

Planning & Codes Admin

RECEIVED
SEP 15 2016

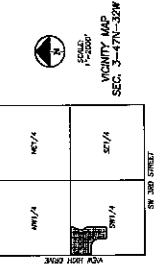
PROJECT NO. 16079
DATE: 7-22-16
SCALE: AS SHOWN
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

SHEET C2 OF 12

PROJECT NO. 16079
DATE: 7-22-16
SCALE: AS SHOWN
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

SITE PLAN
APARTMENTS - VILLAGE AT VEW HIGH
LEE'S SUMMIT, MISSOURI

PHILIPS ENGINEERING, INC.
1020 N. WILKINSON
COLUMBIAN, MISSOURI 65201
PH: 636-930-1100
WWW.PHIIPSENGINEERING.COM



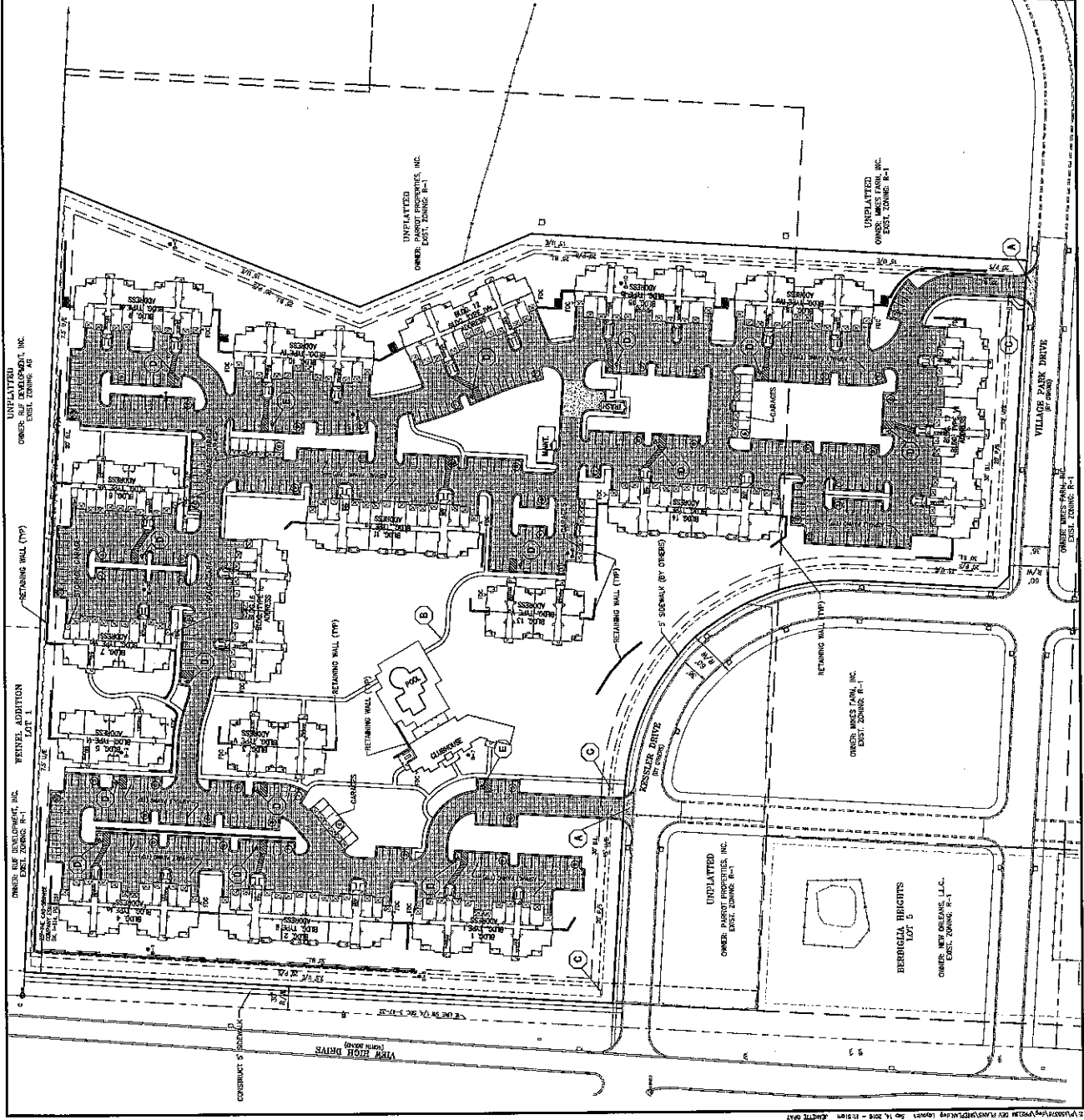
FLOOD NOTE:
THIS PROPERTY LIES WITHIN ZONE A. AREAS AT RISK CONTAINED TO BE INDICATED ON THE FLOOD HAZARD MAP. THE FLOOD HAZARD MAP IS A PUBLIC DOCUMENT AND IS AVAILABLE TO THE PUBLIC. THE FLOOD HAZARD MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD HAZARD MAP IS SUBJECT TO CHANGE WITHOUT NOTICE. THE FLOOD HAZARD MAP IS SUBJECT TO CHANGE WITHOUT NOTICE.



