

PRELIMINARY DEVELOPMENT PLANS FOR LOT 7A - LOT 7C STREETS OF WEST PRYOR

LEE'S SUMMIT, MO



LOCATION MAP

- UTILITIES**
Electric Service
Every
Nathan Michael
913-347-4310
Nathan.michael@every.com
- Gas Service
Spirre
Katie Darnell
816-969-2247
Katie.darnell@spirreenergy.com
- Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1940
jeff.thorn@cityoflls.net
- Communication Service
AT&T Cable
816-703-4386
cc3527@att.com
- Time Warner Cable
Steve Baxter
913-643-1924
steve.baxter@charter.com
- Comcast
Ryan Alkire
816-795-2218
ryan.alkire@comcast.com
- Google Fiber
Becky Davis
913-725-8945
rebeccadavis@google.com



UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND FLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DECLAIVER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SW ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SW ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTINGENT BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

LEGAL DESCRIPTION:
LOT 7 & TRACT C STREET OF WEST PRYOR
LOTS 1 THRU 14, TRACTS A, B, C, D TO LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAN VALLEY ENGINEERING

BENCHMARKS:
#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE
ELEVATION 485.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 20' BEND IN ROAD
ELEVATION 971.06

FLOODPLAIN NOTE:
SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 26095C040G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 3% ANNUAL CHANCE FLOODPLAIN. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 REZONING EXHIBIT
- C-4 OVERALL SITE PLAN
- C-5 OVERALL SITE PLAN
- C-6 LOT 7B LAYOUT PLAN
- C-7 LOT 7A & B LOT 7C LAYOUT PLAN
- C-8 LOT 7B GRADING PLAN
- C-9 LOT 7B GRADING PLAN
- C-10 LOT 7A & B LOT 7C GRADING PLAN
- C-11 BLOCK TIE-IN CIRCLE PLAN AND PROFILE
- C-12 SANITARY LINE A PLAN AND PROFILE
- C-13 SANITARY LINE B PLAN AND PROFILE
- C-14 SANITARY LINE C PLAN AND PROFILE
- C-15 LANDSCAPE PLAN
- C-16 LANDSCAPE PLAN
- C-17 FIRE LANES
- C-18 FIRE LANES
- C-19 UTILITY
- C-20 DETAILS
- C-21 DETAILS

DEVELOPER
S&W III, LLC
C/O DRAKE DEVELOPMENT, LLC
7200 W 132nd ST, SUITE 150
OVERLAND PARK, KS 66213
913-662-2650

ENGINEER
SW ENGINEERING
SAM MALINOWSKY
3507 HIGH MEADOW CIRCLE
MANHATTAN KANSAS, 66503
SAM@SWENGR.COM
785.341.9747



SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER



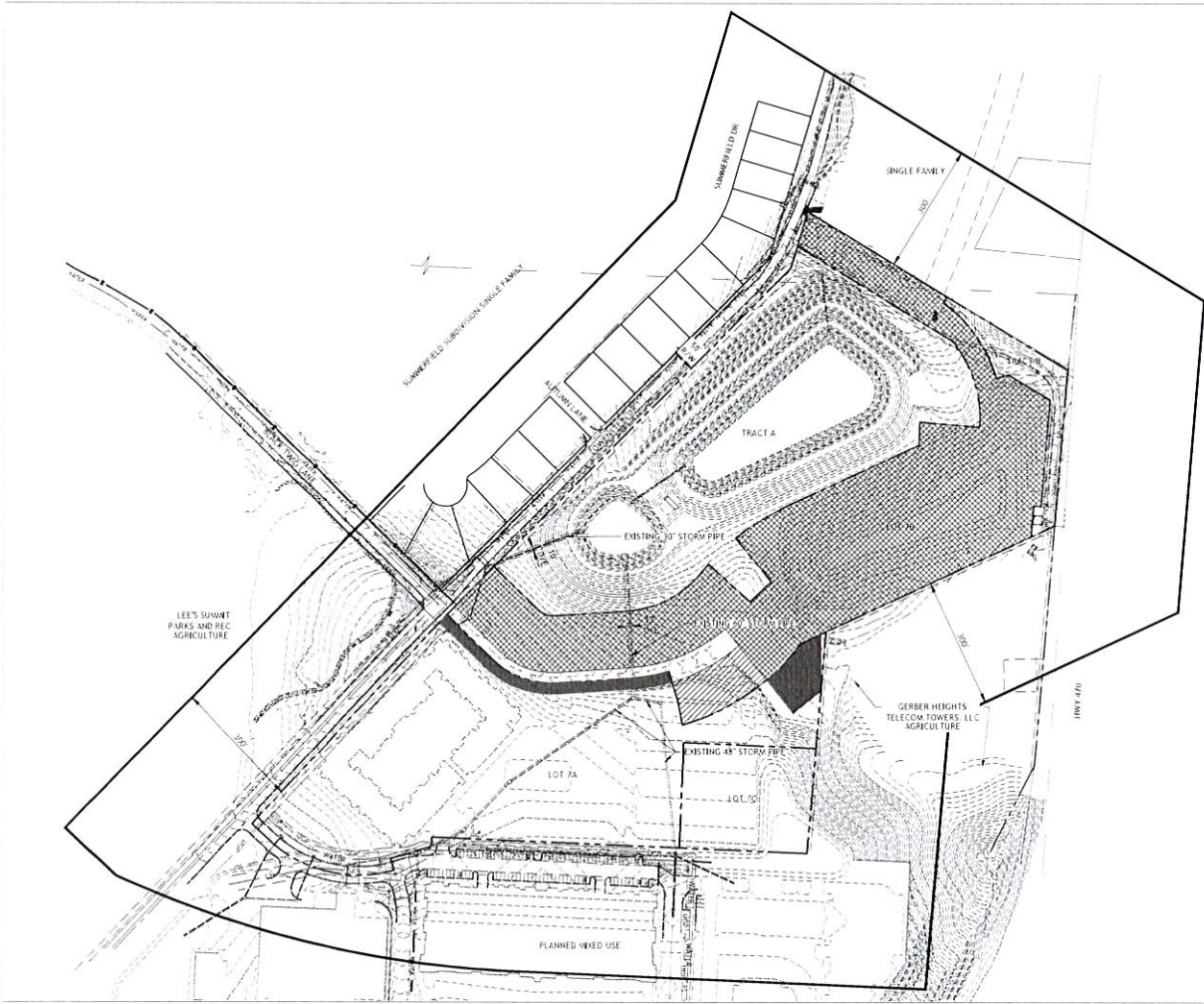
SM Engineering
1007 W. Maple Circle
Manhattan, Kansas, 66503
smengr@gmail.com
785.341.9747

Revisions
11/10/2017 COMMENTS

STREETS OF W. PRYOR
LOT 7A - LOT 7C
LEE'S SUMMIT, MO

sheet
G1-0

Site Improvement Plan
11/10/2017
28 SEP 2018 10:20:20



STA Engineering
SNE
 3007 W. Franklin Circle
 Manassas, VA 20108
 info@sneeng.com
 703.361.3115

This plan was prepared in accordance with the Virginia State Board of Professional Engineers and Architects. It is the responsibility of the engineer to ensure that the design complies with all applicable codes and regulations.



SEE SHEET
 12.00 FOR COMMENTS

**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**
 LEE'S SUMMIT, VA

sheet
C2-0
 CIVIL
 EXISTING CONDITIONS
 28 SEPTEMBER 2020

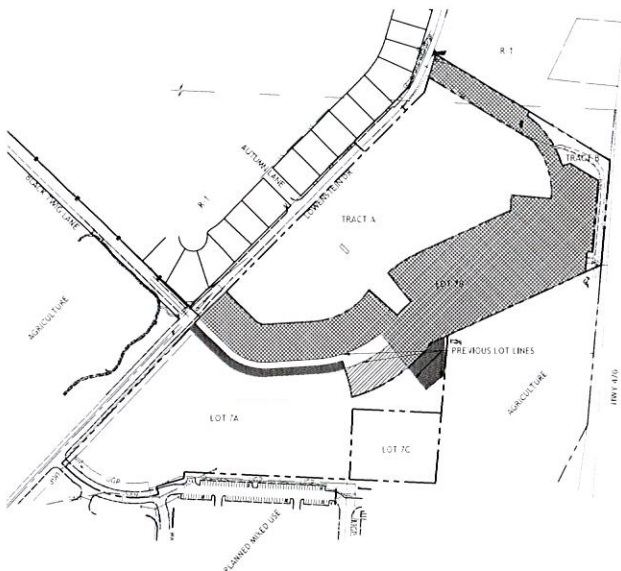


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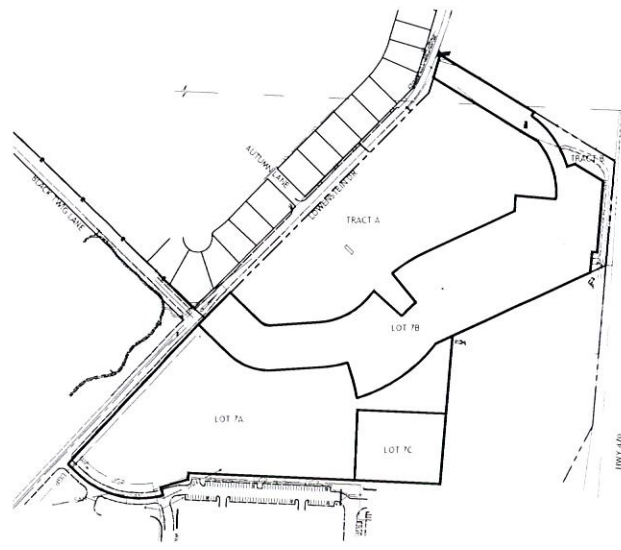


