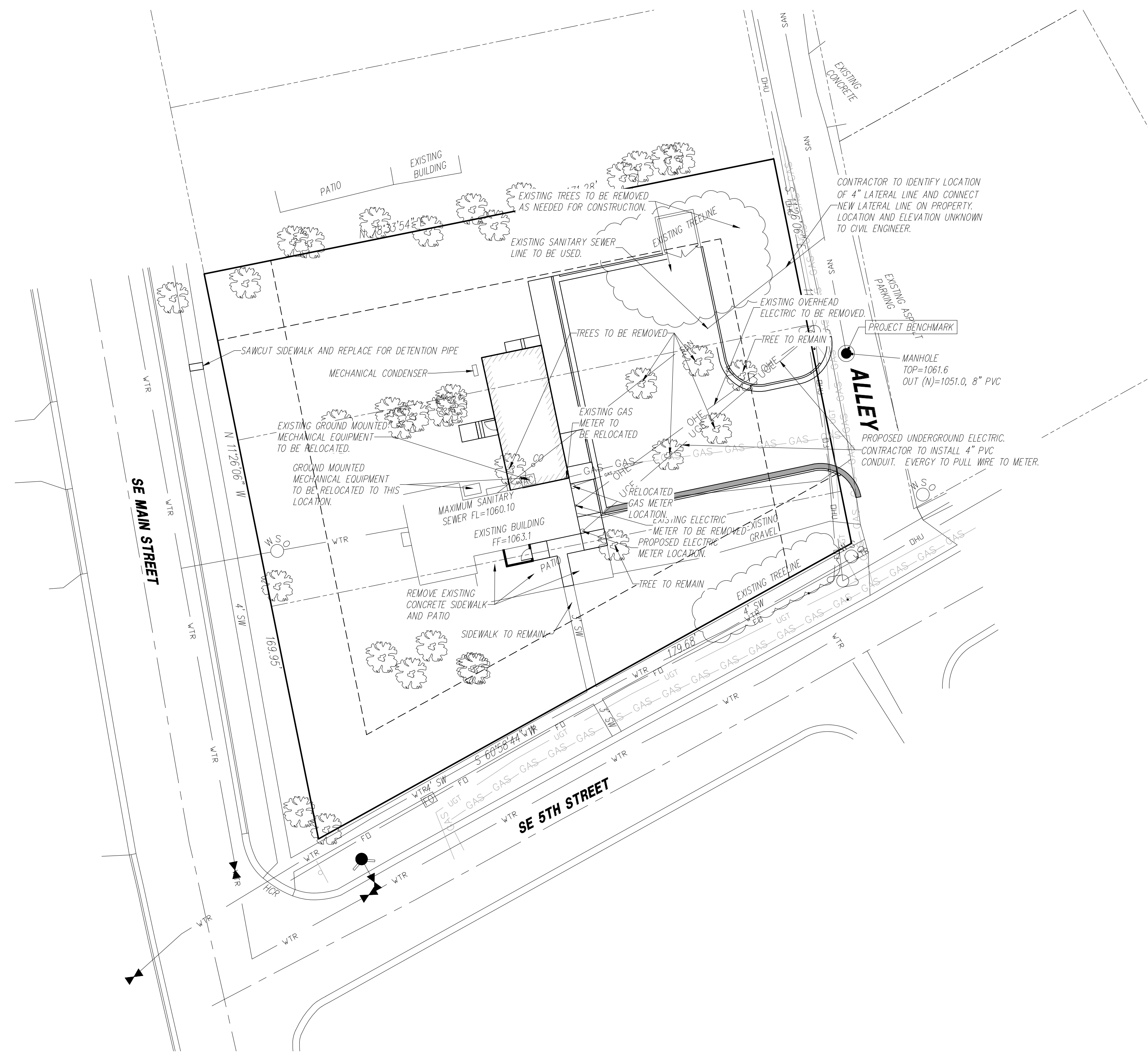
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DRAINAGE AREA MAP
 FOR PROPOSED CONDITIONS
 RADER REAL ESTATE
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 191336
DRAWING NO. 19075
DATE OCTOBER 30, 2019
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6 SHEET OF 10



- UTILITY NOTES:**
- All utility installation to be in accordance to Lee's Summit "DESIGN AND CONSTRUCTION MANUAL" per Ordinance 5813. See manual for specifications and standard details.
 - Sanitary sewer service to be 4" Schedule 40 or DR-26 PVC at 2% minimum slope.
 - Storm pipe to be HDPE, corrugated with smooth interior.
 - Roof drains to be discharged into infiltration trench on north side of building.
 - Contractor to contact the Water Utilities Department, Operations Division, at (816) 969-7606 to schedule water main taps and cut-ins, 48 hours in advance.
 - Thrust blocks to be provided at all water line bends and tee locations.
 - There will be no roof mounted mechanical units.
 - Contractor to coordinate with Evergy for temporary and permanent electric alignment and connection.
 - See MEP plans for all utility information inside of the building.
 - Contractor to verify all invert elevations for existing sewer connections. Contact civil engineer if conflict arises.

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- TOP ELEV: 1061.64

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R. KEVIN STERRETT, NO. E-26440

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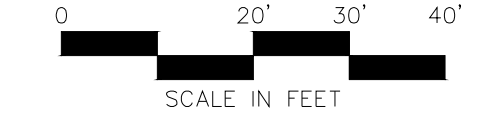
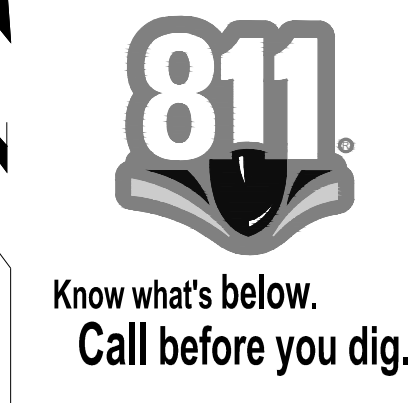
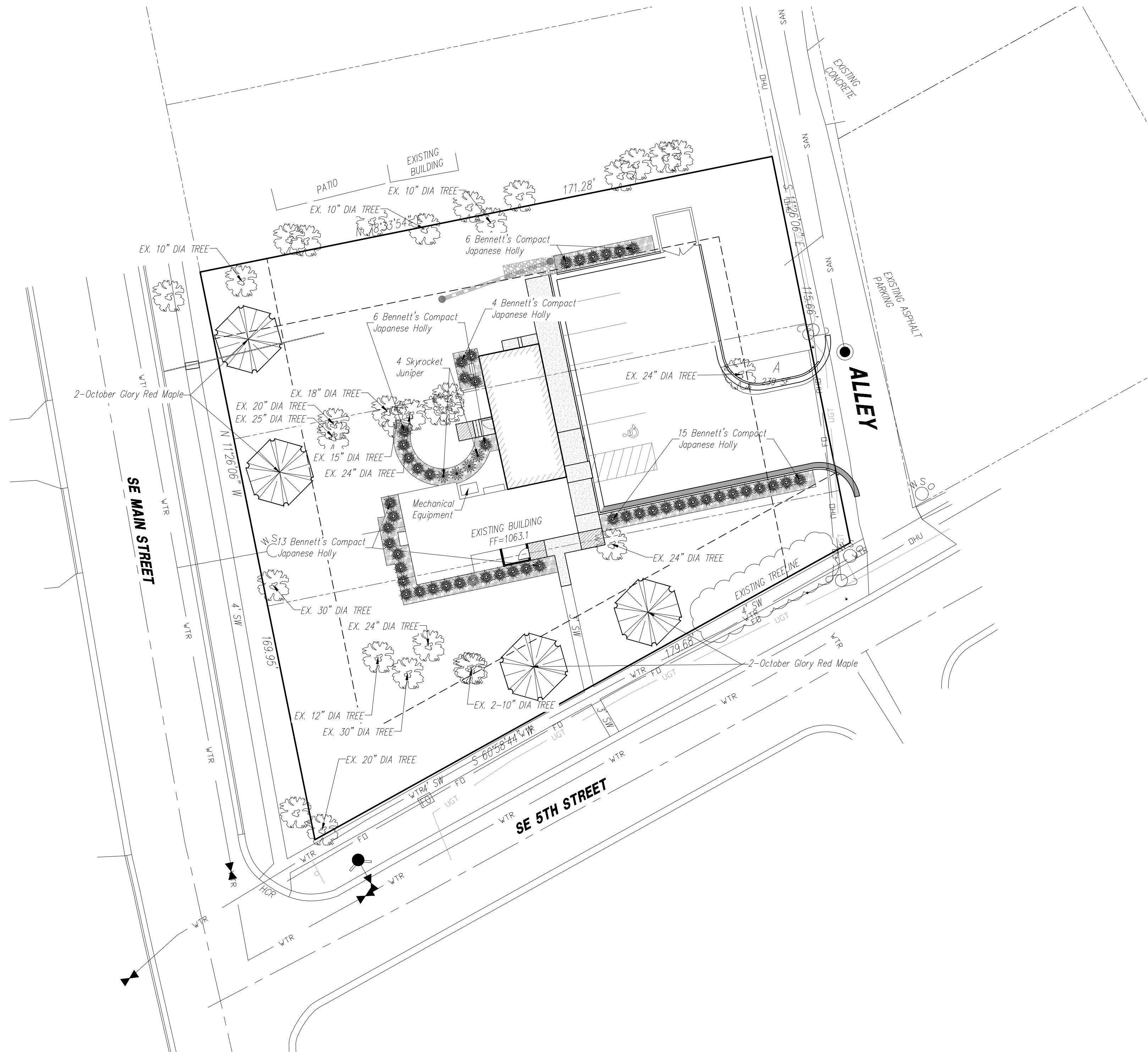
CORPORATE LICENSE NO. E2000005873