- KEY NOTES:**
- (A) CONSTRUCT CURBSIDE DRAINAGE
 - (B) CONCRETE SIDEWALK (TYP)
 - (C) MOUNTAIN SOIL
 - (D) ACCESSIBLE STORAGE, STAIRING AND WALKS
 - (E) 6\"/>

- LEGEND:**
- BL BUILDING LINE
 - U/C UTILITY FACILITY
 - P/S PARKING STRIP

NOTES: SHALL COMPLY WITH CO-1 CONCRETE TYPE
INDICATE ALL PARKING SPACES AND ACCESS DRIVES



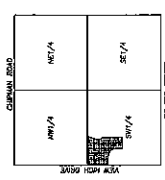
PHILIPS ENGINEERING, INC. PROJECT NO. 16079 DATE: 7-22-16 SCALE: AS SHOWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]

DIMENSION PLAN APARTMENTS - VILLAGE AT VEW HIGH LEE'S SUMMIT, MISSOURI

PHILLIPS ENGINEERING, INC.
2020 N. WINCHESTER
CHICAGO, MISSOURI 63016
TEL: (314) 997-1955
WWW.PHILLIPSENGINEERING.COM

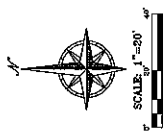
SHEET
C2.1
OF 12

NO.	DATE	REVISIONS
1	9-14-16	REVISED PER CITY COMMENTS
2	9-14-16	
3	9-14-16	
4	9-14-16	
5	9-14-16	



UNIVERSITY MAP
SCALE: 1"=2000'
SEC. 3--4741--0274

BOUNDARY:
THE PROPERTY LINES SHOWN HEREIN ARE BASED AS PROVIDED BY THE OWNER AND AS FIELD VERIFIED BY THE ENGINEER. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY LINES AND HAS FOUND THEM TO BE CORRECT. THE ENGINEER HAS NOT CONDUCTED A SURVEY OF THE PROPERTY LINES AND HAS NOT BEEN ADVISED BY ANY PARTY THAT THERE IS A DISCREPANCY BETWEEN THE PROPERTY LINES SHOWN HEREIN AND THE ACTUAL PROPERTY LINES. THE ENGINEER HAS NOT BEEN ADVISED BY ANY PARTY THAT THERE IS A DISCREPANCY BETWEEN THE PROPERTY LINES SHOWN HEREIN AND THE ACTUAL PROPERTY LINES.



NOTE:
ALL DIMENSIONS ARE TO THE BACK OF CURB & FACE OF BUILDINGS.

