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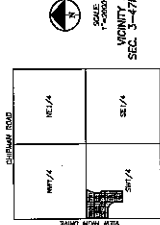
SEP 15 2016

Planning & Codes Admin

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C2	REL/VA PLAN
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C3	GRADING PLAN
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C4	UTILITY PLAN
C5	DRAINAGE MAP
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LEGAL DESCRIPTION:

ALL 7000 SQUARE FEET OF THE PROPERTY SHOWN ON THIS PLAN, TOGETHER WITH ALL OTHER INTERESTS IN SAID PROPERTY, BEING 20 ACRES, 00 CENTS, 00 INCHES, MORE OR LESS, IN THE CITY OF ST. LOUIS, MO. THE PROPERTY IS BOUND BY THE FOLLOWING: NORTH BY THE PROPERTY OF THE ST. LOUIS AND OCEANIC RIVER RAILROAD COMPANY, SOUTH BY THE PROPERTY OF THE ST. LOUIS AND OCEANIC RIVER RAILROAD COMPANY, EAST BY THE PROPERTY OF THE ST. LOUIS AND OCEANIC RIVER RAILROAD COMPANY, WEST BY THE PROPERTY OF THE ST. LOUIS AND OCEANIC RIVER RAILROAD COMPANY.

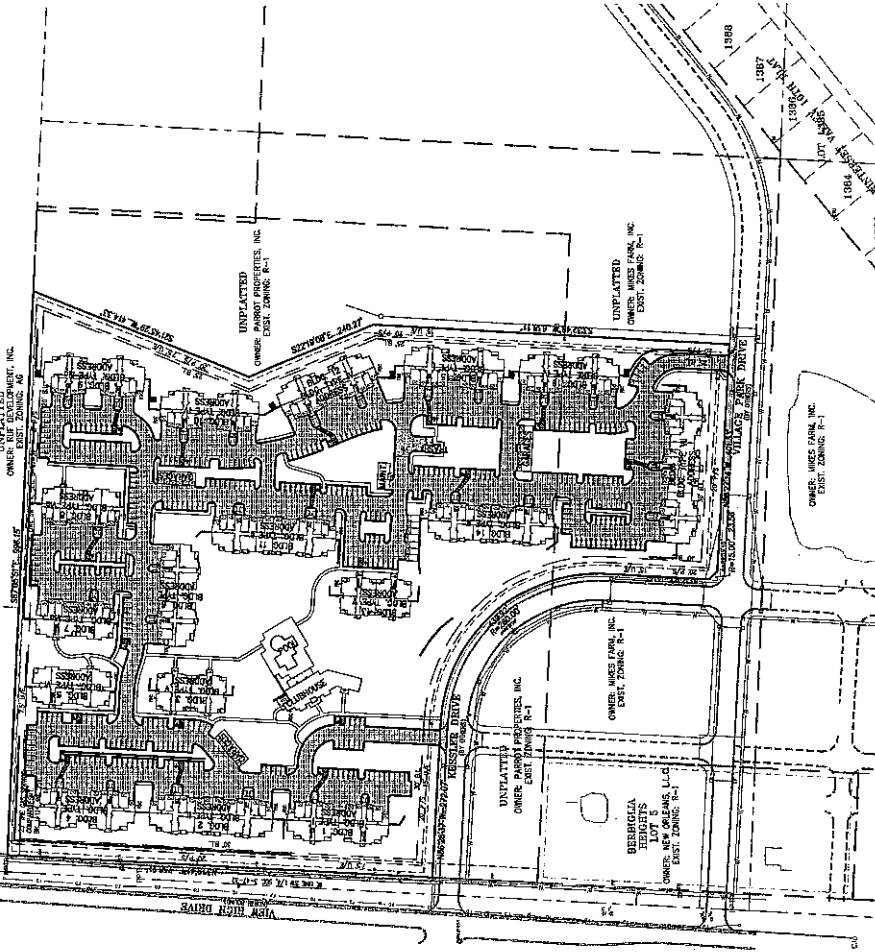


FLOOD NOTE:

THE PROPERTY IS IN AN AREA OF HIGH FLOOD RISK AS SHOWN ON THE FLOOD HAZARD MAP OF THE CITY OF ST. LOUIS, MISSOURI. THE PROPERTY IS LOCATED IN AN AREA OF HIGH FLOOD RISK AS SHOWN ON THE FLOOD HAZARD MAP OF THE CITY OF ST. LOUIS, MISSOURI. THE PROPERTY IS LOCATED IN AN AREA OF HIGH FLOOD RISK AS SHOWN ON THE FLOOD HAZARD MAP OF THE CITY OF ST. LOUIS, MISSOURI.

LEGEND:

- AL - ALLEYS
- VE - VEGETATION
- F/S - FLOOD ZONE



**BUILDING & SITE DATA**

LOT AREA	21.34 ACRES
PROPOSED ZONING	P18K
NUMBER OF UNITS	312 UNITS
TOTAL BUILDING SQ. FOOTAGE	505,688 SQ. FT.
FLOOR AREA RATIO (FAR)	0.55
% IMPERVIOUS	53.5%
	(497,190 S.F./929,576 S.F.)

**PARKING CALCULATIONS (CITY STANDARDS)**

REQUIRED PARKING	479 SPACES
1 BK	150
2 BK	150
3 BK	150
4 BK	150
5 BK	150
6 BK	150
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8 BK	150
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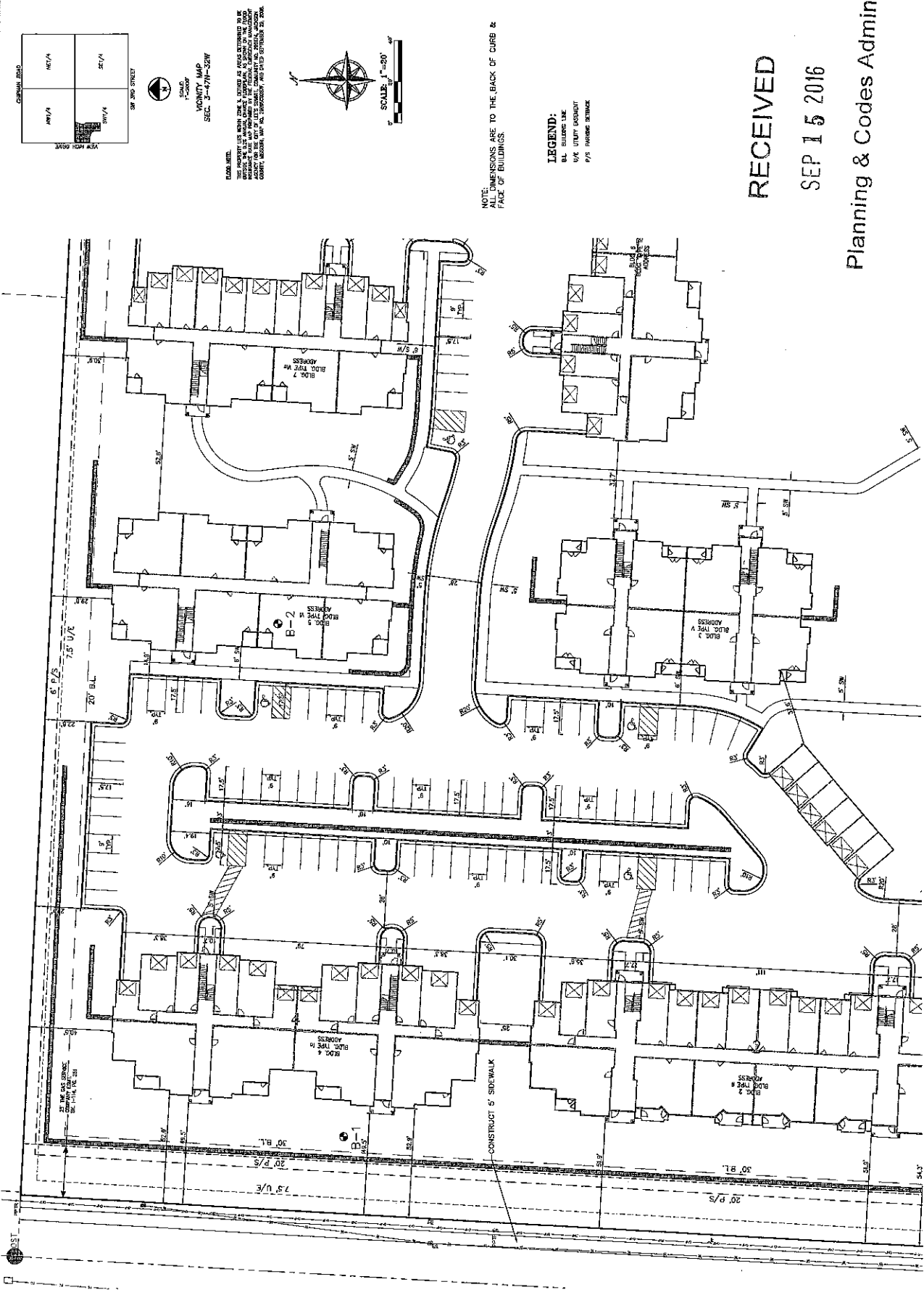
**BUILDING TYPES**

#1 - TYPE I	(16 UNITS)	107,680 S.F.
#2 - TYPE II	(24 UNITS)	105,168 S.F.
#3 - TYPE III	(20 UNITS)	40,596 S.F.
#4 - TYPE IV	(12 UNITS)	24,358 S.F.
#5 - TYPE V	(12 UNITS)	107,680 S.F.
#6 - TYPE VI	(12 UNITS)	24,358 S.F.
#7 - TYPE VII	(12 UNITS)	24,358 S.F.
#8 - TYPE VIII	(12 UNITS)	24,358 S.F.
#9 - TYPE IX	(12 UNITS)	24,358 S.F.
#10 - TYPE X	(12 UNITS)	24,358 S.F.
#11 - TYPE XI	(12 UNITS)	24,358 S.F.
#12 - TYPE XII	(12 UNITS)	24,358 S.F.
#13 - TYPE XIII	(12 UNITS)	24,358 S.F.
#14 - TYPE XIV	(12 UNITS)	24,358 S.F.
#15 - TYPE XV	(12 UNITS)	24,358 S.F.
#16 - TYPE XVI	(12 UNITS)	24,358 S.F.
#17 - TYPE XVII	(12 UNITS)	24,358 S.F.
#18 - TYPE XVIII	(12 UNITS)	24,358 S.F.
#19 - TYPE XIX	(12 UNITS)	24,358 S.F.
#20 - TYPE XX	(12 UNITS)	24,358 S.F.
#21 - TYPE XXI	(12 UNITS)	24,358 S.F.
#22 - TYPE XXII	(12 UNITS)	24,358 S.F.
#23 - TYPE XXIII	(12 UNITS)	24,358 S.F.
#24 - TYPE XXIV	(12 UNITS)	24,358 S.F.
#25 - TYPE XXV	(12 UNITS)	24,358 S.F.
#26 - TYPE XXVI	(12 UNITS)	24,358 S.F.
#27 - TYPE XXVII	(12 UNITS)	24,358 S.F.
#28 - TYPE XXVIII	(12 UNITS)	24,358 S.F.
#29 - TYPE XXIX	(12 UNITS)	24,358 S.F.
#30 - TYPE XXX	(12 UNITS)	24,358 S.F.