DEMOLITION AND UTILITY RELOCATION PLAN

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LEES SUMMIT - JACKSON COUNTY - MISSOURI

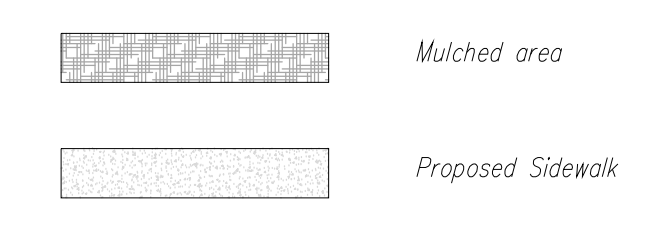
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OF	10



- NOTES:
1. Open areas not covered with other landscaping materials shall be seeded.
 2. All trees/shrubs are shown graphically, not numerically.
 3. A 3 foot tall berm may be substituted for screening shrubs.
 4. Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of the pipe.
 5. The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.
 6. Evergreen shrubs used to screen mechanical equipment shall be equal height as the mechanical units at the time of planting. All Landscaping to meet Article 14 of the UDO.

Worksheet for Tree and Shrub Requirements:

A - Size of development site	= 24,460 SF
B - Length of street frontage of development site	= 179.68 LF + 169.95 LF = 349.63 LF
C - Trees required on street frontage = 1/30 LF	= 12 Trees
D - Trees provided	= 13 Existing Trees
E - Parking lot area	= 3,283 SF
F - Green space required in parking lot (E x 5%)	= 164 SF
G - Green space provided	= 239 SF
H - Shrubs required along frontage = 1/20 LF	= 18 Shrubs
I - Shrubs required along frontage (Parking lot screen) 64 LF at 12/40 LF	= 19 Shrubs
J - Shrubs Provided (Parking lot screen)	= 21 Shrubs
K - Shrubs Provided (Total frontage)	= 18 Shrubs
L - Quantity of additional trees required 1 tree per 5000 SF of open area (22,687/5,000)	= 5 Trees
M - Additional Trees Provided	= 5 Trees
N - Quantity of additional shrubs required 2 shrubs per 5000 SF of open area (22,687/5,000)	= 9 Shrubs
O - Additional Shrubs Provided	= 10 Shrubs



LANDSCAPE SCHEDULE:

SPECIES	CALIPER/HEIGHT	QUANTITY
October Glory Red Maple	3" Caliper, measured 6" above the ground	4
Bennett's Compact Japanese Holly (or equal)	30" Minimum height at time of planting	44
Skyrocket Juniper (or equal)	48" Minimum height at time of planting	4