David S. Smith
 11353 License No. 11353




REZONE PLAN



LOT NUMBERS



LEGEND

-  R-1 TO P-MIX
-  P-MIX TO RP-4
-  R-1 TO RP-4



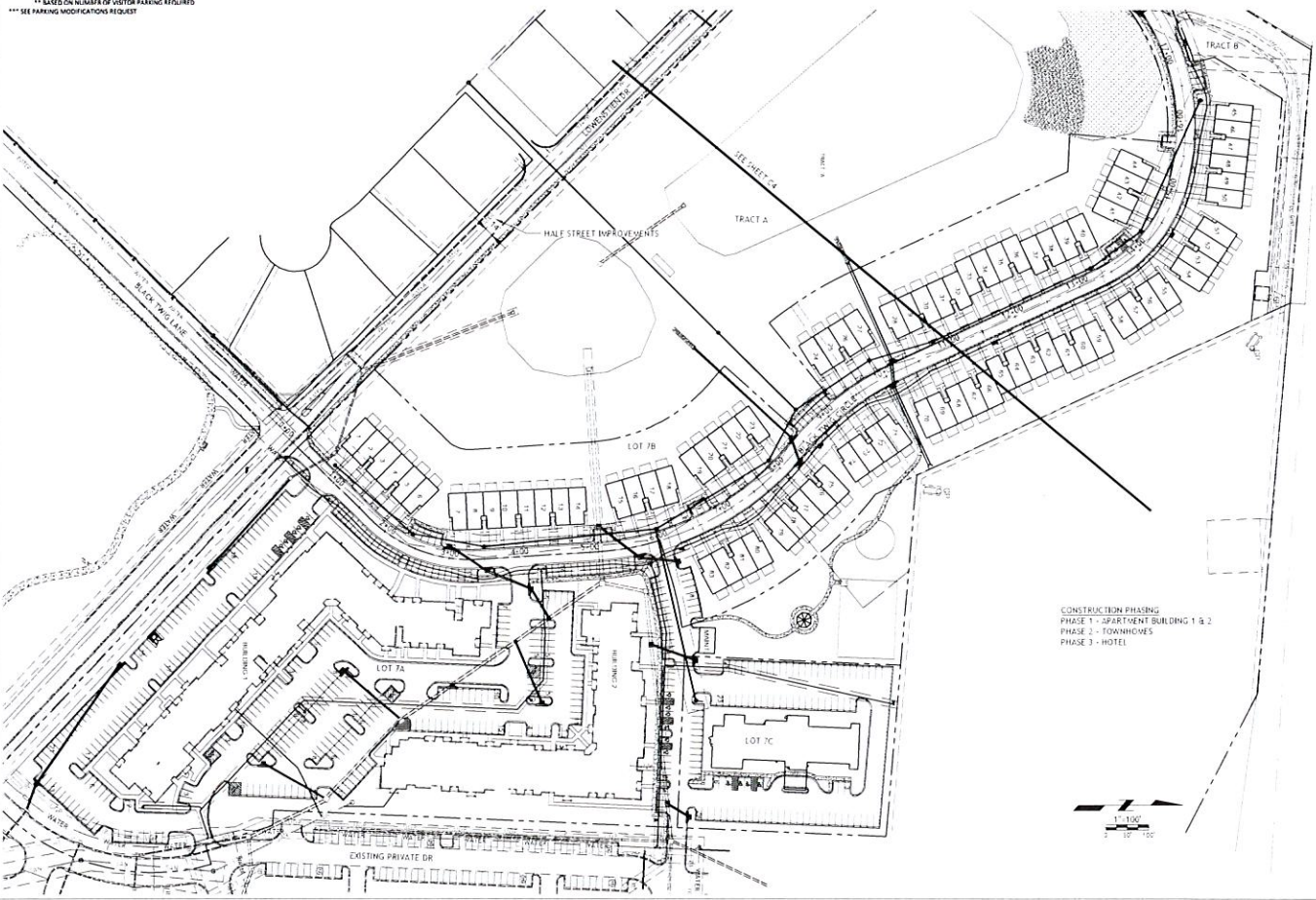
PROPOSED STREETS OF WEST PRYOR LOTS 7A-7C

STREETS OF W. PRYOR
LOT 7A - LOT 7C
 PETS, SUMMER, MD



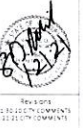
LOT	USE	LOT AREA (SQ. FT.)	LOT AREA (ACRES)	BLDG AREA SF (FOOTPRINT)	TOTAL SQFT	# OF DWELLING UNITS	SITE DATA												
							# OF PER. ACRES	# OF FLOORS	1 BDRM	2 BDRM	3 BDRM	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQUIRED	ADA SPACES PROVIDED	PRE LOT COVERAGE	POST LOT COVERAGE	OPEN SPACE	
Proposed LOT 75	Townhomes	406,850	9.21	99,219	156,238	83	8.9	2				83	187	208	1 (1) **	1 (1)	112,866	211,887	195,037
Proposed LOT 76	Apdx Bldg 1	421,418	9.54	49,200	155,500	100	10.83	2	41	11	16	189	176	1 (1)	4 (1)	124,700	158,450	158,450	158,450
Proposed LOT 77	Apdx Bldg 2	N/A	N/A	38,500	11,500	84	N/A	1	13	10	21	115	116	1 (1)	5 (1)	N/A	N/A	N/A	N/A
PROPOSED LOT 7C	Hotel (88 Rm)	72,840	1.67	13,539	40,817	88	32.64	3				88	99	2 (1)	4 (1)	39,657	51,205	20,935	

** INCLUDES CAR GARAGE FOR EACH UNIT
 ** BASED ON NUMBER OF VISITOR PARKING REQUIRED
 *** SEE PARKING MODIFICATIONS REQUEST



CONSTRUCTION PHASING
 PHASE 1 - APARTMENT BUILDING 1 & 2
 PHASE 2 - TOWNHOMES
 PHASE 3 - HOTEL

SM Engineering
SME
 1007 W. Parkside Dr.
 Van Nuys, CA 91411
 (818) 708-1111
 www.smeng.com



Rev 001
 12/10/2020 COMMENTS
 12/10/2020 COMMENTS

STREETS OF W. PRYOR
LOT 7A - LOT 7C
 11/15/2020 (REVISED)

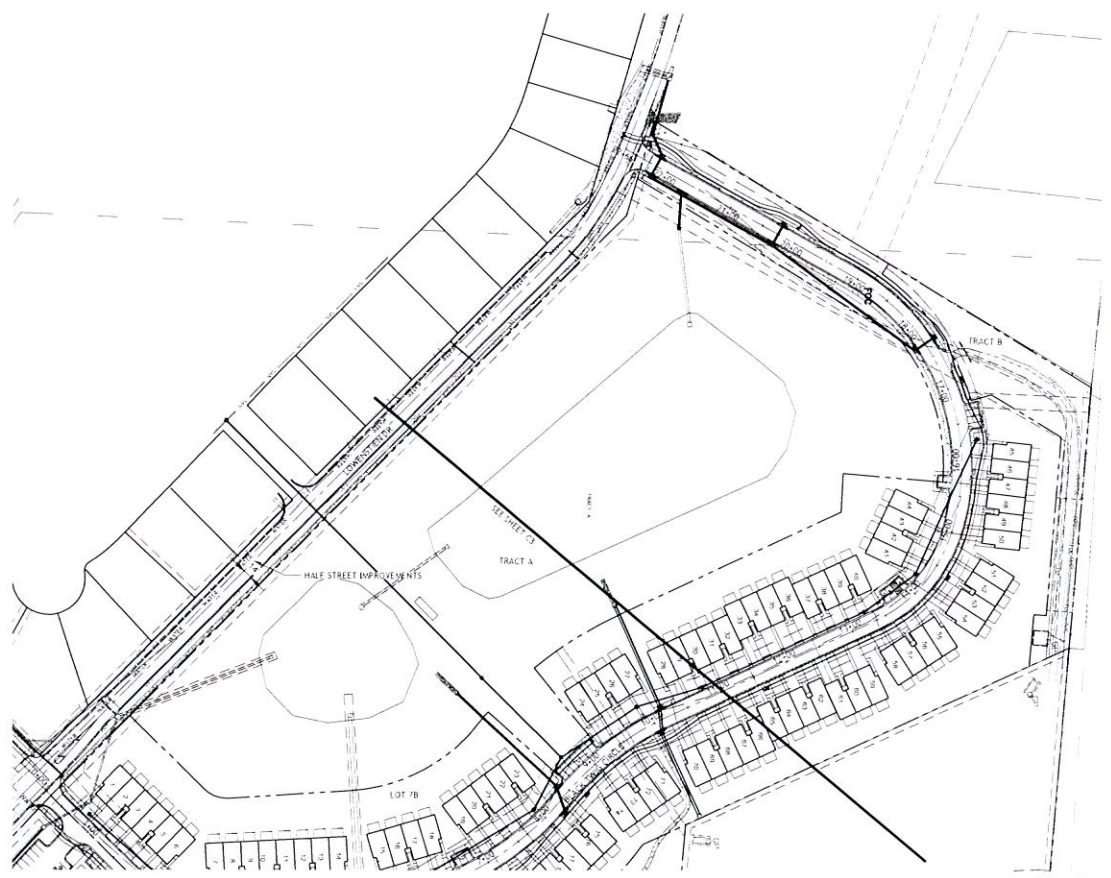
sheet
C3.0
 OVERALL LAYOUT
 15 SEP 2020

STM Engineering
SME
1017 W. Madison Circle
Manassas, VA 20108
(703) 791-8100
stmeng.com