-2016-146



NO.	DATE	REVISIONS
1	9-14-16	REVISED PER CITY COMMENTS
2		
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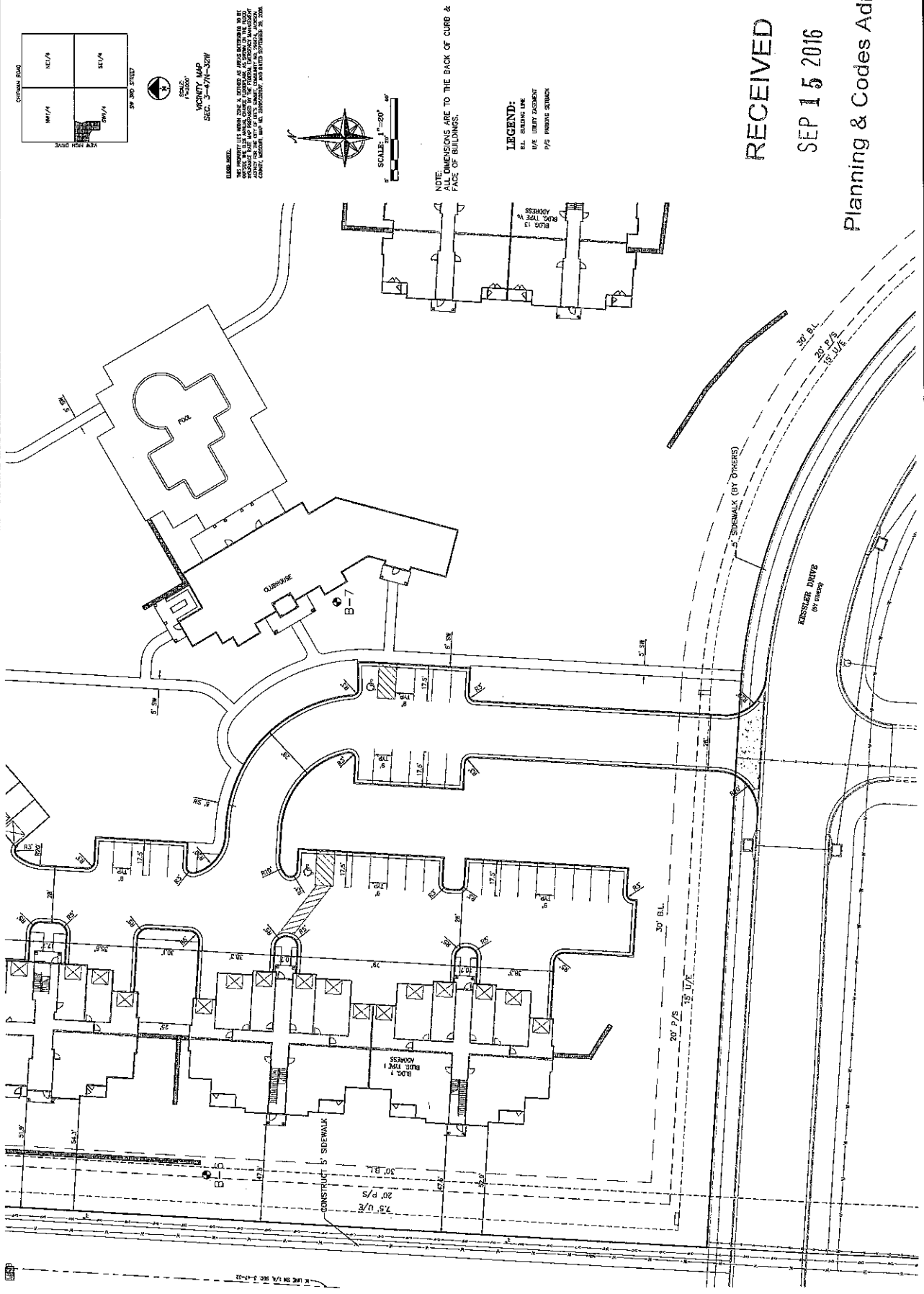
2016-146

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PROJECT NO. 15076	DATE	7-22-15	BY	DLH
DATE	9-14-15	REVISED PER CITY COUNCIL	DATE	
APPROVED	DATE		BY	
REVISIONS				

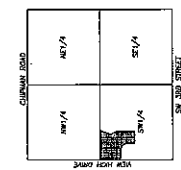
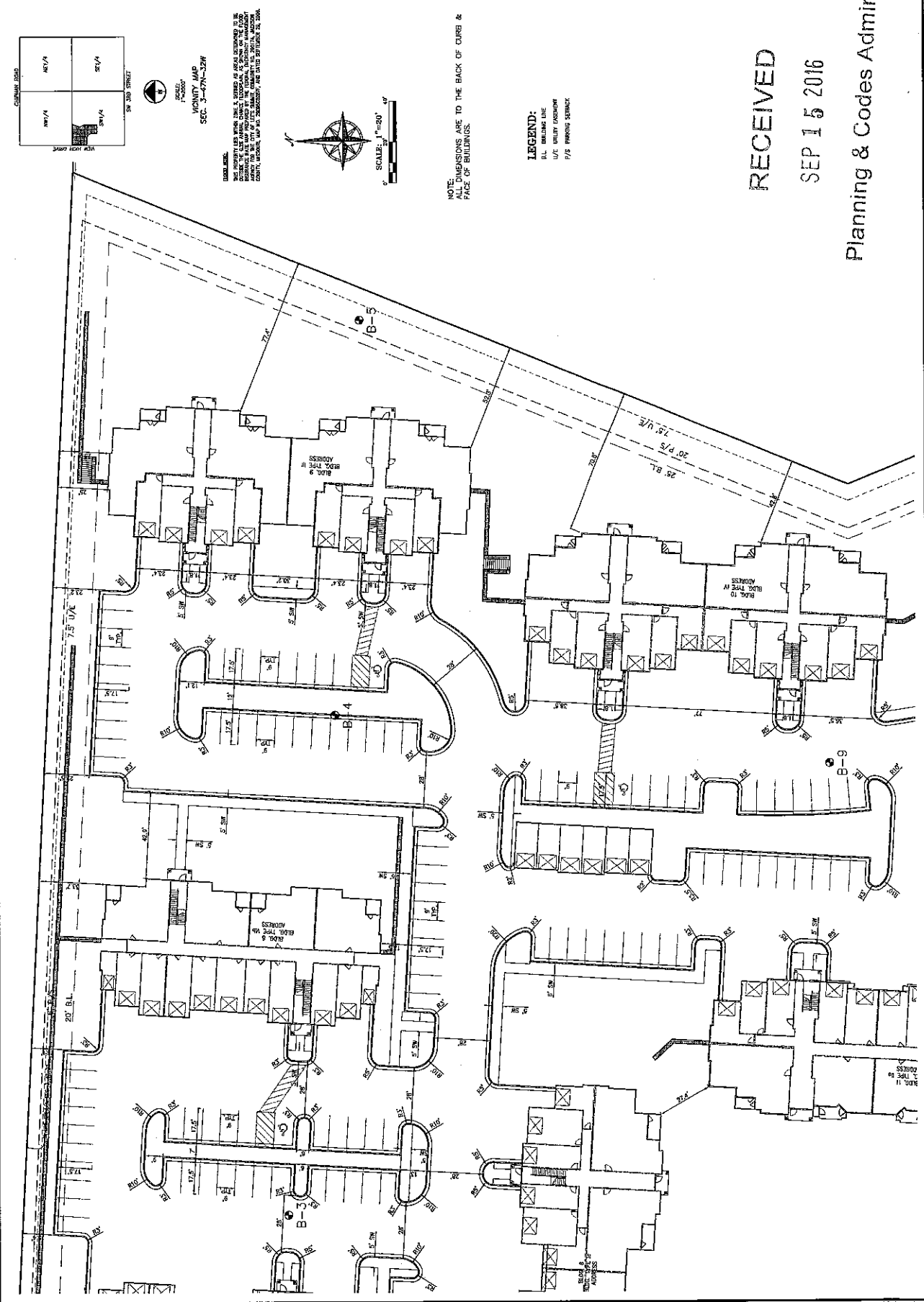
**DIMENSION PLAN**  
 LEE'S SUMMIT, MISSOURI  
 APARTMENTS - VILLAGE AT VIEW HIGH

PHILIPS ENGINEERING, INC.  
 2020 E. VANDERBILT  
 DALLAS, TEXAS 75201  
 (214) 399-1444  
 www.philipsengineering.com



PHILIPS ENGINEERING, INC. 2020 E. VANDERBILT DALLAS, TEXAS 75201 (214) 399-1444 www.philipsengineering.com

PROJECT NO.	150072
DATE	7-22-16
SCALE	1" = 10'
APPROVED	[Signature]
DATE	8-11-16
PROJECT NO.	150072
DATE	7-22-16
SCALE	1" = 10'
APPROVED	[Signature]



LOCAL CODES:  
 THE PROPERTY LIES WITHIN THE 1<sup>ST</sup> ZONING DISTRICT AS SHOWN ON THE ZONING MAP. THE ZONING DISTRICT IS SUBJECT TO THE 1<sup>ST</sup> ZONING DISTRICT MAP, WHICH IS AVAILABLE AT THE OFFICE OF THE CITY CLERK, 100 N. UNIVERSITY, SUITE 100, OMAHA, NE 68102. THE ZONING DISTRICT IS SUBJECT TO THE 1<sup>ST</sup> ZONING DISTRICT MAP, WHICH IS AVAILABLE AT THE OFFICE OF THE CITY CLERK, 100 N. UNIVERSITY, SUITE 100, OMAHA, NE 68102.

UNIVERSITY MAP  
 SEC. 2-177A-22W



NOTE: DIMENSIONS ARE TO THE BACK OF CURB & FACE OF BUILDINGS.

LEGEND:  
 B.L. BUILDING LINE  
 U/E UTILITY EASEMENT  
 P/S PARKING SERVICES

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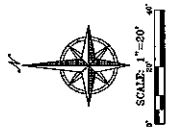
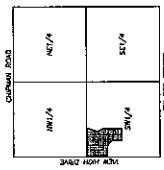
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**DIMENSION PLAN**  
LEET'S SUMMIT, MISSOURI  
APARTMENTS - VILLAGE AT VIEW HIGH

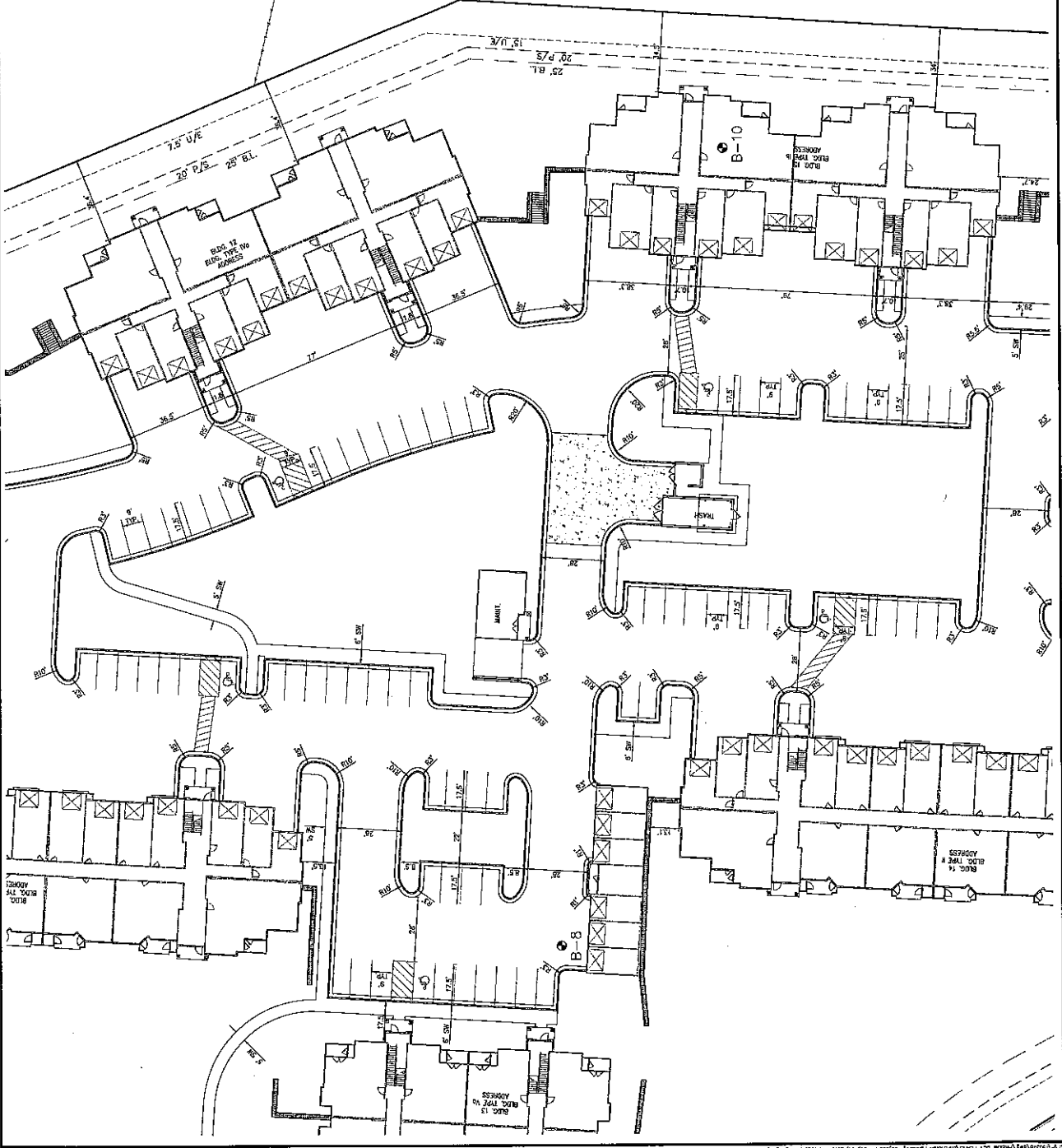
**PHILLIPS ENGINEERING, INC.**  
PLANNING  
ENGINEERING  
ARCHITECTURE  
1200 N. WILSON  
DULUTH, MISSOURI 64601  
(314) 393-1155  
www.phillipseng.com



**NOTICE:**  
THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MISSOURI STATE PLANNING AND ZONING ACT, CHAPTER 107, R.S.M., AND THE MISSOURI STATE PLANNING AND ZONING ACT, CHAPTER 107, R.S.M., AND THE MISSOURI STATE PLANNING AND ZONING ACT, CHAPTER 107, R.S.M.