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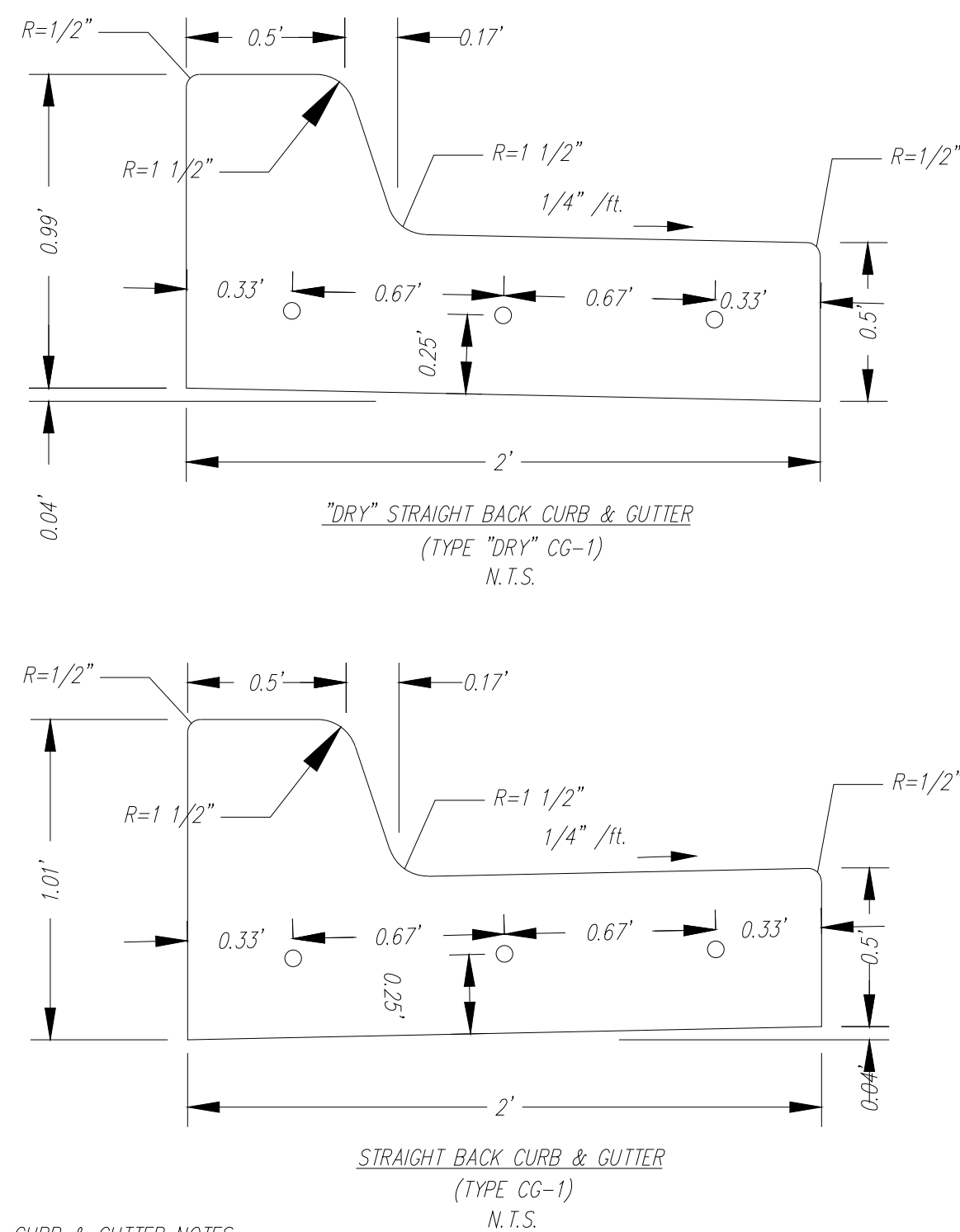
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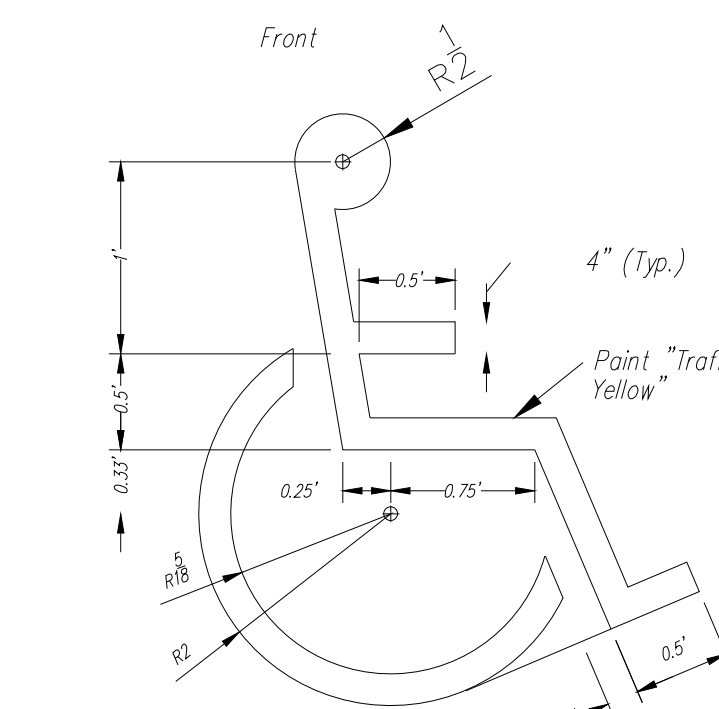
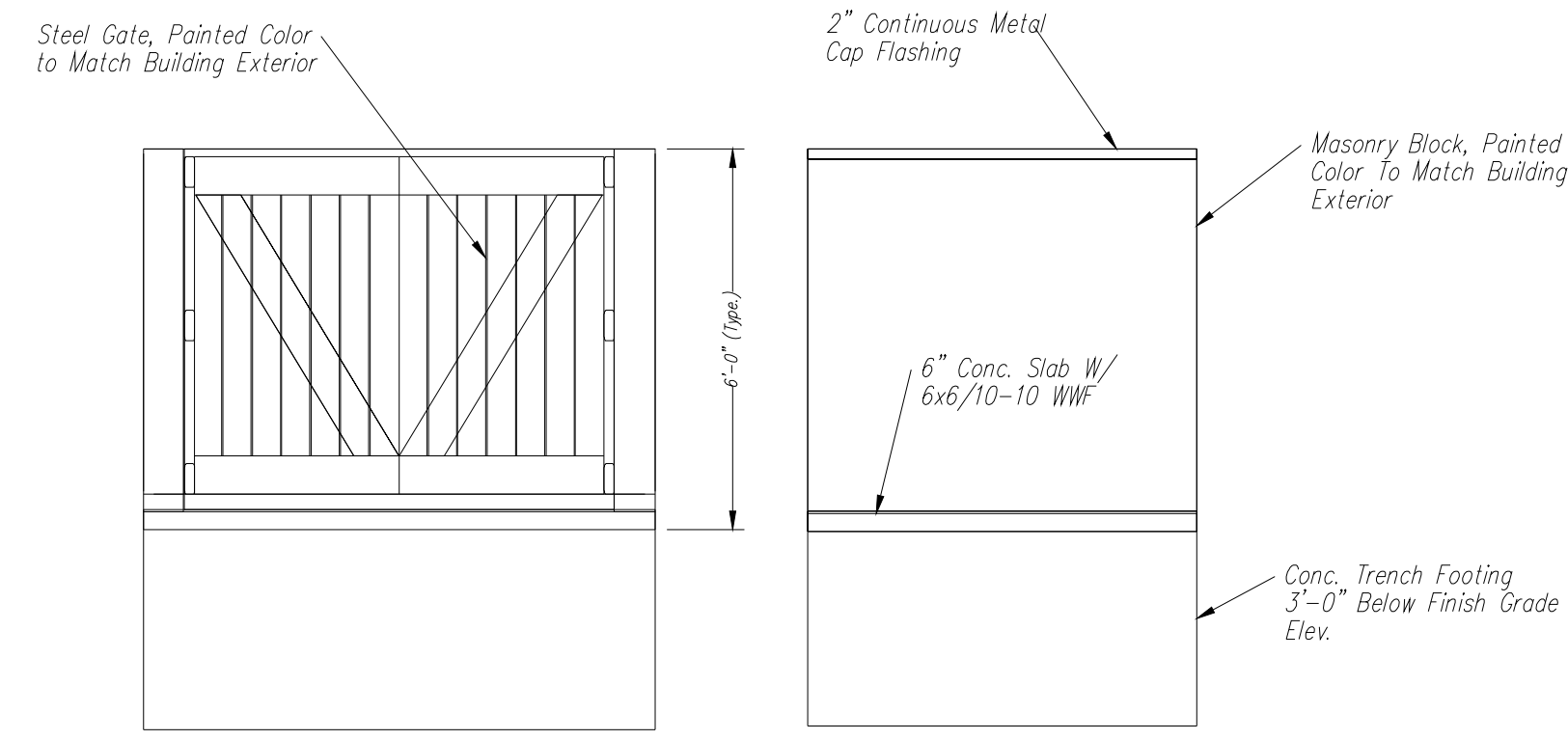
CORPORATE LICENSE NO. E2000005873
 R. KEVIN STERRETT, NO. E-26440

LANDSCAPE PLAN
 RADER REAL ESTATE
 LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 191338	8 OF 10
DRAWING NO. 19075	
DATE OCTOBER 30, 2019	10
DWG NO. 19075	



- CURB & GUTTER NOTES:**
- 3/4" Expansion joints with 2" epoxy-coated dowels shall be placed at radius points and at 150' intervals. These dowels shall be greased and wrapped on one end with expansion tubes.
 - 2" deep contraction joints shall be installed at approximately 10' intervals. These joints shall pass across the entire curb sections.
 - Fix dowels with bar chairs or equal.
 - Concrete shall conform to Kansas City, MO Section 2300 of Standard Specifications and Design Criteria.
 - Depth of curb shall be minimum of 8" through the handicap access ramp.



NOTE: Symbol to be centered in parking space and oriented as illustrated on plans.