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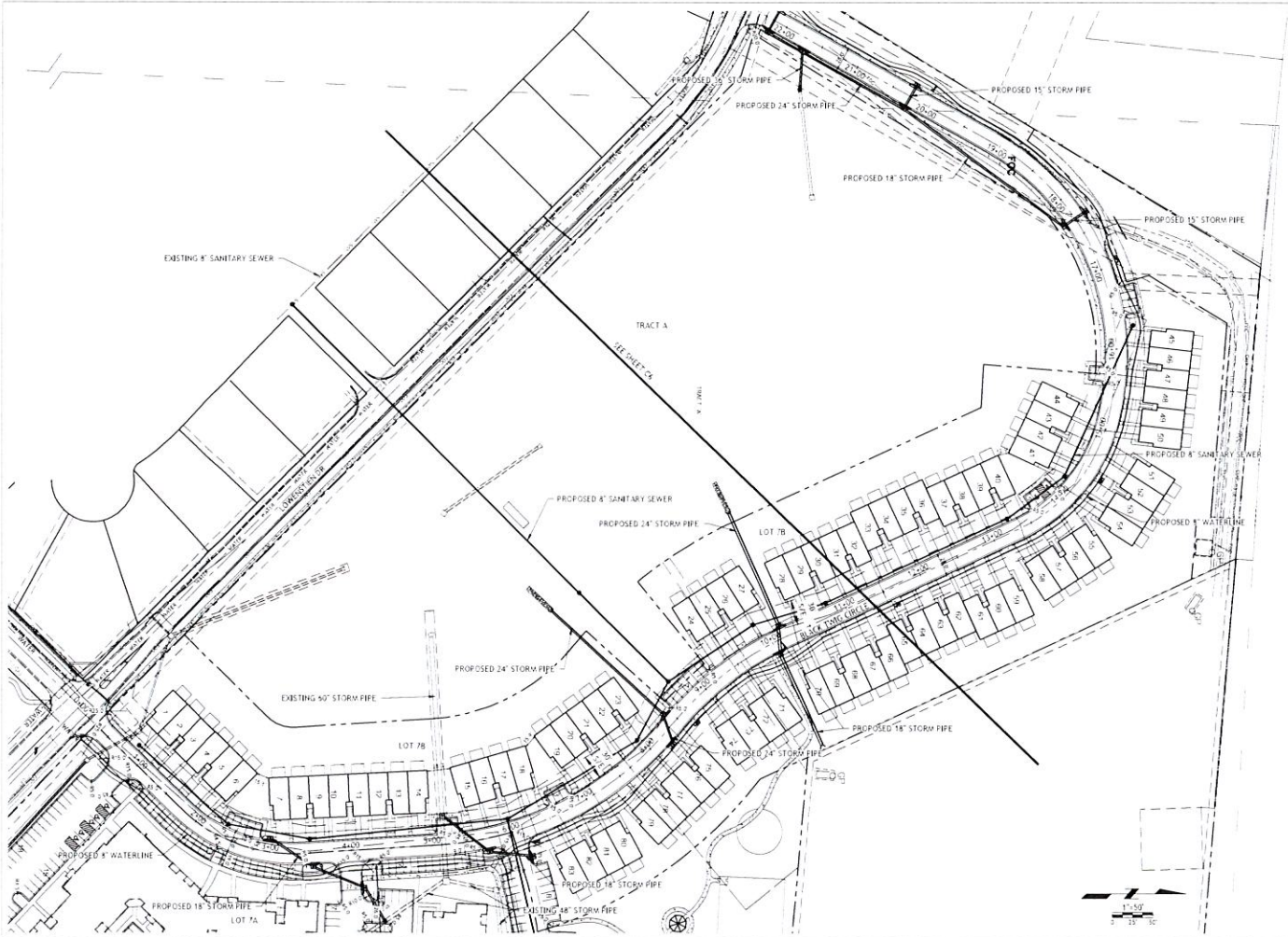
NOV 08
10:30 AM (7:00 PM)



**STREETS OF W. PRYOR
LOT 7A - LOT 7C**
11/15/2008

sheet
C4.0
CIVIL
OVERLAY LAYOUT
11/15/2008
28 SEP 2008 10:00 AM





SM Engineering
SME
 3327 W. Franklin Ct. W
 Meriden, CT 06450
 smeng@smeng.com
 860.682.3111

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10/18/2018
 10:22:17 AM COMMENTS

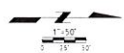
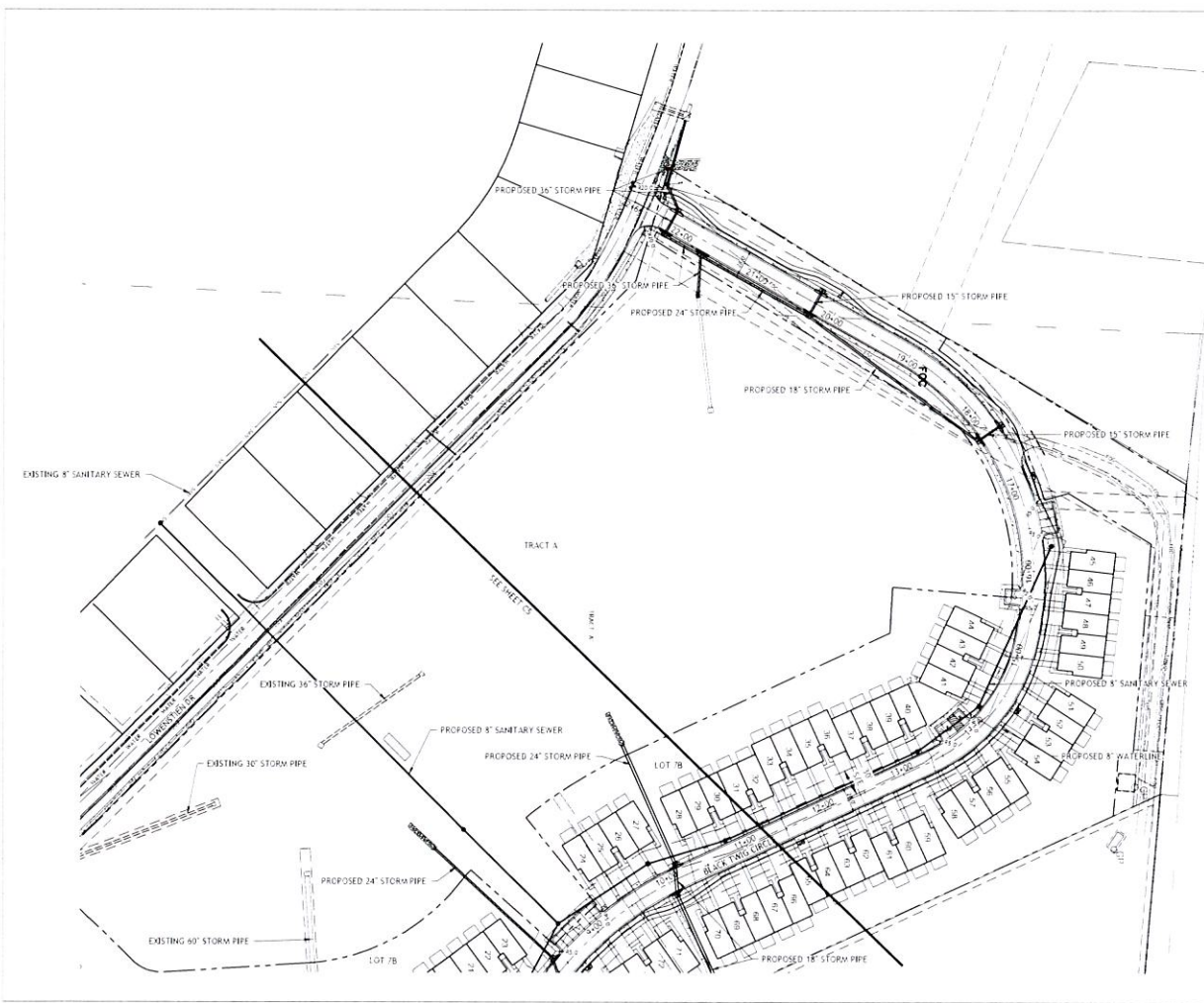
**STREETS OF W. PRYOR
 LOT 7A & LOT 7C
 FEED SUMMARY**

sheet
 C&C
 2/18
 LOT 7B LAYOUT
 28 SEP 2018 10:22:17 AM

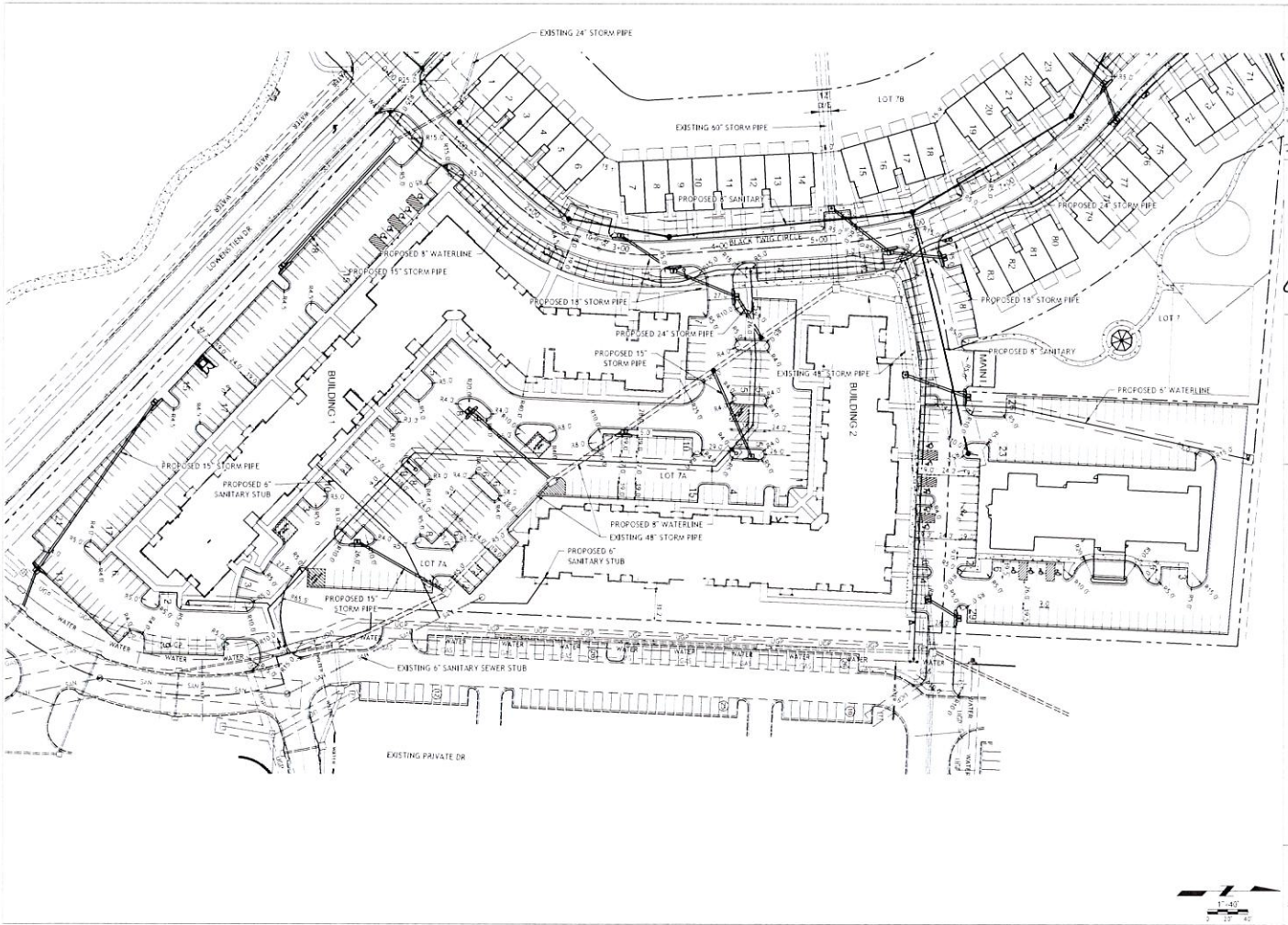
This plan shows the proposed improvements to the sewer and storm sewer systems for the project. It is intended to be used in conjunction with the other plans in this set. It is the responsibility of the client to ensure that the proposed improvements are consistent with the applicable codes and regulations. The engineer is not responsible for the accuracy of the information provided by the client.