**LEGEND:**  
ALL BUILDING USE  
1/2 INCH EQUIPMENT  
7/5 MINIMUM SETBACK

**NOTE:**  
ALL DIMENSIONS ARE TO THE BACK OF CURB &  
FACE OF BUILDINGS.



15-075-15-VILLAGE AT VIEW HIGH DIMENSION PLAN SHEET C2.4 OF 12



PROJECT NO.	192278
DATE	11-20-18
SCALE	AS SHOWN
DESIGNED BY	PHILIPS ENGINEERING, INC.
CHECKED BY	PHILIPS ENGINEERING, INC.
DATE	11-20-18
PROJECT NO.	192278

**LEGEND:**

- 942 --- EXISTING CONTOUR (BY OTHERS)
- - - 942 - - - PROPOSED CONTOUR
- BL BUILDING LINE
- U/E UTILITY EASEMENT
- P/S PARKING SETBACK

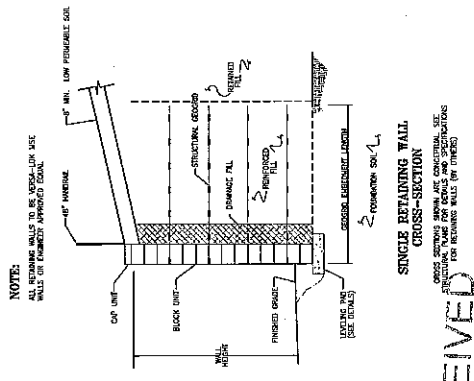
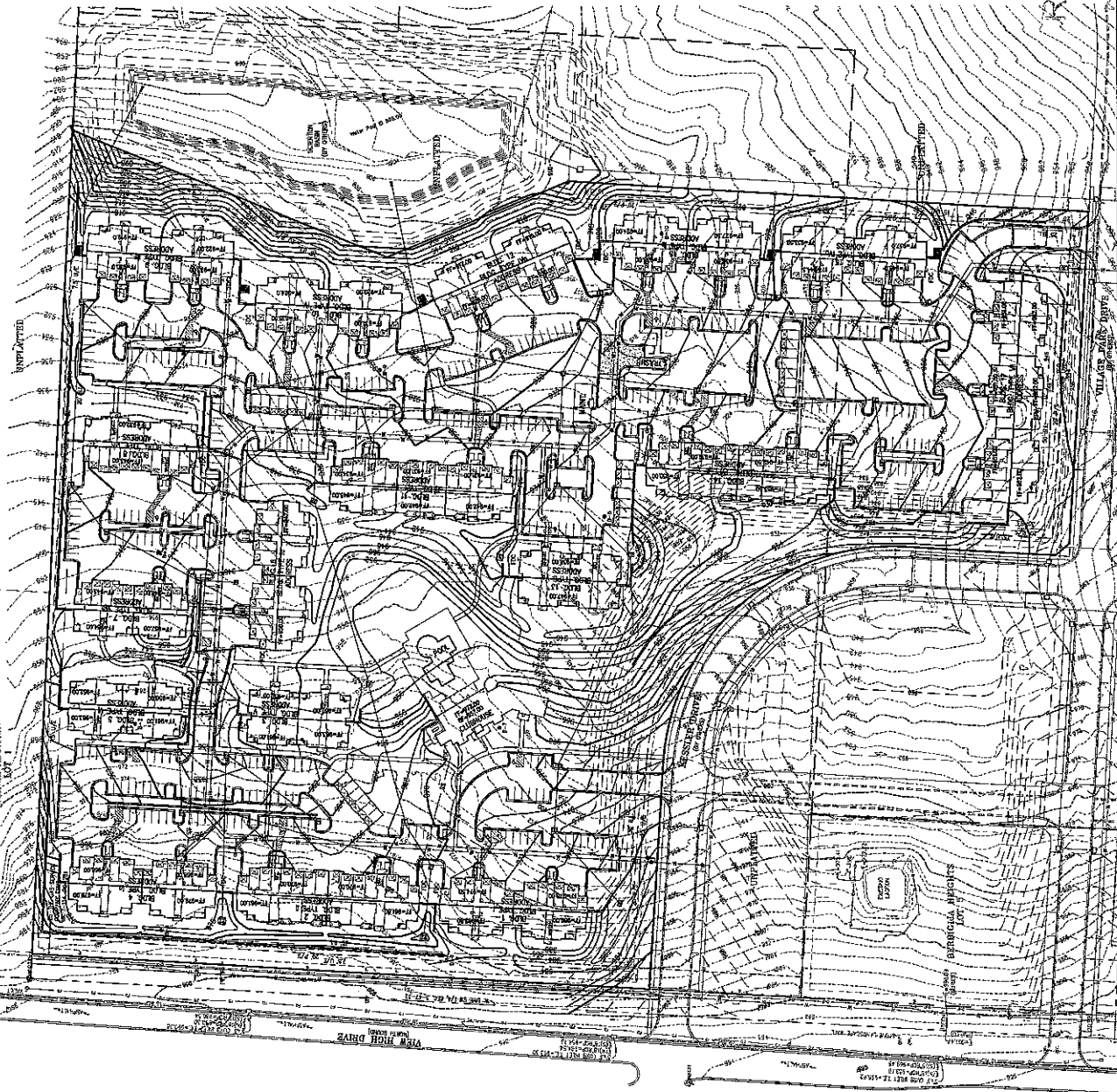
**SCALE:** 1" = 60'

**NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA AND RECORDS.
- ALL EXCESS WASTE OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.

**ADDITIONAL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA AND RECORDS.
- ALL EXCESS WASTE OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.



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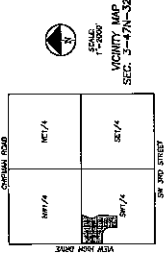
2016-146

SHEET  
C3.1  
OF 12

PROJECT NO.	146
DATE	8-11-16
DESIGNED BY	REVISED PER CITY COMMENTS
CHECKED BY	
APPROVED BY	
DATE	

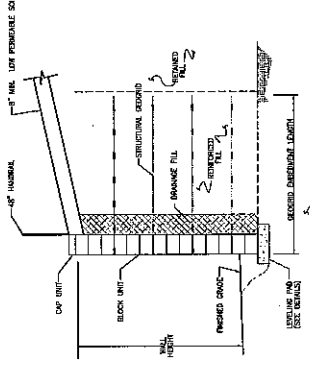
RETAINING WALL ELEVATION PLAN  
LETT'S SUMMIT, MISSOURI

PEI ENGINEERING, INC.  
1978 N. WILSHIRE  
DIXON, MISSOURI 63541  
(636) 393-1844  
www.peiengineering.com



NOTES:  
1. THE SUPPORT LIES WITHIN THE 3' SETBACK AS INDICATED TO BE ALL RETAINING WALLS TO BE DESIGN-LIKE THIS WALL OR EXISTING APPROVED DESIGN.  
2. THE SUPPORT LIES WITHIN THE 3' SETBACK AS INDICATED TO BE ALL RETAINING WALLS TO BE DESIGN-LIKE THIS WALL OR EXISTING APPROVED DESIGN.  
3. THE SUPPORT LIES WITHIN THE 3' SETBACK AS INDICATED TO BE ALL RETAINING WALLS TO BE DESIGN-LIKE THIS WALL OR EXISTING APPROVED DESIGN.

NOTE:  
ALL RETAINING WALLS TO BE DESIGN-LIKE THIS WALL OR EXISTING APPROVED DESIGN.

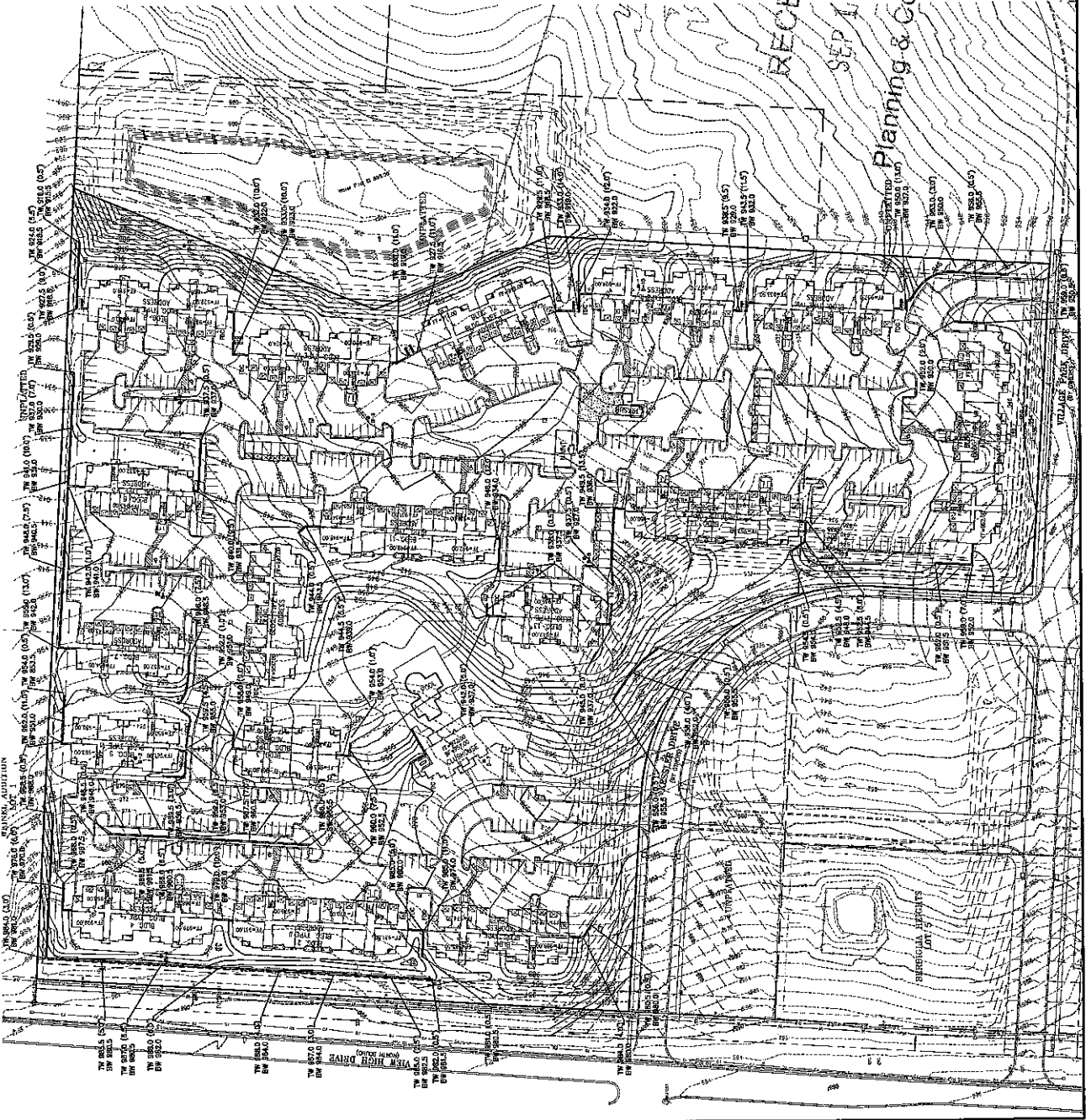


SINGLE RETAINING WALL  
CROSS-SECTION  
NOTES:  
1. THIS CROSS-SECTION IS FOR INFORMATION ONLY.  
2. SUBMITTAL SHALL BE FOR DESIGN AND SPECIFICATIONS FOR EXISTING WALLS (BY OTHERS).

