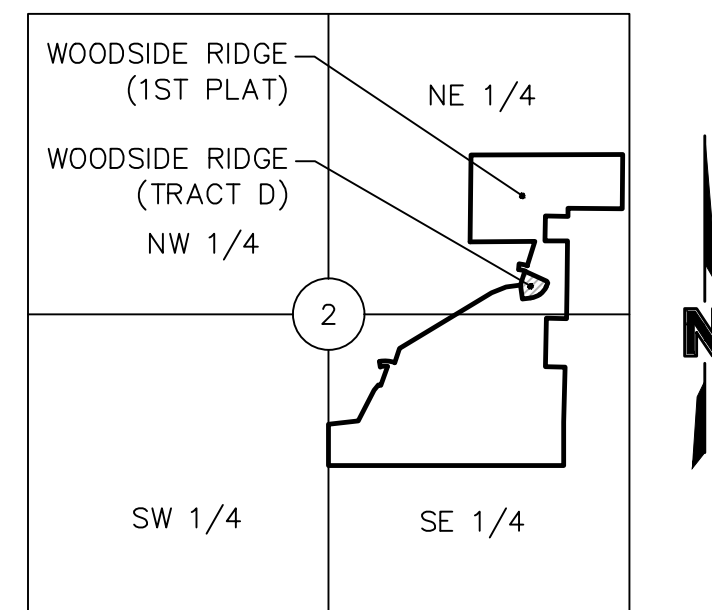


WOODSIDE RIDGE POOL

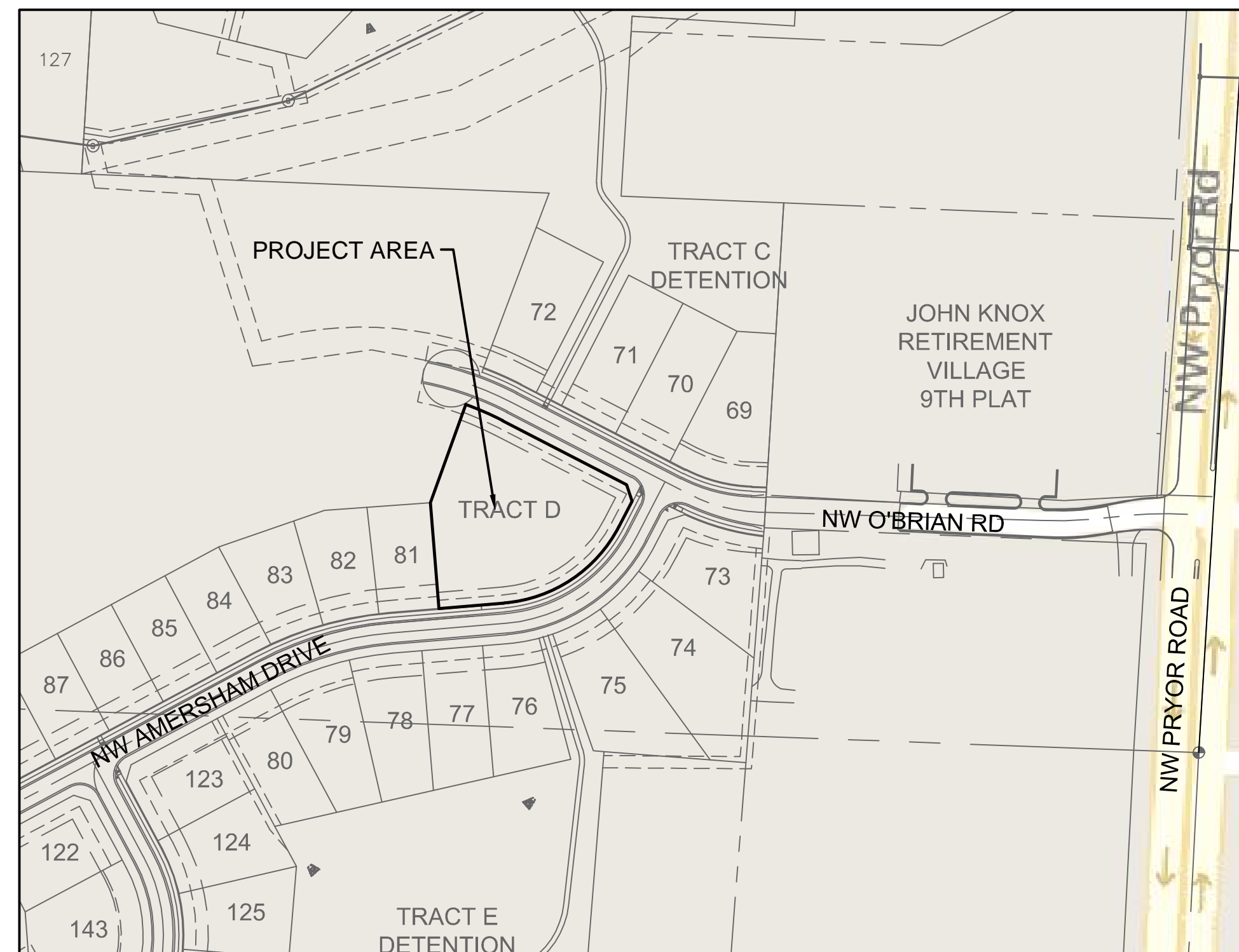
PRELIMINARY DEVELOPMENT PLANS

SECTION 2, TOWNSHIP 47 N, RANGE 32 W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



VICINITY MAP
S 2, T 47 N, R 32 W
NOT TO SCALE

PROJECT TEAM & UTILITY CONTACT LIST	
OWNER / DEVELOPER CLAYTON PROPERTIES GROUPS, INC. DBA SUMMIT HOMES 120 SE 30TH STREET, CONTACT: VINCENT WALKER PHONE: 816.246.6700 EMAIL: VINCENT@SUMMITHOMESKC.COM	UTILITY SERVICE NUMBERS NAME: LEE'S SUMMIT PUBLIC WORKS PHONE: 816-969-1800 NAME: LEE'S SUMMIT WATER & SEWER DEPARTMENT PHONE: 816-969-1940 NAME: SPIRE (MGE) PHONE: 816-756-5252 NAME: AT&T PHONE: 800-286-8313 NAME: KCP&L PHONE: 816-471-5275 NAME: SPECTRUM (TWC) PHONE: 816-358-5350 NAME: GOOGLE FIBER PHONE: 877-454-6959
ENGINEER OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JULIE E SELLERS, P.E. PHONE: 816.361.1177 EMAIL: JSSELLERS@OLSSON.COM	



INDEX OF SHEETS	
Sheet Title	Sheet Number
TITLE SHEET	C01
EXISTING CONDITIONS	C03
GRADING PLAN	C04
GEOMETRIC PLAN	C07
SITE PLAN	C08
UTILITY PLAN	C09
TITLE SHEET (ARCH.)	A000
FLOOR PLAN	A100
ROOF PLAN	A101
ELEVATIONS	A200
ELEVATIONS	A201
ELEVATIONS	A202
EXTERIOR LIGHTING PLAN	EL-1
EXTERIOR LIGHTING PLAN	EL-2
EXTERIOR LIGHTING PLAN	EL-3
LANDSCAPE PLAN	L1
LANDSCAPE PLAN	L2
DETAILS	D01

ACCEPTED:

CITY OF LEE'S SUMMIT.

DATE

PROPERTY DESCRIPTION:

ALL OF TRACT D, WOODSIDE RIDGE FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BENCHMARK

BMK #5 CHISELED SQUARE ON THE S.E. CORNER OF A CONCRETE PAD FOR A TRAFFIC SIGNAL BOX AT THE S.W. CORNER OF PRYOR ROAD AND O'BRIEN ROAD. ELEVATION: 979.24

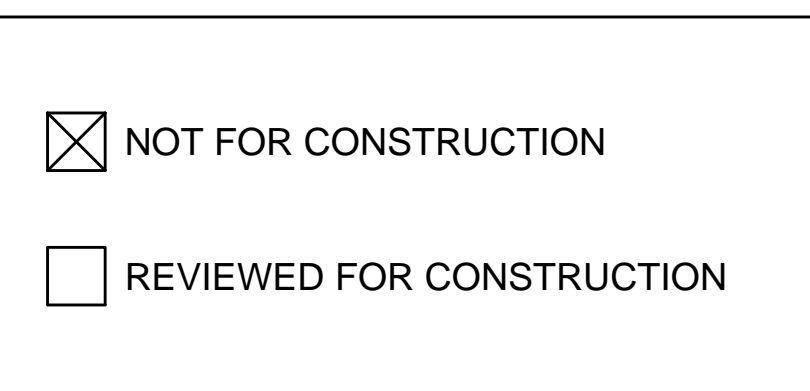
NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

CIVIL ENGINEER:
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

JULIE SELLERS, P.E.
CIVIL ENGINEER
MO# 2017000367

DATE

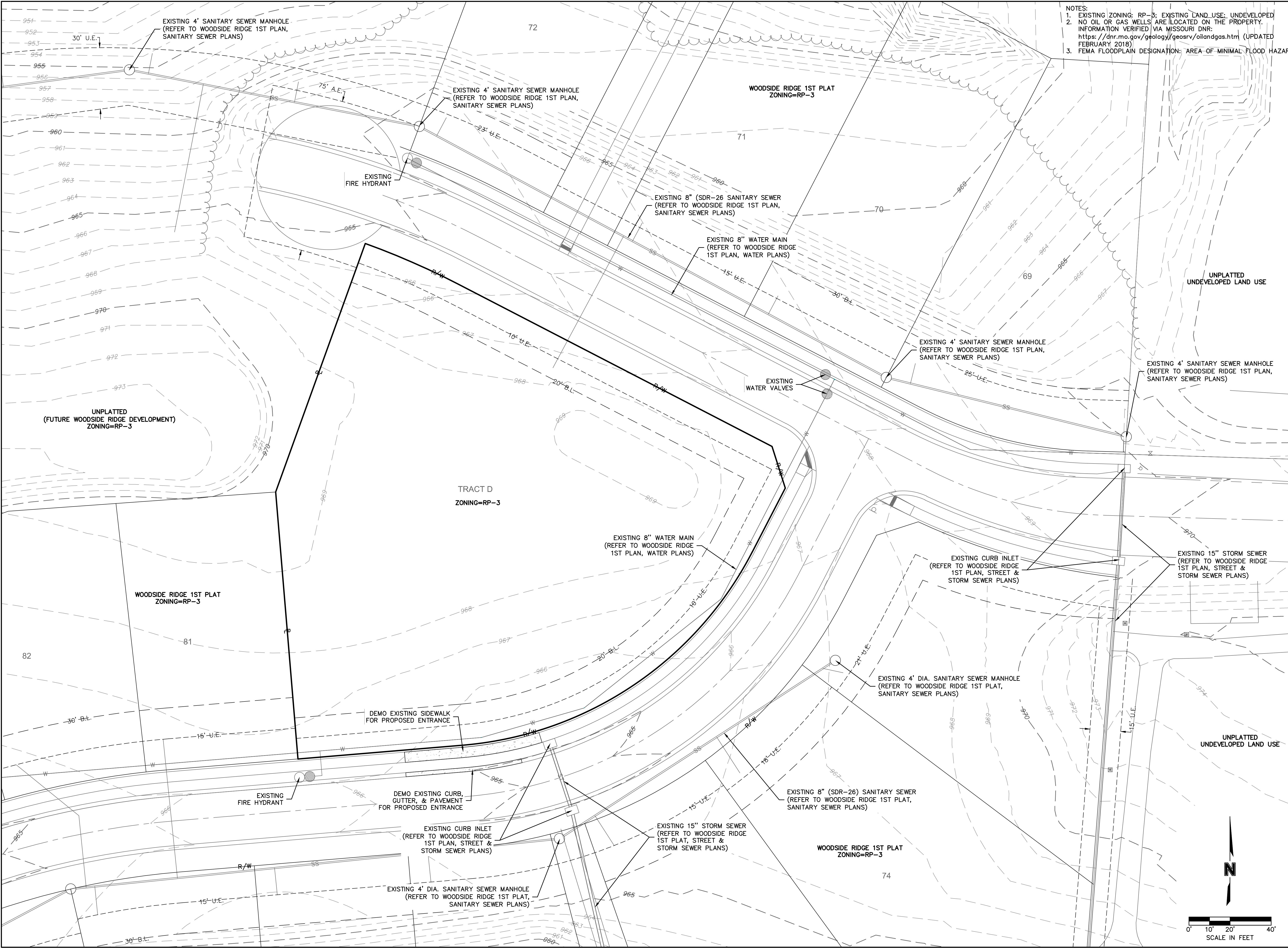


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OLSSON - CIVIL ENGINEERING
MISSOURI CERTIFICATE OF AUTHORITY #001592
NORTH KANSAS CITY, MO 64116 TEL 816.361.1177
WWW.OLSSON.COM

JULIE SELLERS, P.E. MO# 2017000367		
NO. REV.	DATE	REVISIONS DESCRIPTION
1	2019.11.12	Revised per Staff comments.
TITLE SHEET		2019
PRELIMINARY DEVELOPMENT PLANS		WOODSIDE RIDGE POOL ADDRESS
LEE'S SUMMIT, MISSOURI		
drawn by: _____ C.S.M. checked by: _____ J.E.S. designed by: _____ J.E.S. QA/QC by: _____ project no.: 019-1288 date: 10-02-2019		SHEET C01

DWG: F:\2018\1001-1500\018-1140-EX-140-Design\AutoCAD\Final Plots\Sheets\CHCV\ C_EXC01_B181140.dwg
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 C:\XEND\B181140



- NOTES:
- EXISTING ZONING: RP-3; EXISTING LAND USE: UNDEVELOPED
 - NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR: <https://dnr.mo.gov/geology/geosrv/oilandgas.htm> (UPDATED FEBRUARY 2018)
 - FEMA FLOODPLAIN DESIGNATION: AREA OF MINIMAL FLOOD HAZARD

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 MO# 2017000367

REVISIONS

NO.	REV.	DATE	DESCRIPTION
1		2019.11.12	Revised per Staff comments.