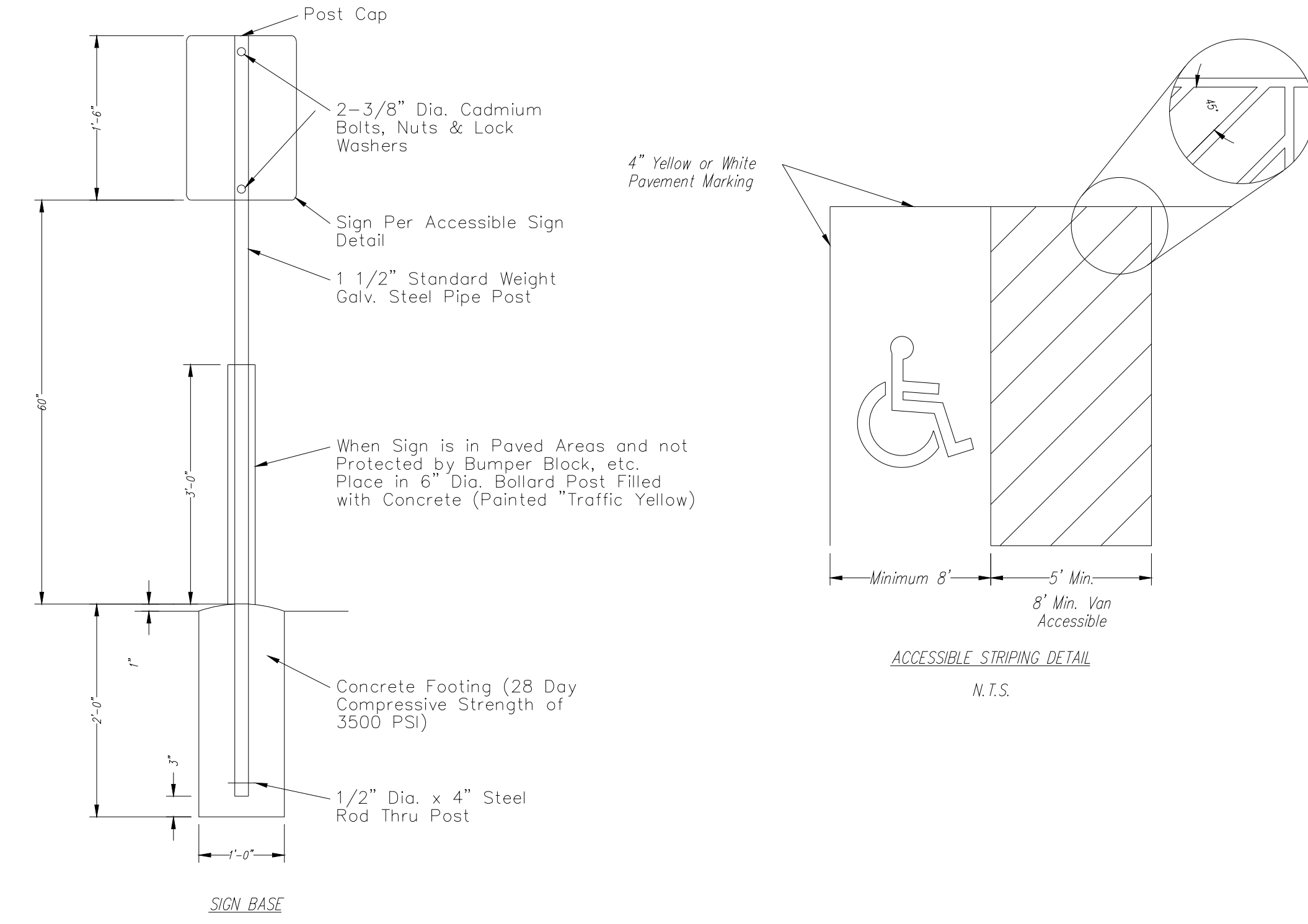


Colors
Legend and Border - Green
White Symbol on Blue Background
Background - White
(R7-8)

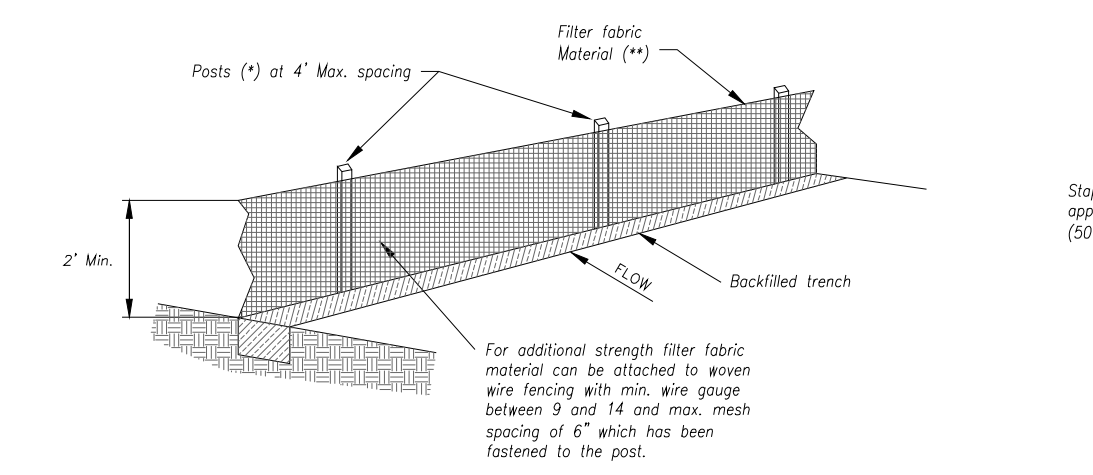


ACCESSIBLE SIGN DETAIL
N.T.S.

- Mount 2 Accessible Signs to building. See plans for locations.
- All signs should comply with U.S. Department of Transportation Federal Highway Administration's "Uniform Traffic Control Devices", and local codes as specified. Mount signs in accordance with manufacturer's instructions.



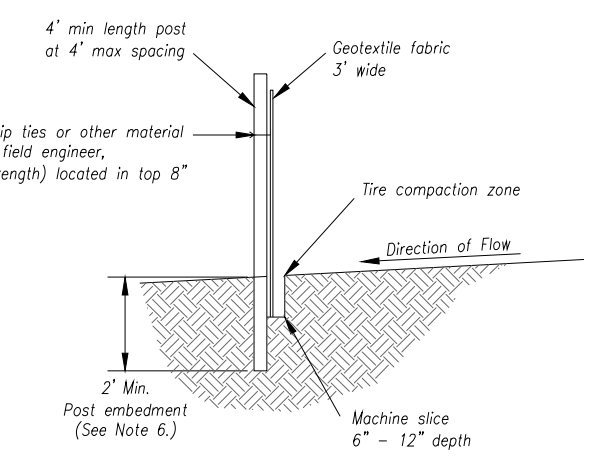
ACCESSIBLE STRIPING DETAIL
N.T.S.



- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/4" x 1 3/4"
 - NO.2 SOUTHERN PINE 2 3/4" x 2 3/4"
 - STEEL 1.31 LB/YT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS
Not to Scale

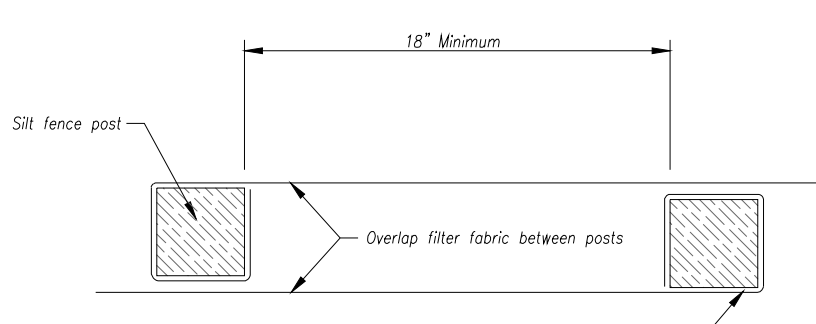


Notes:

- In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
- Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
- Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
- Attach fabric to upstream side of post.
- Install posts a minimum of 2' into the ground.
- Trenching will only be allowed for small or difficult installation, where staking machine cannot be reasonably used.

Maintenance:

- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
- Repair as necessary to maintain function and structure.



JOINING FENCE SECTIONS
Not to Scale

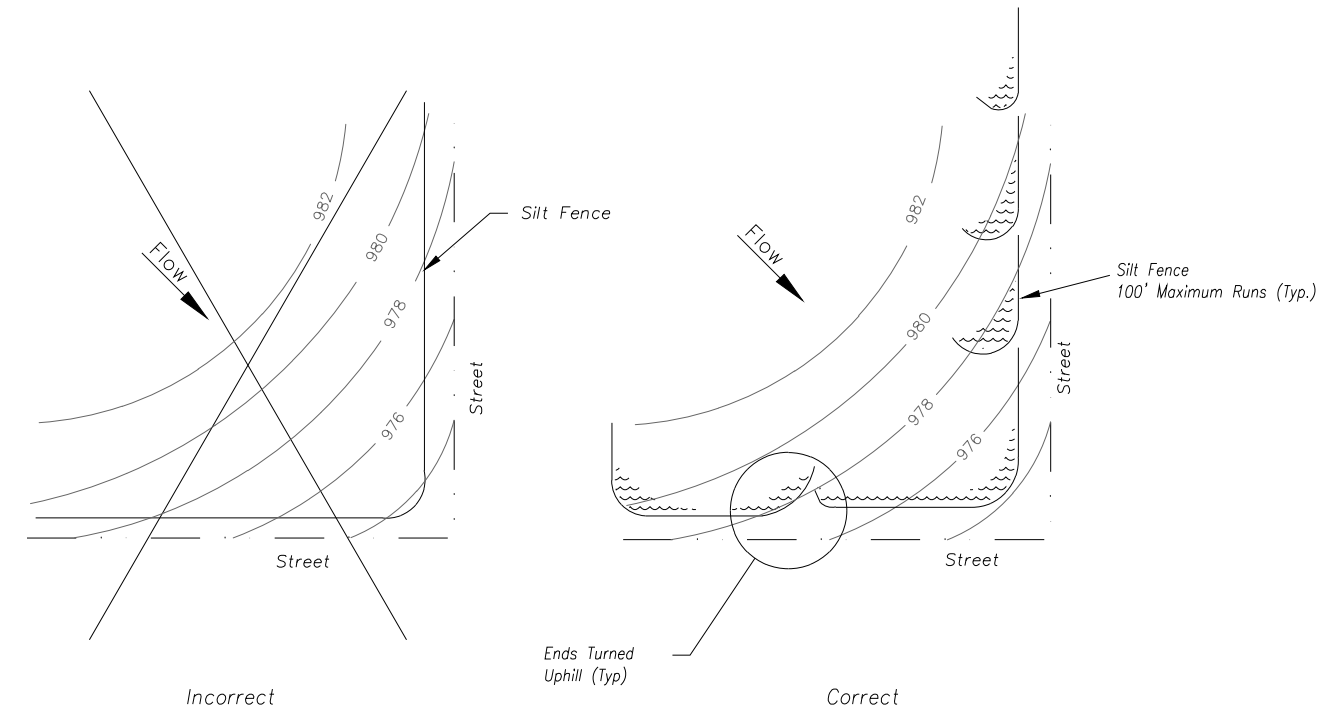
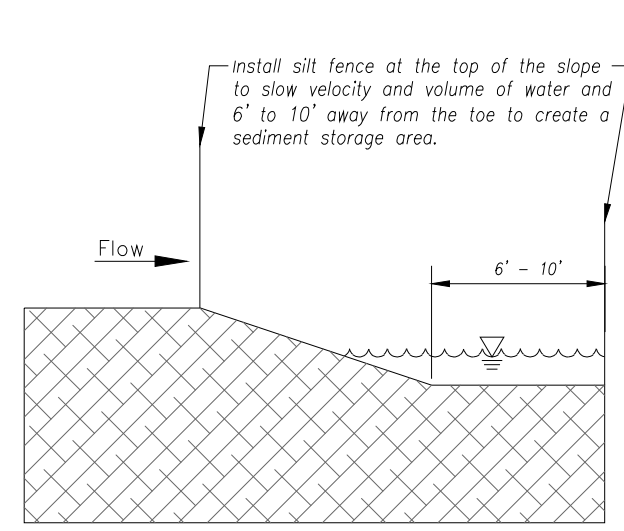