- LEGEND:
- 942 --- EXISTING CONTOUR
  - - - 942 - - - PROPOSED CONTOUR (BY OTHERS)
  - 942 --- PROPOSED CONTOUR
  - ==== RETAINING WALL
  - BL BUILDING LINE
  - U/E UTILITY EASEMENT
  - P/S PARKING SETBACK
  - TOP OF WALL
  - BW BOTTOM OF WALL
  - H HEIGHT OF WALL

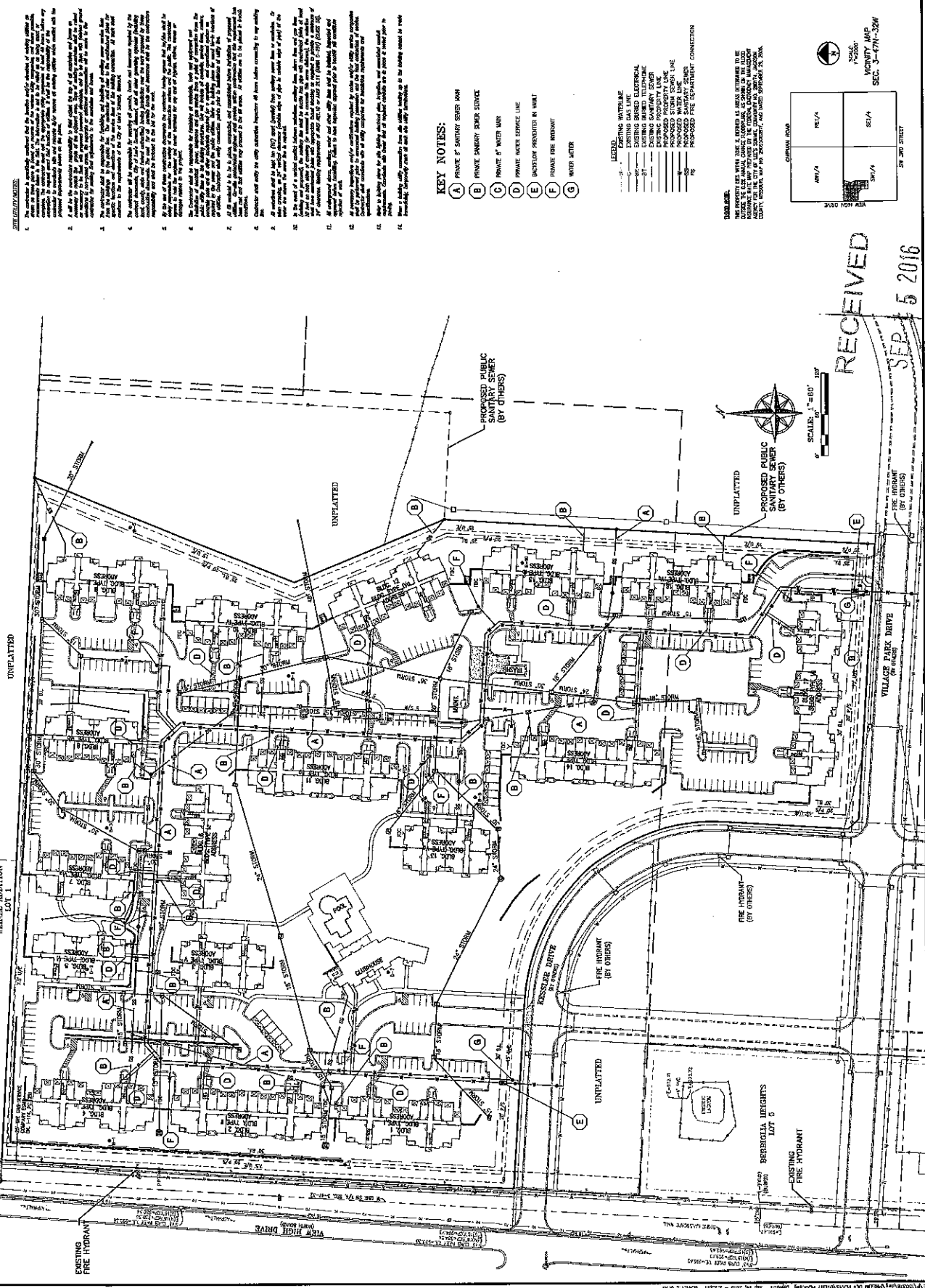


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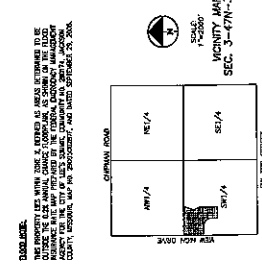
UTILITY PLAN  
 APARTMENTS - VILLAGE AT VEW HIGH  
 LEES SUMMIT, MISSOURI

DATE:	7-22-16	BY:	JK
SCALE:	AS SHOWN	CHECKED:	JK
PROJECT NO.:	16-001	DESIGNED BY:	JK
CLIENT:	PHILIPS ENGINEERING, INC.	DATE:	7-22-16



- KEY NOTES:**
- A PRIVATE 8" SANITARY SEWER MAIN
  - B PRIVATE 8" WATER MAIN
  - C PRIVATE WATER SERVICE LINE
  - D FACTORY PREINSTALLED IN UNIT
  - E PRIVATE FIRE MAIN/OUT
  - F WATER METER

- LEGEND:**
- EXISTING WATERLINE
  - EXISTING GAS LINE
  - EXISTING BURIED TELEPHONE
  - EXISTING SANITARY SEWER
  - EXISTING FIRE MAIN/OUT
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER MAIN
  - PROPOSED PRIVATE WATER SERVICE LINE
  - PROPOSED FIRE MAIN/OUT CONNECTION



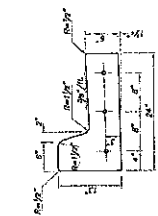
**GENERAL NOTES:**

- The utility plan is prepared based on the information provided by the owner and the utility companies. It is the responsibility of the owner to verify the accuracy of the information provided.
- The utility plan is prepared based on the information provided by the owner and the utility companies. It is the responsibility of the owner to verify the accuracy of the information provided.
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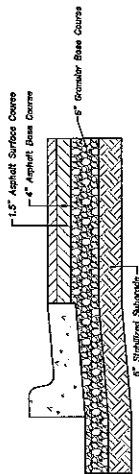
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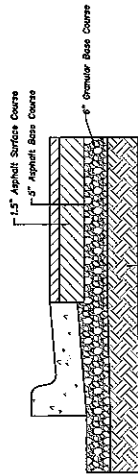




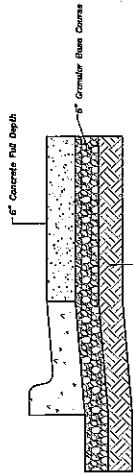
STRAIGHT-BACK CURB & GUTTER (TYPE (G-1))



ASPHALT PAVING -- PARKING AREAS



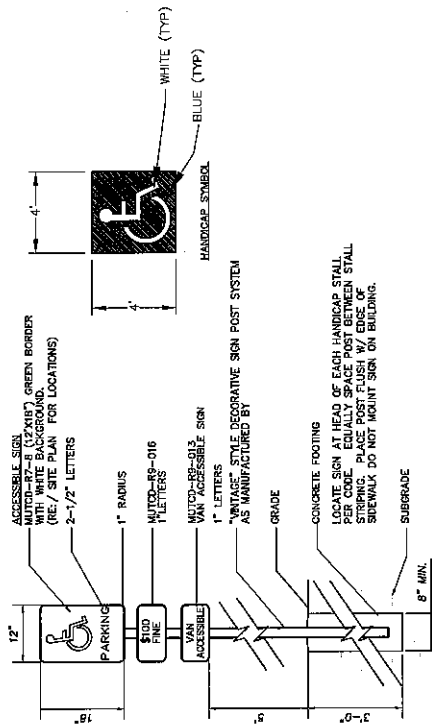
ASPHALT PAVING -- DRIVE AREAS



CONCRETE PAVING

**GENERAL NOTES**

1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
2. A. PRIVATE DRIVE, TEMPORARY PARKING AREA, AND OTHER PRIVATE AREAS STRING REQUIREMENTS;  
PAINT SHALL BE A NON-BLEEDING, QUICK-DRYING, ALKID PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND SHALL MEET ITS TYP-BSE AND MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.  
B. ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT-OF-WAY; THERMOPLASTIC OR PRE-FORMED THERMOPLASTIC ON ASPHALT SURFACES  
3. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.  
4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE WITHOUT THE ADDITION OF THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM COATING. MAINTAIN UNIFORM COATING THROUGHOUT APPLICATION. STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN, AND STRAIGHT STRIPE.
5. THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:  
A. PARKING STALL STRIPING: WHITE  
B. ACCESSIBLE SIGN:  
    MUTD-AR-8 (12X18) GREEN BORDER WITH WHITE BACKGROUND, (RE./ SITE PLAN FOR LOCATIONS)  
    2-1/2" LETTERS  
C. 1" RADIUS  
    MUTD-RS-016 LETTERS  
D. VAN ACCESSIBLE SIGN  
    MUTD-RS-013  
    1" LETTERS  
    "VINTAGE" STYLE DECORATIVE SIGN POST SYSTEM AS MANUFACTURED BY  
E. CONCRETE FOOTING  
    LOCATE SIGN AT HEAD OF EACH HANDICAP STALL PER CODE. EQUALLY SPACE POST BETWEEN STALL STRIPING. PLACE POST FLUSH W/ EDGE OF SIDEWALK DO NOT MOUNT SIGN ON BUILDING.  
F. 8" MIN.



HANDICAPPED SIGNAGE & PAVEMENT MARKING DETAIL

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NO.	DATE	REVISION
1	7-23-15	REVISED PER CITY COMMENTS
2	9-17-15	
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**Revisions:**

Date:	Description:
11-14-16	Final revision

**PERMIT  
 SUBMITTAL**

**Apartments -  
 Village at  
 View High**

Lee's Summit,  
 Missouri

A Residential Development by  
**Cityscape**  
 Residential

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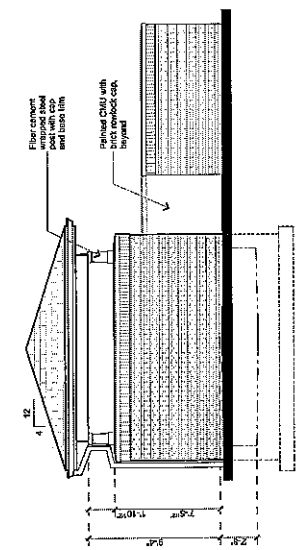
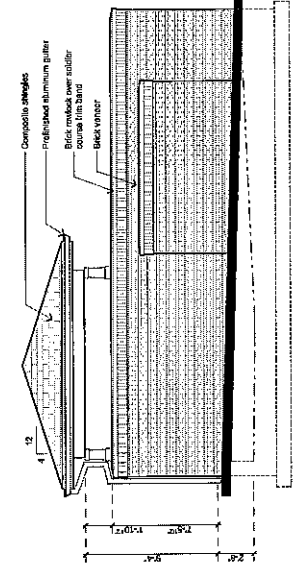
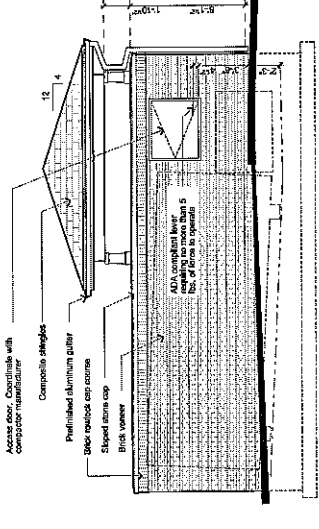
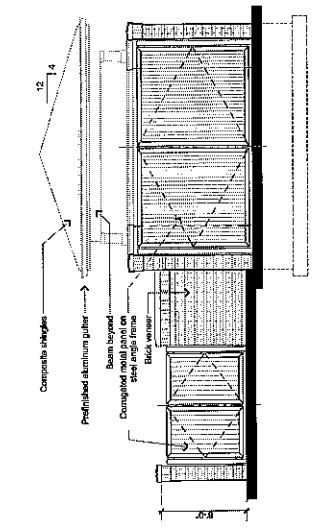
**Sheet Title:  
 LANDSCAPE  
 PLAN**

**Date:  
 22 July 2016**

**Sheet Number:**

**LS2**

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**1** Trash Enclosure Elevations

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Planning & Codes Admin 2016-146

### D-Series Size 1 LED Area Luminaire

**Specifications**

Model	1327
Length	36"
Width	24"
Height	4.5"
Weight	21 lbs

**Introduction**

The D-Series Size 1 LED Area Luminaire is a high-quality, energy-efficient lighting fixture designed for use in a variety of commercial and residential applications. It features a sleek, modern design and is available in multiple finishes to match your interior decor.

**Features**

- Energy-efficient LED technology
- Dimmable (0-10V)
- Available in multiple finishes
- Easy installation

**Dimensions**

Overall Length: 36" (914 mm)  
 Overall Width: 24" (610 mm)  
 Overall Height: 4.5" (114 mm)

**Notes**

1. All dimensions are in inches unless otherwise noted.  
 2. Weight is approximate and may vary slightly.  
 3. See technical drawing for detailed dimensions.

### LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER/MODEL	LAMPS	NOTES
1	EXTERIOR WALL MOUNT FIXTURE	OSRAM 100W 4000K 5000A	1W LED LAMP IN LED 100W 4000K 5000A	10'-0" MOUNTING HEIGHT
2A	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 2 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2B	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 3 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2C	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 4 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2D	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 5 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2E	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 6 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2F	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 7 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2G	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 8 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2H	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 9 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2I	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 10 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2J	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 11 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2K	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 12 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2L	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 13 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2M	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 14 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2N	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 15 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2O	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 16 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2P	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 17 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2Q	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 18 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2R	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 19 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2S	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 20 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2T	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 21 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2U	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 22 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2V	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 23 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2W	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 24 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2X	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 25 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2Y	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 26 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2Z	GRID LED WITH 30 LUMENS @ 1000 MA, 4000K, TYPE 27 MEDIUM	UNIDUAL LIGHTING DS11 LED 300 1000 400 724	100W LED	REFER TO DRAWING FOR MOUNTING HEIGHT

NOTE: ALL LIGHTING FIXTURES SHALL BE PRECISE BUILT, COORDINATE REQUIRED HEIGHT OF POLE BASE WITH FUTURE MOUNTING HEIGHT.