REVISIONS
11-15-2023 BY COMMENTS



**STREETS OF W. PRYOR
LOT 7A - LOT 7C**
LEWIS, SHAWNEE, I, MO



SM Engineering
SME
 10377 W. Mission Circle
 Warrenton, Oregon 97146
 (503) 861-8100
 www.smeng.com

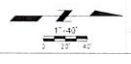
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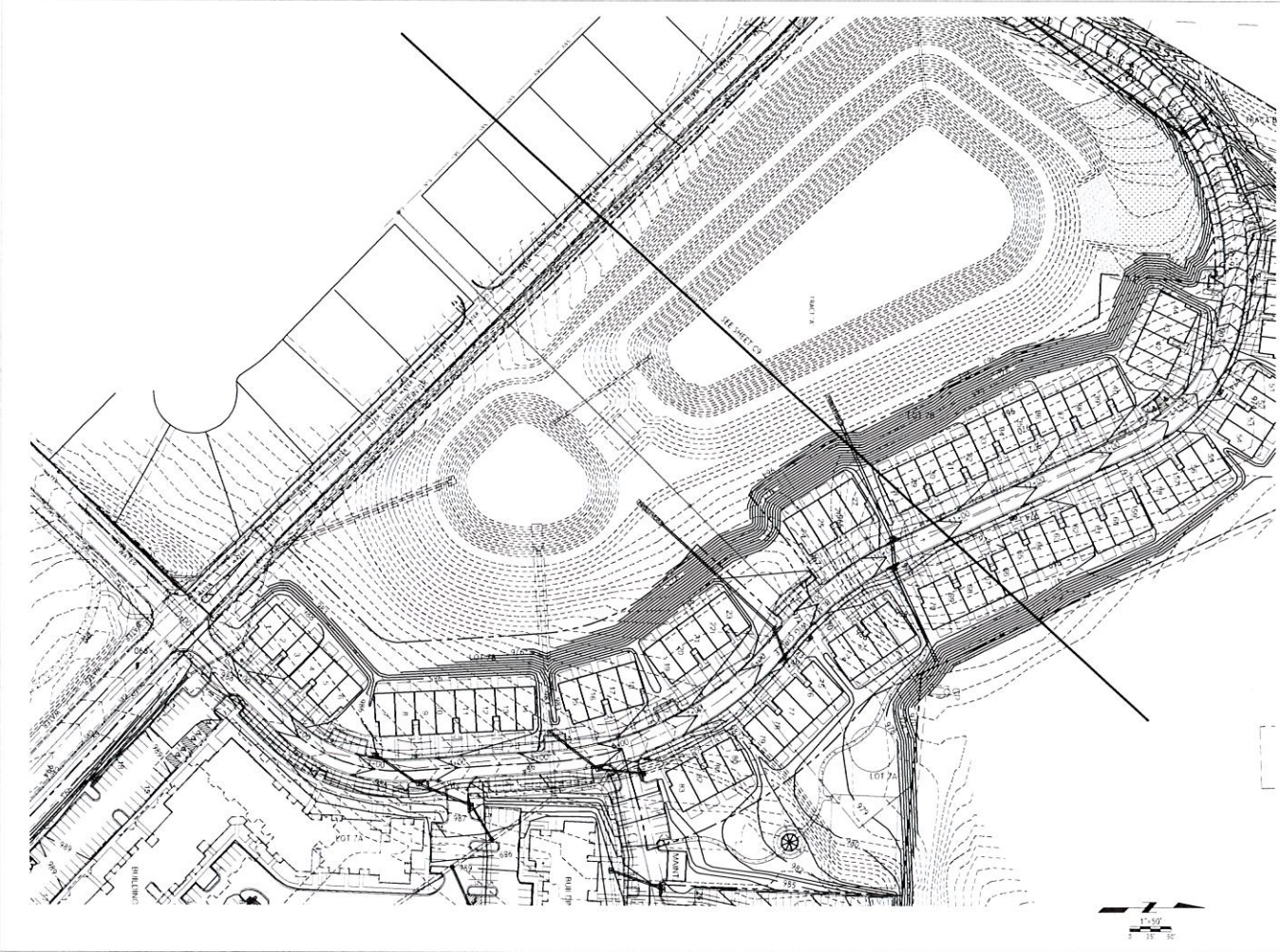


REVISIONS
 11/15/2017 COMMENT

**STREETS OF W. PRYOR
 LOT 7A & LOT 7C**
 (E.E.S. SUMMERS, MD)

sheet
C7.0
 LOT 7A & 7C LAYOUT
 25 SEPTEMBER 2020





SM Engineering
SME
 10071 9th Street, Suite 200
 Manhattan, Kansas 66503
 smengr@gmail.com
 785.524.8141

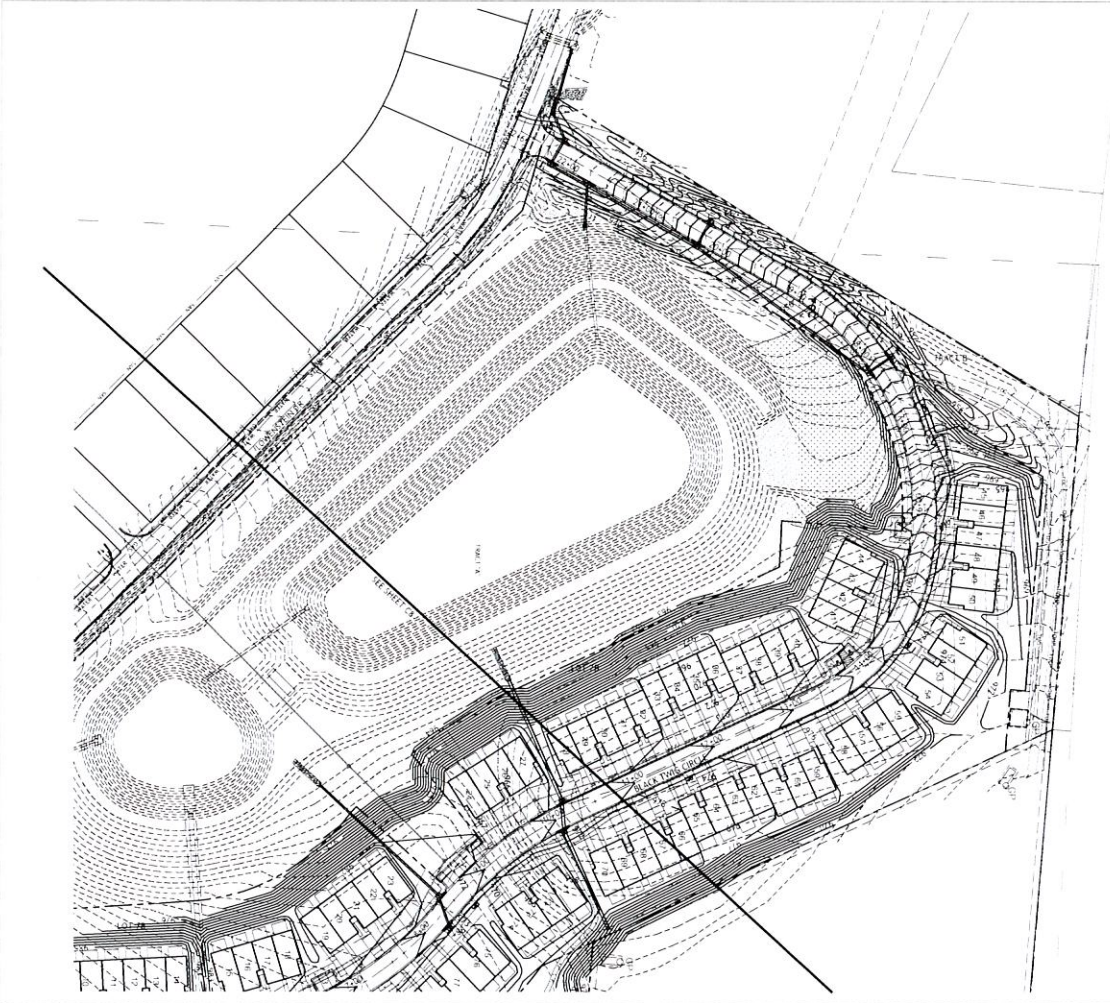
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10/13/2016
 12:00:00 PM CDT

**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**
 (SEE SHOWN IN MAP)

sheet
 C8.C
 LOT 7A GRADING
 25 SEPTEMBER 2020



SEA Engineering
SEA
 1007 W. Main Street
 Worcester, MA 01093
 508.853.8177
 www.seaeng.com