EXISTING CONDITIONS
 PRELIMINARY DEVELOPMENT PLANS

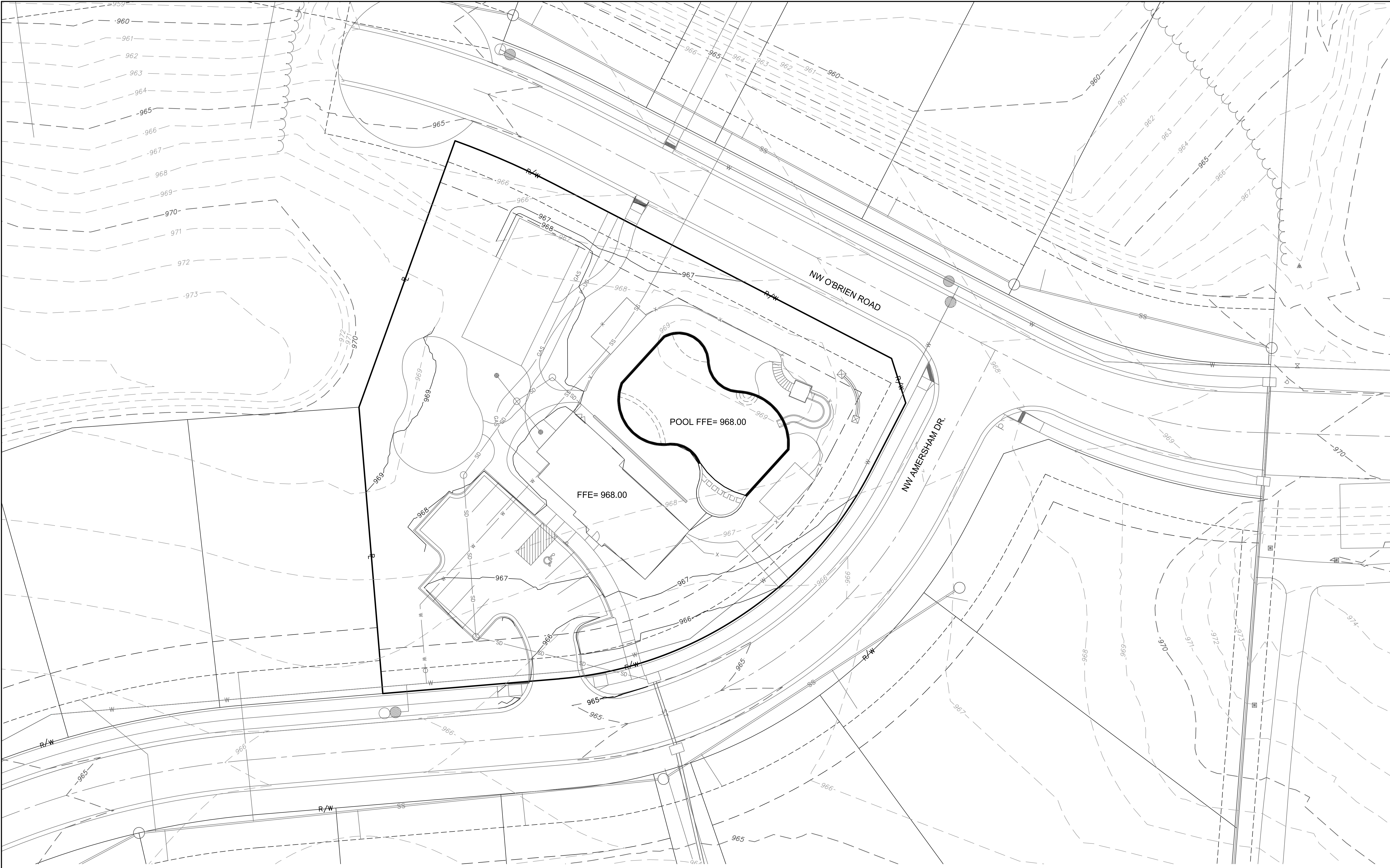
WOODSIDE RIDGE POOL
 ADDRESS

LEE'S SUMMIT, MISSOURI

2019

SHEET
 C03

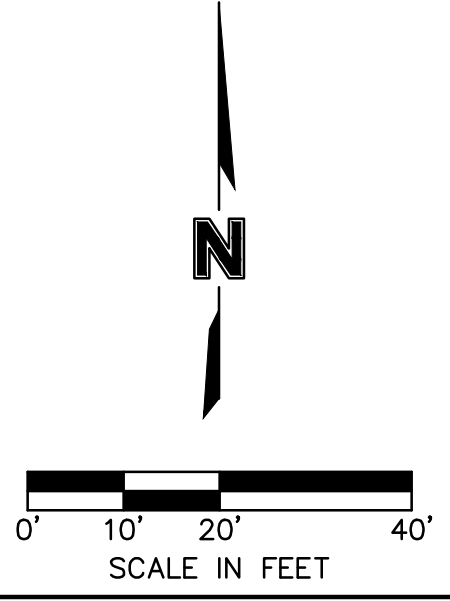
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LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS

EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	948	234

EARTHWORK QUANTITIES NOTES:
 1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
 2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.



GENERAL NOTES:

- CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT-OF-WAY.
- AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT THEIR EXPENSE.
- CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER PROVIDED WITH WOODSIDE RIDGE 1ST PLAT.
- ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF -0 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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 MO# 2017000367

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2019.11.12	Revised per Staff comments.

GRADING PLAN
PRELIMINARY DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 ADDRESS

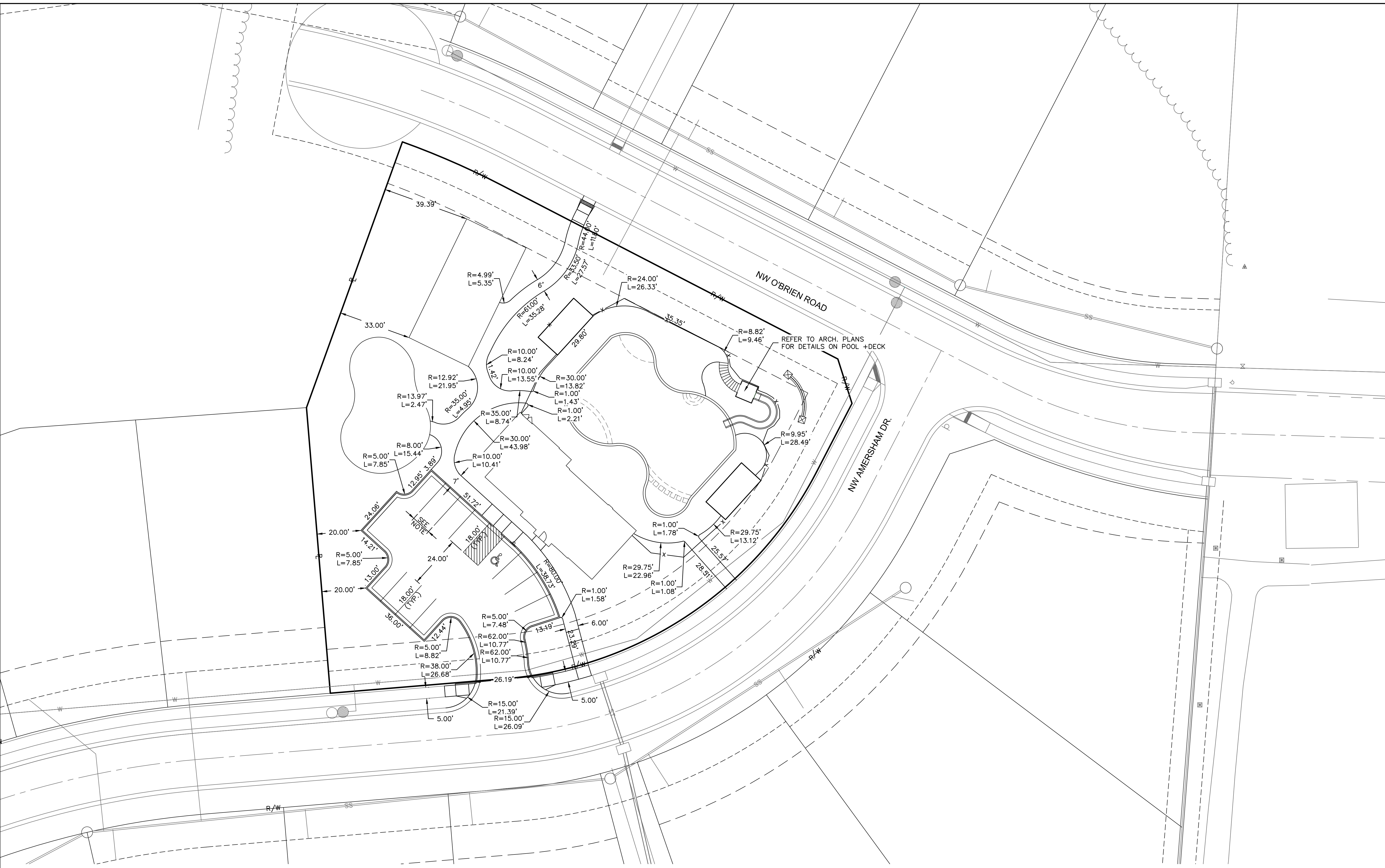
2019

LEE'S SUMMIT, MISSOURI

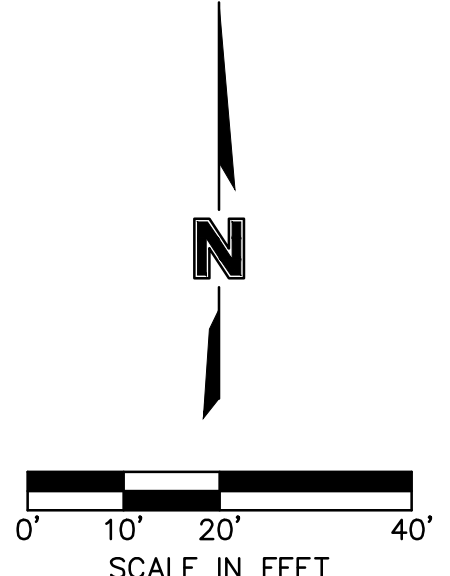
drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ J.E.S.
 QA/QC by: _____
 project no.: 019-1288
 date: 10-02-2019

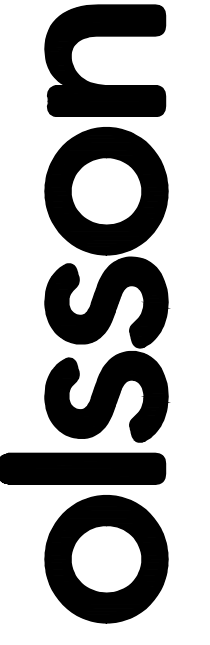
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GENERAL NOTES:
 1. PAVEMENT MARKING SPACING ALONG CURB FOR PARKING STALLS SHALL BE EVENLY DIVIDED. ALL STALLS SHALL BE A MIN. WIDTH OF 9' AND AISLE 8' (SEE SHEET C12 FOR ADDITIONAL DETAILS)





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 MO# 2017000367

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2019.11.12	Revised per Staff comments.

GEOMETRIC PLAN
 PRELIMINARY DEVELOPMENT PLANS

2019

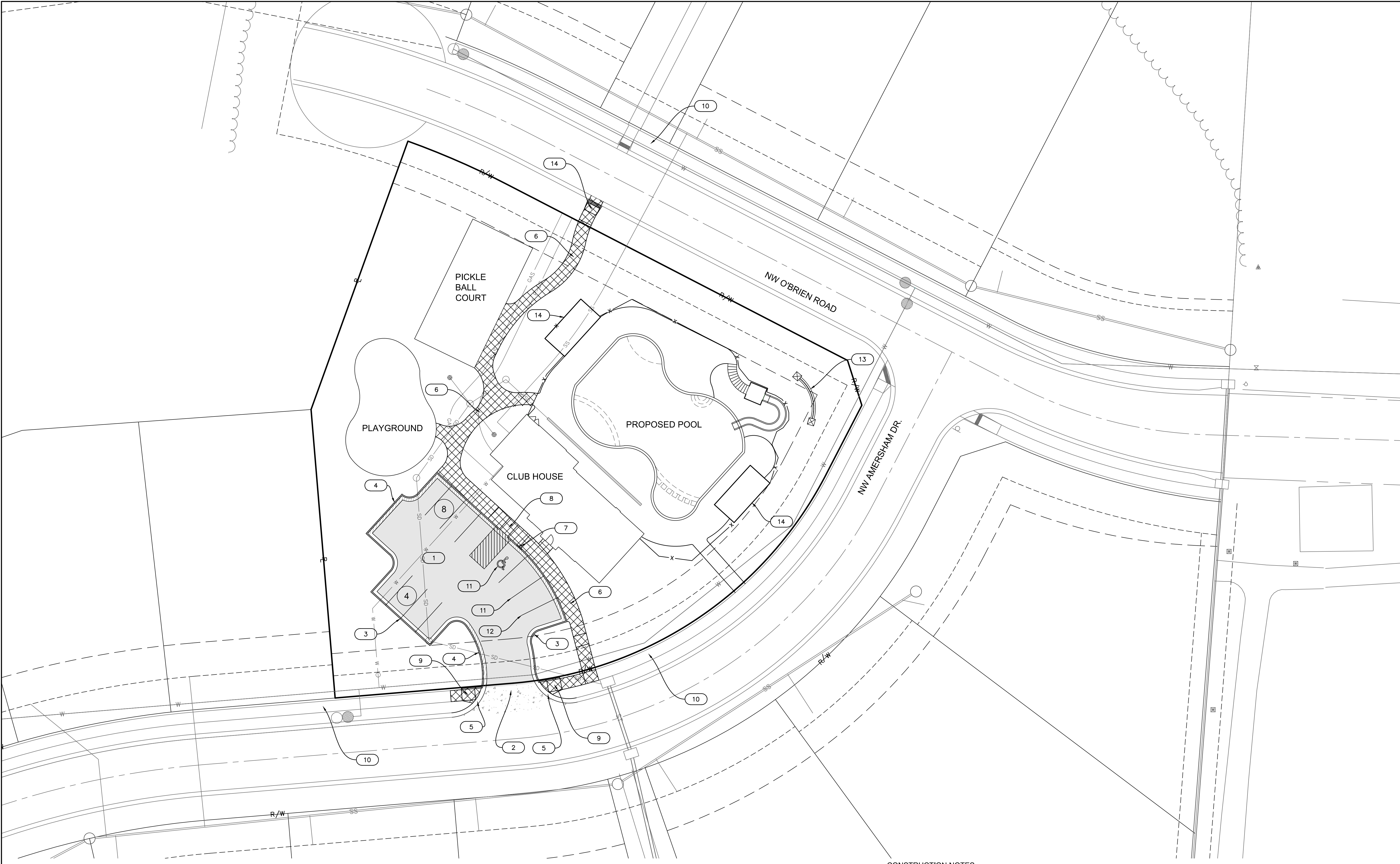
WOODSIDE RIDGE POOL
 ADDRESS

LEE'S SUMMIT, MISSOURI

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ J.E.S.
 QA/QC by: _____
 project no.: 019-1288
 date: 10-02-2019

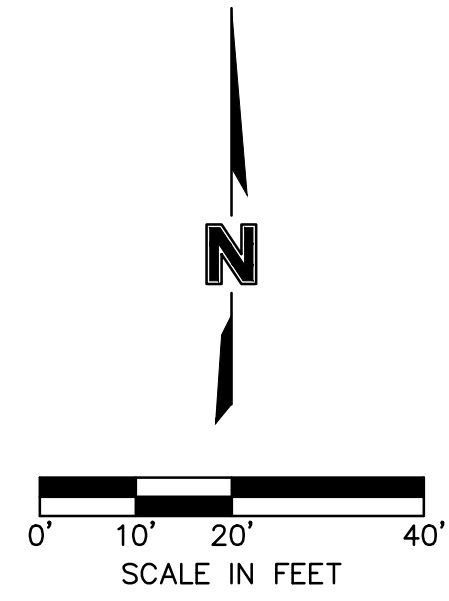
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LEGEND	
	CONCRETE SIDEWALK (See Detail Sheet)
	STANDARD DUTY ASPHALT PAVEMENT (See Detail Sheet)
	CONCRETE PAVEMENT (See Detail Sheet)
	CG-1 CURB & GUTTER (See Detail Sheet)
	CG-1 CURB & GUTTER (DRY) (See Detail Sheet)
	CG-2 CURB & GUTTER (See Detail Sheet)
	# OF PARKING STALLS

SITE DATA TABLE	
TOTAL AREA	41,442 S.F. (0.95 AC.)
TOTAL BUILDING FLOOR AREA	2,303 S.F.
FLOOR AREA RATIO	0.06
PROPOSED IMPERVIOUS AREA	17,756 S.F. (0.40 AC.)
REQUIRED PARKING (1 STALL:16 LOTS)	12 STALLS (INCLUDING 1 ADA STALL) (198 LOTS)
PROPOSED PARKING	12 STALLS (INCLUDING 1 ADA STALL)
EXISTING ZONING	RP-3



CONSTRUCTION NOTES

- 1 CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND)
- 2 CONSTRUCT STANDARD CONCRETE PAVEMENT - KCMMB (SEE LEGEND)
- 3 TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND)
- 4 TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND)
- 5 TYPE CG-2 CONCRETE CURB AND GUTTER (SEE LEGEND)
- 6 CONSTRUCT PRIVATE SIDEWALK
- 7 PROPOSED ACCESSIBLE PARKING SIGN
- 8 CONSTRUCT ACCESSIBLE SIDEWALK LANDING (SEE SPOT ELEVATION PLAN)
- 9 ADA RAMP WITHOUT TRUNCATED DOMES
- 10 EXISTING PUBLIC SIDEWALK
- 11 PROPOSED ACCESSIBLE STRIPING (TYP.) (SEE DETAIL SHEET)
- 12 PROPOSED PAVEMENT STRIPING (TYP.) (SEE NOTE 10, SHEET C02)
- 13 PROPOSED MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
- 14 PROPOSED SHADE STRUCTURE (SEE ARCHITECTURAL PLANS)

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NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2019.11.12	Revised per Staff comments.