**SGN+A**

Planning - Architecture  
 Landscape Architecture  
 515 West Park Drive  
 Suite 100  
 San Jose, CA 95128  
 Tel: 408.253.7072  
 www.sgn+a.com

Revisions:  
 Date: \_\_\_\_\_ Description: \_\_\_\_\_

Preliminary Design Concepts  
 Apartments - Village at View High  
 Lee's Summit, Missouri

A Residential Development by  
**Cityscape Residential**

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Sheet Title:  
 LEGENDS, NOTES, DETAILS, & SCHEDULES

Date:  
 8/30/2016

Sheet Number:  
 E0.1

Not Prepared by Consultant

### Mason Wall Mount Dark Sky ORB

**Manufacturer:** Design House  
**Model:** Mason Wall Mount Dark Sky ORB  
**Dimensions:** 12" Dia. x 12" H  
**Weight:** 1.2 lbs

**Specifications:**

- Color: White
- Material: Polycarbonate
- Finish: Matte White
- Mounting: Mason Wall Mount
- Light Type: LED
- Power: 100W
- Beam Angle: 120°
- Color Temperature: 4000K
- Dimmable: Yes (0-10V)

**Notes:**

1. All dimensions are in inches unless otherwise noted.  
 2. Weight is approximate and may vary slightly.  
 3. See technical drawing for detailed dimensions.

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**JSE**  
 Jordan & Shale Engineers  
 1000 West 10th Street  
 Suite 100  
 Lee's Summit, MO 64086  
 Tel: 816.251.1000  
 www.jse.com

Revisions:

Date:	Description:

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The drawings on this set of plans were prepared by the undersigned in accordance with the provisions of the Uniform Land Use Planning Act of Georgia, Inc.

Sheet Title:  
**SITE PLAN -  
LIGHTING**

Date:  
8/30/2016

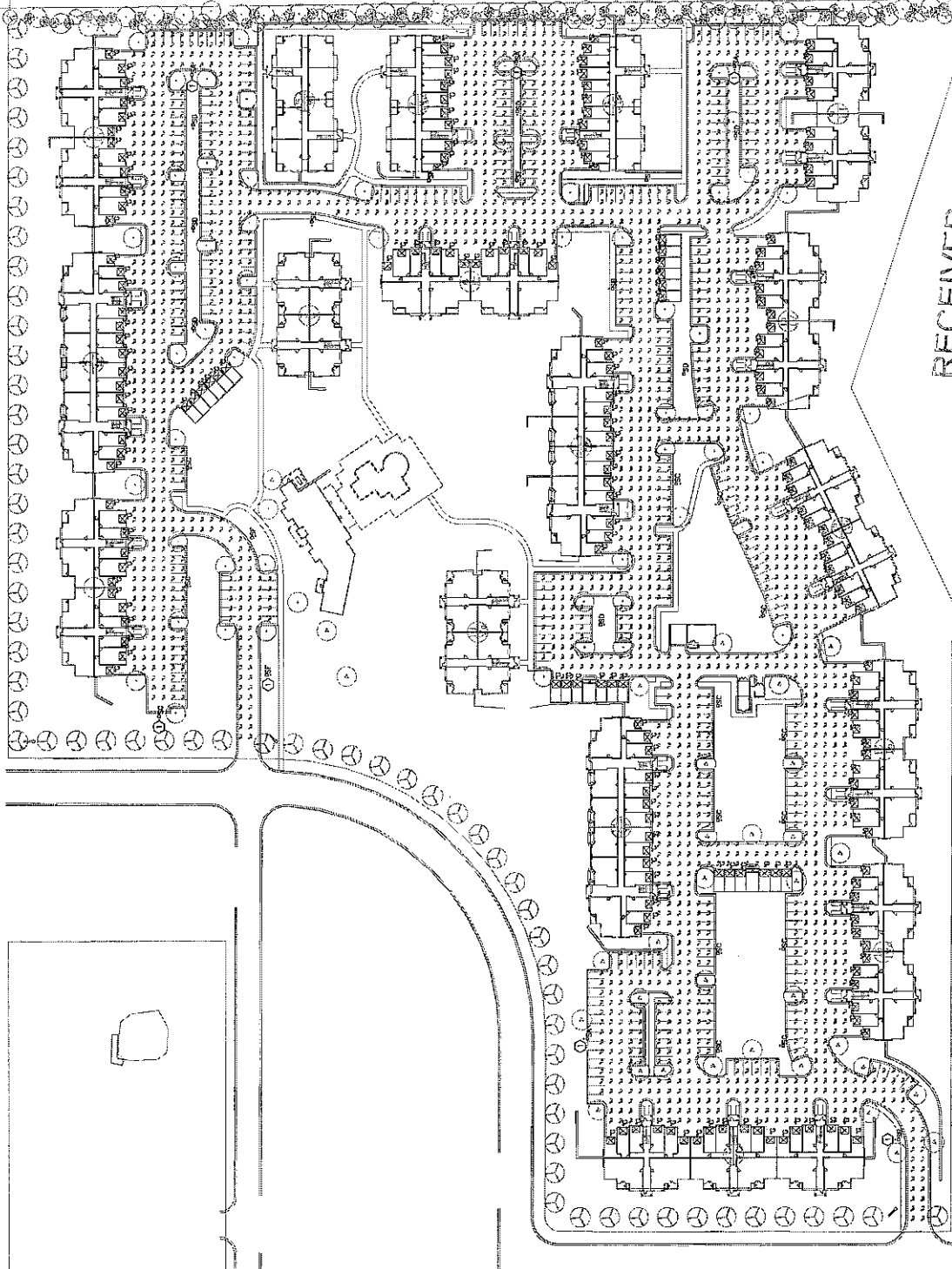
Sheet Number:  
**E1.0**

Not Referred to Construction

**GENERAL NOTES:**  
1. THESE NOTED DIMENSIONS ARE MEASURED TO THE CENTERLINE OF THE CURVE.

**KEY NOTES:**  
1. POLE LIGHT SHALL BE INSTALLED AT 15'-0" RT

SYMBOL	DESCRIPTION	TYPE	SIZE	SPACING	NOTES



1 SITE PLAN - LIGHTING  
SCALE: 1" = 50'-0"

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**JSE**  
Jensen & Seifert Engineers  
Professional Engineers  
1075 W. NORTH AVENUE, SUITE 100  
DORAVILLE, GA 30090  
Phone: 404.373.7272 Fax: 404.373.7272  
www.jse.com



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Sheet Title:  
**SITE PLAN -  
 LIGHTING AT  
 PROPERTY LINE**

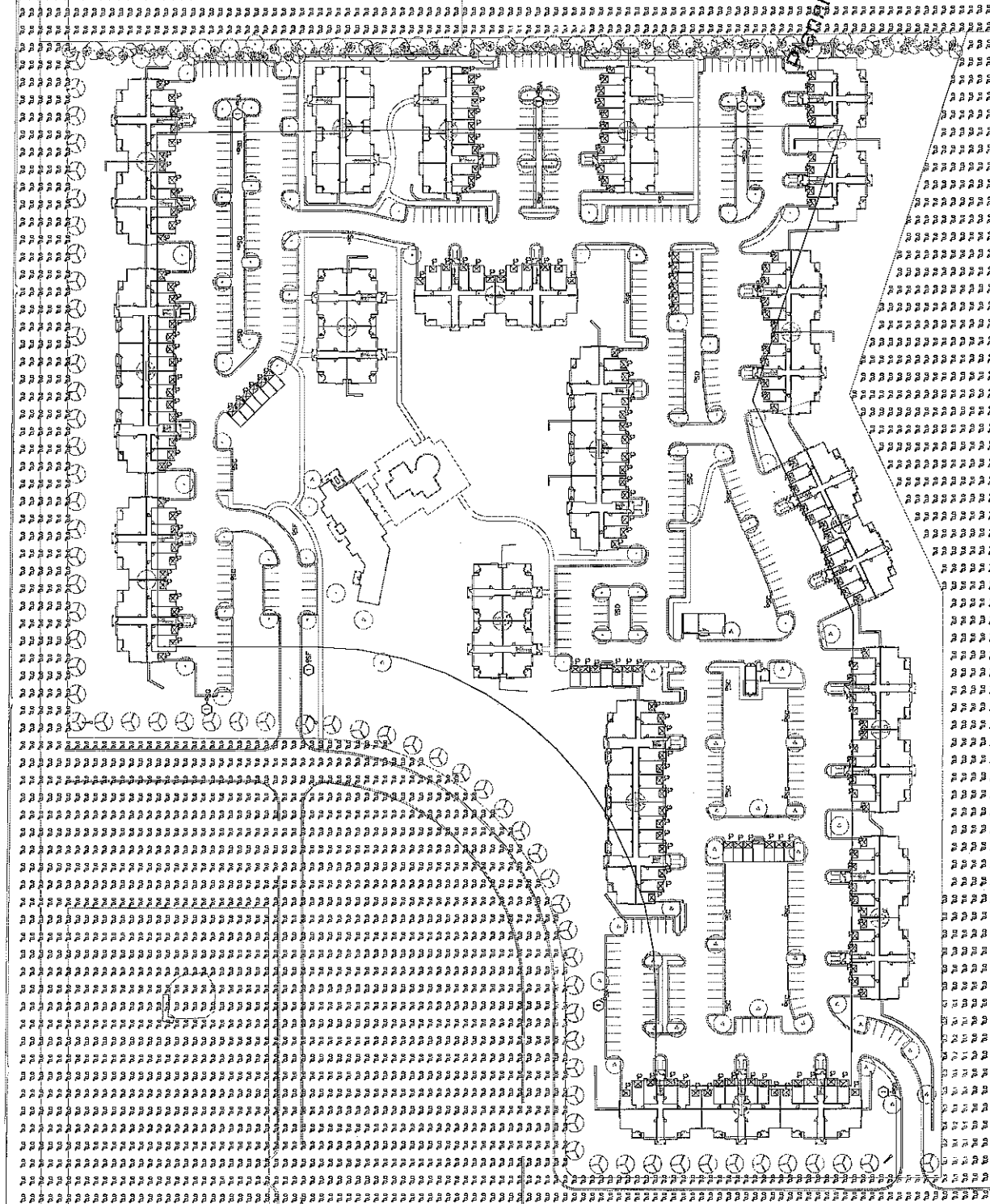
Date:  
 8/30/2016

Sheet Number:  
**E1.1**

**GENERAL NOTES:**  
 1. UNLESS NOTED OTHERWISE, ALL POLE MOUNTED LITE FIXTURES SHALL BE INSTALLED AT 20'-0" HT.

**KEY NOTES:**  
 1. POLE LIGHT SHALL BE INSTALLED AT 15'-0" HT.

SYMBOL	DESCRIPTION	DATE	BY	CHECKED	SCALE



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**JSE** Jordan & Seals Engineers  
 PROFESSIONAL ENGINEERS & ARCHITECTS  
 License No. 14149  
 State of Missouri  
 1000 N. 10th St., Suite 200, St. Louis, MO 63101

1 SITE PLAN - LIGHTING AT PROPERTY LINE  
 SCALE: 1" = 50'-0"

-2016 - 146

Revisions:

Date:	Description:

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Lee's Summit, Missouri

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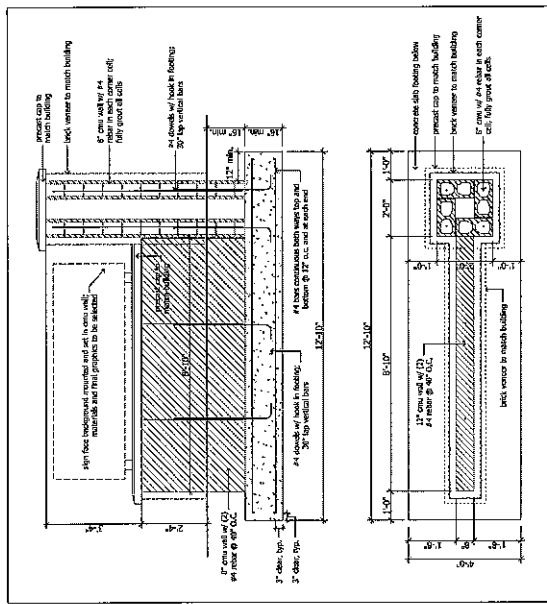
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Sheet Title: SIGNAGE PLAN AND DETAILS