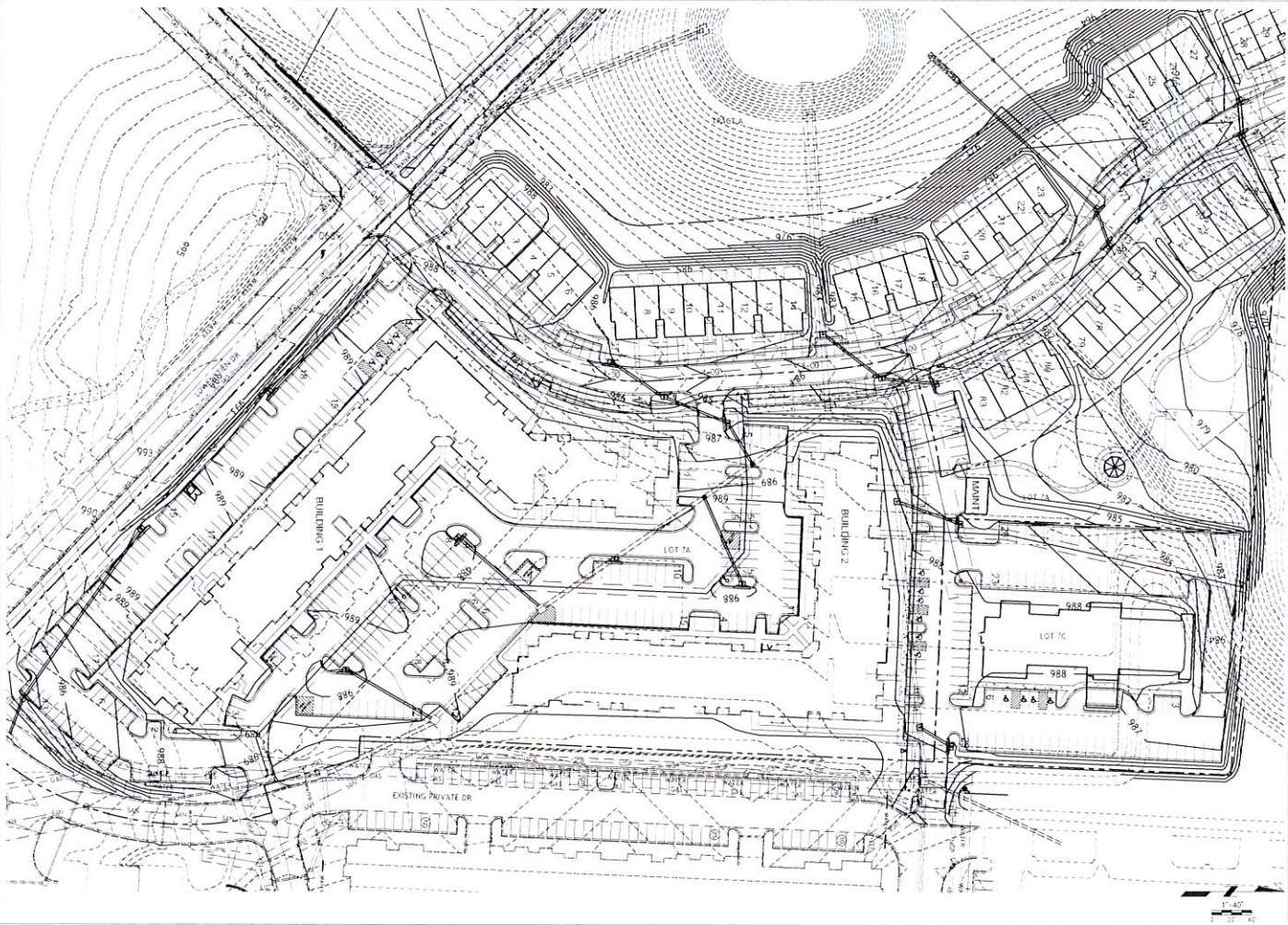
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11/15/2019 COMMENTS

STREETS OF W. PRYOR
 LOT 7A - LOT 7C
 11115 SHANNETT, MD

sheet
SEA
 LOT 7B GRADING
 11/15/2019
 25 SEPTEMBER 2020



SM Engineering
SME
 10077 4th Avenue, N.E.
 Vancouver, WA 98662
 info@smeng.com
 503.281.9100

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10/20/2019
 15.02.19.0000000000

**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**
 11/25/2019 (11.25.19)

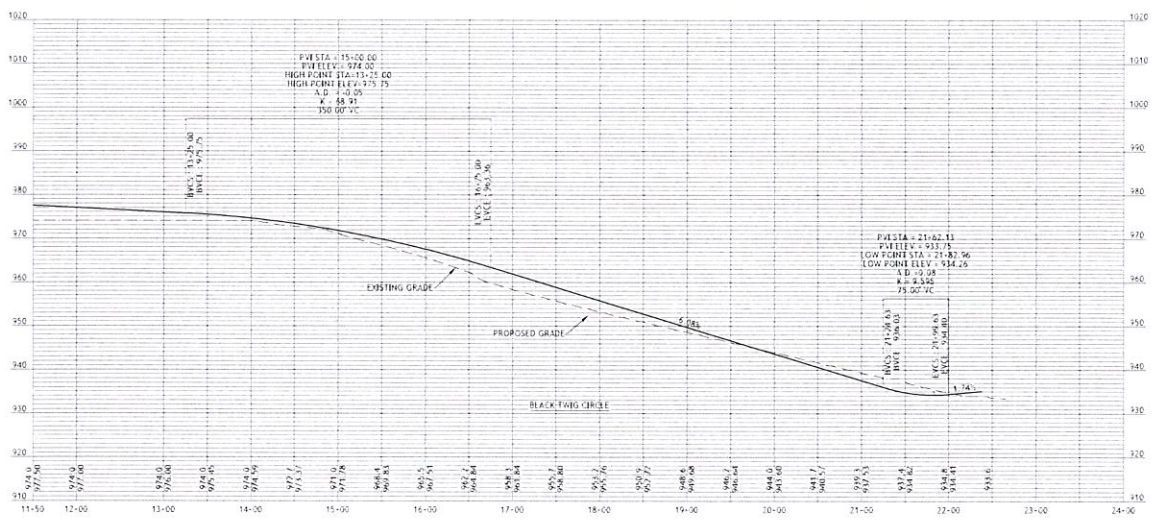
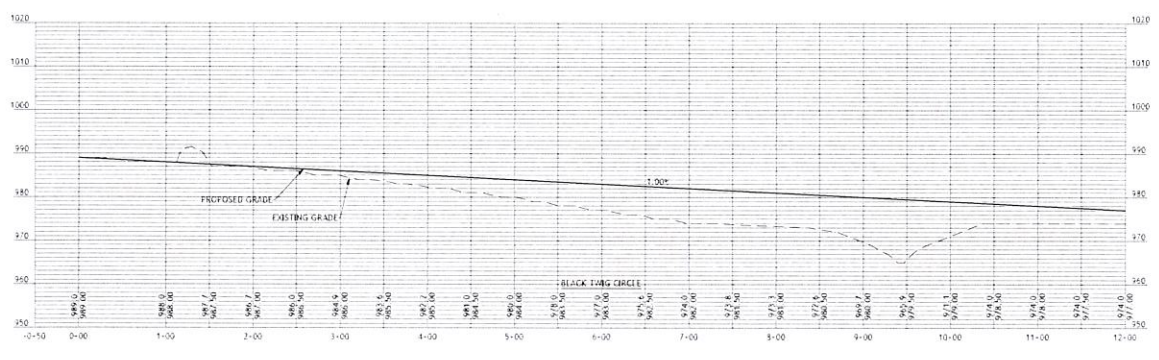
sheet
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LOT 7A & 7C GRADING
 19 SEPTEMBER 2022

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11/20/2017 COMMENTS

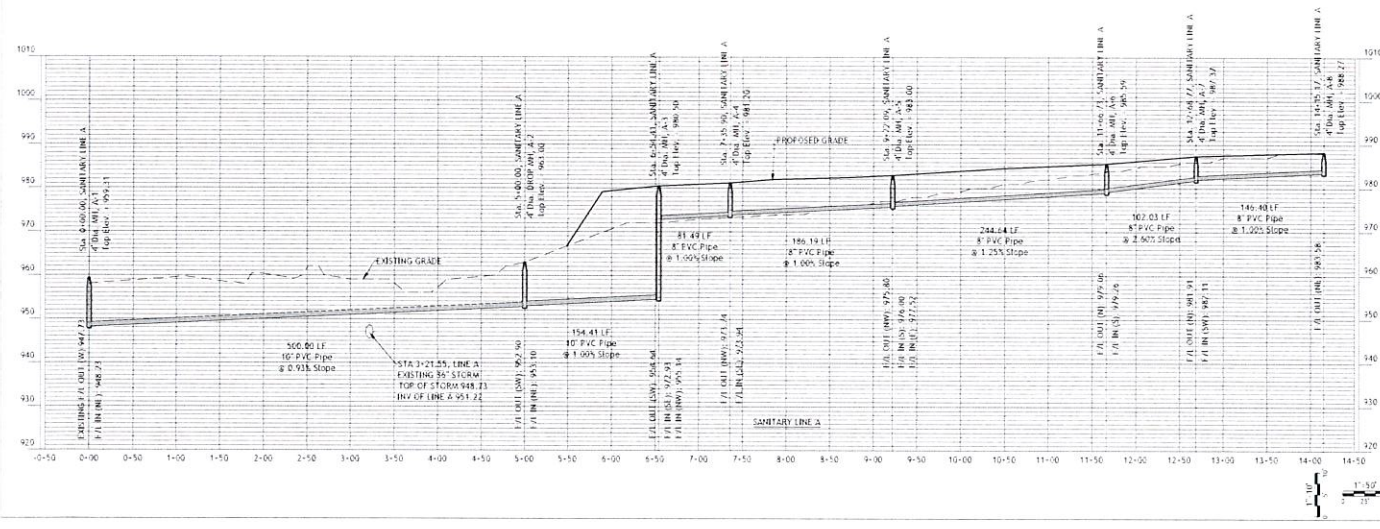
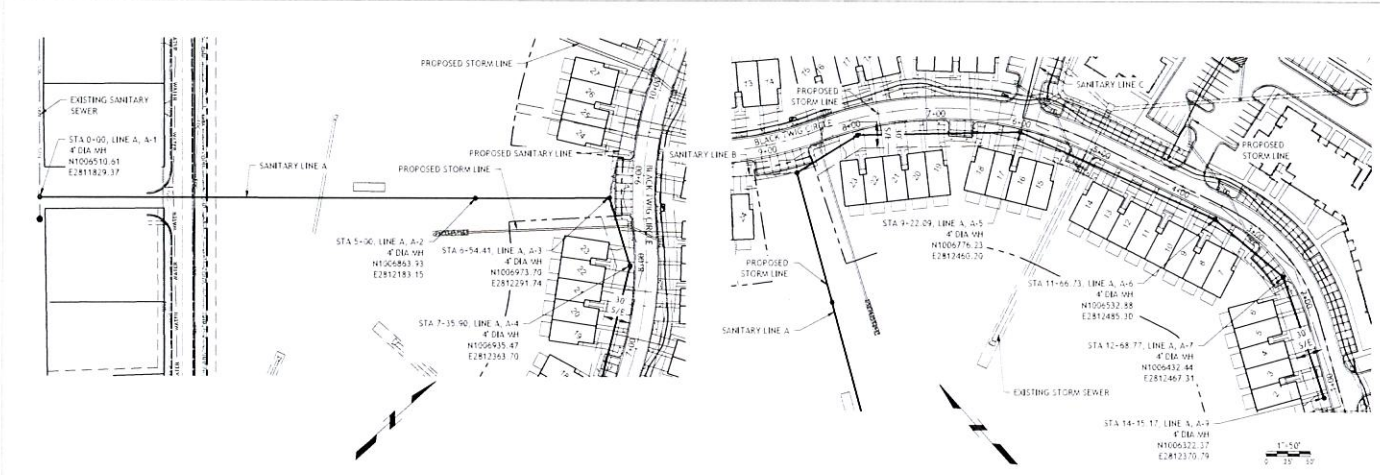