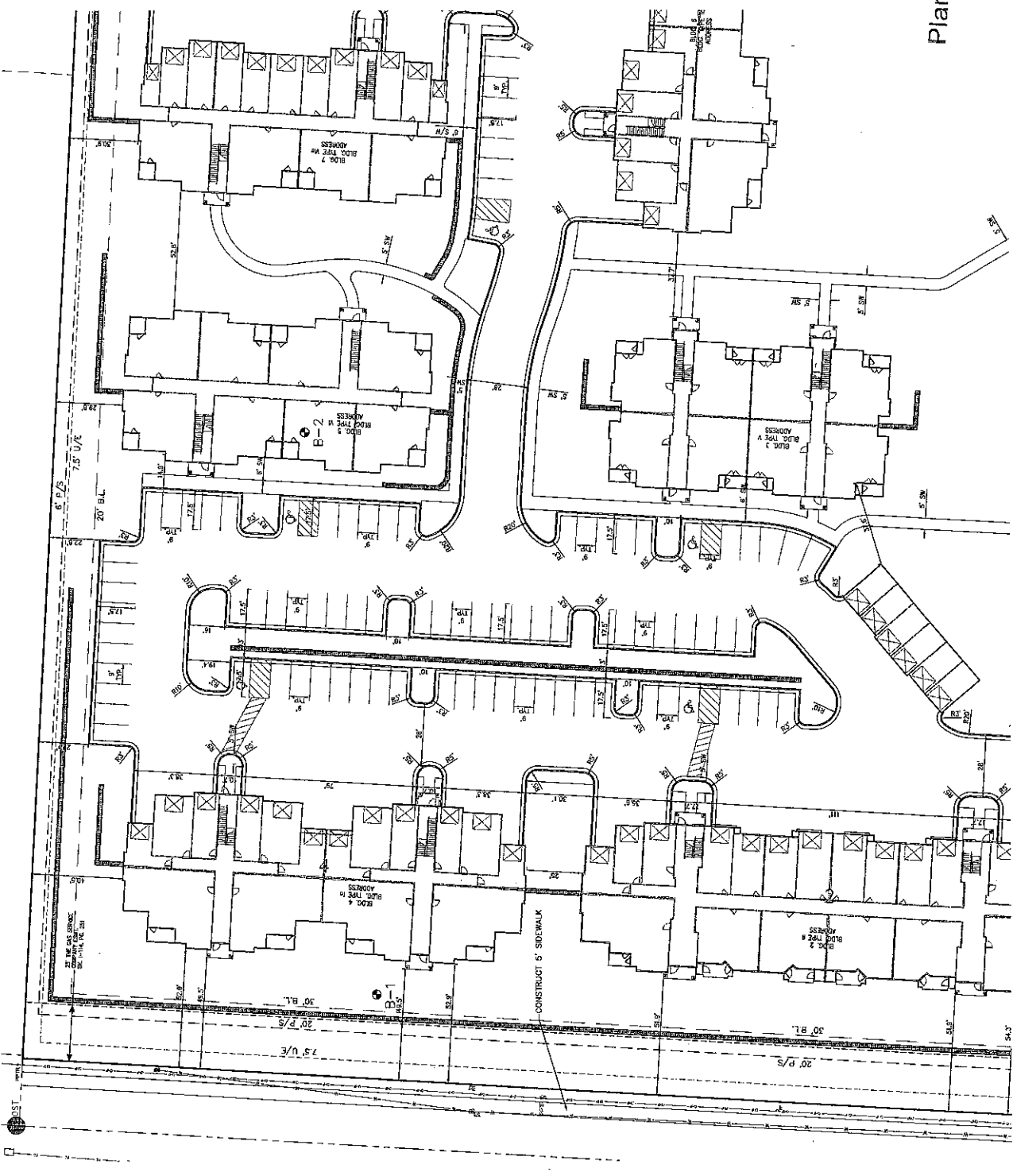
LEGEND:
BL BUILDING LINE
ULX UTILITY FACILITY
P/S PHONE SERVICE

RECEIVED

SEP 15 2016

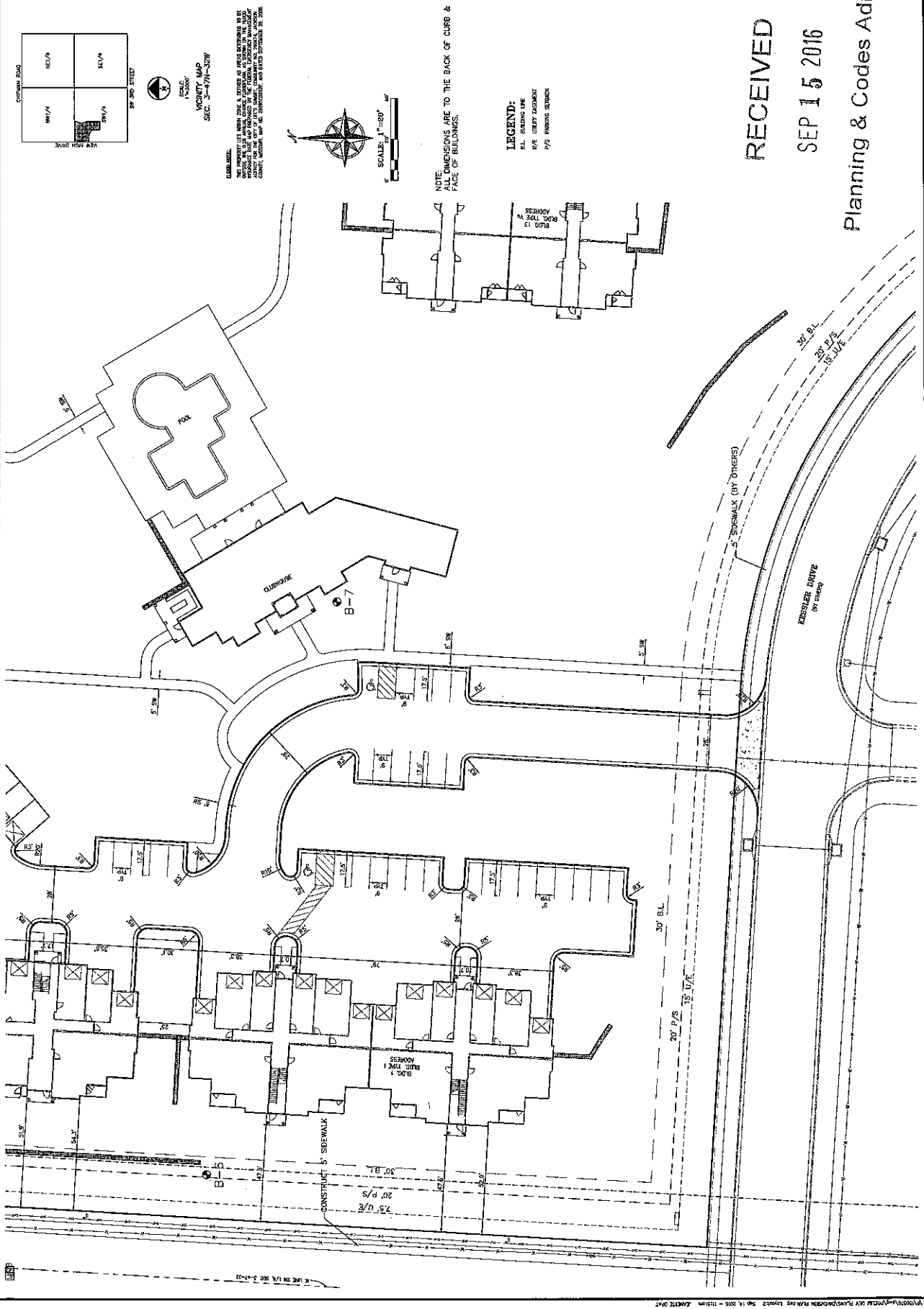
Planning & Codes Admin

-2016-146



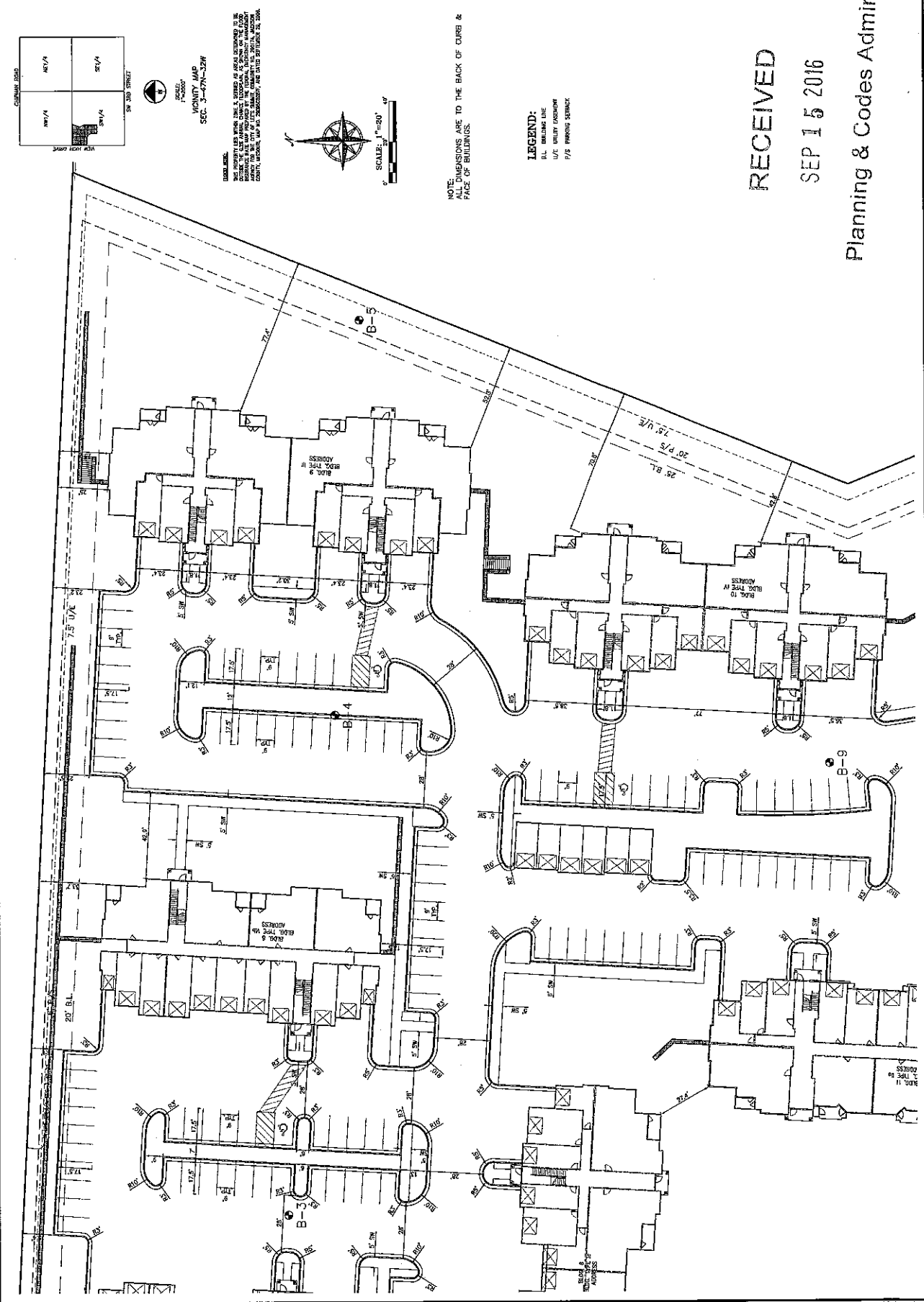
-2016-146

RECEIVED
 SEP 15 2016
 Planning & Codes Admin



DATE: 9/14/16
 DRAWN BY: JLD
 CHECKED BY: [Signature]
 PROJECT NO: 15076

PROJECT NO.	150072
DATE	7-22-15
SCALE	1"=10'
APPROVED	
DRAWN BY	15-11-15
CHECKED BY	
DATE	
PROJECT NO.	150072
DATE	7-22-15
SCALE	1"=10'
APPROVED	
DRAWN BY	15-11-15
CHECKED BY	
DATE	