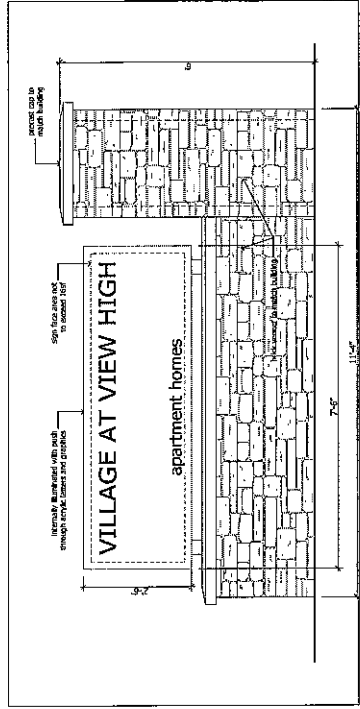
Date: 22 July 2016

Sheet Number: S1

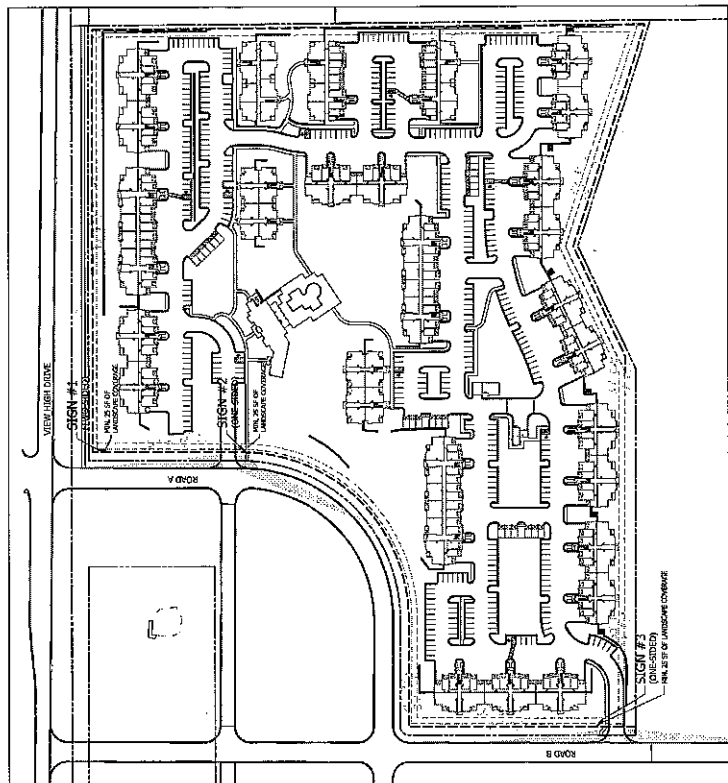
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2 Sign Section  
 SCALE: 1/8" = 1'-0"



3 Sign Elevation  
 SCALE: 3/8" = 1'-0"



1 Signage Location Site Plan  
 SCALE: 1/8" = 1'-0"

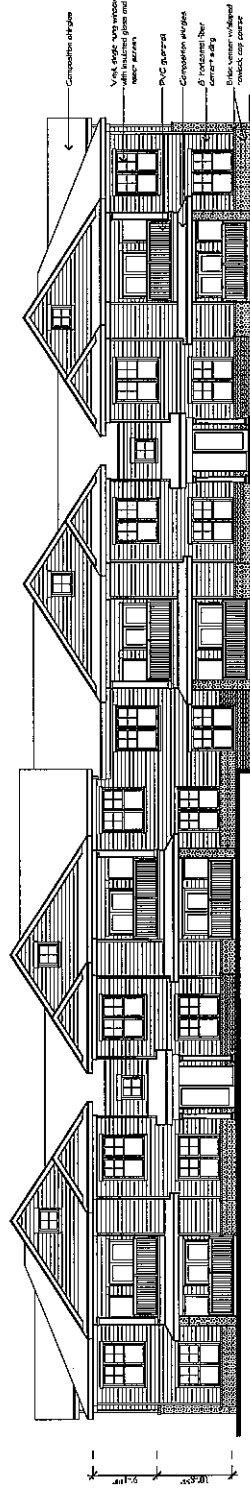
NOTE:  
 1. ALL SIGNS SHALL HAVE LANDSCAPE COVERAGE AT THE BASE OF SIGN THAT COVERS A MINIMUM OF 25% AROUND THE STRUCTURE.

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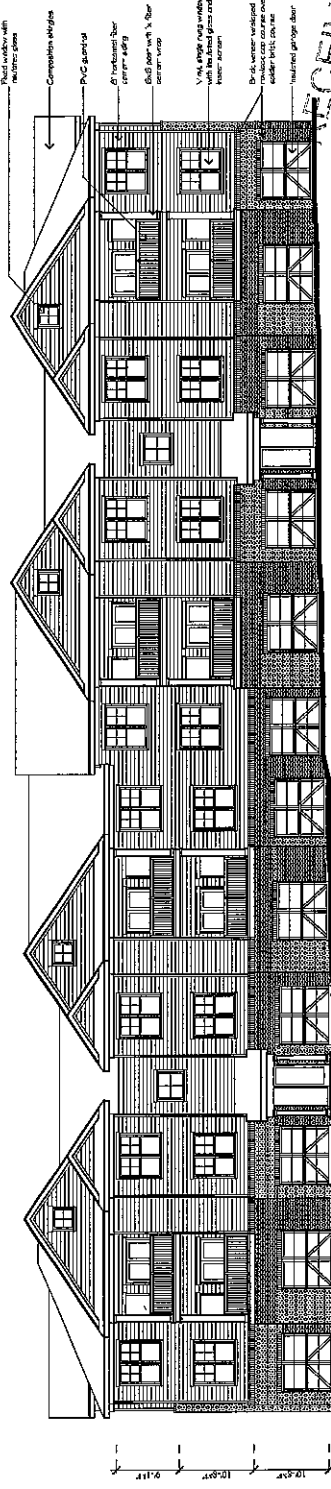
-2016-146



Building Type I

Building #'s 1, 4, 6 & 15, similar

NOTE:  
SEE SHEET A12 FOR MATERIAL AND  
COLOR PALETTE.



Building Type I

Building #'s 1, 4, 6 & 15, similar

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Sheet Title:  
Type I - Building  
Elevations

Date:  
8/30/2016

Sheet Number:

A1

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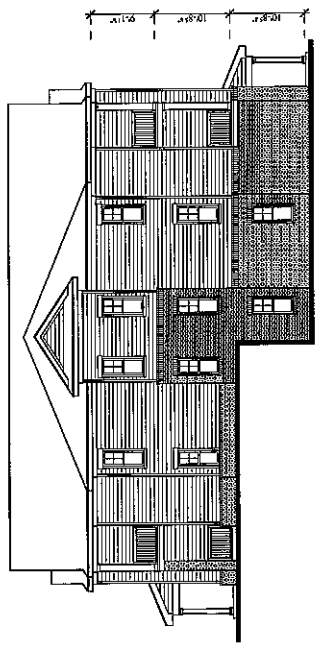
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 Type I - Building  
 Elevations

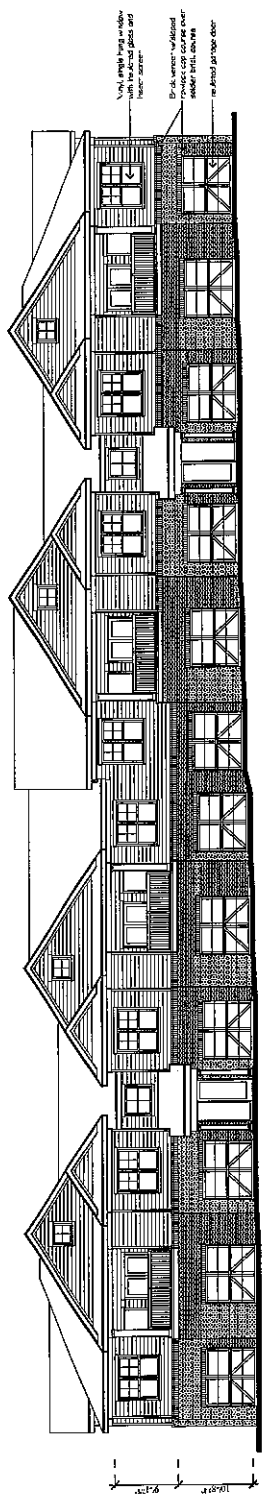
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**A2**

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**Building Type I**  
 Building #'s 1, 4, 6 & 15, similar

NOTE:  
 SEE SHEET A12 FOR MATERIAL AND  
 COLOR PALETTE.



**Building Type I**  
 Building # 15

Revisions:  
Date: Description:

Date:	Description:

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**Apartments - Village at View High**  
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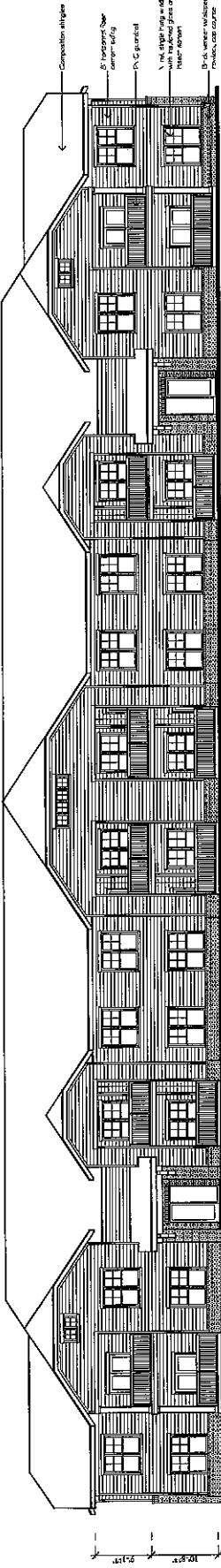
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Sheet Title:  
Type II - Building Elevations

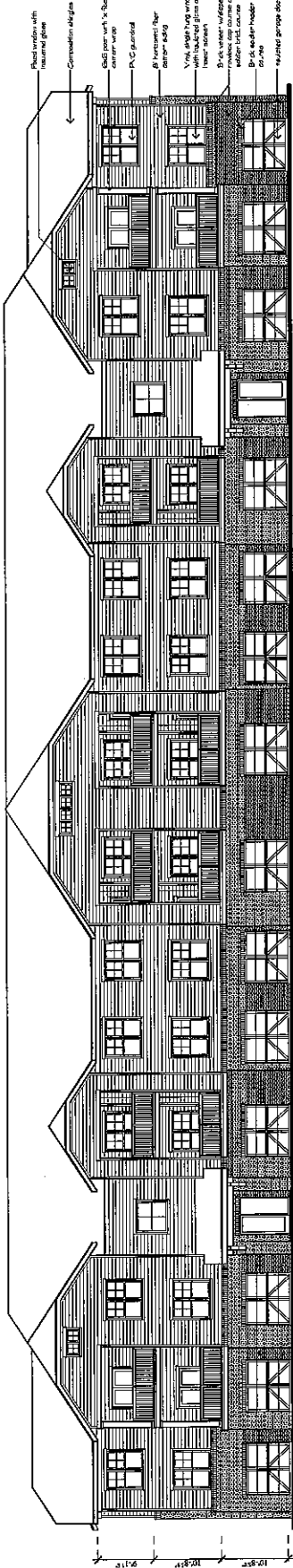
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Sheet Number:

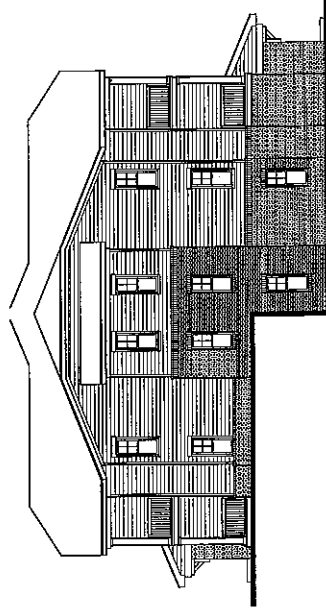
**A3**



**Building Type II**  
Building #s 2 & 14  
Building # 11, similar



**Building Type II**  
Building #s 2 & 14  
Building # 11, similar



**Building Type II**  
Building #s 2, 11 & 14

NOTE:  
SEE SHEET A12 FOR MATERIAL AND COLOR PALETTE.