**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**
 (SEE SUBMIT 1, 2)

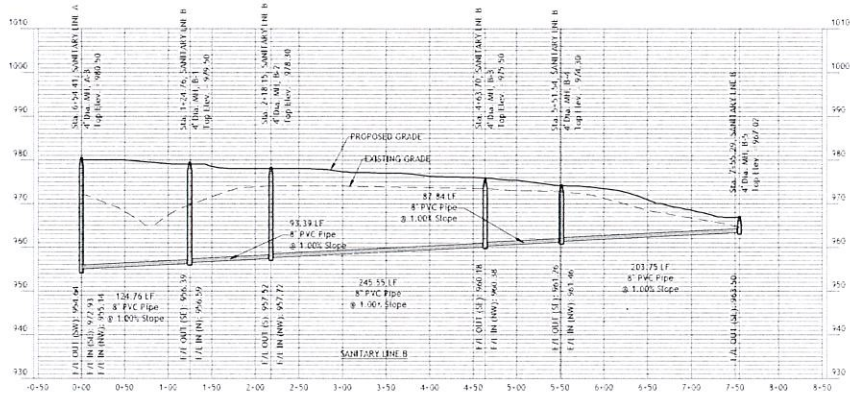
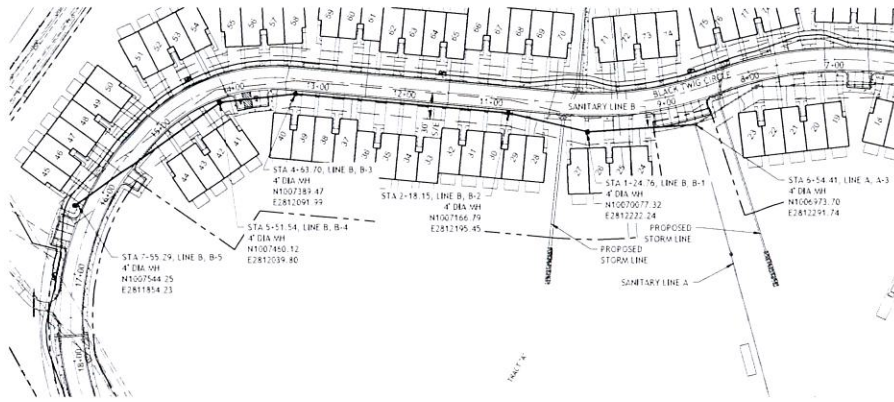
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DATE: 11/20/2019
 DRAWN BY: JMW



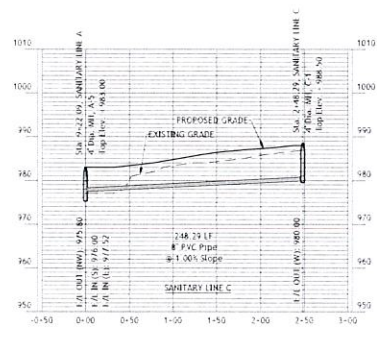
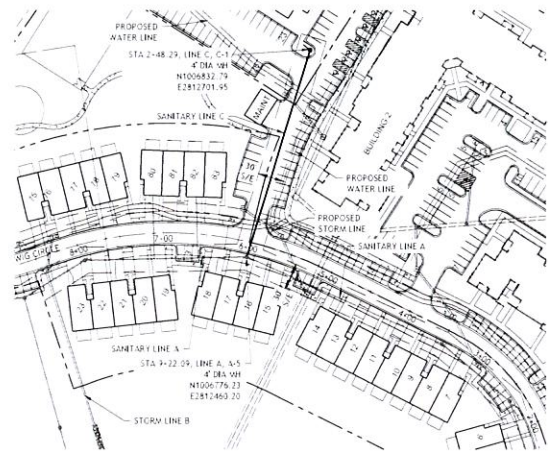
STREETS OF W. PRYOR
 LOT 7A - LOT 7C
 111 S. SHAWMUT BLVD.



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DATE: 05/11/2011
 10:30:00 AM



**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**
 (11.5 ACRES)

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
—	150	Seagreen Juniper	Juniperus Chinesis 'Seagreen'	18" x 24" tp	Cont.	4' x c.
⊗	140	Dwarf Winged Euonymus	Euonymus alatus 'Compactus'	18" x 24" tp	Cont.	4' x c.
⊕	90	Morning Light Warden Grass	Miscanthus Sinensis 'Morning Light'	18" x 24" tp	Cont.	4' x c.

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
⊗	75	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	80	Skyline Honeylocust	Gleditsia Tracanthos 'Skyline'	3" cal	BB	As Shown
⊗	36	Golden Raintree	Koelreuteria Paniculata	3" cal	BB	As Shown
⊕	29	Golden Raintree	Koelreuteria Paniculata	3" cal	BB	As Shown
⊗	79	Canaert Juniper	Juniperus Virginiana 'Canaertii'	6" ht	BB	As Shown

LOT 7B SITE DATA:

LOWENS IEN
 REQUIRED
 HIGH IMPACT BUFFER
 20'X1,376' = 23,540sf
 1 SHADE / 160sf
 1 ORNAMENTAL / 750sf
 1 EVERGREEN / 300sf
 1 SHRUB / 200sf

PROVIDED
 SHADE
 ORNAMENTAL
 EVERGREEN
 SHRUB

BLACK EMB. CIRCLE 2,266'

REQUIRED
 STREET TREES 1/30'
 SHRUBS 2/20'

PROVIDED
 SHADE TREES
 SHRUBS

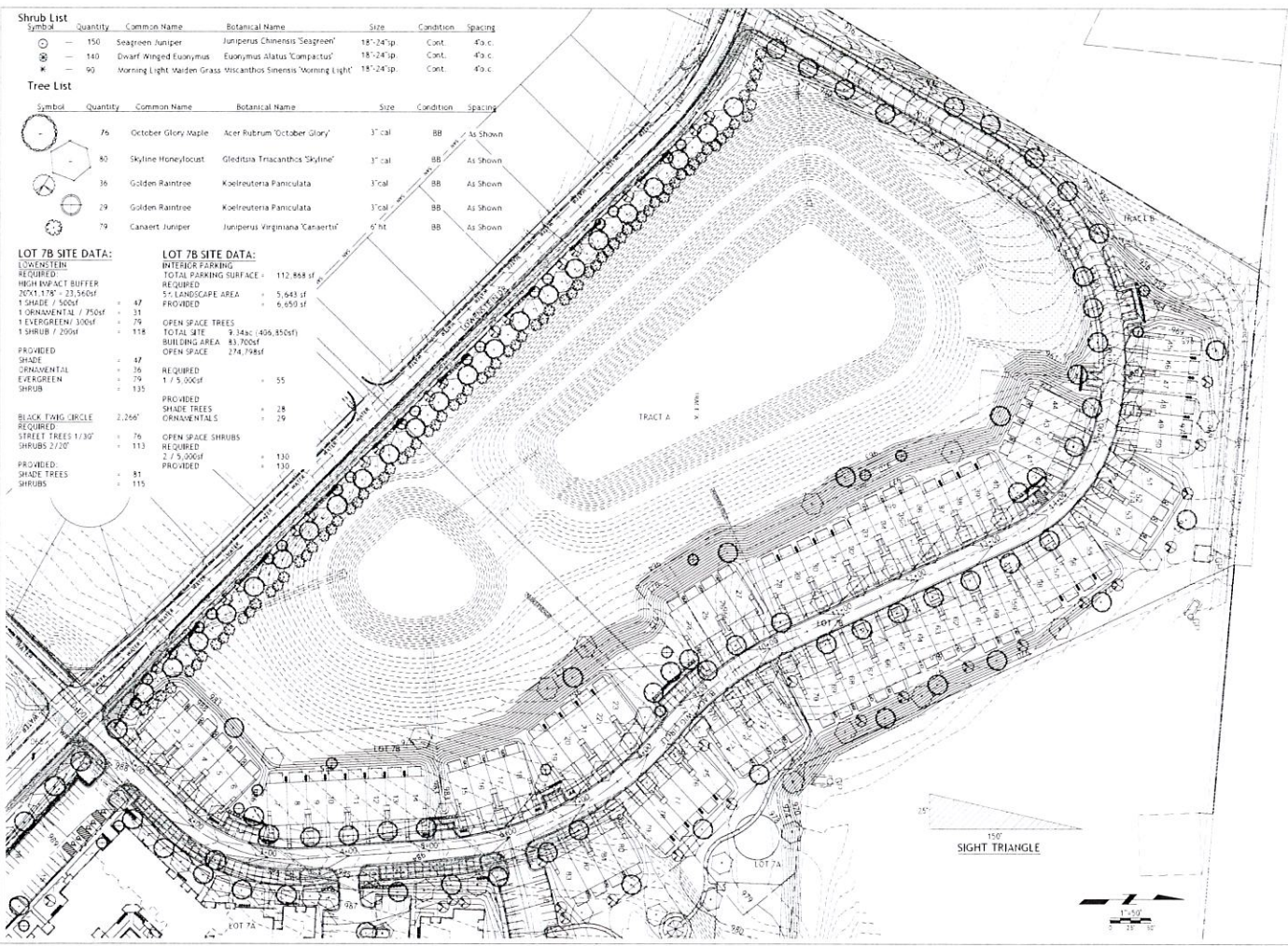
LOT 7B SITE DATA:

