



FILED IN THE OFFICE OF THE CITY CLERK FOR THE CITY OF LEE'S SUMMIT, MISSOURI

DATE: 1-18-22

TIME: 10:47am

PROTEST TO APPLICATION

Heidi Schneider + Brian Schneider, as owner of the real property
(print or type name of person signing protest)

5821 NE Diamond Ct, Lee's Summit, MO 64064, hereby protests the
(address or legal description of person signing protest)

Rezoning + Preliminary Development Plan for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL2021456 Anderson Pointe - Residential

Rezoning with Preliminary Development Plan
(description of application)

for the following reasons:

Drainage + runoff; flooding of properties west of planned development; traffic concerns on Anderson Drive; overcrowding of Voj Spears Elem. + Delta Woods Middle School; decrease in current property values; disruption of wildlife in area; noise pollution; blasting + current foundation

Signatures: Heidi
Brian

State of Missouri
County of Jackson

On this 17th day of January in the year 2022, before me,

Megan Holland (notary name), a Notary Public in and for said state,

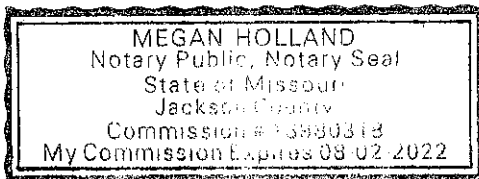
personally appeared Heidi and Brian Schneider (individual(s) name),

known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 17th day of January, 2022.

Megan Holland
Notary Public

My Commission Expires:
08-02-2022





DATE: 1-18-22

TIME: 10:47am

PROTEST TO APPLICATION

Kenneth + Kimberly McDonald, as owner of the real property
(print or type name of person signing protest)

5817 NE Diamond Ct. 64064, hereby protests the
(address or legal description of person signing protest)

Rezoning + Development Plan for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL202148 Comprehensive Plan Amendment

Anderson Pointe Project 560 NE Anderson Rd.
(description of application) 64064

for the following reasons:

Water drainage, runoff + flooding
concerns. Anderson Road Traffic
flow impact and over capacity
of nearby schools.

Signatures:

[Signature]
Kim McDonald

State of Missouri
County of Jackson

On this 17 day of January in the year 2022, before me,

Megan Holland (notary name), a Notary Public in and for said state,

personally appeared Kenneth + Kimberly McDonald (individual(s) name),

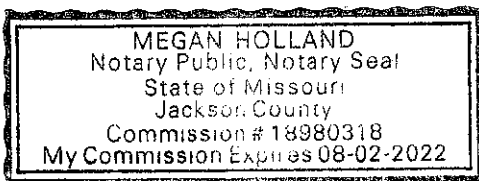
known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 17 day of January, 2022.

[Signature]
Notary Public

My Commission Expires:

08-02-2022





DATE: 1-18-22

TIME: 10:47am

PROTEST TO APPLICATION

Michael D. & Cheryl D. Pardoe, as owner of the real property
(print or type name of person signing protest)

5813 NE Diamond Ct, Lee's Summit, MO, hereby protests the
(address or legal description of person signing protest)

Rezoning and Development Plan for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL 2021456, Comprehensive Plan Amendment
Anderson Point Project, 5601 NE Anderson Rd, LSMO 64064
(description of application)

for the following reasons:

- Water drainage / Runoff / Flooding concerns
- Conservation concerns
- Anderson Road traffic flow concerns
- Over capacity of neighborhood schools

Signatures:

[Handwritten Signatures]

State of Missouri
County of Jackson

On this 17 day of January in the year 2022, before me,

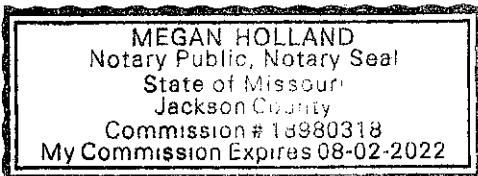
Megan Holland (notary name), a Notary Public in and for said state,

personally appeared Michael D & Cheryl D Pardoe (individual(s) name),

known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 17 day of January, 2022

[Handwritten Signature]
Notary Public



My Commission Expires:
08-02-2022



FILED IN THE OFFICE OF
THE CITY CLERK FOR THE
CITY OF LEE'S SUMMIT, MISSOURI
DATE: 1-18-22
TIME: 10:47am

PROTEST TO APPLICATION

Mary Elizabeth Yong, as owner of the real property
(print or type name of person signing protest)

5809
NE Diamond
CT

Lot 183A/34.840.04.07.00.0.0000, hereby protests the
(address or legal description of person signing protest)

Anderson Pointe Development for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL 20221456

(description of application)

for the following reasons:

Extreme oversights and neglect of this Development's affect on the drainage issues, lack of a curb on Anderson; allowed CFS for drainage not zoned as residential, inadequate retention ponds; Allowing only 200 ft variance for stop on Anderson instead of 335 ft View.

Signatures: M. Elizabeth Yong

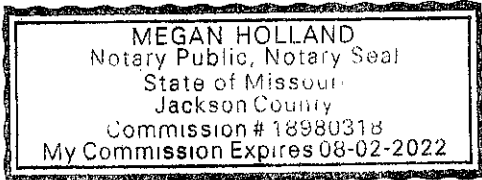
State of Missouri
County of Jackson

On this 17 day of January in the year 2022, before me,
Megan Holland (notary name), a Notary Public in and for said state,

personally appeared Mary Elizabeth Yong (individual(s) name),

known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 17 day of January, 2022.