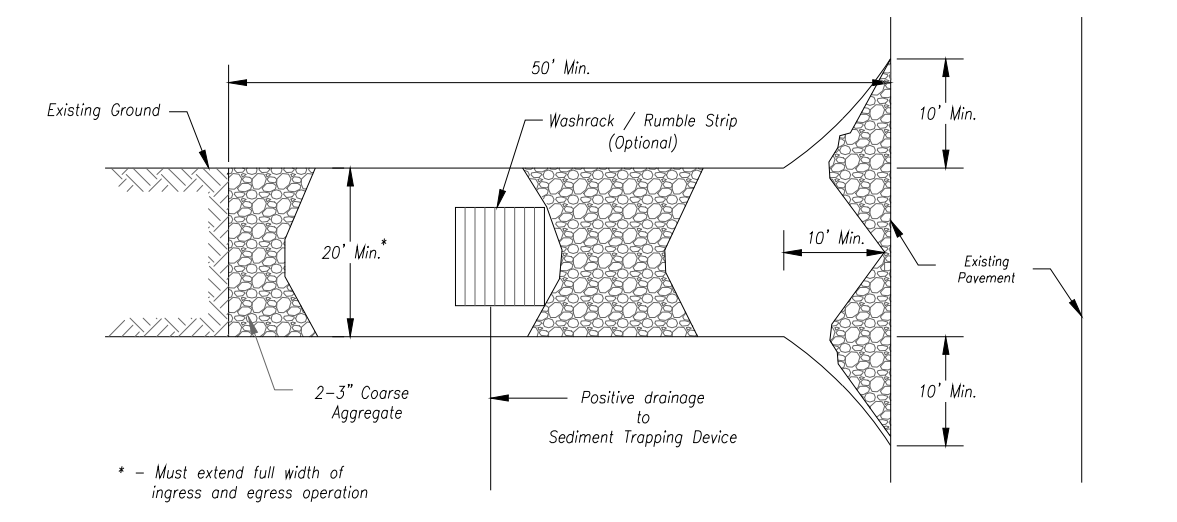
Figure A

SILT FENCE LAYOUT
Not to Scale

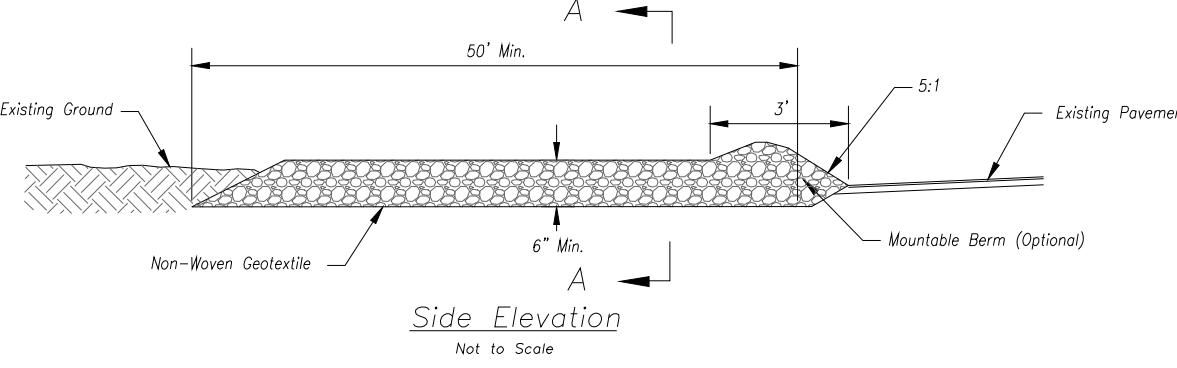


Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

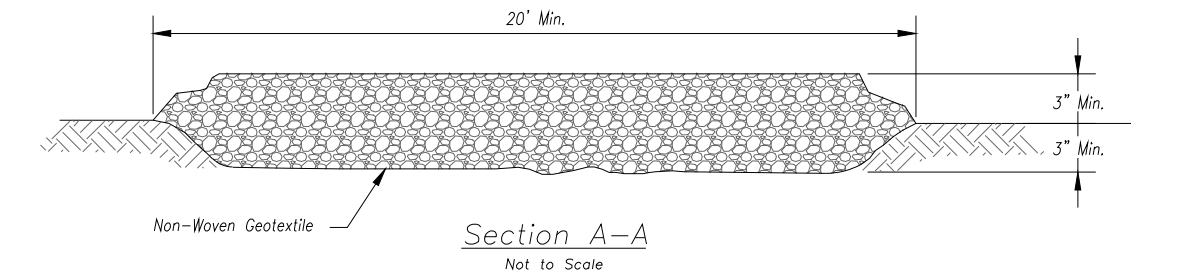
AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016



Plan View
Not to Scale



Side Elevation
Not to Scale



Section A-A
Not to Scale

Notes for Construction Entrance:

- Avoid loading on steep slopes, at curves on public roads, or downhill of disturbed area.
- Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3:1 side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage ditches along public roads.
- Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
- Divert all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the ground foundation to improve stability.

Maintenance for Construction Entrance:

- Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

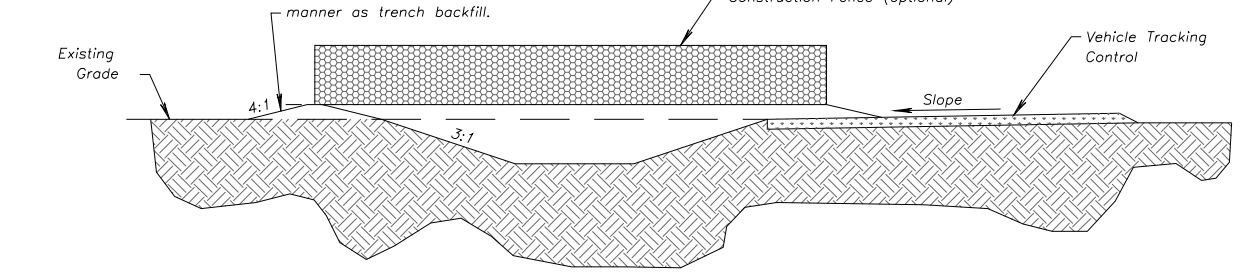
CONSTRUCTION ENTRANCE
Not to Scale

Notes for Concrete Washout:

- Concrete washout areas shall be installed prior to any concrete placement on site.
- Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 2:1. The vehicle tracking pit shall be sloped towards the concrete washout area.
- Vehicle tracking control is required of the access point to all concrete washout areas.
- Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and dump rigs.
- A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

- Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
- Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
- Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
- Concrete washout areas shall remain in place until all concrete for the project is placed.
- When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT
Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