SHEET
C08

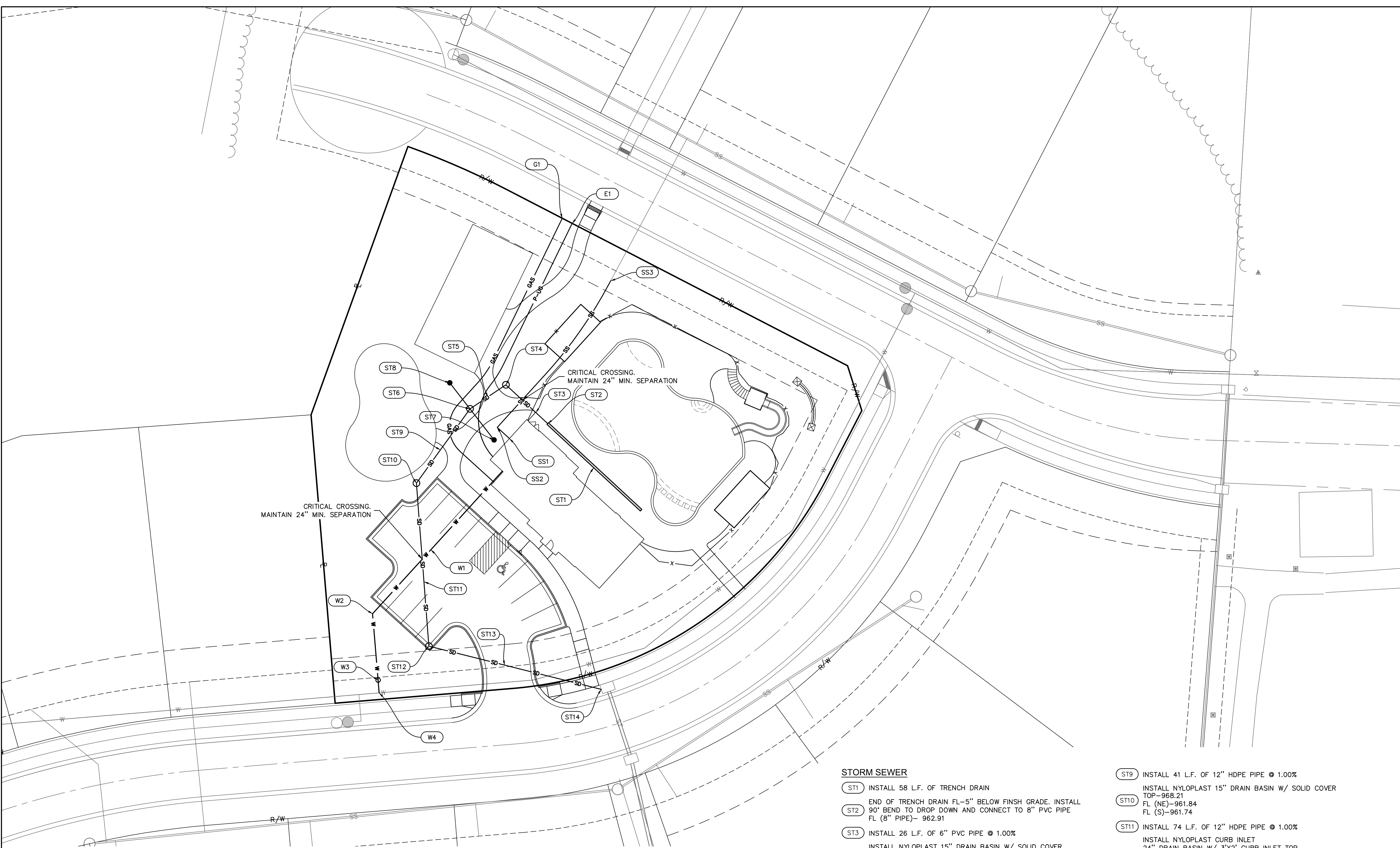
SITE PLAN
PRELIMINARY DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
ADDRESS

LEE'S SUMMIT, MISSOURI

2019

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WATER

- (W1) INSTALL 87 L.F. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
- (W2) INSTALL 45' BEND THEN 36 L.F. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
- (W3) INSTALL 2" WATER METER
N: 1002418.2451
E: 2812526.4432
- (W4) CONTRACTOR TO COORDINATE TAP OF EXISTING 8" WATER MAIN FOR PROPOSED 2" SERVICE LINE WITH CITY.

ELECTRIC

- (E1) INSTALL 152 L.F. OF 4" CONDUIT FOR KCPL. (CONTRACTOR TO COORDINATE WITH KCPL FOR SERVICE AND LOCATION OF EXISTING LINES.)

GAS

- (G1) INSTALL 152 L.F. OF 4" CONDUIT FOR GAS SERVICE TO BUILDING (CONTRACTOR TO COORDINATE W/GAS COMPANY FOR SERVICE LOCATION OF EXISTING MAIN)

SANITARY SEWER

- (SS1) INSTALL 7.4 L.F. OF 4" PVC (SDR-26) CONNECT TO BUILDING STUB PER MEP PLANS. INSTALL RISER AS REQUIRED.
- (SS2) INSTALL 83.6 L.F. OF 4" PVC (SDR-26) AT 5% FL-959.80 (90' BEND WITH CLEAN OUT)
- (SS3) CONNECT TO EXISTING 6" LATERAL FL @ END OF 6" LATERAL 955.80

STORM SEWER

- (ST1) INSTALL 58 L.F. OF TRENCH DRAIN
END OF TRENCH DRAIN FL-5" BELOW FINISH GRADE. INSTALL 90° BEND TO DROP DOWN AND CONNECT TO 8" PVC PIPE FL (8" PIPE)- 962.91
- (ST2)
- (ST3) INSTALL 26 L.F. OF 6" PVC PIPE @ 1.00%
INSTALL NYLOPLAST 15" DRAIN BASIN W/ SOLID COVER TOP-966.94
FL (SE)-962.65
FL (SW)-962.55
- (ST4)
- (ST5) INSTALL 20 L.F. OF 12" HDPE PIPE @ 1.00%
INSTALL NYLOPLAST 15" DRAIN BASIN W/ SOLID COVER TOP-968.45
FL (NE)-962.35
FL (NW)-962.25
FL (SE)-962.25
FL (SW)-962.25
- (ST6) INSTALL NYLOPLAST 15" DRAIN BASIN W/ BEEHIVE TOP AND 18 L.F. OF 12" HDPE PIPE @ 1.00%
RIM-967.55
FL (NW)-962.43
- (ST7)
- (ST8) INSTALL NYLOPLAST 15" DRAIN BASIN W/ BEEHIVE TOP AND 15 L.F. OF 12" HDPE PIPE @ 1.00%
RIM-968.25
FL (SE)-962.40

- (ST9) INSTALL 41 L.F. OF 12" HDPE PIPE @ 1.00%
INSTALL NYLOPLAST 15" DRAIN BASIN W/ SOLID COVER TOP-968.21
FL (NE)-961.84
FL (S)-961.74
- (ST10)
- (ST11) INSTALL 74 L.F. OF 12" HDPE PIPE @ 1.00%
INSTALL NYLOPLAST CURB INLET
24" DRAIN BASIN W/ 3'X2' CURB INLET TOP TOP-966.35
FL (N)-961.00
FL (SE)-960.90
- (ST12)
- (ST13) INSTALL 80 L.F. OF 12" HDPE PIPE @ 1.00%
CONNECT TO EXISTING INTAKE
FL (NW)-960.10
FL (S)-960.00 (EXISTING)
- (ST14)

UTILITY PLAN
 PRELIMINARY DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 ADDRESS
 LEE'S SUMMIT, MISSOURI

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ J.E.S.
 QA/QC by: _____
 project no.: 019-1288
 date: 10-02-2018

SHEET
 C09

JULIE SELLERS, P.E.
 MO# 2017000367

NO.	REV.	DATE	DESCRIPTION
1		2018.11.12	Revised per Staff comments.

2019



WOODSIDE RIDGE CLUBHOUSE

NW PRYOR ROAD AND NW O'BRIEN ROAD
LEE'S SUMMIT, MISSOURI



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B+A ARCHITECTURE
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CIVIL ENGINEER
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1301 BURLINGTON STREET, SUITE 100
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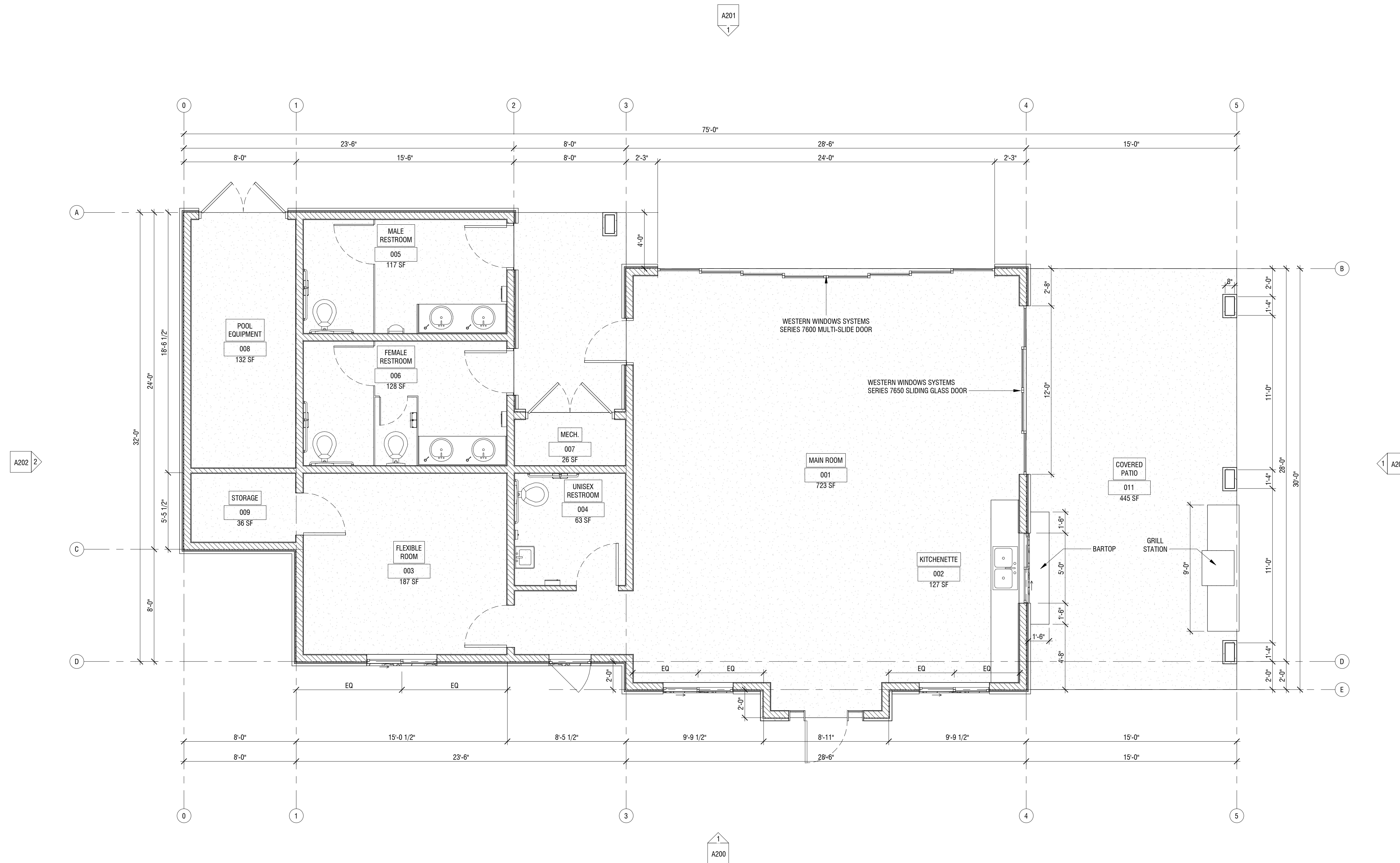
LANDSCAPE ARCHITECT
JASON MEIER
15245 METCALF AVE.
OVERLAND PARK, KS 66223
PH: 913-787-2817

DEVELOPER
SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
PH: 816-246-6700



GENERAL NOTES

1. ALL PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD OR MASONRY, U.N.O.
2. FOR ACTUAL FINISH FLOOR ELEVATION RE: CIVIL DWGS
3. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
4. ALL DOOR OPENINGS TO BE LOCATED 4" FROM NEAREST WALL CORNER, U.N.O.
5. SEE FINISH SCHEDULE ON SHEET A800 FOR MATERIAL INFORMATION
6. SEE DOOR/WINDOW SCHEDULE ON SHEET A600
7. SEE SHEET A400 FOR ENLARGED FLOOR PLANS



1 FLOOR PLAN
1/4" = 1'-0"

SECTION:

- 1 SECTION IDENTIFICATION
- A101 SHEET DESIGNATION

DETAIL:

- 1 DETAIL IDENTIFICATION
- A101 SHEET DESIGNATION

ELEVATION:

- 1 ELEVATION IDENTIFICATION
- A101 SHEET DESIGNATION

DOOR DESIGNATION

- 101

WALL TYPE DESIGNATION

- 11

WINDOW/STOREFRONT DESIGNATION

- 11

SPOT ELEVATION

- 11

ELEVATION

- 11



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LANDSCAPE ARCHITECT
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WOODSIDE RIDGE CLUBHOUSE
 NW PRYOR ROAD AND NW O'BRIEN ROAD
 LEES SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019

NO.	REVISION	DATE

DESIGNED BY: TT/FCR
 DRAWN BY: FCR
 CHECKED BY: TT/DMB

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SCALES AS STATED HEREON ARE VALID ON THE ORIGINAL DRAWING. ONLY THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE REPORT TO THE ARCHITECT ANY ERROR/INCONSISTENCY OR OMISSION DISCOVERED.