INTERIOR PARKING
 TOTAL PARKING SURFACE = 112,868 sf
 REQUIRED
 5% LANDSCAPE AREA = 5,643 sf
 PROVIDED

OPEN SPACE TREES
 TOTAL SITE 9,143 (406,856sf)
 BUILDING AREA 83,700sf
 OPEN SPACE 274,798sf

PROVIDED
 SHADE TREES
 ORNAMENTALS

OPEN SPACE SHRUBS
 REQUIRED
 2 / 5,000sf = 130
 PROVIDED = 130



SM Engineering
SME
 1007 W. PRYOR AVE
 VICTORIA, BC V8V 2G5
 250.683.8222
 smeng@smeng.com
 86.347.3727

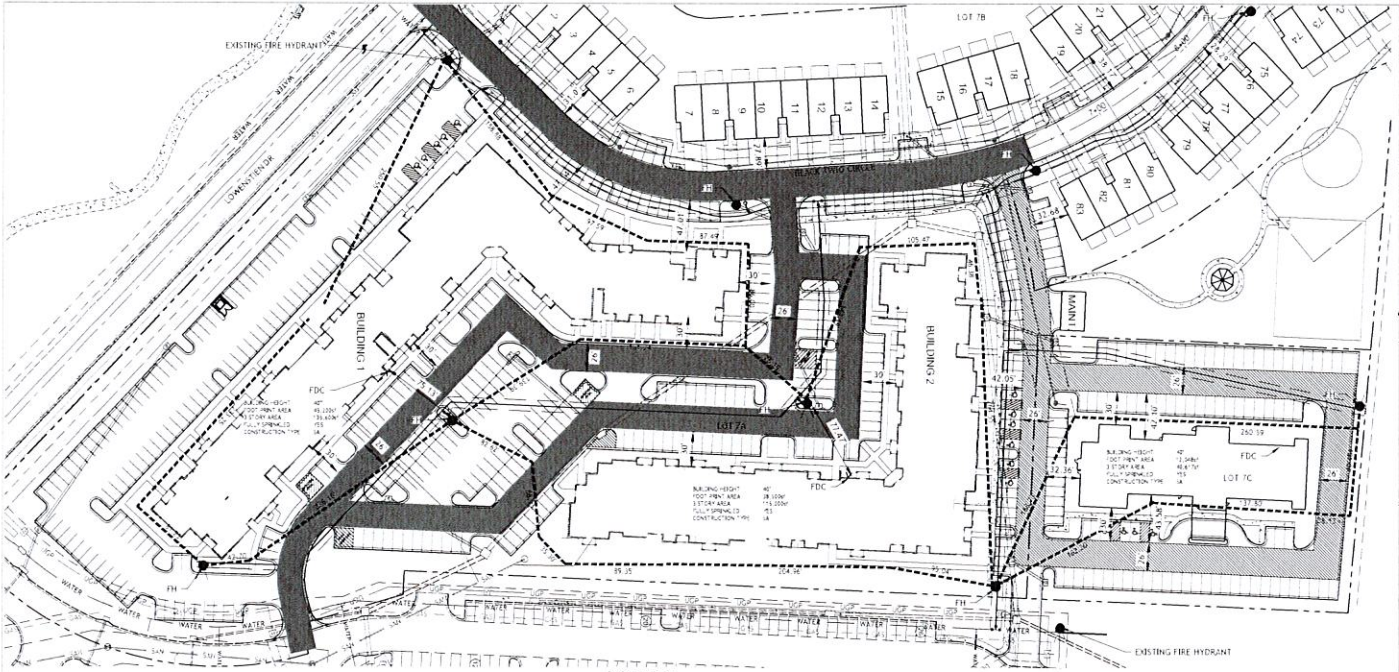
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Revisions
 1. 10.10.2020 COMMENTS

STREETS OF W. PRYOR
 LOT 7A - LOT 7C
 LOTS SUPPORTING 140

sheet
 CIVIL
 TRACT C
 LANDSCAPE PLAN
 26 SEPTEMBER 2020



EXISTING FIRE HYDRANT

DOMINION BLVD

LOT 7B

LOT 7A

BUILDING 1

FDC

MAX. HEIGHT: 40'

FLOOR AREA: 48,000 SF

FULLY SPRINKLED

CONSTRUCTION TYPE: IA

BUILDING 2

FDC

MAX. HEIGHT: 40'

FLOOR AREA: 48,000 SF

FULLY SPRINKLED

CONSTRUCTION TYPE: IA

BUILDING 3

FDC

MAX. HEIGHT: 40'

FLOOR AREA: 48,000 SF

FULLY SPRINKLED

CONSTRUCTION TYPE: IA

LOT 7C

FDC

MAX. HEIGHT: 40'

FLOOR AREA: 48,000 SF

FULLY SPRINKLED

CONSTRUCTION TYPE: IA

EXISTING FIRE HYDRANT

- LEGEND**
- FIRE LINE HOSE LENGTH (MAX. 300')
 - ▬ 26' WIDE SERIAL FIRE APPARATUS ACCESS ROAD FOR LOT 7A
 - ▬ 26' WIDE SERIAL FIRE APPARATUS ACCESS ROAD FOR LOT 7C
 - PROPOSED FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION

1. FDC 101 - Where a portion of the facility or building is under construction or under repair, the construction or repair shall be completed within a fire apparatus access road, as measured by an approved truck, within the radius of the fire hose length, to the hydrant and shall be approved when reviewed by the fire department.
2. FDC 102 - Where required, where the vertical distance between the ground level and the highest roof exceeds 35 feet, approved access to the apparatus access road shall be provided for purposes of the radius. The ground level shall be determined by measurements to the eave of a building roof. The construction of the roof in the exterior wall of the top of the building shall be a minimum of 2' clear.
3. FDC 103 - Where required, the apparatus access road shall have a minimum width of 26 feet, exclusive of shoulders. The minimum width of the building access road shall be 26 feet.
4. FDC 104 - Where required, the apparatus access road shall be paved with a maximum of 30 feet from the building and shall be approved for use as an apparatus access road. The portion of the building access road to the apparatus access road is approved when reviewed by the fire department.
5. FDC 105 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.
6. FDC 106 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.
7. FDC 107 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.
8. FDC 108 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.
9. FDC 109 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.
10. FDC 110 - Where required, the apparatus access road shall be approved when reviewed by the fire department. The apparatus access road shall be approved when reviewed by the fire department.

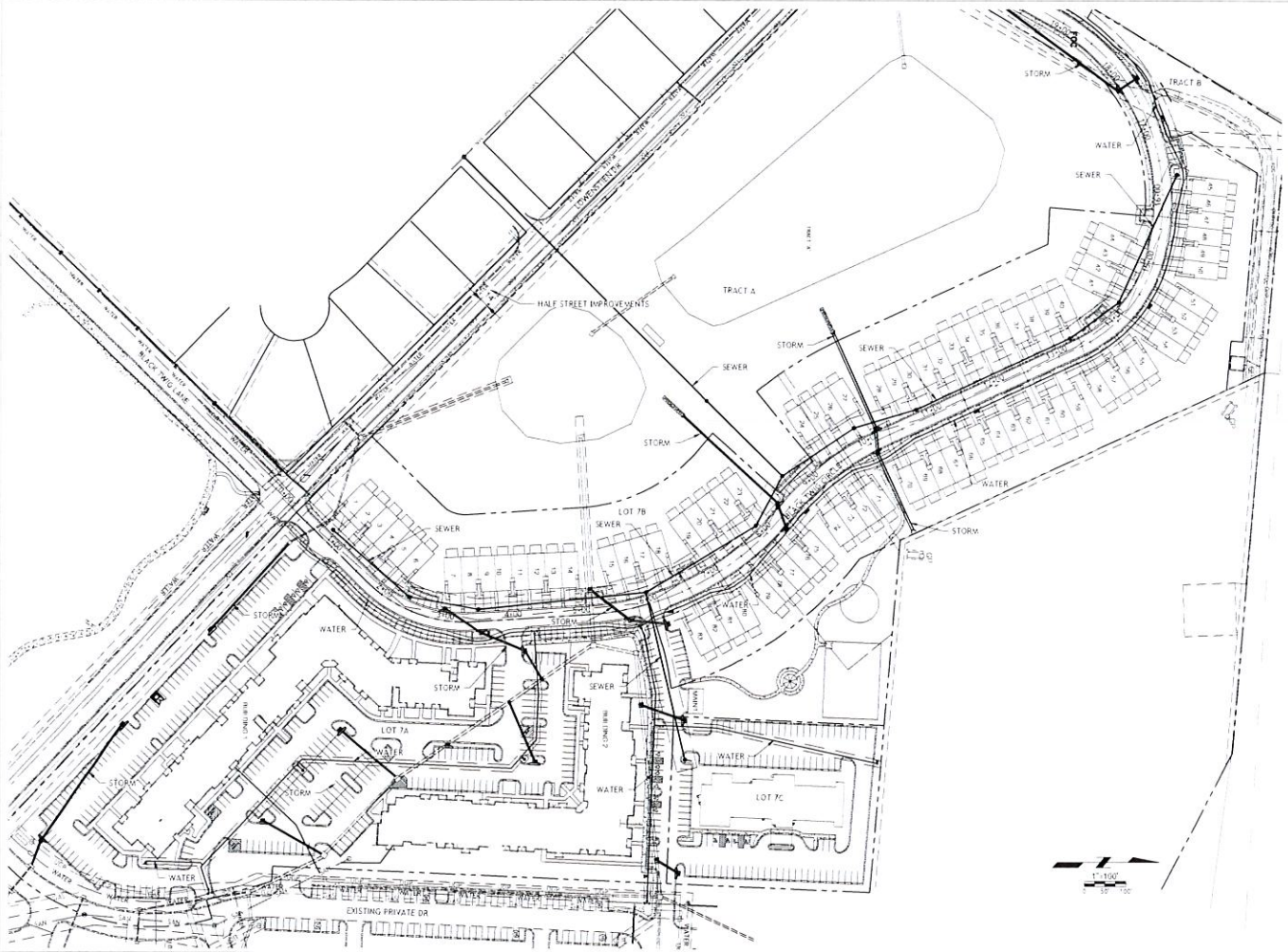


SM Engineering
SME
1037 W. PLYMOUTH ST.
MARIETTA, GEORGIA 30067
SMENGINEERING@GMAIL.COM
404.875.3122



STREETS OF W. PRYOR
LOT 7A - LOT 7C
LETTS SUBMITTAL NO.