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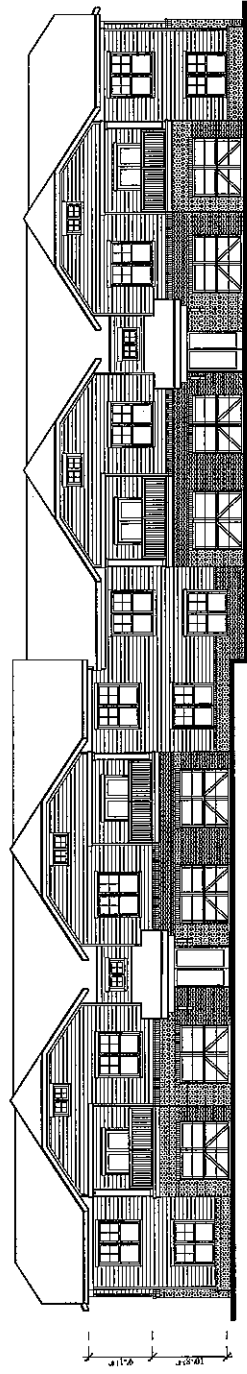
Revisions:

Date	Description

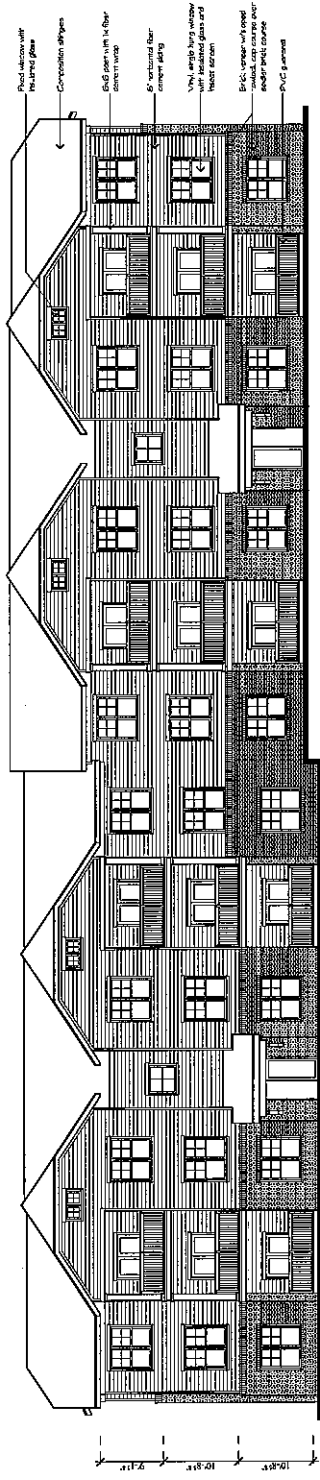
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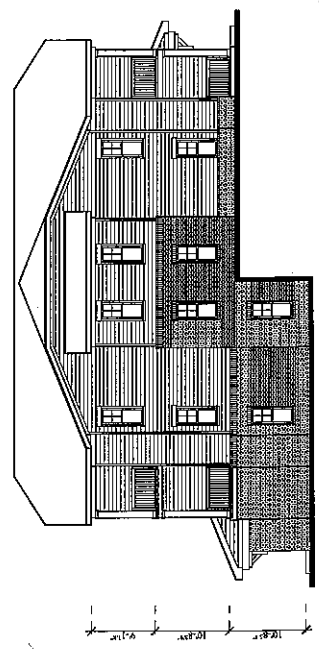
Sheet Title:  
 Types III & IV - Building Elevations  
 Date: 8/30/2016  
 Sheet Number: **A4**



**Building Types III & IV**  
 Building #s 9, 10, 12 & 16



**Building Types III & IV**  
 Building #s 9, 10, 12 & 16



**Building Types III & IV**  
 Building #s 9, 10, 12 & 16

NOTE:  
 SEE SHEET A12 FOR MATERIAL AND COLOR PALETTE.

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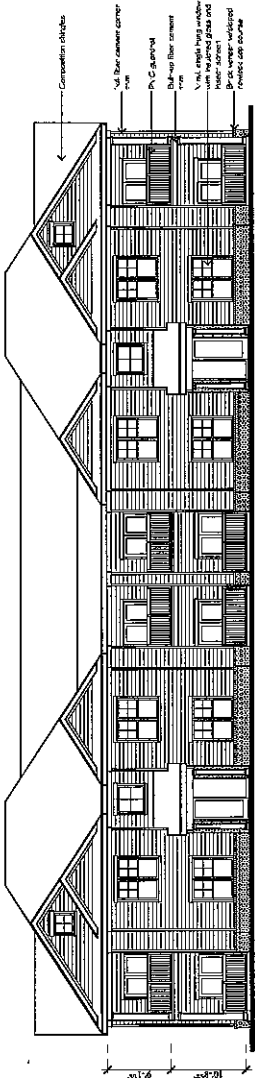
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**Apartments - Village at View High**  
 Lee's Summit, Missouri

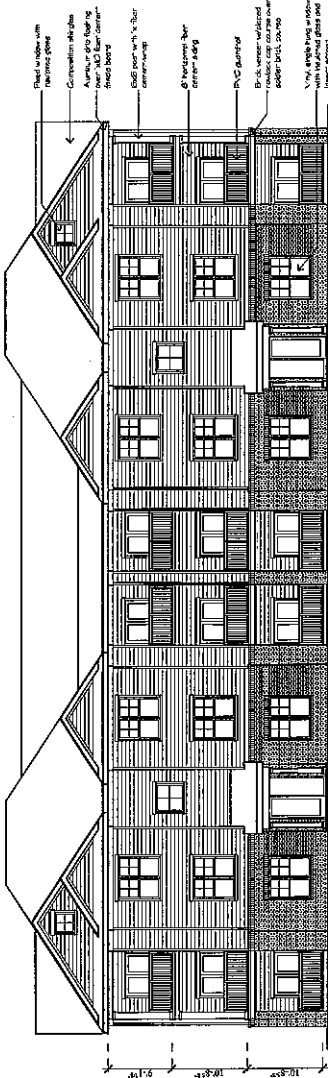
Sheet Title:  
 Type V - Building Elevations

Date:  
 8/30/2016

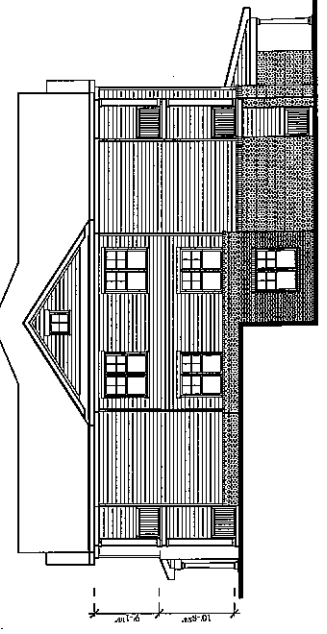
Sheet Number:  
**A5**



**Building Type V**  
 Building # 13  
 Building # 3, similar



**Building Type V**  
 Building # 13  
 Building # 3, similar



**Building Type V**  
 Building #s 3 & 13

NOTE:  
 SEE SHEET A12 FOR MATERIAL AND COLOR PALETTE.

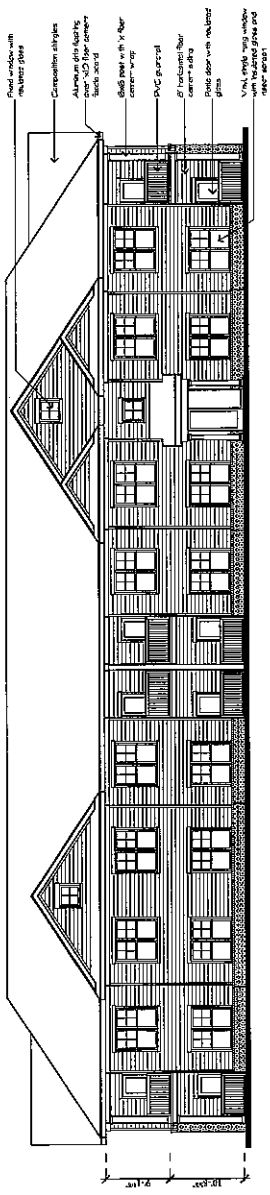
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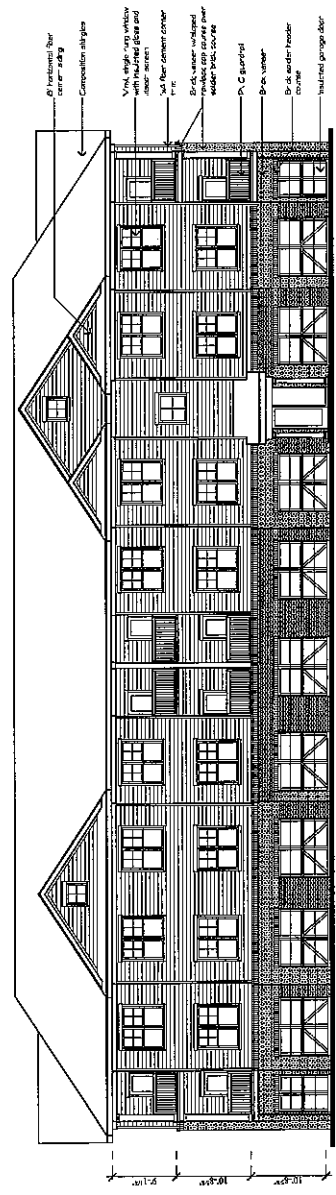
Revisions:  
 Date: Description


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 Apartments - Village at View High  
 Lee's Summit, Missouri

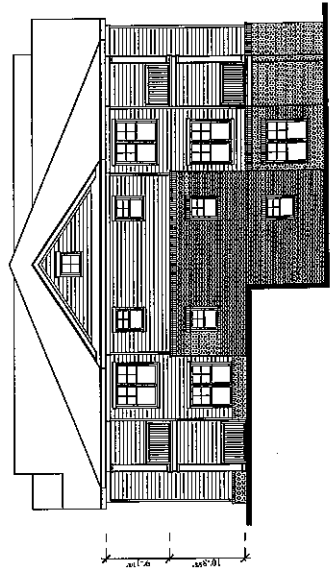
Sheet Title:  
 Type VI - Building Elevations  
 Date: 8/30/2016  
 Sheet Number: A6



Building Type VI  
 Building #5 & 7



Building Type VI  
 Building #7



Building Type VI  
 Building #5, 7 & 8

NOTE:  
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 COLOR PALETTE.

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Apartments -  
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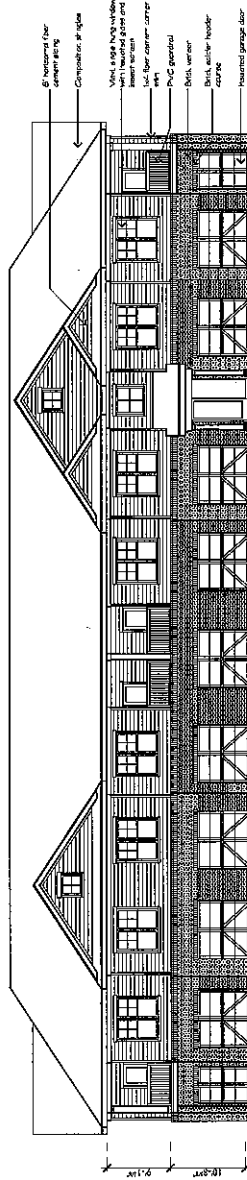
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 Residential

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Sheet Title:  
 Type VI - Building  
 Elevations

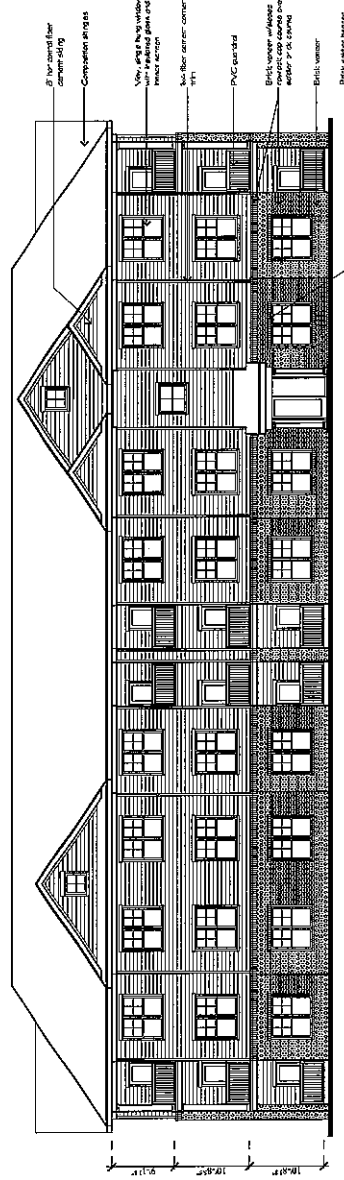
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Building Type VI  
 Building # 8

NOTE:  
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Building Type VI  
 Building #s 5 & 8

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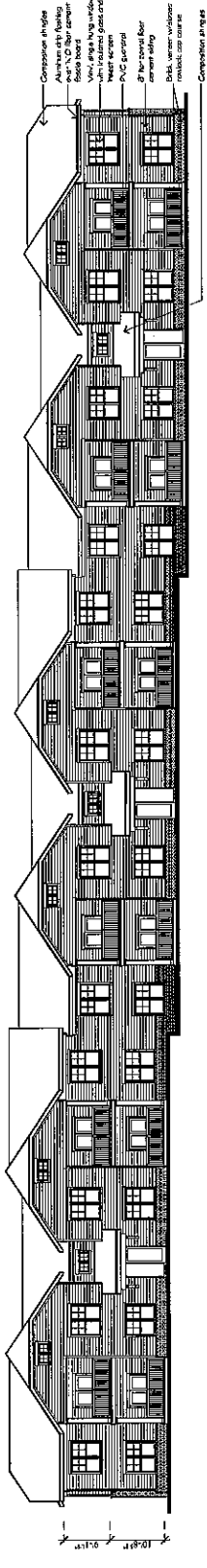
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Sheet Title:  
 Type VII - Building Elevations