RECEIVED
 SEP 15 2016

Planning & Codes Admin

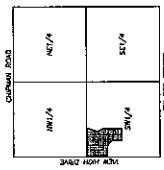
-2016-146

PHILLIPS ENGINEERING, INC.
 1200 N. WILSON
 OFFICE PHONE 636-355-4000
 FAX 636-355-4000
 WWW.PHILLIPSENG.COM

DIMENSION PLAN
 LEET'S SUMMIT, MISSOURI
 APARTMENTS - VILLAGE AT VIEW HIGH

NO.	DATE	DESCRIPTION	BY
1	7-22-15	ISSUED FOR CITY COMMENTS	PHILLIPS
2	9-14-15	REVISED PER CITY COMMENTS	PHILLIPS

SHEET
C2.4
 OF 12



CITY MAP
 SCALE: 1"=50'
 SEC. 3-11-27N

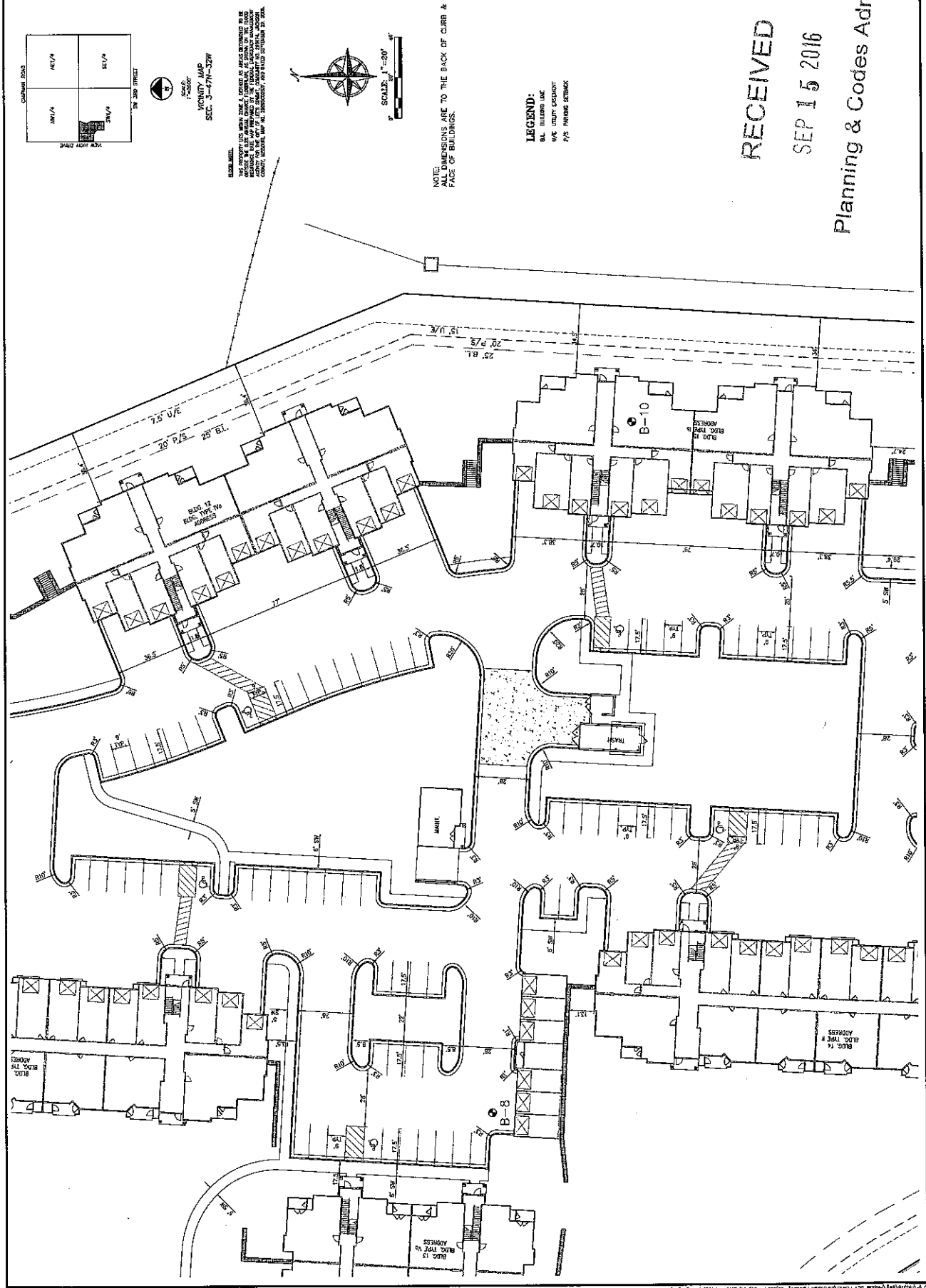


NOTE:
 ALL DIMENSIONS ARE TO THE BACK OF CURB &
 FACE OF BUILDINGS.

- LEGEND:
- BL. BUILDING USE
 - 1/4 INCH EQUIPMENT
 - 7/8 INCH STAIRWELL

RECEIVED
 SEP 15 2016

Planning & Codes Admin



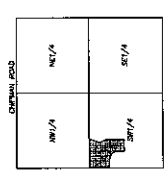
-2016-146

DIMENSION PLAN
APARTMENTS - VILLAGE AT VIEW HIGH
 LEES SUMMIT, MISSOURI

PEP
 PLANNING
 ENGINEERING
 PHILLIPS ENGINEERING, INC.
 1200 W. BROADWAY
 SUITE 200
 LEES SUMMIT, MISSOURI 64081
 (816) 399-9955
 www.phillipspep.com

PROJECT NO.	16-0329	
DATE	7-24-16	
DRAWN BY	J.M.	
CHECKED BY	J.M.	
DATE	9-11-16	
REVISIONS		
NO.	DATE	DESCRIPTION
1	9-11-16	REVISED PER CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

SHEET
C2.5
 OF 12



VICINITY MAP
 SCALE: 1"=500'
 SEC. 3-47N-20W



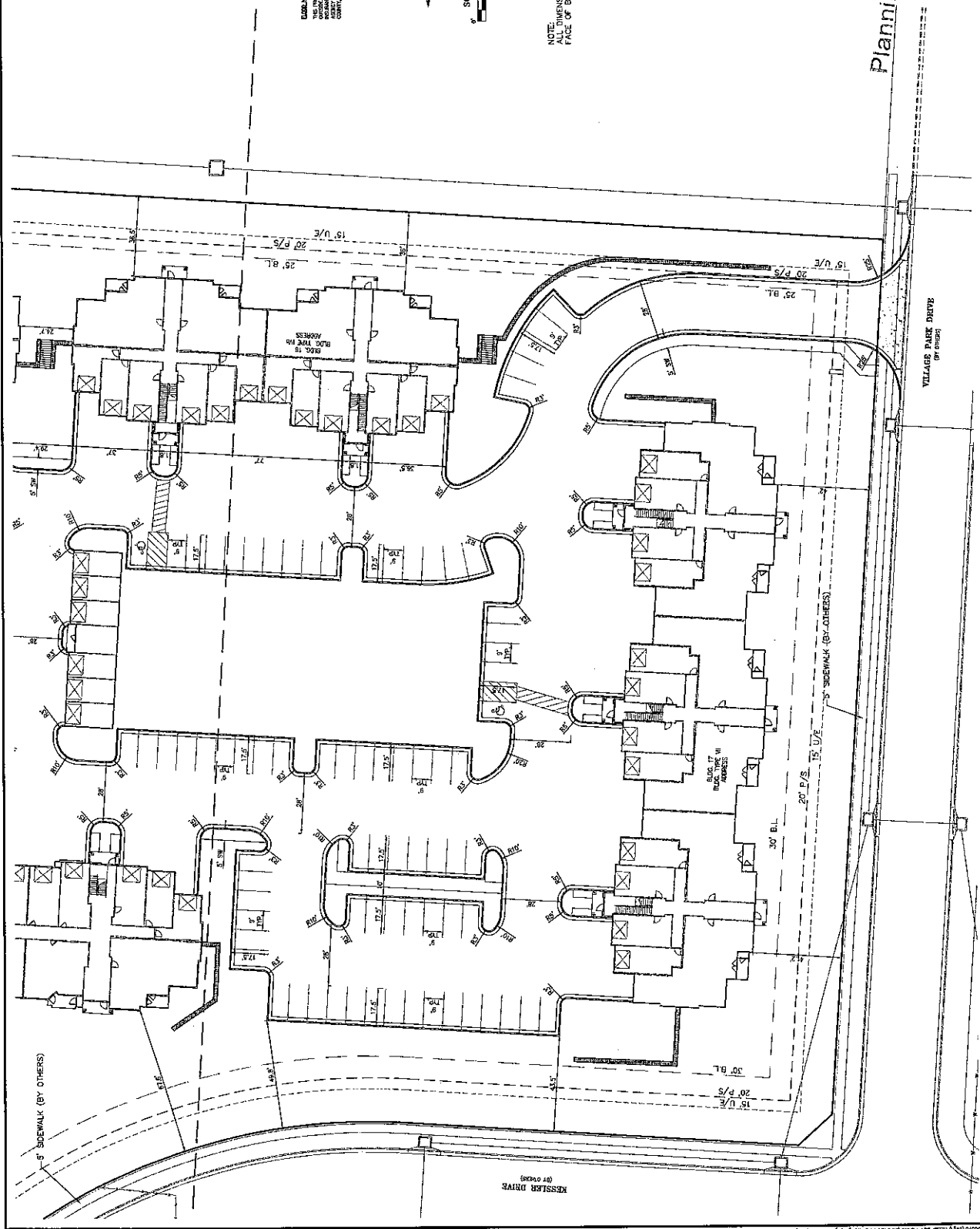
BOUNDARY NOTE:
 THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY CONDUCTED BY THE SURVEYOR AND SHOWN ON THE SURVEY MAP. THE SURVEYOR'S RECORDS SHOULD BE REFERRED TO FOR A COMPLETE DESCRIPTION OF THE PROPERTY BOUNDARIES AND THE LOCATION OF ALL EASEMENTS, ENCUMBRANCES, AND ADJACENT PROPERTY.