FLOOR PLAN
A100

GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
2. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE
3. REFER TO PLUMBING DRAWINGS FOR ROOF DRAINS AND OVERFLOW DRAINS



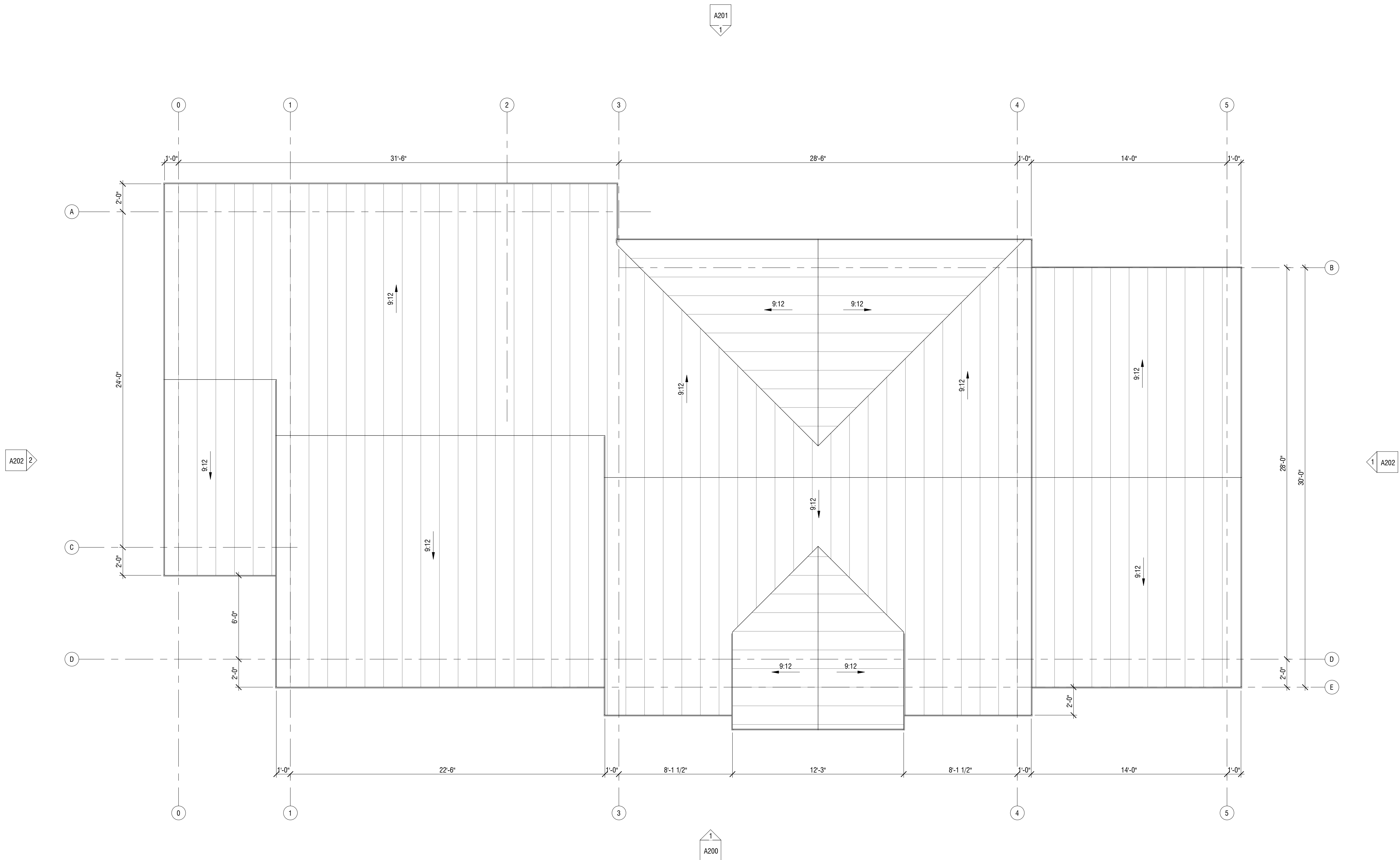
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 PH: 913-787-2817



1 ROOF PLAN
 1/4" = 1'-0"

WOODSIDE RIDGE CLUBHOUSE
 NW PRYOR ROAD AND NW O'BRIEN ROAD
 LEES SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019		
NO.	REVISION	DATE

DESIGNED BY: FCR
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EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	AGED BRONZE
2	STONE VENEER	ELDORADO STONE OR EQUAL	COUNTRY RUBBLE/ COLOR: BELLA
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	BOXED COLUMNS, BRACKETS	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
5	FASCIA	METAL PANEL BY ROOF MANUFACTURER	MATCH ROOF COLOR
6	GUTTER	24 GA. STEEL	MATCH TO WINDOW COLOR
7	WINDOWS	ANDERSEN OR EQUAL/ ALUM. CLAD	METAL - MATTE. COLOR TO MATCH ROOF
8	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW COLOR



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B+A ARCHITECTURE
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CIVIL ENGINEER
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 NORTH KANSAS CITY, MO 64116
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STRUCTURAL ENGINEER
PACKARD ENGINEERING
 21021 OAK DRIVE
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MEP ENGINEER
PKMR ENGINEERS
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 LENEXA, KS 66215
 PH: 913-312-0151

LANDSCAPE ARCHITECT
JASON MEIER
 15245 METCALF AVE
 OVERLAND PARK, KS 66223
 PH: 913-787-2817



1 SOUTH-WEST ELEVATION
 1/4" = 1'-0"

WOODSIDE RIDGE CLUBHOUSE
 NW PRYOR ROAD AND NW O'BRIEN ROAD
 LEE'S SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019

NO.	REVISION	DATE

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ELEVATIONS
A200



EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	AGED BRONZE
2	STONE VENEER	ELDORADO STONE OR EQUAL	COUNTRY RUBBLE/ COLOR: BELLA
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	BOXED COLUMNS, BRACKETS	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
5	FASCIA	METAL PANEL BY ROOF MANUFACTURER	MATCH ROOF COLOR
6	GUTTER	24 GA. STEEL	MATCH TO WINDOW COLOR
7	WINDOWS	ANDERSEN OR EQUAL/ ALUM. CLAD	METAL - MATTE, COLOR TO MATCH ROOF
8	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW COLOR



1 NORTH-EAST ELEVATION
1/4" = 1'-0"



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LANDSCAPE ARCHITECT
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WOODSIDE RIDGE CLUBHOUSE
NW PRYOR ROAD AND NW O'BRIEN ROAD
LEES SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019

NO.	REVISION	DATE

Designer
Author
Checker

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ELEVATIONS
A201



EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
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2	STONE VENEER	ELDORADO STONE OR EQUAL	COUNTRY RUBBLE/ COLOR: BELLA
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	BOXED COLUMNS, BRACKETS	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
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7	WINDOWS	ANDERSEN OR EQUAL/ ALUM. CLAD	METAL - MATTE, COLOR TO MATCH ROOF
8	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW COLOR



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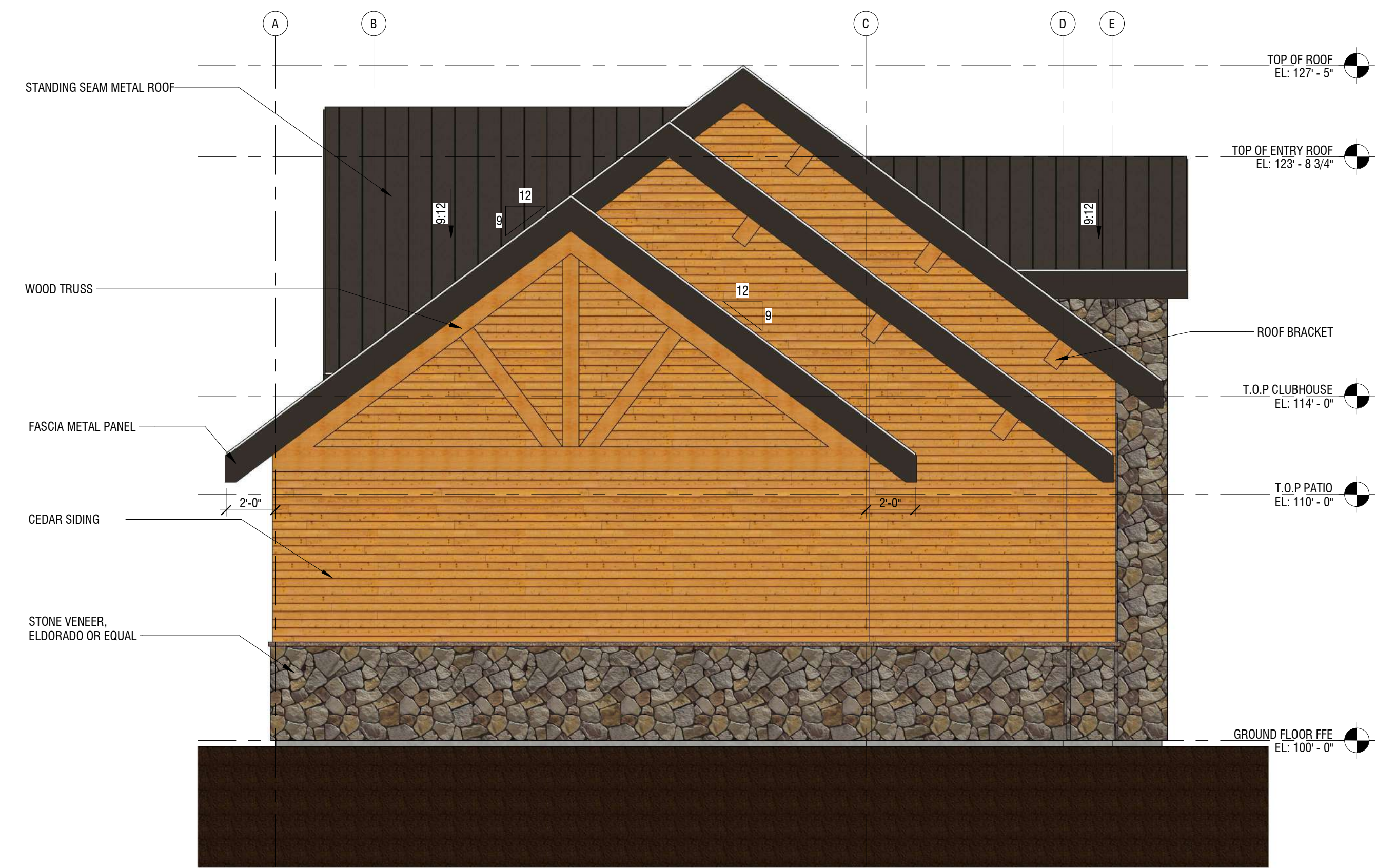
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1 SOUTH-EAST ELEVATION
 1/4" = 1'-0"



2 NORTH-WEST ELEVATION
 1/4" = 1'-0"

WOODSIDE RIDGE CLUBHOUSE
 NW PRYOR ROAD AND NW O'BRIEN ROAD
 LEES SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019

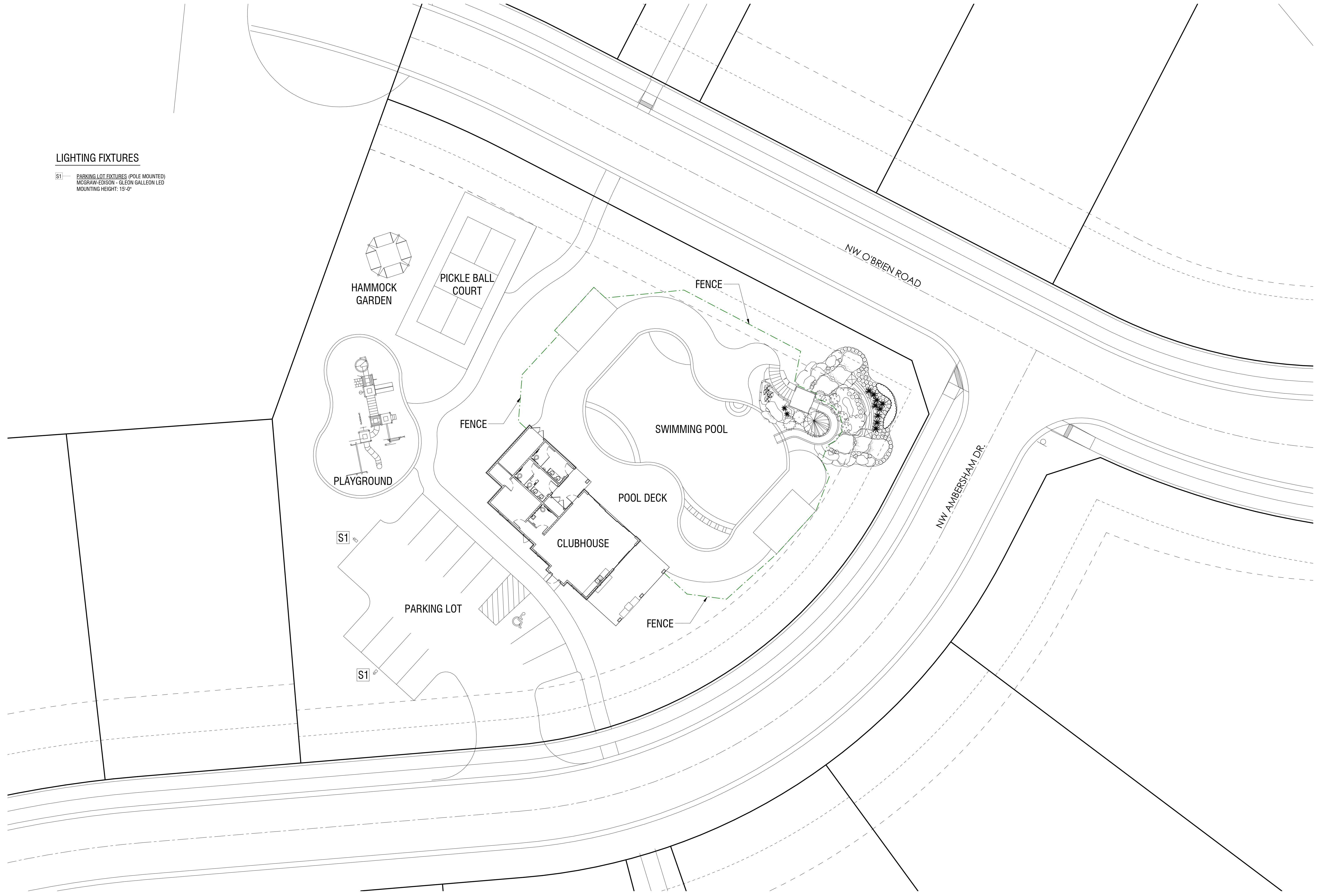
NO.	REVISION	DATE

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LIGHTING FIXTURES

S1 — PARKING LOT FIXTURES (POLE MOUNTED)
 MCGRAW-EDISON - GLEON GALLEON LED
 MOUNTING HEIGHT: 15'-0"



WOODSIDE RIDGE CLUBHOUSE
 NW PRYOR ROAD AND NW O'BRIEN ROAD
 LEE'S SUMMIT, MISSOURI

SEAL

DATE ISSUED: OCTOBER 9, 2019

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Scale: 1 inch= 20 Ft.



Light Loss Factor	0.91
Calculation plane	0'-00"
Reflectances	NA
Mounting height	15'

Calc. Info

Calculated By:	Kevin Hooley
Requested By:	
Date:	10/7/2019
Scale:	N/A

Woodside Ridge
 Parking-Galleon



Galleon

DISCLAIMER:

These calculations have been performed according to IES standards and good practice. There may be differences between measured values and the results presented herein, based on the extent in which field conditions deviate from the input data. These conditions include room dimensions, luminaire position, surface reflectances, architectural elements and furniture, temperature, voltage, measurement techniques and equipment tolerances. All attached drawings and images are for photometric reference only they are not made for construction.