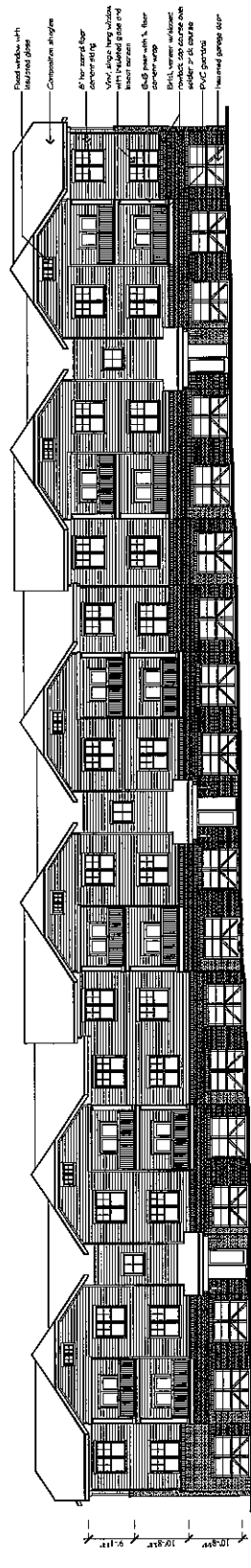
Date:  
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 A8

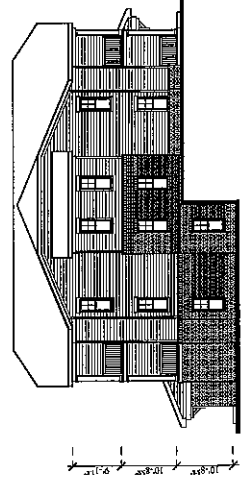
Not Released for Construction



Building Type VII  
 Building # 17



Building Type VII  
 Building # 17



Building Type VII  
 Building # 17

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 Apartments - Village at View High  
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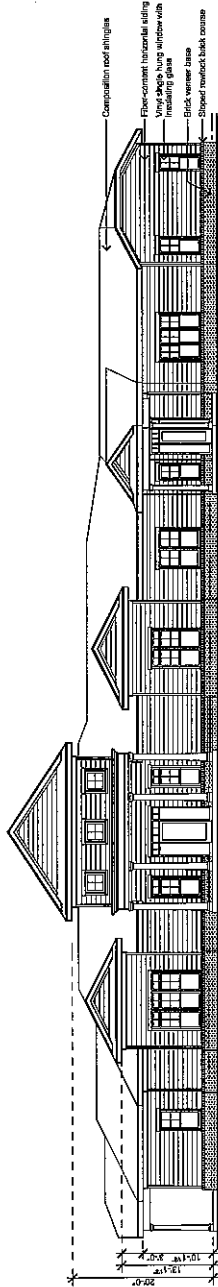
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Sheet Title:  
 Lease & Amenity Center - Elevations

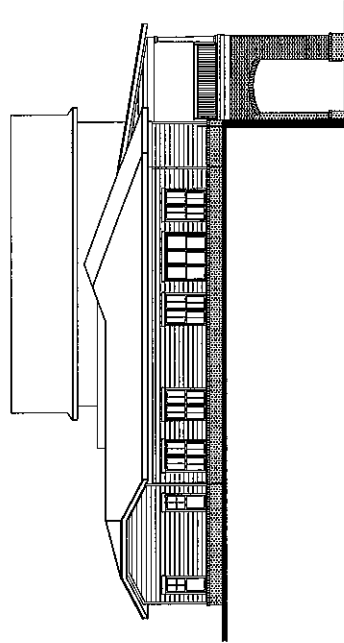
Date: 8/31/2016

Sheet Number:

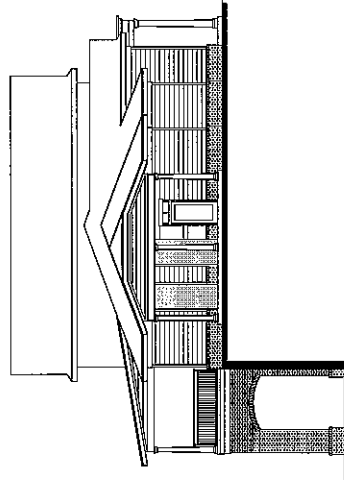
A9



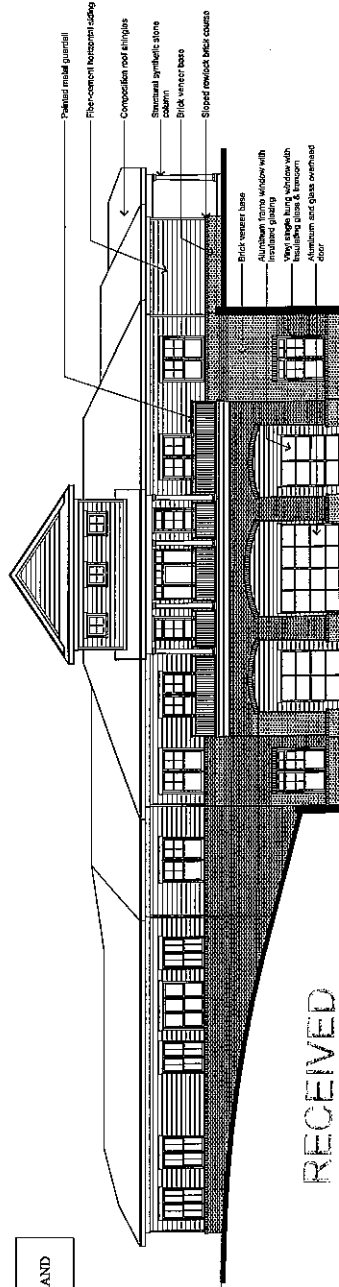
Lease & Amenity Center - Front



Lease & Amenity Center - Side



Lease & Amenity Center - Side



Lease & Amenity Center - Rear

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 Design Concepts

Apartments -  
 Village at  
 View High  
 Lee's Summit, Missouri

A Residential Development by:



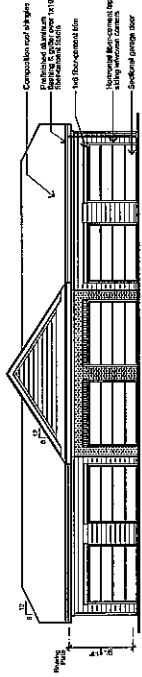
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Sheet Title:  
 Maintenance and  
 Descalgar Garages -  
 Elevations

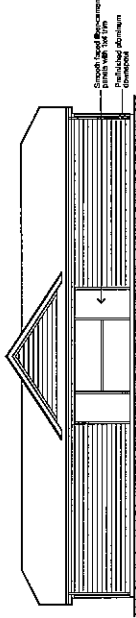
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 8/31/2016

Sheet Number:

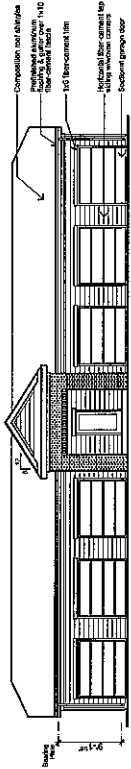
**A10**



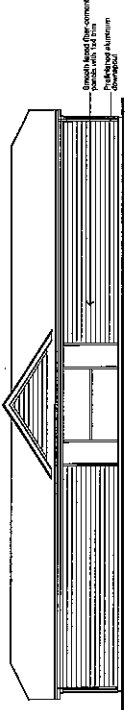
6-Bay Garage - Front



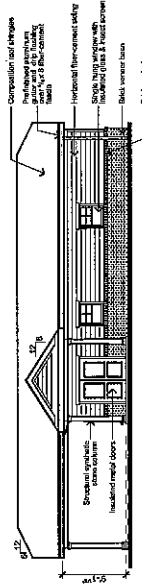
6-Bay Garage - Rear



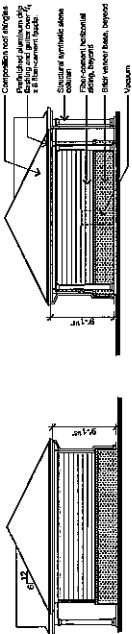
Garage w/Bike Storage - Front



Garage w/Bike Storage - Rear

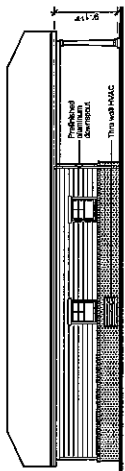


Maintenance Building - Front

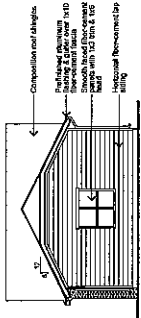


Maintenance Building - Side

Maintenance Building - Care Care Side



Maintenance Building - Rear



6-Bay Garage - Side

NOTE:  
 SEE SHEET A12 FOR MATERIAL AND  
 COLOR PALETTE.

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Revisions: Description:  
Date:


Preliminary Design Concepts

Apartments - Village at View High  
Lee's Summit, Missouri

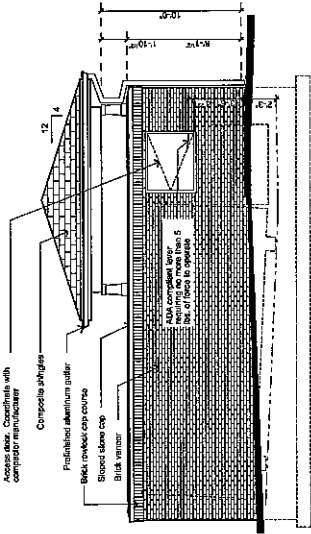
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Sheet Title:  
Compactor - Elevations

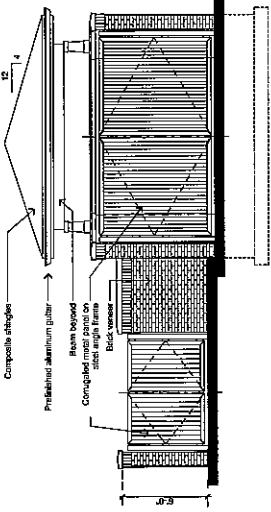
Date:  
8/31/2016

Sheet Number:

A11

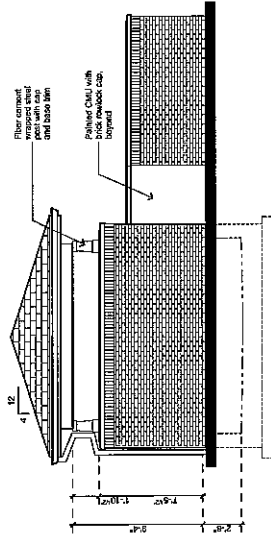


Compactor Elevation - Side

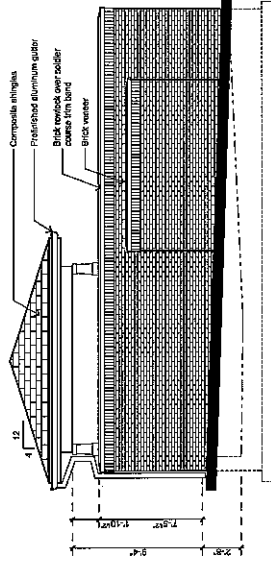


Compactor Elevation - Front

NOTE: SEE SHEET A12 FOR MATERIAL AND COLOR PALETTE.



Compactor Elevation - Rear



Compactor Elevation - Side

Revisions:

Date	Description

Preliminary  
Design Concepts

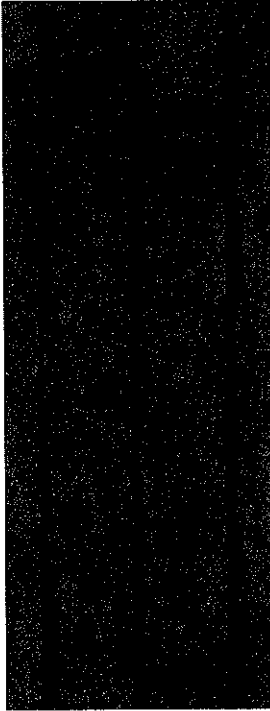
Apartments -  
Village at  
View High  
Leak's Summit, Missouri

A Registered Developer for  
**Cityscape**  
Residential  
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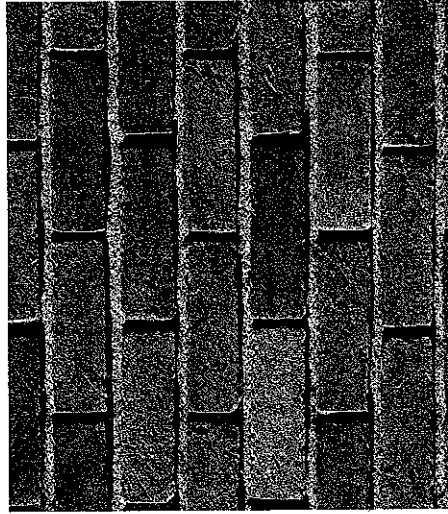
Sheet Title:  
Material Selections

Date:  
8/30/2016

Sheet Number:  
**A12**



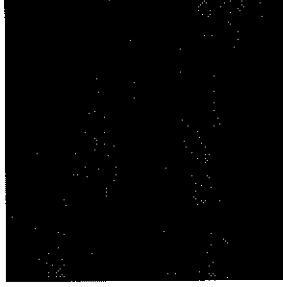
Certainteed, Landmark, Burnt Sienna  
Roof Shingles



Coronado, Antique Red

Sherwin Williams, Alabaster  
SW 7008

Trim Color



Sherwin Williams, French Roast  
SW 6069

Trim Color

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