NOTE:
 ALL DIMENSIONS ARE TO THE BACK OF CURVE &
 FACE OF BUILDINGS.

LEGEND:
 BL. BUILDING LINE
 U/L. UTILITY FACILITY
 P/S. PARKING SPACE

RECEIVED
SEP 15 2016

Planning & Codes Administration



-2016-146

PROJECT NO.	192278
DATE	11-20-18
SCALE	AS SHOWN
DESIGNED BY	PHILIPS
CHECKED BY	PHILIPS
APPROVED BY	PHILIPS
DATE	11-20-18
PROJECT NO.	192278

LEGEND:

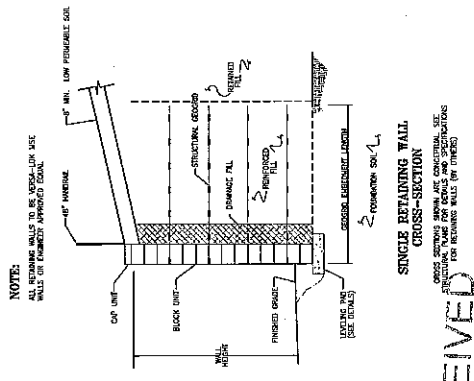
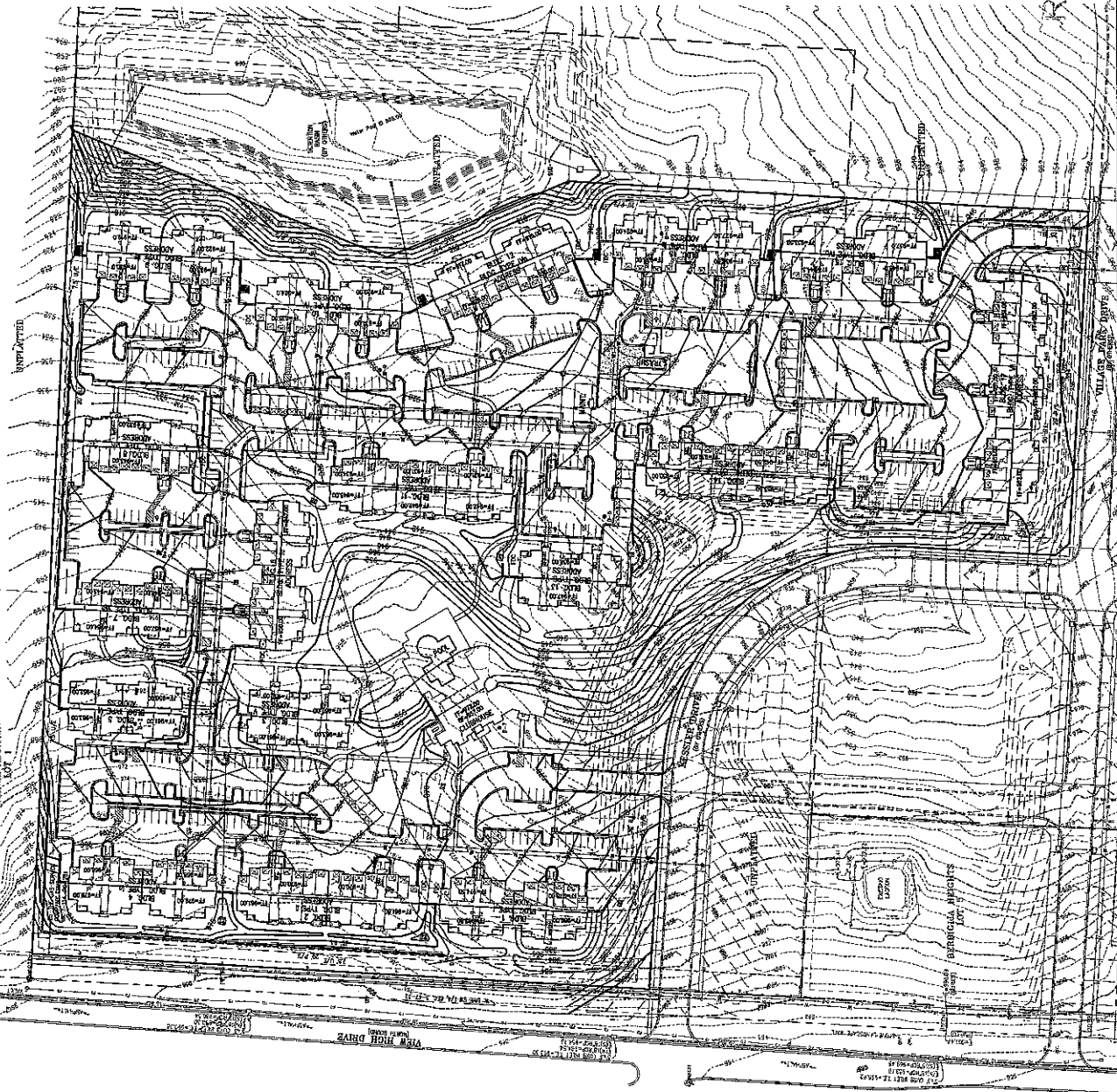
- EXISTING CONTOUR
- PROPOSED CONTOUR (BY OTHERS)
- PROPOSED CONTOUR
- BUILDING LINE
- UTILITY EASEMENT
- PARKING SETBACK

BL
U/E
P/S

SCALE: 1" = 60'

NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DATA AND RECORDS.
- ALL EXCESS WASTE OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR.