AREA INFORMATION:

Area label :
 Wall height: 0'-00"
 Mounting height: 15'
 Reflectances : NA

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking_Surface	Fc	2.68	7.9	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens	LLF
☐→	2	S1	GLEON-AF-02-LED-E1-T4FT	113	12533	0.910



#	Date	Comments

Revisions

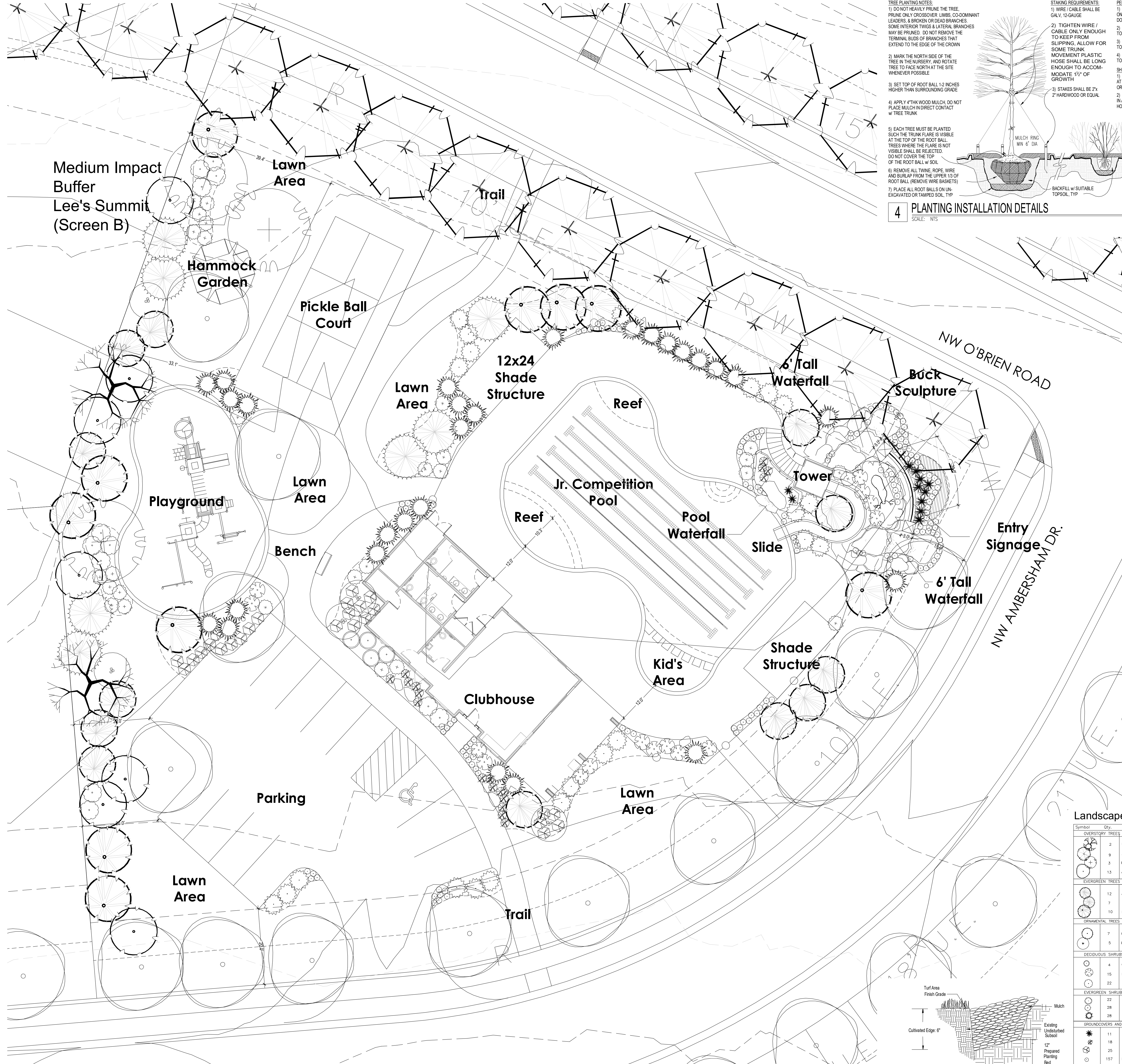
Calculated By: Kevin Hooley
Requested By:
Date: 10/7/2019
Scale: N/A

Woodside Ridge
Parking-Galleon

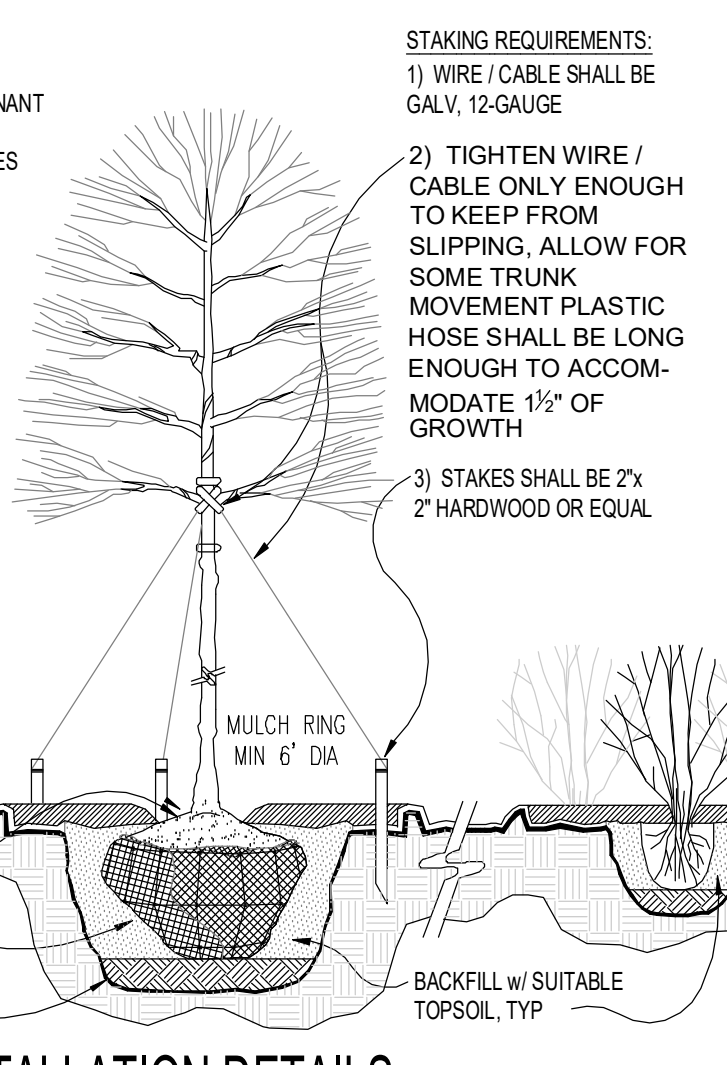


CLIENT
Summit Homes
120 SE 30th St.
Lee's Summit, MO 64082

PROJECT
Woodside Ridge
Community
NW Pryor Road and NW
O'Brien Road
Lee's Summit MO



TREE PLANTING NOTES:
1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
4) APPLY 2" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 13 OF ROOT BALL (REMOVE WIRE BASKETS)
7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP



STAKING REQUIREMENTS:
1) WIRE / CABLE SHALL BE GALV, 12-GAUGE
2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH
3) STAKES SHALL BE 2" x 2" HARDWOOD OR EQUAL

PERENNIAL PLANTING NOTES:
1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
2) THOROUGHLY MIX PEAT IN TOP 3" OF SOIL
3) BREAK UP EXISTING SOIL TO A DEPTH OF 2"
4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

SHRUB PLANTING NOTES:
1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING:
WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED

DO NOT PRUNE LEADER
PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE LEAVE "Y" CRACKS OR DOUBLE LEADER.
TREE TIE SYSTEM. SEE STAKING REQUIREMENTS
3 METAL STAKES. PLACE NEXT TO ROOT BALL AS SHOWN. SPACE EQUIDISTANT AROUND TREE
4" MIN. SPECIFIED MULCH
PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW
INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED
CONTINUOUS SAUCER, RIM FOR WATER & MULCH
CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL. SPECIFIED BACKFILL MIXTURE
EXISTING UNDISTURBED SUBSOIL

4 PLANTING INSTALLATION DETAILS
SCALE: NTS

Inches Between Plants	Plant Quantities Per Square Foot
10"	Square Feet x 1.50
12"	Square Feet x 1.00
18"	Square Feet x .44
30"	Square Feet x .16
36"	Square Feet x .11

NOTES:
1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL
SCALE: NTS

Planting Notes

- Location of all existing utilities needs to be done before commencing work.
- The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - Creeping groundcover shall be a minimum of 6" from paving edge.
 - All trees shall be a minimum of 3' from paving edge.
 - All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - All shrubs shall be a minimum of 2' from paved edge.
- Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
- Note: If plants are not labeled - they are existing and shall remain.
- All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:
1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:
1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Landscape Calculations/Requirements

Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty (30) feet of street frontage, within 20' setback. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)
NW Amberham Dr = 265 LF. 9 Trees required. 8 Trees provided.
NW O'Brien Rd = 256 LF. 9 Trees required. 9 Trees provided.
REQUIREMENTS MET

Amenity Parking: (For all Districts) One parking stall per every 16 units.
160 total units.
10 Stalls required.
10 stalls provided.
REQUIREMENTS MET

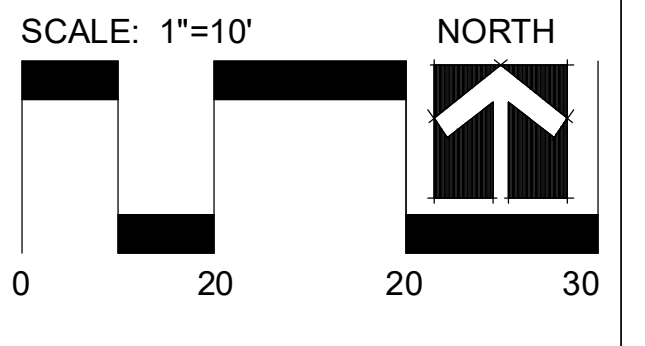
Buffer Landscape: Medium Density Buffer (type B) provided on all West sides of amenity area.
REQUIREMENT MET

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
⊙	2	Ulmus parvifolia	Lacebark Elm		3"	6" min. clear, ground to canopy	
⊙	9	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust		3"	6" min. clear, ground to canopy	
⊙	3	Platanus x acerifolia	London Plane Tree		3"	6" min. clear, ground to canopy	
⊙	13	Acer x truncatum 'Warrenii'	Pacific Sunset Maple		3"	6" min. clear, ground to canopy	
EVERGREEN TREES							
⊙	12	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		6" ht.	symmetrical pyramidal form	
⊙	7	Picea pungens	Colorado Blue Spruce		6" ht.	symmetrical pyramidal form	
⊙	10	Picea abies	Norway Spruce		6" ht.	symmetrical pyramidal form	
ORNAMENTAL TREES							
⊙	7	Cercis canadensis	Eastern Redbud		1.5"		
⊙	5	Populus tremuloides 'Quaking'	Quaking Aspen		1.5"		
DECIDUOUS SHRUBS/GRASSES							
⊙	4	Weigela florida 'Flamewave'	Fine Wine Weigela	3 gal.		Plant @ 3' O.C.	
⊙	15	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.		Plant @ 4' O.C.	
⊙	22	Syringa x 'Penda'	Blooming Purple Lilac	5 gal.		Plant @ 5' O.C.	
EVERGREEN SHRUBS							
⊙	22	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.		Plant @ 4' O.C.	
⊙	28	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.		Plant @ 4' O.C.	
⊙	28	Juniperus chinensis 'Spartan'	Spartan Juniper	6" ht.		Symmetrical pyramidal form	
GROUNDCOVERS AND GRASSES							
⊙	11	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	1 gal.		Plant @ 24" O.C.	
⊙	18	Phlox subulata 'Arapurba'	Creeping Phlox	1 gal.		Plant @ 15" O.C.	
⊙	25	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 qt.		Plant @ 18" O.C.	
⊙	157	Liriope muscari 'Variegated'	Variegated Liriope	1 gal.		Plant @ 18" O.C.	
EXISTING TREES/SHRUBS TO BE PRESERVED							

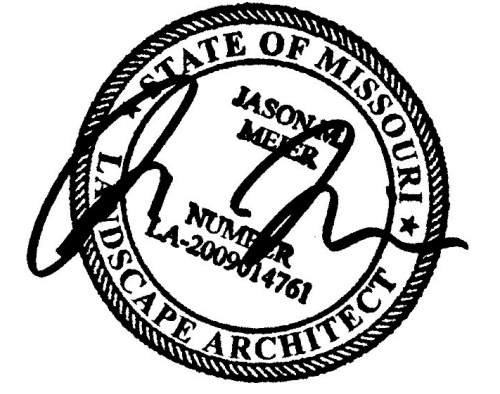
3 CULTIVATED EDGE DETAIL
SCALE: NTS

1 AMENITY AREA LANDSCAPE PLAN
SCALE: 1"=10'-0"



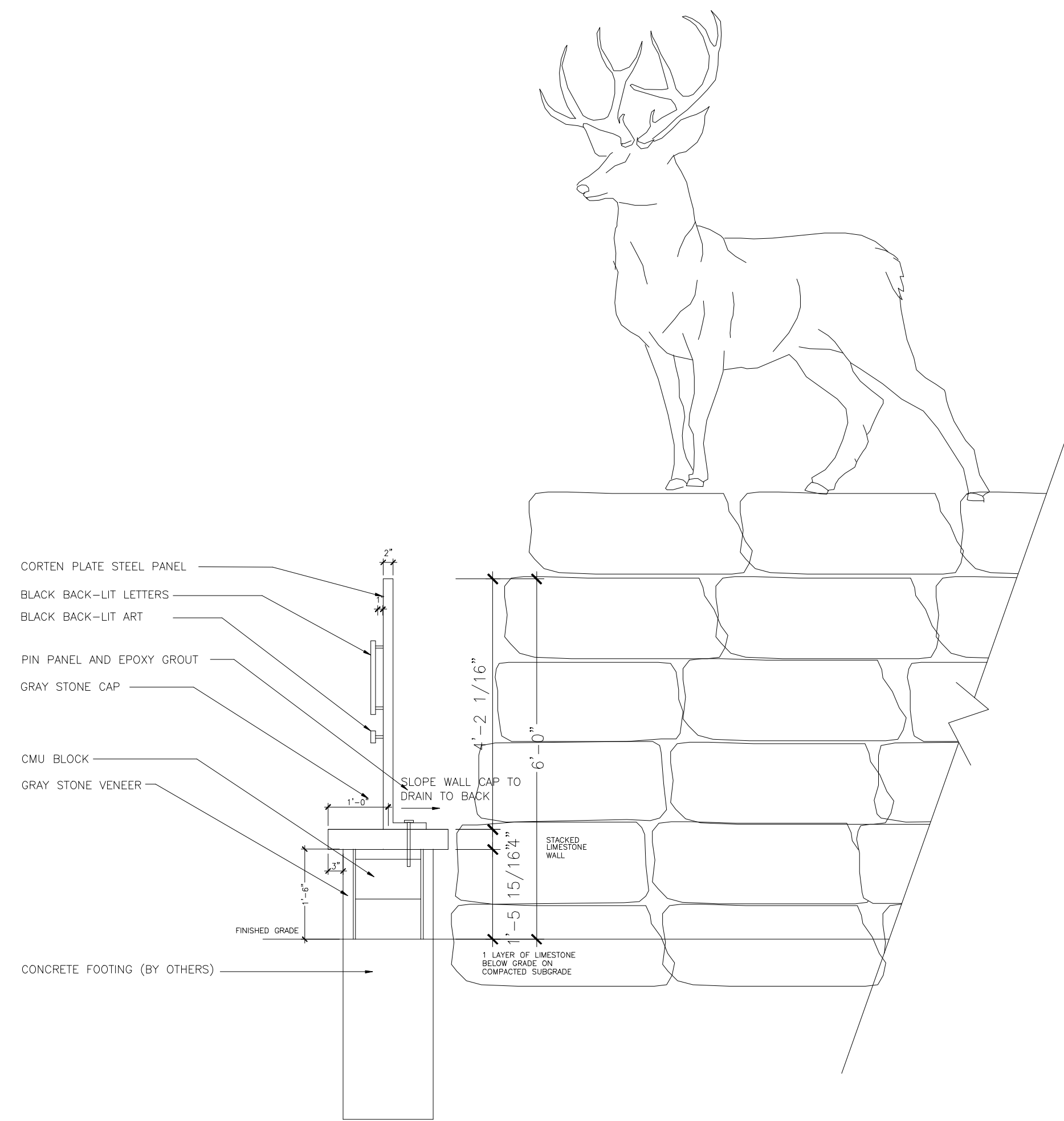
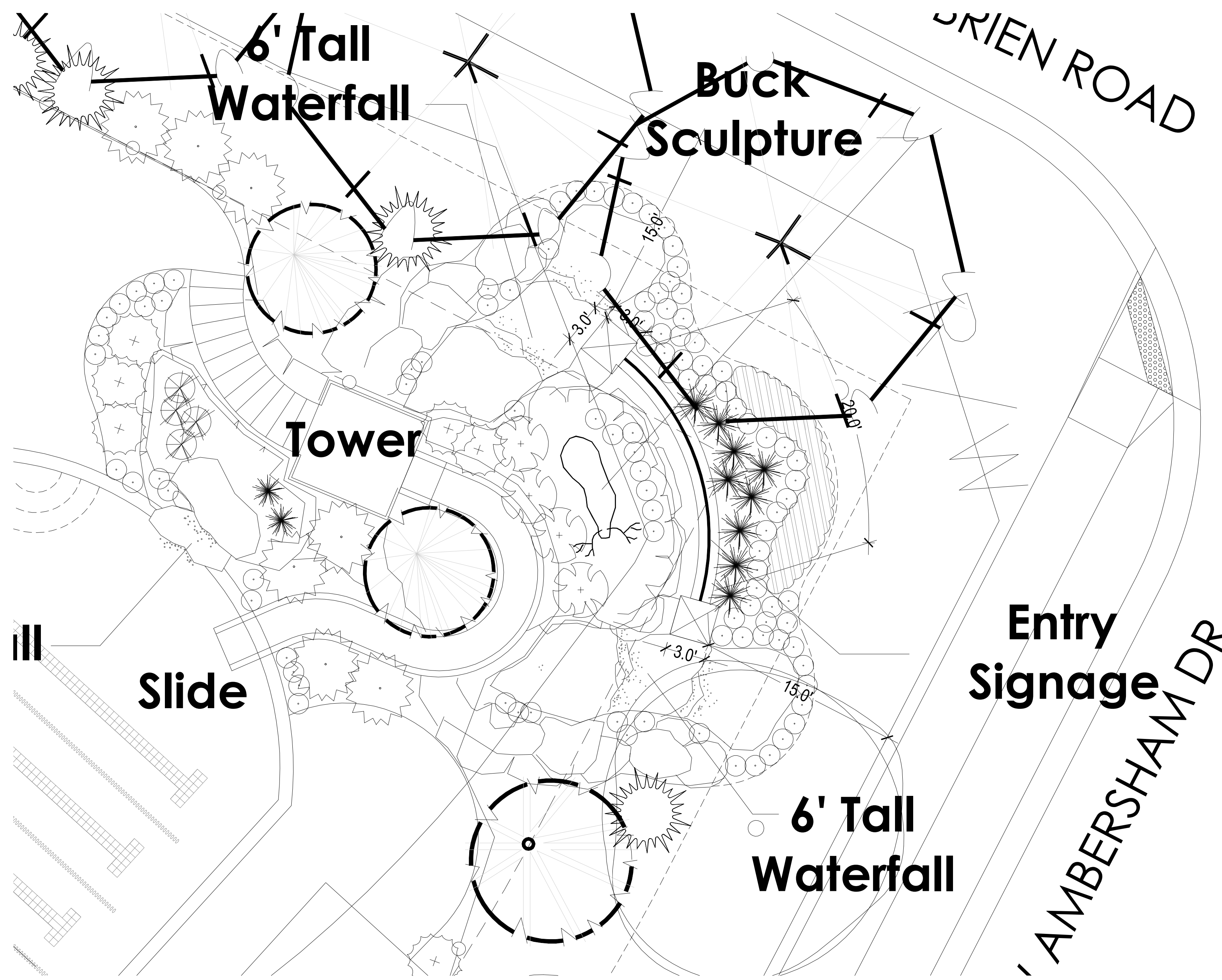
Date: 11.7.2019
Project #: 485
Landscape Plan