NO.	BY	DATE	REVISION

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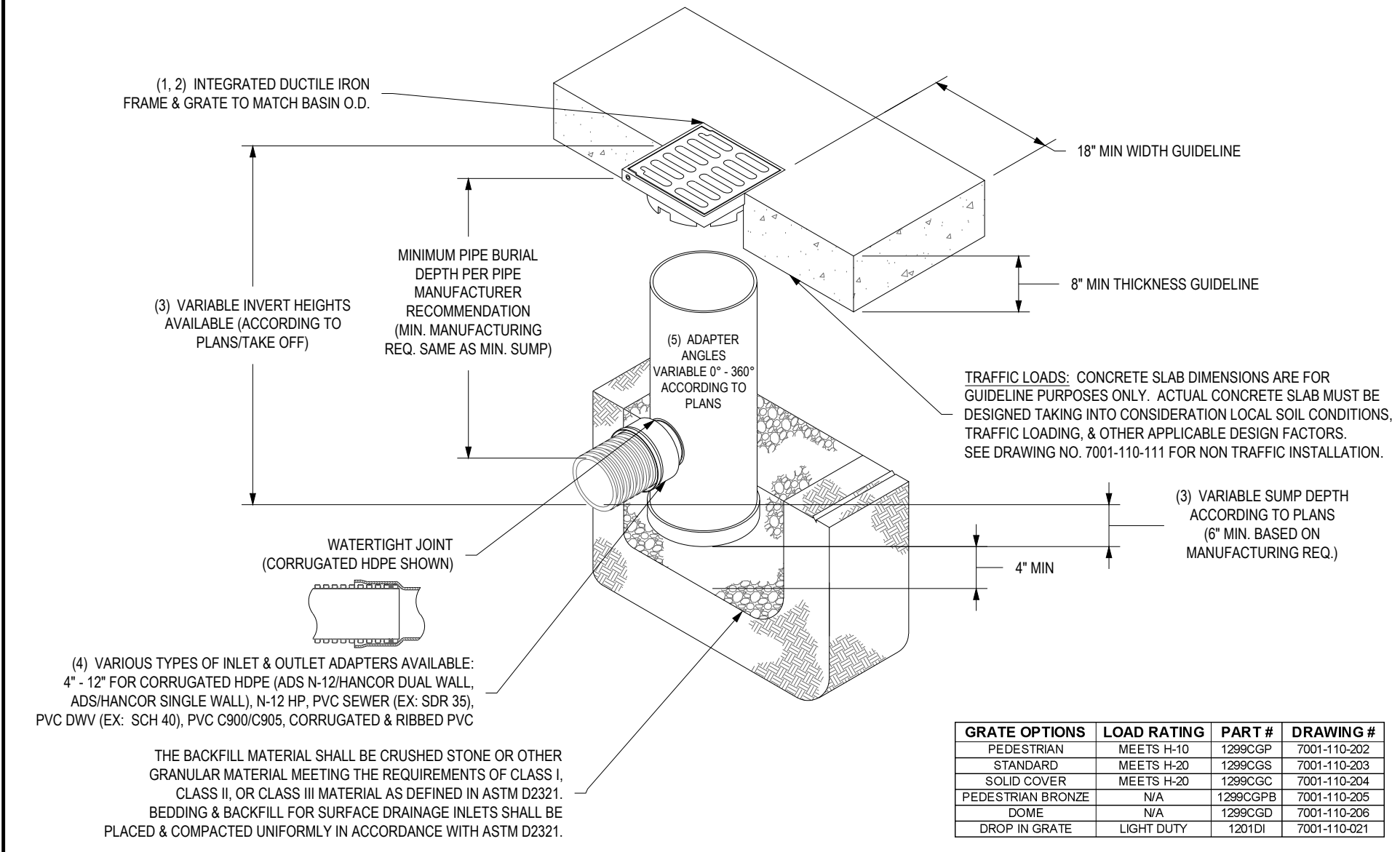
g Consult Inc engineers planners
CORPORATE LICENSE No. E2010005873
R. KEVIN STERNETT, MO E-26440

FINAL DEVELOPMENT PLAN
SITE DETAIL SHEET
RADER REAL ESTATE
LEES SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 19133B	DRAWING NO. 19075
DATE OCTOBER 30, 2019	JOB NO. 19075
9	10
SHEET	OF

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

NYLOPLAST 12" DRAIN BASIN: 2812AG __ X

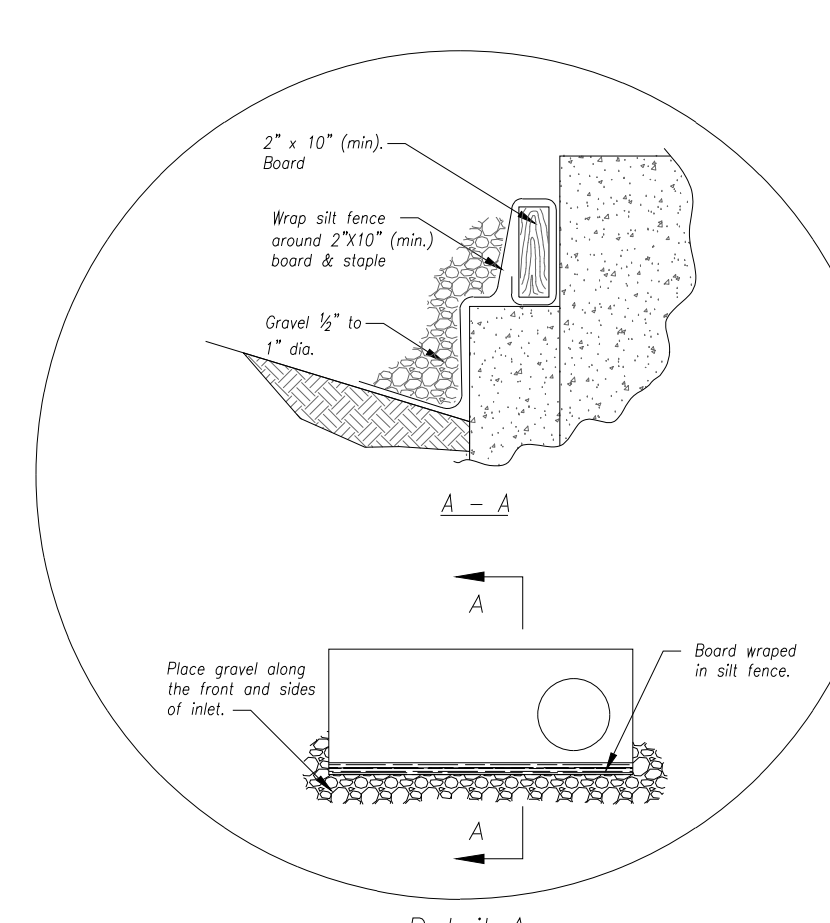
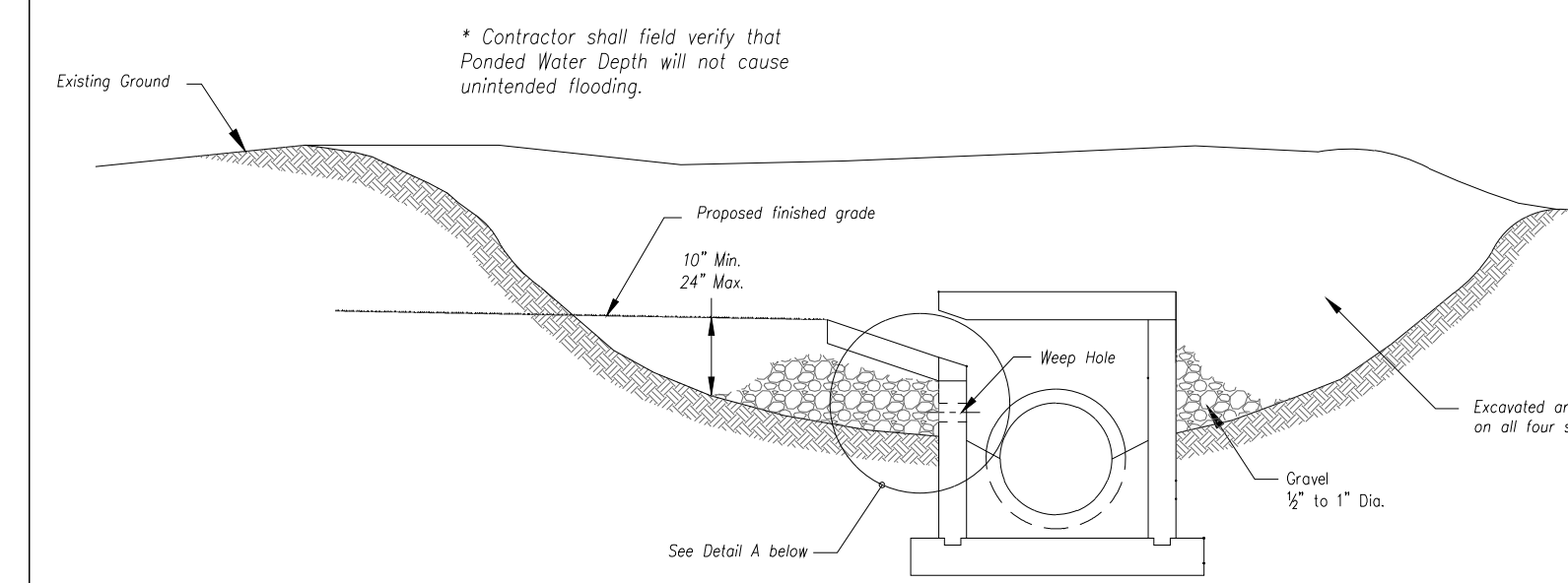


GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTAL	MEETS H-10	1296GCP	7001-110-202
STANDARD	MEETS H-20	1296GOS	7001-110-203
SOLID COVER	MEETS H-20	1296GCS	7001-110-204
PEDESTAL BRONZE	N/A	1296GCB	7001-110-205
DOME	N/A	1296GCD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1291DI	7001-110-201

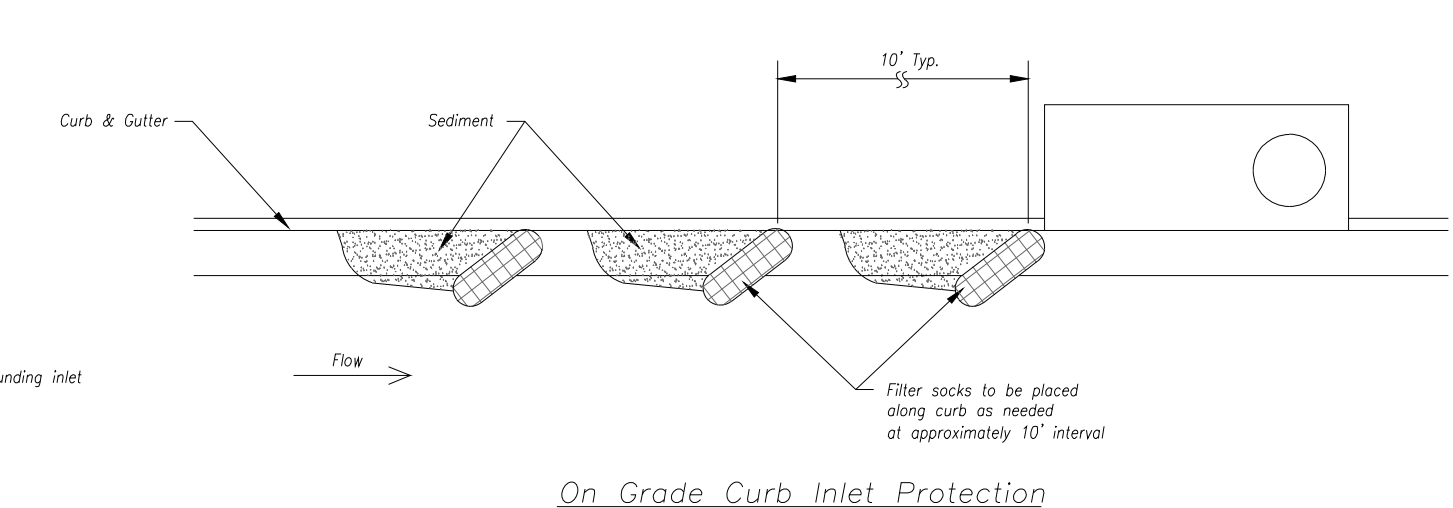
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8' DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-069.
- DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D212 FOR CORRUGATED HDPE (ADS-N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

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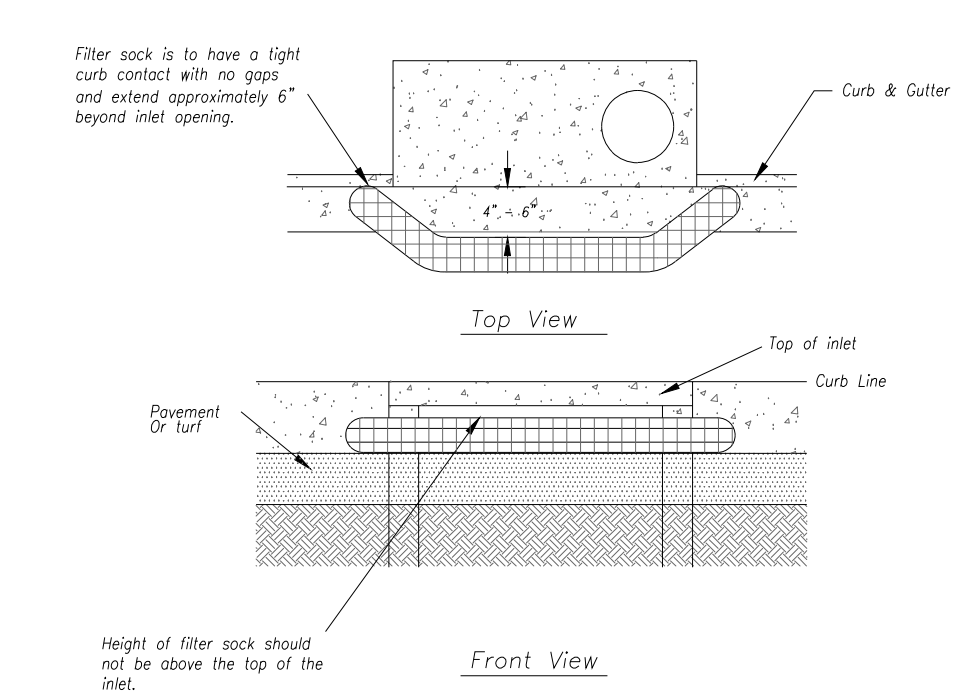
DRAWN BY: EBC DATE: 03-29-06 REVISED BY: NMH DATE: 03-11-16 DWG SIZE: A SCALE: 1:20 SHEET: 1 OF 1	MATERIAL: Nyloplast 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com	TITLE: 12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL DWG NO. 7001-110-189 REV E
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EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)



On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Notes:

- Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" x 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
- When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Silt walls are not approved for curb inlet use.
- Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

- Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
- Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
- Repair or replace as necessary to maintain function and integrity of installation.

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY METRO CHAPTER	
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

NO.	BY	DATE	REVISION

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Consult Inc
engineers
planners