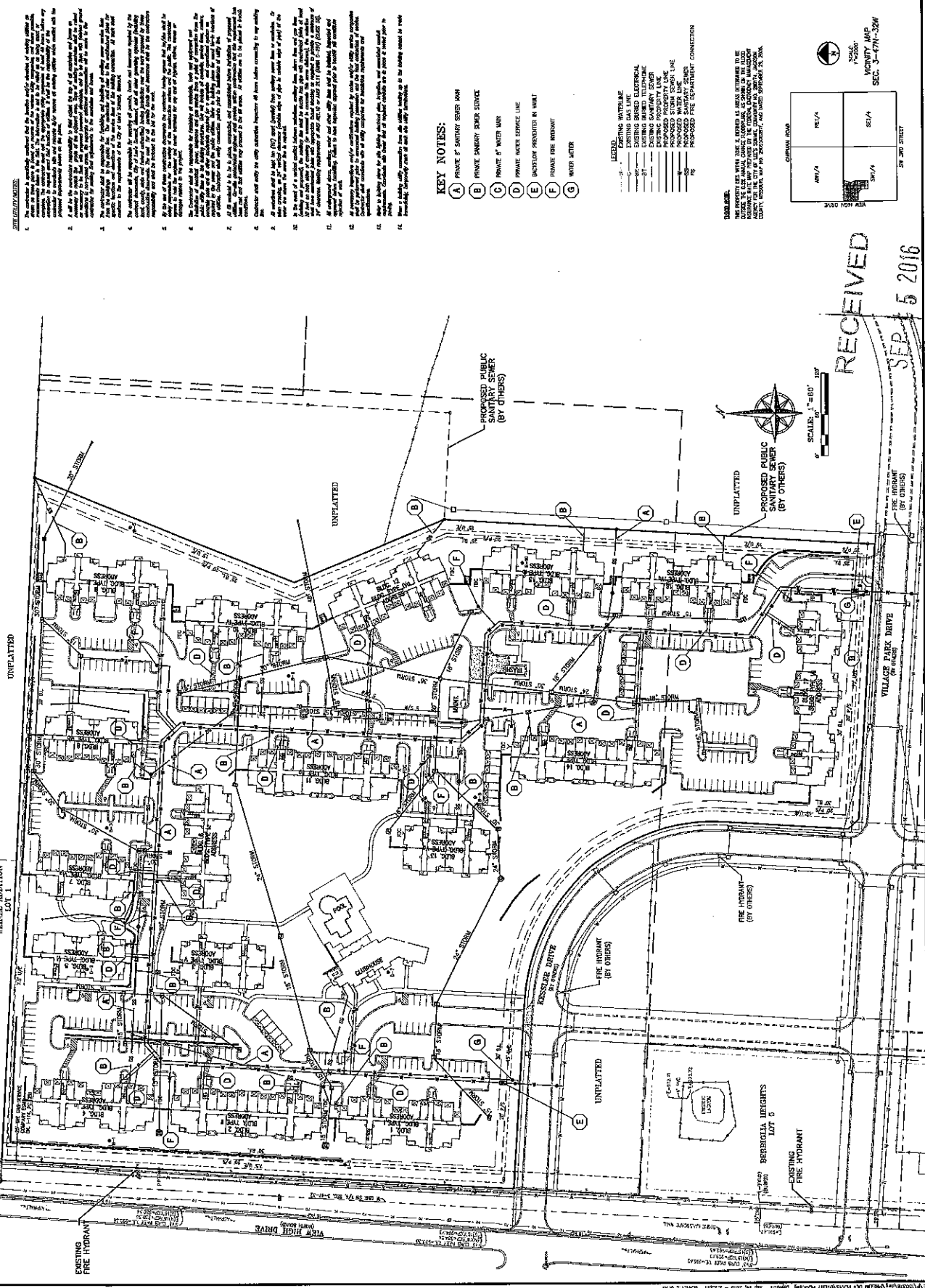
RECEIVED

SEP 15 2018

2016-146
 Planning & Codes Admin

UTILITY PLAN
 APARTMENTS - VILLAGE AT VEW HIGH
 LEES SUMMIT, MISSOURI

DATE:	7-22-16	BY:	JK
SCALE:	AS SHOWN	CHECKED:	JK
PROJECT NO.:	16-001	DESIGNED BY:	JK
CLIENT:	LEES SUMMIT, MISSOURI	DATE:	7-22-16



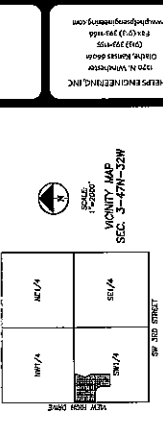
KEY NOTES:

1. PRIVATE 8" SANITARY SEWER MAIN
 2. PRIVATE 8" WATER MAIN
 3. PRIVATE WATER SERVICE LINE
 4. FACTORY PROVIDED IN UNIT
 5. PRIVATE FIRE HYDRANT
 6. WATER METER
- LEGEND:
- EXISTING WATERLINE
 - EXISTING GAS LINE
 - EXISTING BURIED TELEPHONE
 - EXISTING SANITARY SEWER
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED WATER LINE
 - PROPOSED FIRE HYDRANT CONNECTION
7. UNPLANNED
 8. PROPOSED PUBLIC SANITARY SEWER (BY OTHERS)
 9. EXISTING FIRE HYDRANT (BY OTHERS)
 10. BERGSCHEIDT LOT 5
 11. EXISTING FIRE HYDRANT
 12. UNPLANNED
 13. VEW HIGH DRIVE
 14. VILLAGE PARK DRIVE

DISCLAIMER:
 THIS PROPERTY HAS NOT BEEN SURVEYED BY AN ENGINEER OR ARCHITECT. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING OR ARCHITECTURAL DESIGN. THE USER OF THIS INFORMATION ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS INFORMATION.