Megan Holland
Notary Public

My Commission Expires:
08-2-2022



CITY OF LEE'S SUMMIT, MO
RECEIVED IN THE OFFICE OF THE
CITY CLERK

PROTEST TO APPLICATION

DATE: 1-21-2022
TIME: 10:15 am
SIGNED: Stacy Lombardo
as owner of the real property

Madalyn Arsenault and Jake Fraedrich
(print or type name of person signing protest)

5909 NE Ruby Ln. Lees Summit, MO 64064, hereby protests the
(address or legal description of person signing protest)

5601 NE ANDERSON Rd, LEES SUMMIT, MO 64064 for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL2021450, Residential Rezoning with Preliminary
Development Plan

(description of application) Flooding in this area already occurs every time
it rains and damages houses, we have had water in our
basement multiple times. Losing the trees that help prevent this
for the following reasons: getting worse would be catastrophic for homeowners

water runoff increasing already problematic flooding,
destruction of green space and habitat for wildlife,
serious devaluation of property for homeowners,
significant increase in traffic and accidents in the
area making yards less safe for children, overcrowding
of Voy Spears and Delta Woods

The main reasons we purchased our house were green space, good schools, and to get away from apartments and renters who will not care for the property like owners do. This would destroy all State of Missouri our reasons for purchase and significantly decrease resale potential
County of Jackson

Signatures: Madalyn Arsenault
Jake Fraedrich

On this 21st day of January in the year 20 22, before me,

Stacy Lombardo (notary name), a Notary Public in and for said state,

personally appeared Madalyn Arsenault + Jake Fraedrich (individual(s) name),

known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 21st day of January, 20 22

Stacy Lombardo
Notary Public

My Commission Expires:
Feb 28, 2022



STACY LOMBARDO
My Commission Expires
February 28, 2022
Jackson County
Commission #18474933

* We are also on a schedule of working nights and our home is directly across the street from where construction will be, if this is approved the construction will seriously impact my quality of life and ability to work

*



CITY OF LEE'S SUMMIT, MO
RECEIVED IN THE OFFICE OF THE
CITY CLERK

PROTEST TO APPLICATION

DATE: 1-21-22
TIME: 12:56 pm
SIGNED: Stacy Lombardo

Bradley + Lori Evers, as owner of the real property
(print or type name of person signing protest)

5812 NE Ruby Ct. Lees Summit, MO, hereby protests the
(address or legal description of person signing protest)

5601 NE ANDERSON Rd, LEES SUMMIT, MO 64064 for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # **PL2021450, Residential Rezoning with Preliminary Development Plan**

(description of application)

for the following reasons:

- increase in traffic
- pulling out onto Anderson
- _____
- _____
- _____

Signatures: Bradley Evers
Lori A Evers

State of Missouri
County of Jackson

On this 18th day of January, in the year 2022, before me,

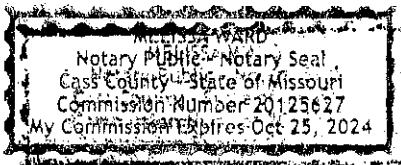
Melissa Ward (notary name), a Notary Public in and for said state,

personally appeared Bradley + Lori Evers (individual(s) name),

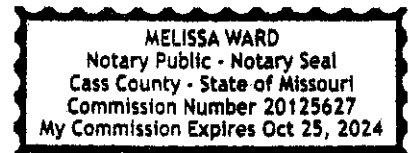
known to me to be the person(s) who executed this protest, and acknowledged to me that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 18th day of January, 2022

Melissa Ward
Notary Public



My Commission Expires:
10/25/2024





CITY OF LEE'S SUMMIT, MO
RECEIVED IN THE OFFICE OF THE
CITY CLERK

DATE: 1-27-22
TIME: 3:32 pm
SIGNED: Stacy Lamberde

PROTEST TO APPLICATION

Rachel E Smith & Garrett W. Smith as owner of the real property
(print or type name of person signing protest)

5804 NE Ruby Ct. Lee's Summit MO 64064, hereby protests the
(address or legal description of person signing protest)

5601 NE ANDERSON Rd, LEES SUMMIT, MO 64064 for the property
(rezoning, special use permit, or preliminary development plan)

described in Application # PL2021450, Residential Rezoning with Preliminary
Development Plan

(description of application)

for the following reasons:

- loss of habitat for wildlife
- increased traffic on Anderson Drive and Lakewood Blvd
- increased water runoff contributing to ~~already~~
existing flooding issues
- overcrowding of Voy Spears Elementary School and
Delta Woods Middle School

Signatures: Rachel E Smith
Garrett W. Smith

State of Missouri
County of Jackson

On this 27th day of January in the year 2022, before me,

Donald Lee McConville Jr (notary name), a Notary Public in and for said state,

personally appeared Rachel E. Smith + Garrett W. Smith (individual(s) name),

known to me to be the person(s) who executed this protest, and acknowledged to me
that he/she executed the same for the purposes therein stated.

Subscribed to and sworn by me this 27th day of January, 2022.

Donald Lee McConville Jr
Notary Public

My Commission Expires:
3.17.25

DONALD LEE MCCONVILLE JR
Notary Public - Notary Seal
STATE OF MISSOURI
Jackson County
My Commission Expires: 3-17-2025
Commission # 21579145