sheet
C-7.0
D. J. JONES
26 SEP 2020 9:20:20



SM Engineering
SME
 3327 E. Franklin, Suite 104
 Overland Park, KS 66203
 smengineering.com
 913.342.3117

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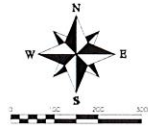
REVISED
 11/20/2017 COMMENTS

**STREETS OF W. PRYOR
 LOT 7A - LOT 7C**

sheet
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28 SEP 2017 10:34 AM 2017

REZONING EXHIBIT
STREETS OF WEST PRYOR LOTS 7A-7D
 A Replat of Streets of West Pryor Lots 1 thru 14,
 Tracts "A", "B", "C", & "D"
 Section 35, Township 48 North, Range 32 West
 Lee's Summit, Jackson County, Missouri



REVISIONS

NO.	DATE	DESCRIPTION

Section 35
 Township 48 North, Range 32 West
 Lee's Summit, Jackson County, Missouri

REZONING EXHIBIT

DATE	BY	FOR	SCALE	DATE	BY	FOR	SCALE

ENGINEERING SOLUTIONS
 1000 N. GARDNER ST., SUITE 100
 LEESUMMIT, MISSOURI 64063
 (816) 481-1111
 www.ESolutions.com



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St. Louis, Missouri 63119
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TOWNHOMES
SUMMIT at WEST PRYOR - PHASE III

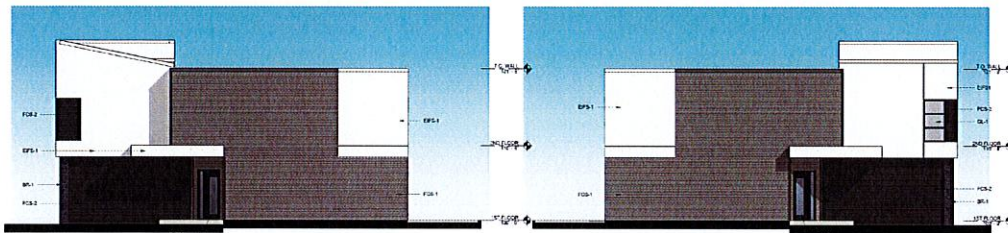
LEE'S SUMMIT,
20-001

MISSOURI
09-23-2020





SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



EXTERIOR MATERIAL LEGEND

EP1	EP1	RESIDENTIAL WINDOW WITH CLEAR GLASS
EP2	EP2	COLOR BLACK
EP3	EP3	GARAGE DOOR WITH FRIGTED GLASS
EP4	EP4	120 IN X 60 IN
EP5	EP5	BRICK
EP6	EP6	BRICK
EP7	EP7	BRICK
EP8	EP8	BRICK
EP9	EP9	BRICK
EP10	EP10	BRICK
EP11	EP11	BRICK
EP12	EP12	BRICK
EP13	EP13	BRICK
EP14	EP14	BRICK
EP15	EP15	BRICK
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EP95	EP95	BRICK
EP96	EP96	BRICK
EP97	EP97	BRICK
EP98	EP98	BRICK
EP99	EP99	BRICK
EP100	EP100	BRICK

DL 1 RESIDENTIAL WINDOW WITH CLEAR GLASS

COLOR BLACK

DL 2 GARAGE DOOR WITH FRIGTED GLASS

120 IN X 60 IN



NORTH ELEVATION



TOWNHOMES
SUMMIT at WEST PRYOR - PHASE III

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EXTERIOR INSULATION FINISH SYSTEM: EIFS-1



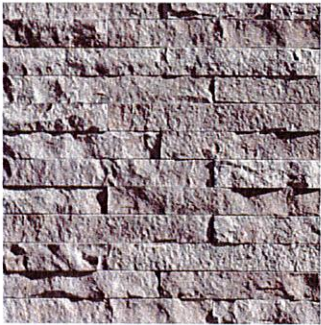
ALUMINUM SIDING: AS-1



FIBER CEMENT SIDING: FCS-1



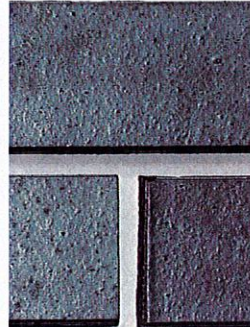
FIBER CEMENT SIDING: FCS-2



CULTURED STONE: CST-1



BRICK: BR - 1



BRICK: BR - 2



BRICK: BR - 3



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SUMMIT at WEST PRYOR - PHASE II and III

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BUILDING 1
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1 SOUTH ELEVATION

EXTERIOR MATERIAL LEGEND

SYMBOL	DESCRIPTION
EP-1	EPSON POLYMER CONCRETE
CS-1	CONCRETE
AS-1	ASBESTOS CEMENT SHEET
PC-1	PERFORATED CONCRETE
MS-1	METAL PANEL
BR-1	BROWN BRICK
GR-1	GRANITE
ST-1	STAINLESS STEEL
GL-1	GLASS
PL-1	PLASTER
SI-1	SILICONE



2 PARTIAL EAST ELEVATION (S)



3 NORTH ELEVATION



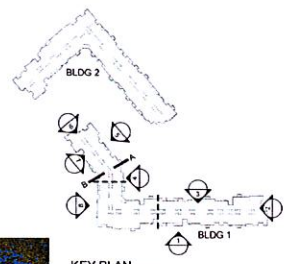
4 PARTIAL EAST ELEVATION (N)



5 NORTHEAST ELEVATION



6 NORTHWEST ELEVATION



KEY PLAN



7 SOUTHWEST ELEVATION



8 WEST ELEVATION



BUILDING PERSPECTIVE

BUILDING 1
SUMMIT at WEST PRYOR - PHASE II

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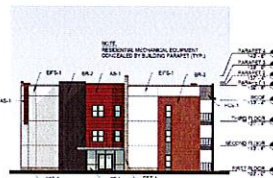
1 WEST ELEVATION (N)



2 WEST ELEVATION (S)



3 SOUTH ELEVATION (W)



4 SOUTH ELEVATION (E)



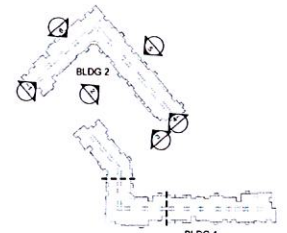
5 EAST ELEVATION



6 NORTH ELEVATION

EXTERIOR MATERIAL LEGEND

EP-1	EPS	EPS WITH COORDINATION (SEE EP-10)
EP-2	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-3	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-4	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-5	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-6	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-7	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-8	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-9	PERFORATED	EPS WITH COORDINATION (SEE EP-10)
EP-10	PERFORATED	EPS WITH COORDINATION (SEE EP-10)



KEY PLAN



Hotel
Streets of West Pryor
North Elevation



Hotel
Streets of West Pryor
West Elevation



Hotel
Streets of West Pryor
East Elevation

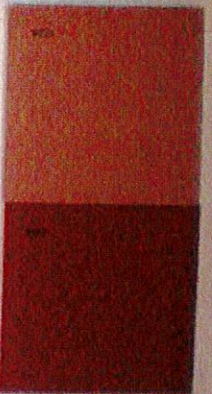


Hotel
Streets of West Pryor
South Elevation

HOTEL BUILDING STREETS OF WEST PRYOR LEE'S SUMMIT, MISSOURI

DRAKE

schwerdt design group

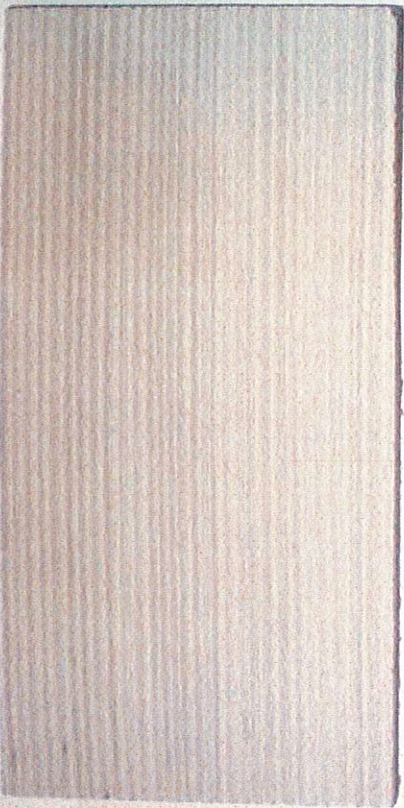


PANTONE 1124
BENJAMIN MOORE
SADDLE TAN 1124

PANTONE 1121
BENJAMIN MOORE
GLENWOOD BROWN 1121



PANTONE 1128
BENJAMIN MOORE
SPRING TAW 1128



PANTONE 1128
BENJAMIN MOORE
SPANISH OLIVE 1128



PANTONE 1128
BENJAMIN MOORE
MORNING MIST 1128

Appl. #PL2020-274 REZ and PRELIM DEV PLAN Streets of West Pryor, Lot 7 and Tract C