CLIENT
 Summit Homes
 120 SE 30th St.
 Lee's Summit, MO 64082

PROJECT
 Woodside Ridge
 Community
 NW Pryor Road and NW
 O'Brien Road
 Lee's Summit MO

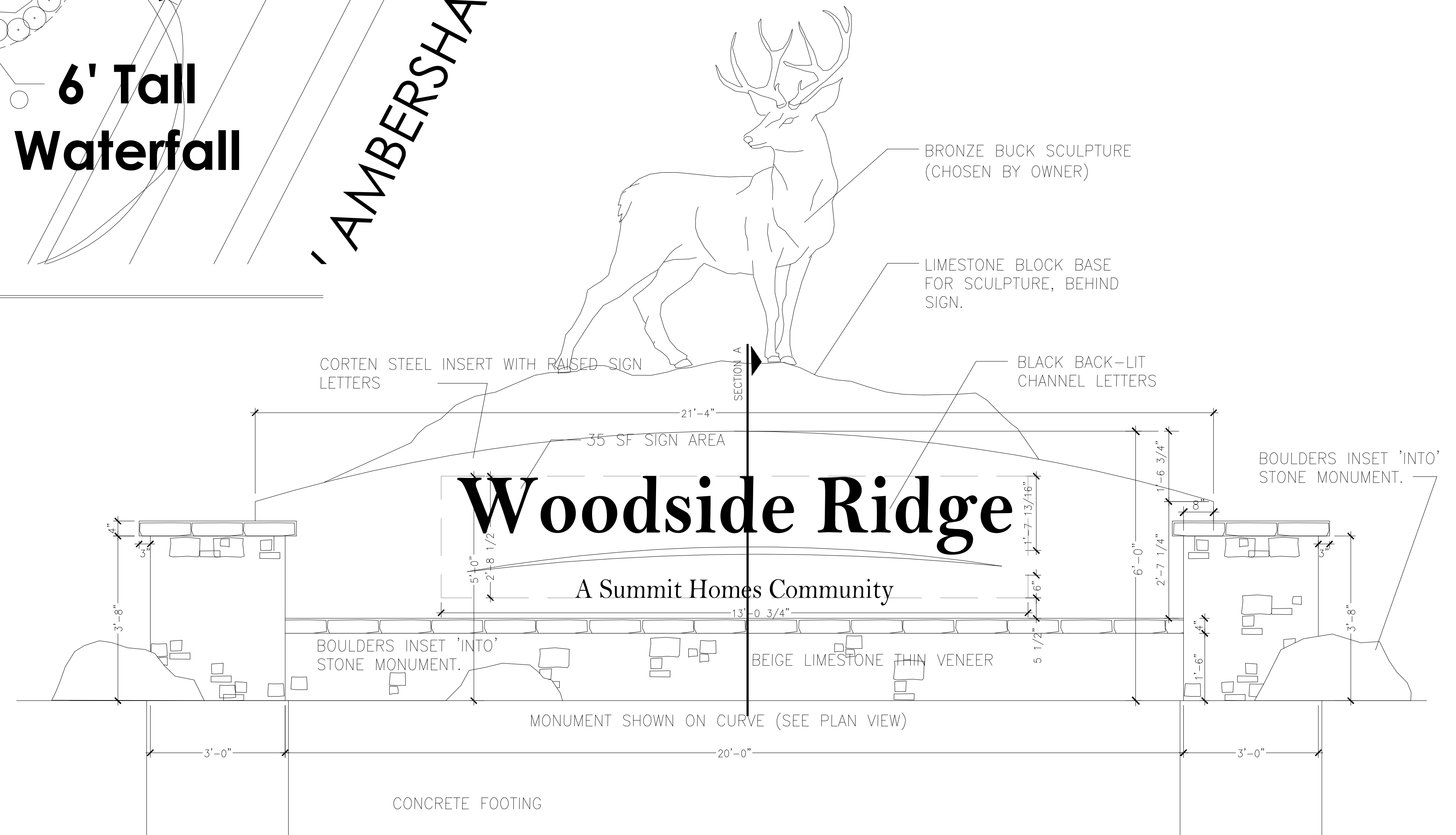


2 AMENITY AREA ENTRY MONUMENT SECTION VIEW
 SCALE: nts

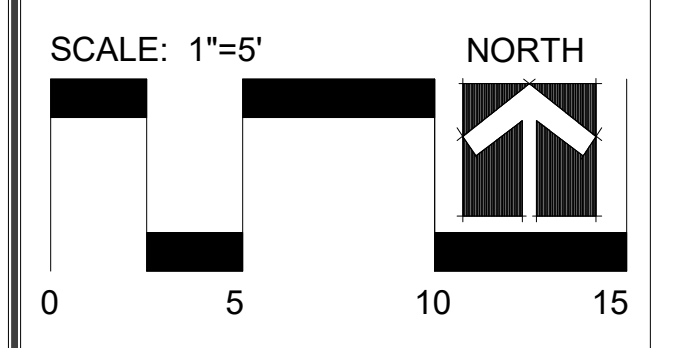
1 AMENITY AREA WATERFALL/SIGNAGE ENLARGEMENT PLAN
 SCALE: 1"=5'-0"

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
⊙	2	Ulmus parvifolia	Lacebark Elm	3"	6'	6" min. clear, ground to canopy	
⊙	9	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust	3"	6'	6" min. clear, ground to canopy	
⊙	3	Platanus x acerifolia	London Plane Tree	3"	6'	6" min. clear, ground to canopy	
⊙	13	Acer x truncatum "Warrenes"	Pacific Sunset Maple	3"	6'	6" min. clear, ground to canopy	
EVERGREEN TREES							
⊙	12	Juniperus chinensis "Keteleeri"	Keteleeri Juniper	6" ht.		symmetrical pyramidal form	
⊙	7	Picea pungens	Colorado Blue Spruce	6" ht.		symmetrical pyramidal form	
⊙	10	Picea abies	Norway Spruce	6" ht.		symmetrical pyramidal form	
ORNAMENTAL TREES							
⊙	7	Cercis canadensis	Eastern Redbud		1.5"		
⊙	5	Populus tremuloides "Quaking"	Quaking Aspen		1.5"		
DECIDUOUS SHRUBS/GRASSES							
⊙	4	Weigela florida "Bramwell"	Fine Wine Weigela	3 gal.		Plant @ 3' O.C.	
⊙	15	Hydrangea paniculata "Quick Fire"	Little Quick Fire Hydrangea	3 gal.		Plant @ 4' O.C.	
⊙	22	Syringa x "Penda"	Blooming Purple Lilac	5 gal.		Plant @ 5' O.C.	
EVERGREEN SHRUBS							
⊙	22	Juniperus chinensis "Sea Green"	Sea Green Juniper	3 gal.		Plant @ 4' O.C.	
⊙	28	Juniperus chinensis "Gold Coast"	Gold Coast Juniper	3 gal.		Plant @ 4' O.C.	
⊙	28	Juniperus chinensis "Spartan"	Spartan Juniper	5" ht.		Symmetrical pyramidal form	
GROUNDCOVERS AND GRASSES							
⊙	11	Juniperus horizontalis "Wiltonii"	Blue Rug Juniper	1 gal.		Plant @ 24" O.C.	
⊙	18	Phlox subulata "Atropurpea"	Creeping Phlox	1 gal.		Plant @ 15" O.C.	
⊙	25	Pennisetum alopecuroides "Hamel"	Dwarf Fountain Grass	1 qt.		Plant @ 18" O.C.	
⊙	157	Liriope muscari "Variegated"	Variegated Liriope	1 gal.		Plant @ 18" O.C.	
EXISTING TREES/SHRUBS TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