CORPORATE LICENSE NO. E200000873
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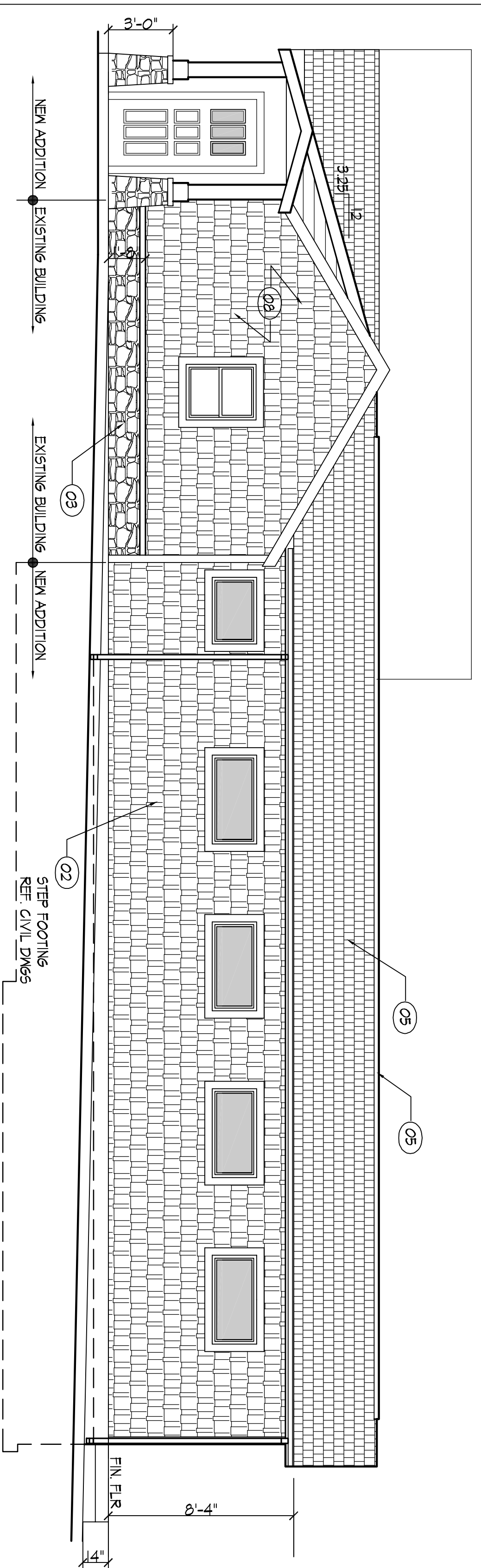
FINAL DEVELOPMENT PLAN
SITE DETAIL SHEET
RADER REAL ESTATE
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. 191336
DRAWING NO. 19075
DATE OCTOBER 30, 2019
JOB NO. 19075
10 SHEET 10

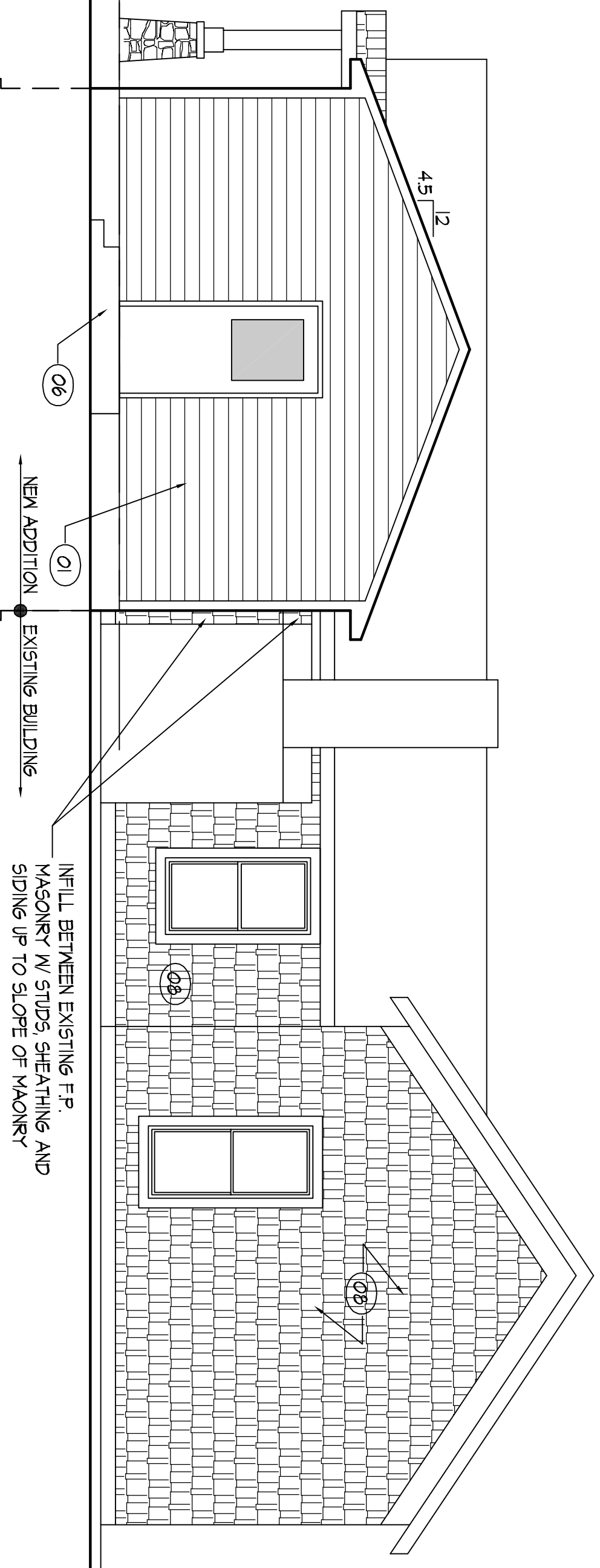


1 South Elevation
SCALE: 1/4"=1'

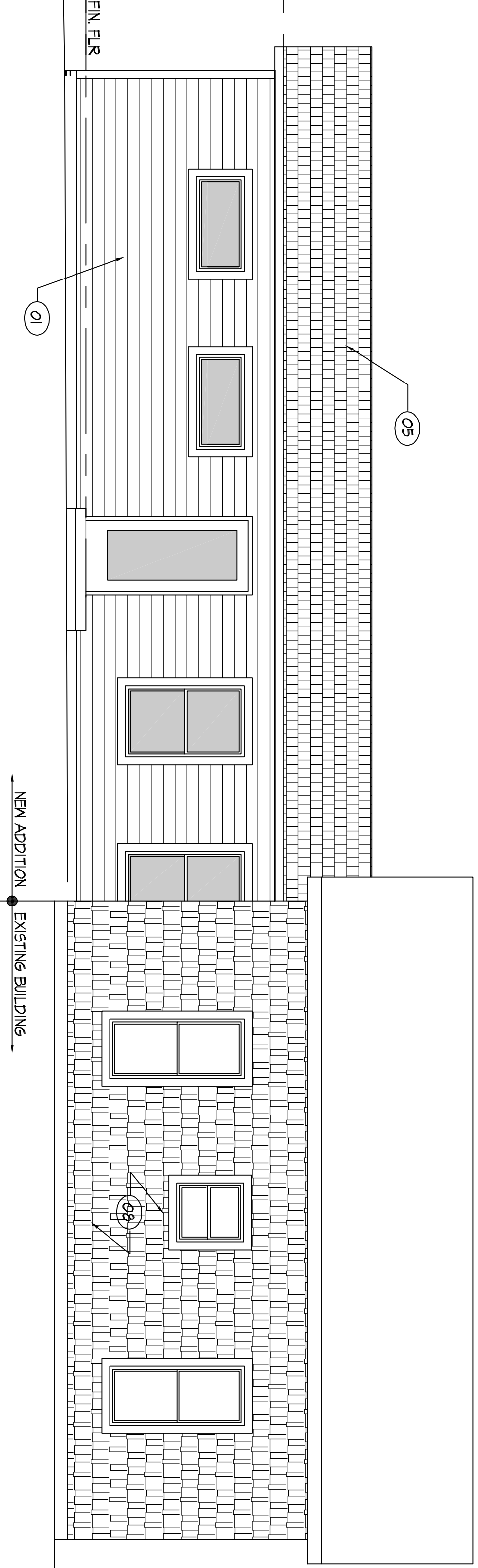
- NOTES**
- (01) HORZ. LAP SIDING - PAINT
 - (02) SHAKE SIDING TO MATCH EXISTING - PAINT
 - (03) SIMULATED STONE VENEER
 - (04) ASPHALT SHINGLES TO MATCH EXISTING BRACKLE ICE AND MAIER MEMBRANE
 - (05) ASPHALT SHINGLES TO MATCH EXISTING ON 30# FELT
 - (06) CONCRETE STOOP
 - (06) CONT. RIDGE VENT. VENTILATE PER IBC 2018 IN 2" CONT. SOFFIT VENT AND CONT. RIDGE VENT.
 - (07) DECORATIVE LIGHT TYP OF (2).
 - (08) EXISTING SHAKE SIDING - PAINT



2 East Elevation
SCALE: 1/4"=1'



1 North Elevation
SCALE: 1/4"=1'



3 West Elevation
SCALE: 1/4"=1'

Development Plan
Cynda Sells
 Real Estate Company
 2 SE 5th Street
 Lee's Summit, MO.

C L A
Craig Luebert
 Architecture
 24 NW Chipman 'B'. 816.875.4863

SHEET NUMBER	A2.0
DATE REVISION	1.22.20
DATE REVISION	1.15.20
ARCHITECTURAL PROJECT NUMBER	