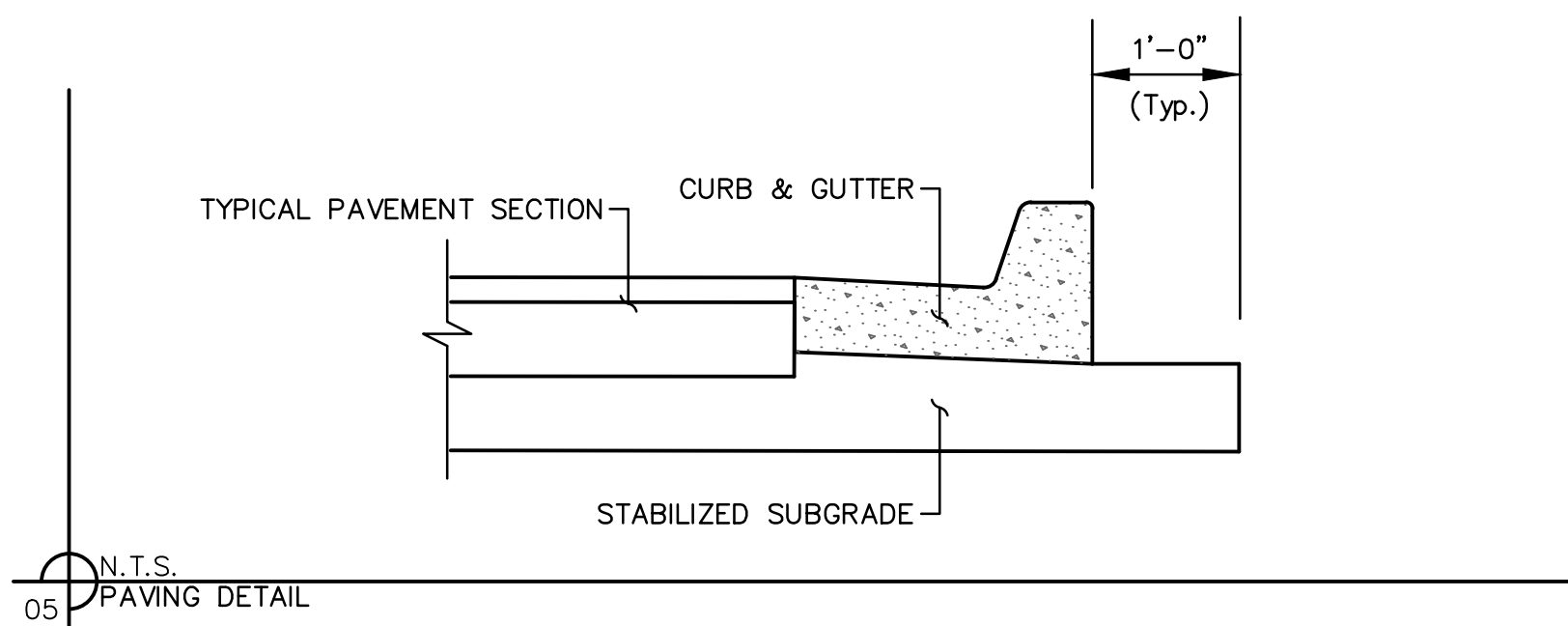
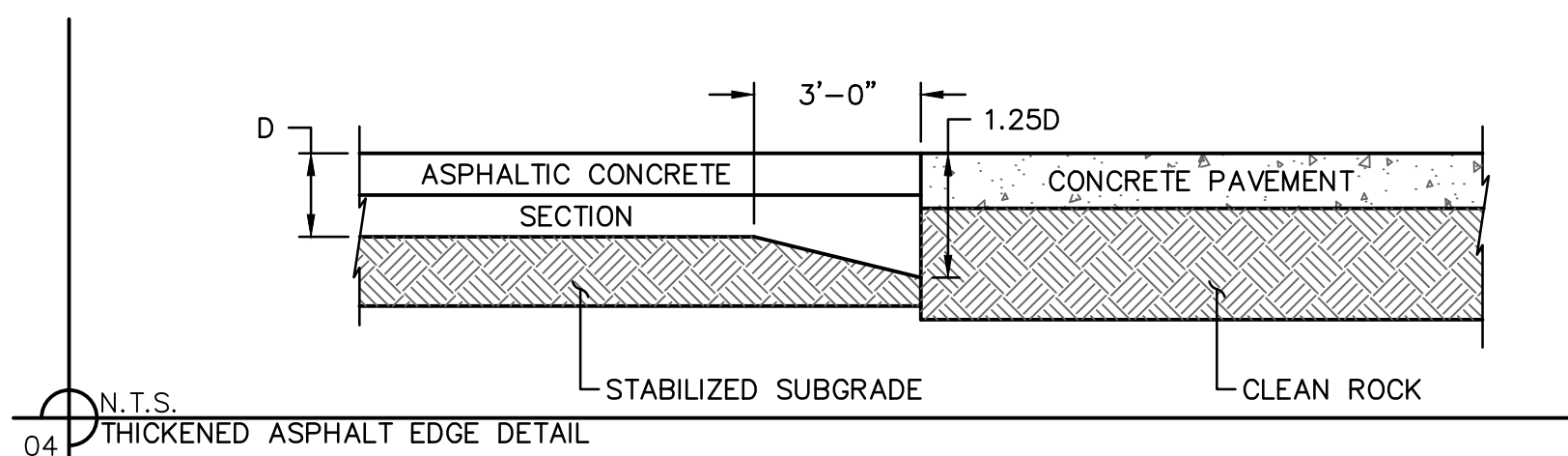
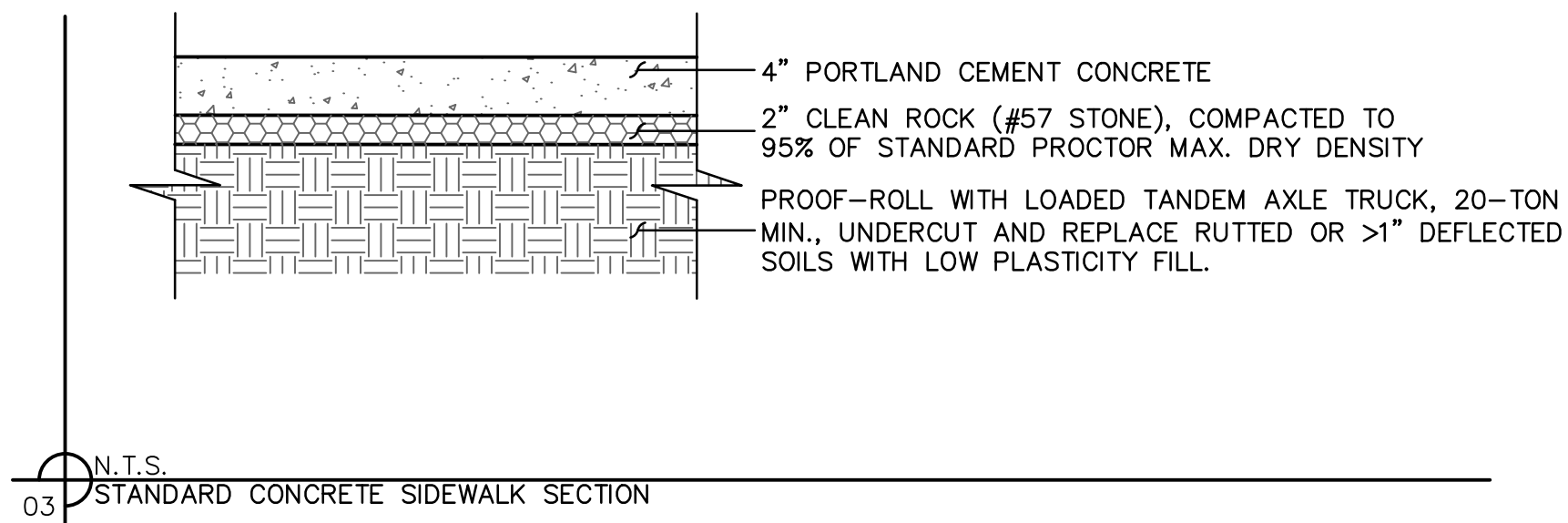
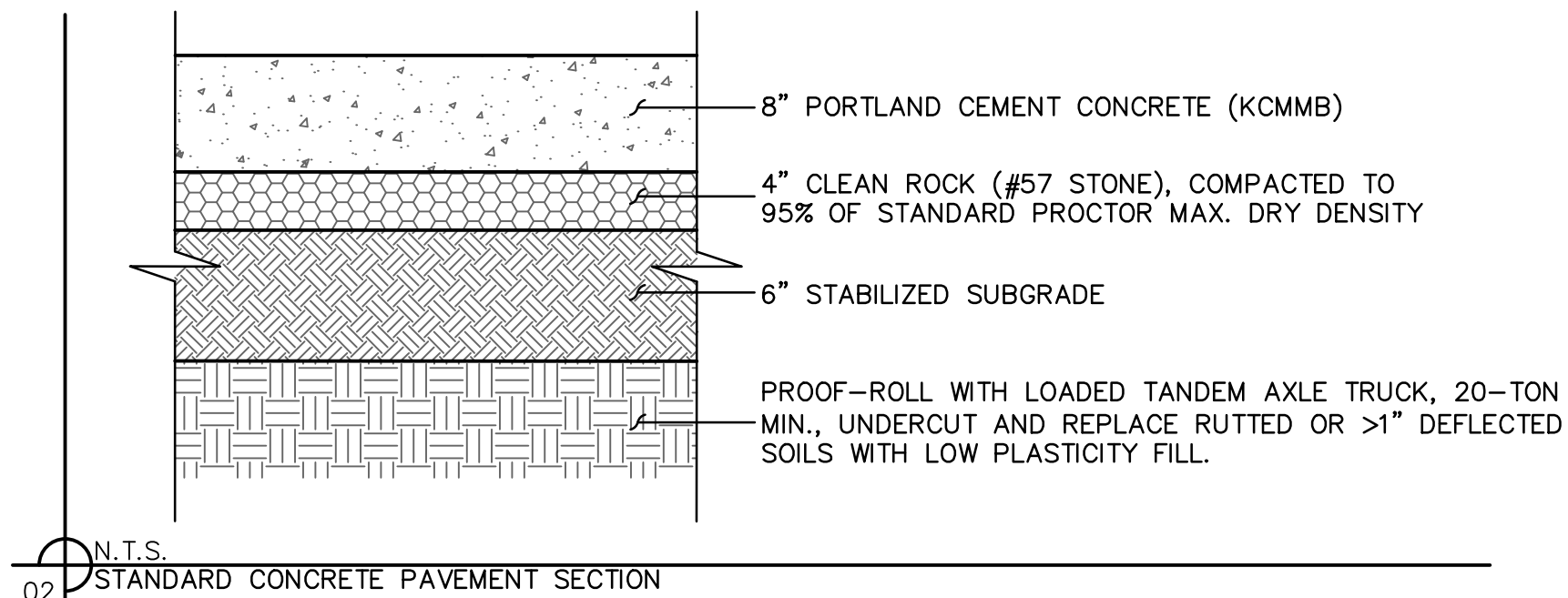
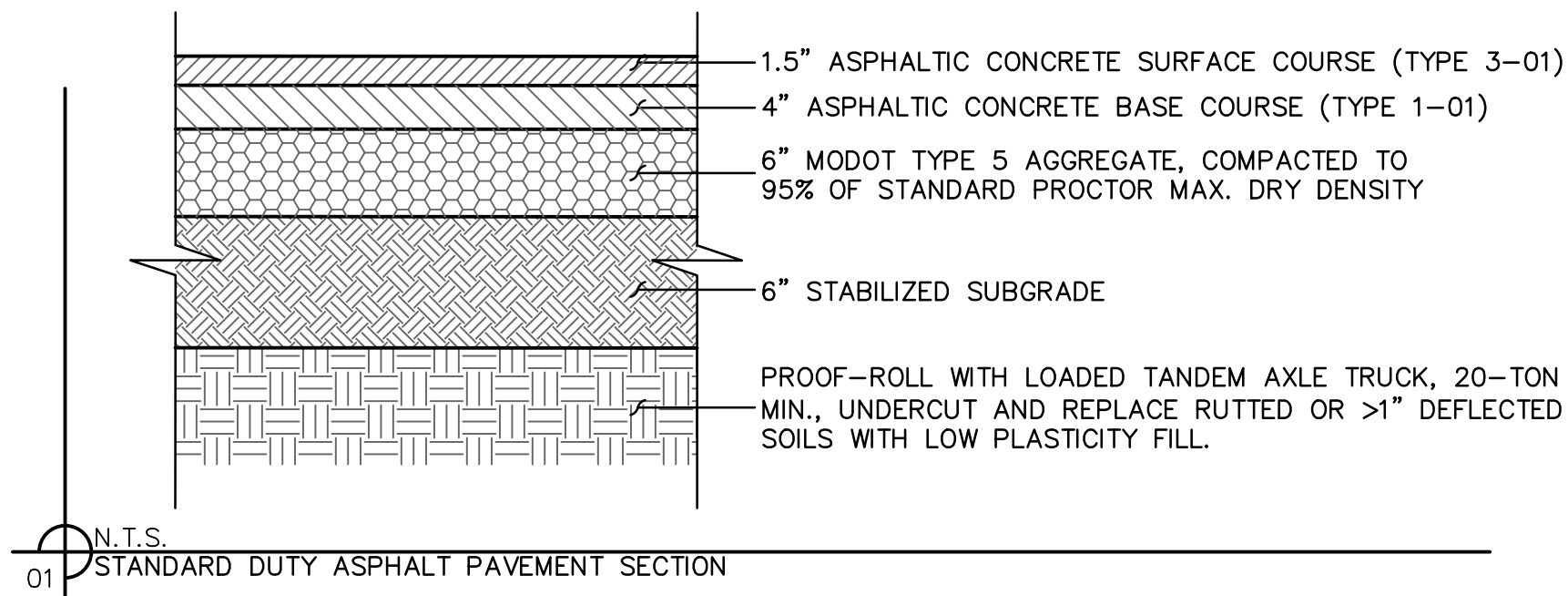


3 AMENITY AREA ENTRY MONUMENT ELEVATION VIEW
 SCALE: nts

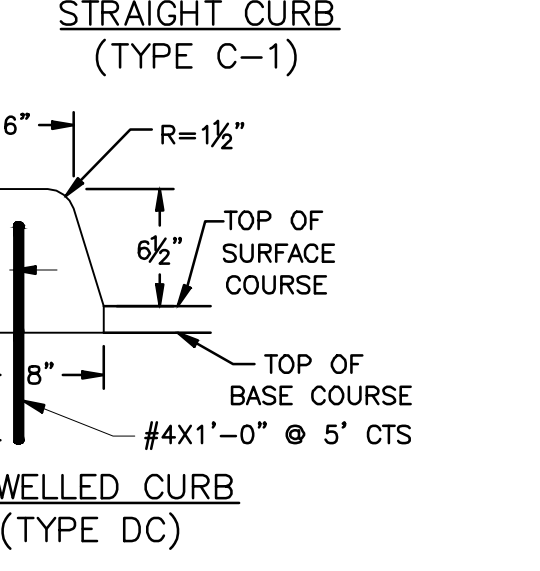
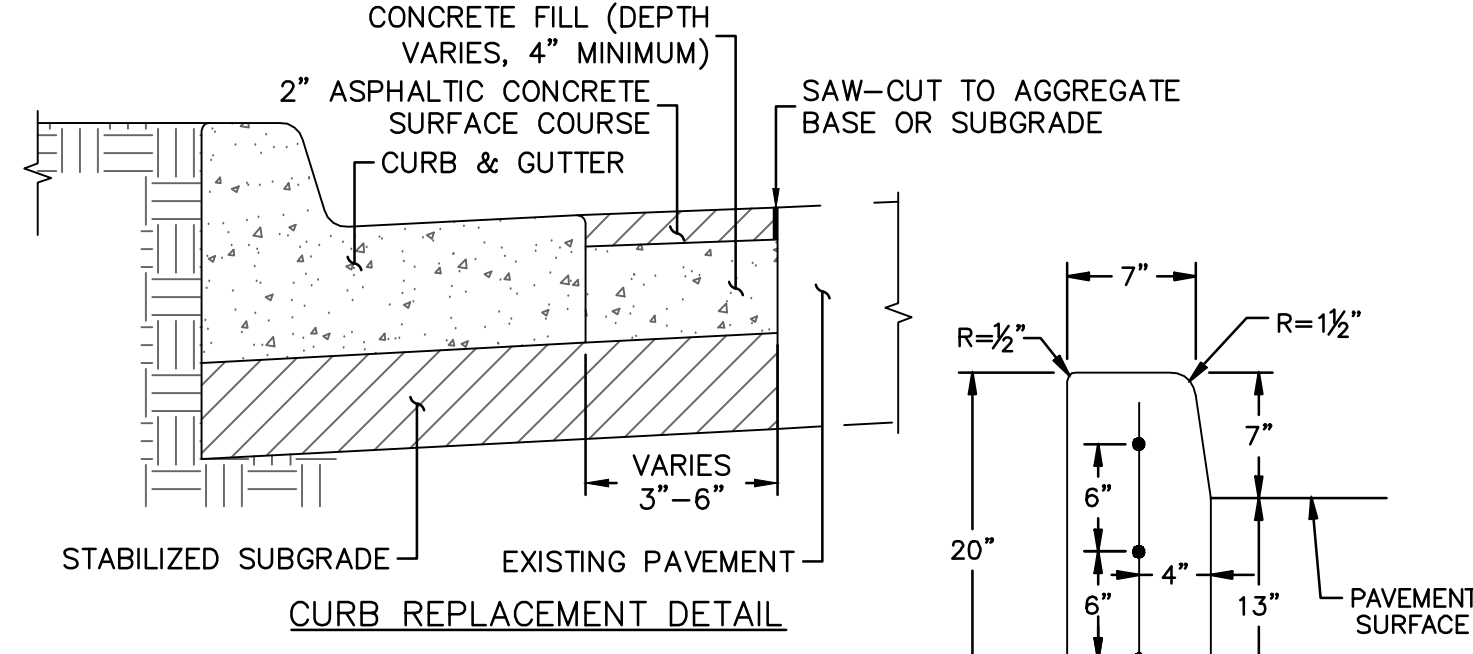
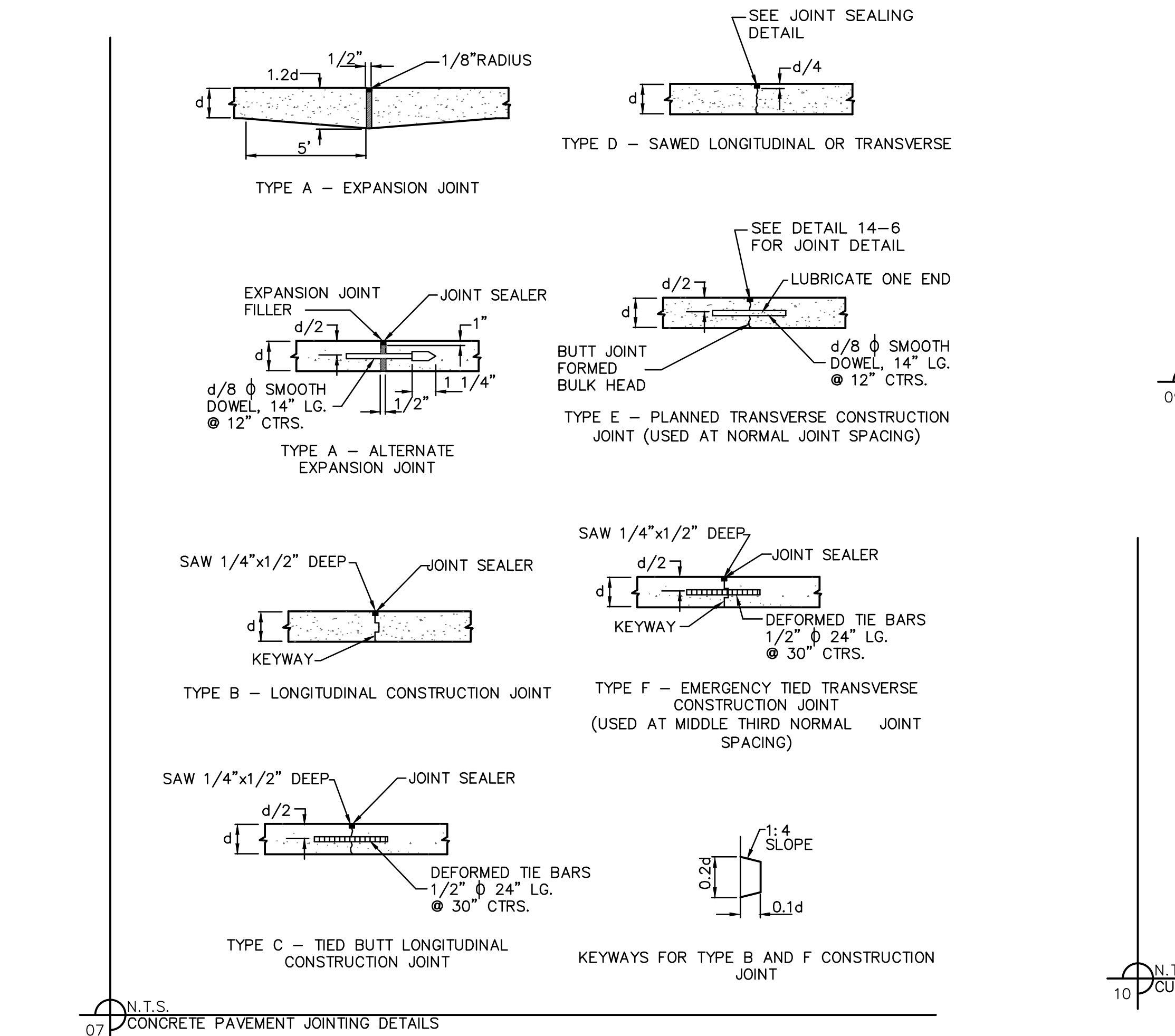
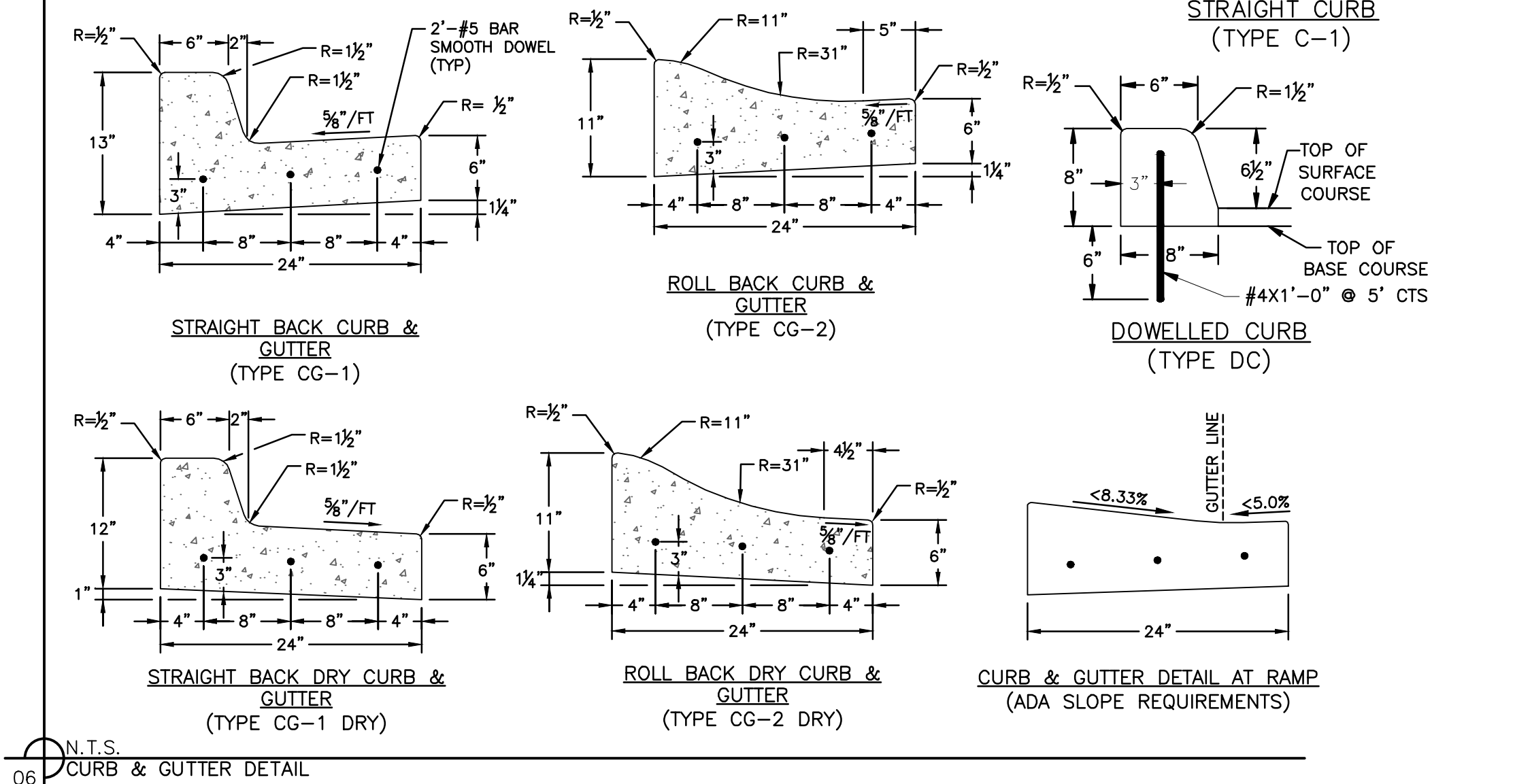


Date: 11.7.2019
 Project #: 485
 Landscape Plan

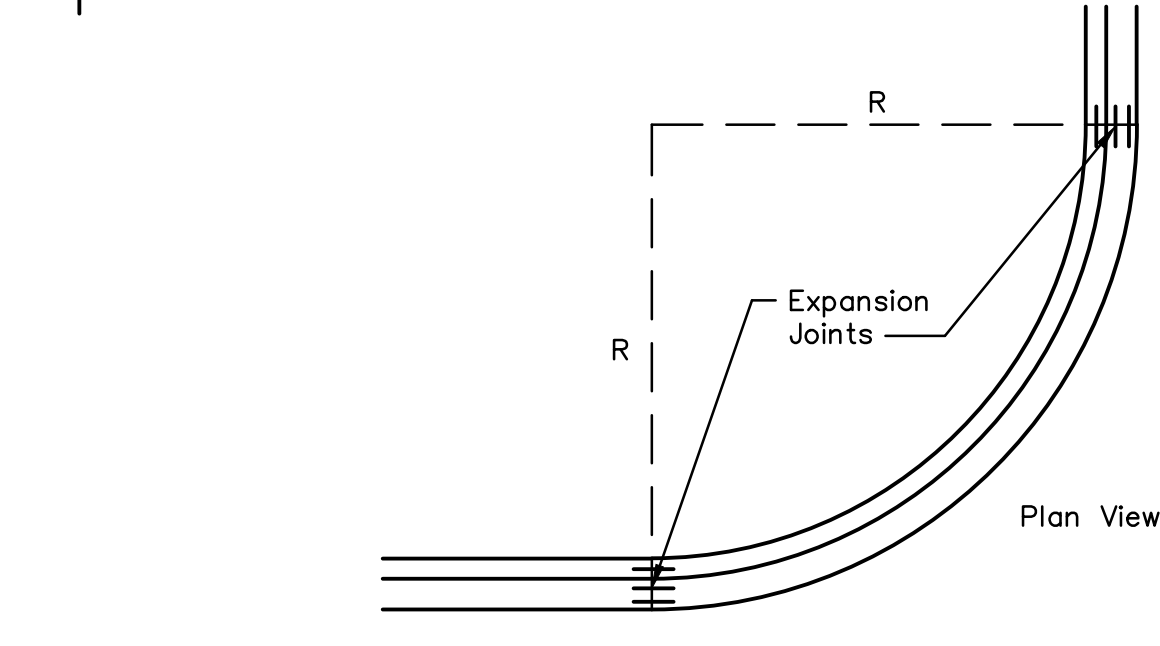
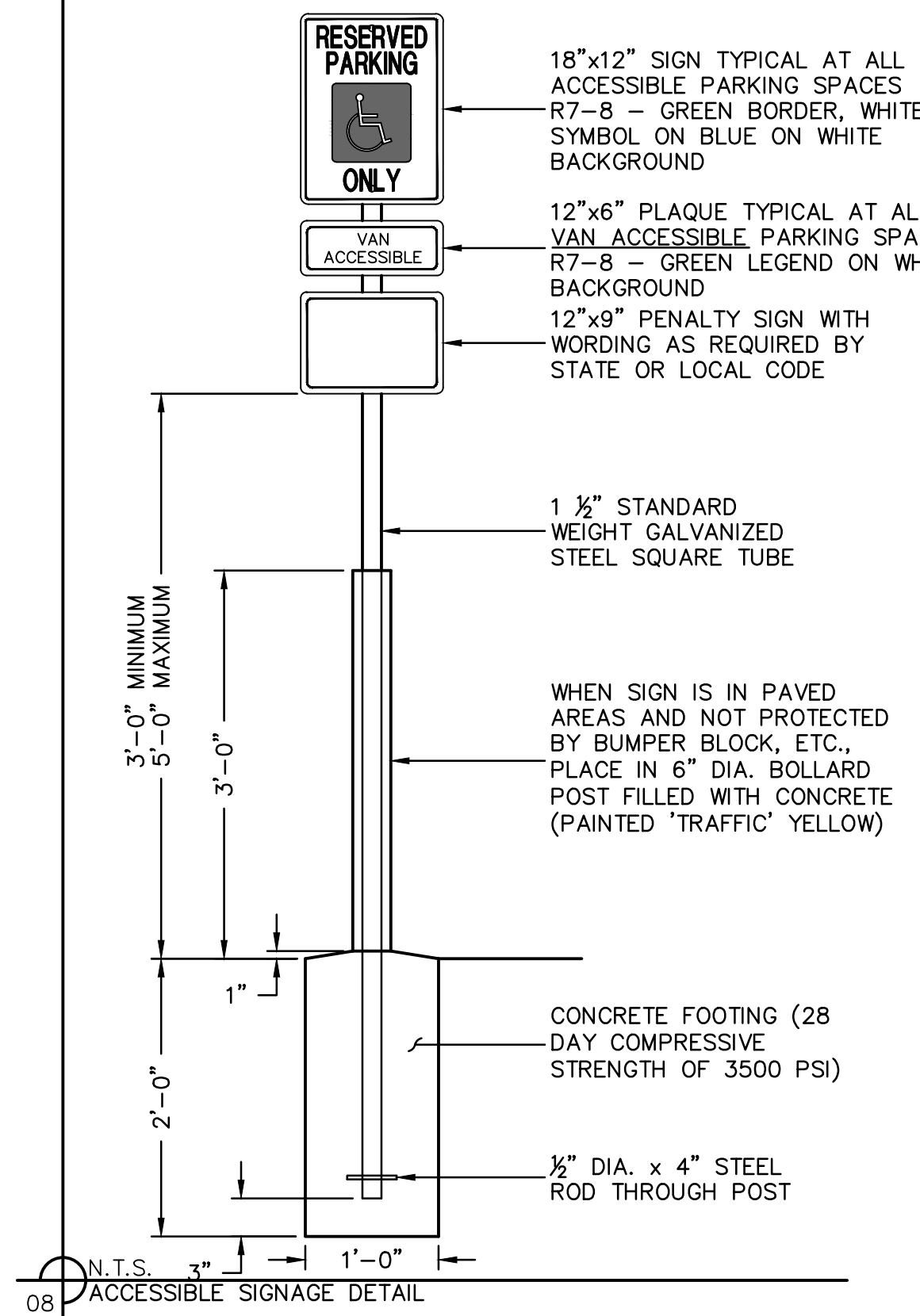
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 XREFS:



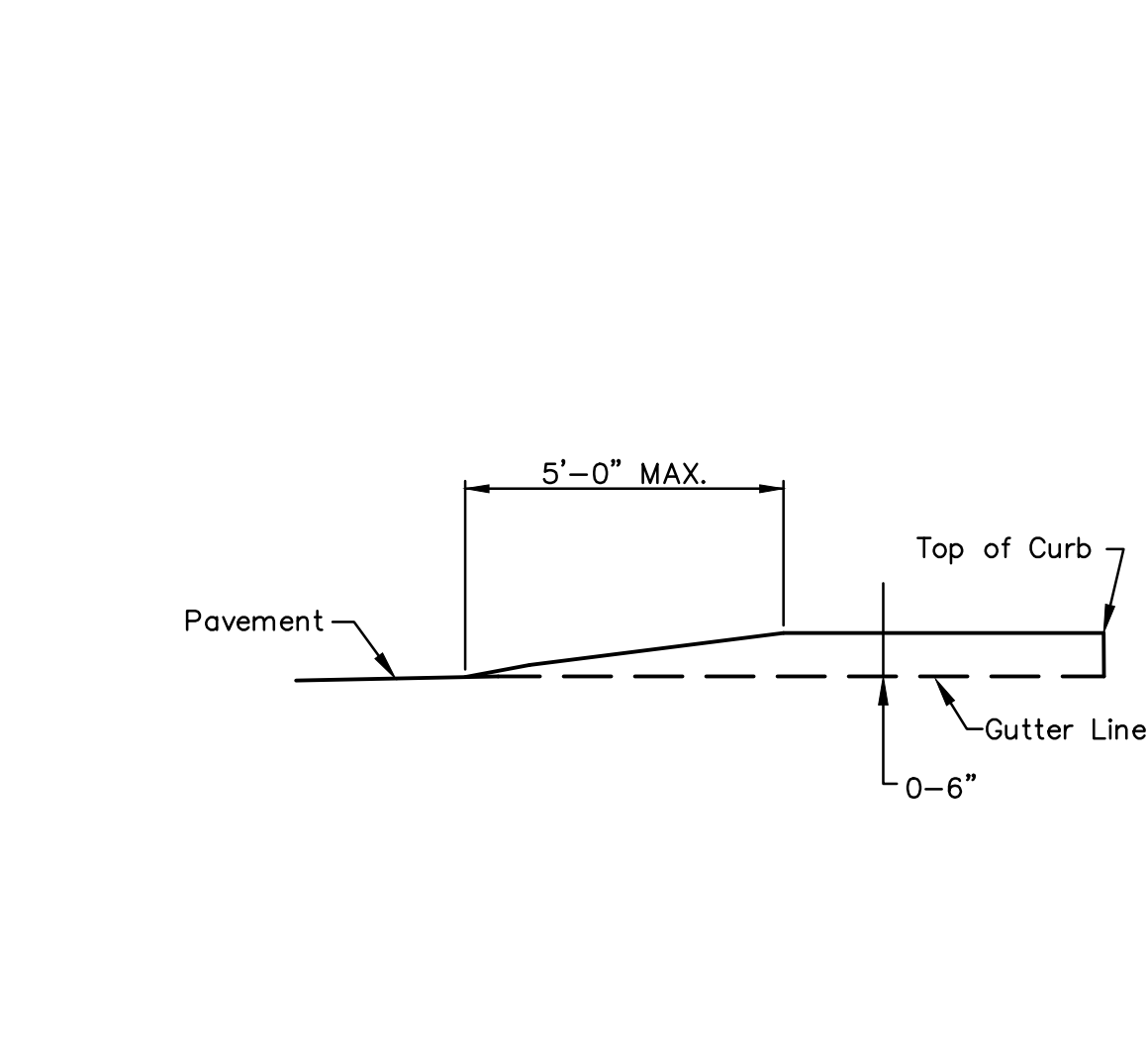
- GENERAL NOTES:**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 - KCMB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
 - ASPHALTIC CONCRETE SURFACE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



- NOTES:**
- ALL SIGNS SHALL COMPLY WITH THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - GALVANIZED SQUARE TUBE: POST TUBES - 2"x2"x1/8" 12GA. POST TUBE SHALL MEET ASTM A1011 GRADE 50. POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90. ANCHOR TUBE - 2"x2"x1/8" 12GA. HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
- THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN., 4" MAX. EXPOSED ABOVE FINISH GRADE.



- NOTES:**
- 3/4" EXPANSION JOINTS WITH 2' DOWELS TO BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 2" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS.
 - FIX DOWELS WITH BAR CHAIRS OR EQUAL.



olsson

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 MO# 2017000367

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2019.11.12	Revised per Staff comments.

PRELIMINARY DEVELOPMENT PLANS
 WOODSIDE RIDGE POOL
 ADDRESS

LEE'S SUMMIT, MISSOURI

2019

drawn by: _____ C.S.M.
 checked by: _____ J.E.S.
 designed by: _____ J.E.S.
 QA/QC by: _____
 project no.: 019-1288
 date: 10-02-2019

SHEET
 D01