RECEIVED
 SEP 5 2016
 Planning & Codes Admin

2016 - 146



PHILIP ENGINEERING, INC.
1320 N. WINDYCREST
DUBLIN, MISSOURI 64528
(417) 481-1111
www.philipengineering.com

DRAINAGE MAP
APARTMENTS - VILLAGE AT MEADOWS
LEE'S SUMMIT, MISSOURI

NO.	DATE	REVISIONS PER CITY CONSULT	BY	CHKD
1	08-14-13		PHILIP	PHILIP
2	08-14-13		PHILIP	PHILIP
3	08-14-13		PHILIP	PHILIP
4	08-14-13		PHILIP	PHILIP
5	08-14-13		PHILIP	PHILIP
6	08-14-13		PHILIP	PHILIP
7	08-14-13		PHILIP	PHILIP
8	08-14-13		PHILIP	PHILIP
9	08-14-13		PHILIP	PHILIP
10	08-14-13		PHILIP	PHILIP

SHEET
C5
OF 12

SCALE: 1"=50'
N

- LEGEND:**
- 942 --- EXISTING CONTOUR
 - 942 --- FUTURE EXISTING CONTOUR
 - 942 --- PROPOSED CONTOUR
 - 942 --- DRAINAGE BOUNDARY
 - B.L. — BUILDING LINE
 - U/E — UTILITY EASEMENT
 - P/S — PARKING SETBACK

DRAINAGE CALCULATIONS
100 FT. STORM SEWER, MANHOLE SIZES TO 48" DIA. (8'-0" DIA. MANHOLE)

NO.	DATE	REVISIONS PER CITY CONSULT	BY	CHKD
1	08-14-13		PHILIP	PHILIP
2	08-14-13		PHILIP	PHILIP
3	08-14-13		PHILIP	PHILIP
4	08-14-13		PHILIP	PHILIP
5	08-14-13		PHILIP	PHILIP
6	08-14-13		PHILIP	PHILIP
7	08-14-13		PHILIP	PHILIP
8	08-14-13		PHILIP	PHILIP
9	08-14-13		PHILIP	PHILIP
10	08-14-13		PHILIP	PHILIP

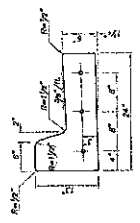
RECEIVED
AUG 28 2013

RECEIVED
 SEP 15 2016
 Planning & Codes Admin

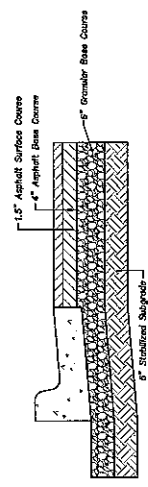
-2016-146

GENERAL NOTES

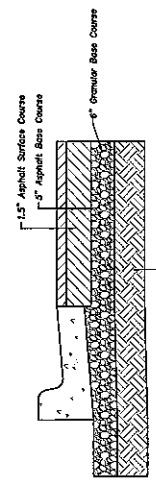
1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
2. A. PRIVATE DRIVE, TEMPORARY PARKING AREA, AND OTHER PRIVATE AREAS STRING REQUIREMENTS;
 PAINT SHALL BE A NON-BLEEDING, QUICK-DRYING, ALKYL PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND SHALL MEET ITS TYP-BSE AND MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
 B. ALL PAVEMENT MARKINGS WITHIN PUBLIC RIGHT-OF-WAY;
 THERMOPLASTIC OR PRE-FORMED THERMOPLASTIC ON ASPHALT SURFACES
 THERMOPLASTIC ON ASPHALT SURFACES
 3. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
 4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE WITHOUT THE ADDITION OF THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM COAT. STRIPES SHALL BE APPLIED TO THE SURFACE OF THE PAVEMENT AND STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN, AND STRAIGHT STRIPE.
5. THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:
 A. ACCESSIBLE SIGN
 B. PARKING STALL STRIPING - WHITE



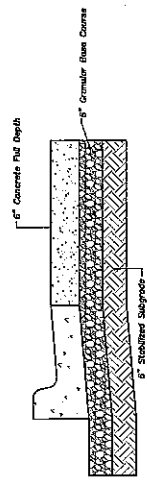
STRAIGHT-BACK CURB & GUTTER
 (TYPE (C)-1)



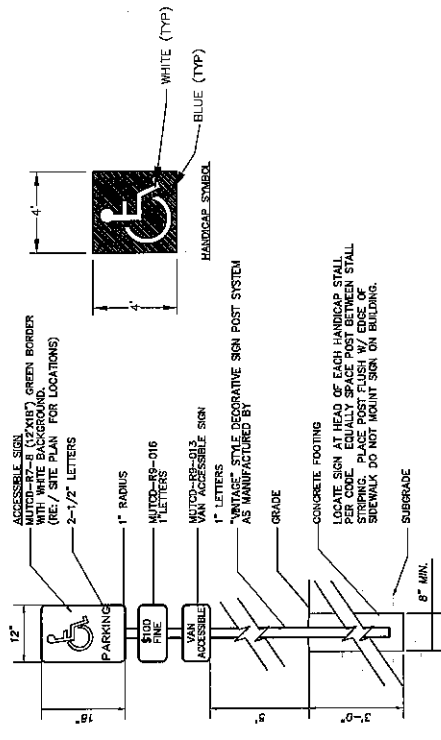
ASPHALT PAVING - PARKING AREAS



ASPHALT PAVING - DRIVE AREAS



CONCRETE PAVING



HANDICAPPED SIGNAGE & PAVEMENT MARKING DETAIL

Revisions:

Date:	Description:

PERMIT SUBMITTAL

Apartments - Village at View High

Lee's Summit, Missouri

A Residential Development by
Cityscape
Residential

This drawing is an instrument of service. It is not valid unless the professional seal of the drafter is reproduced on the drawing. No portion of this drawing may be reproduced without the written permission of SGN+A, Inc.

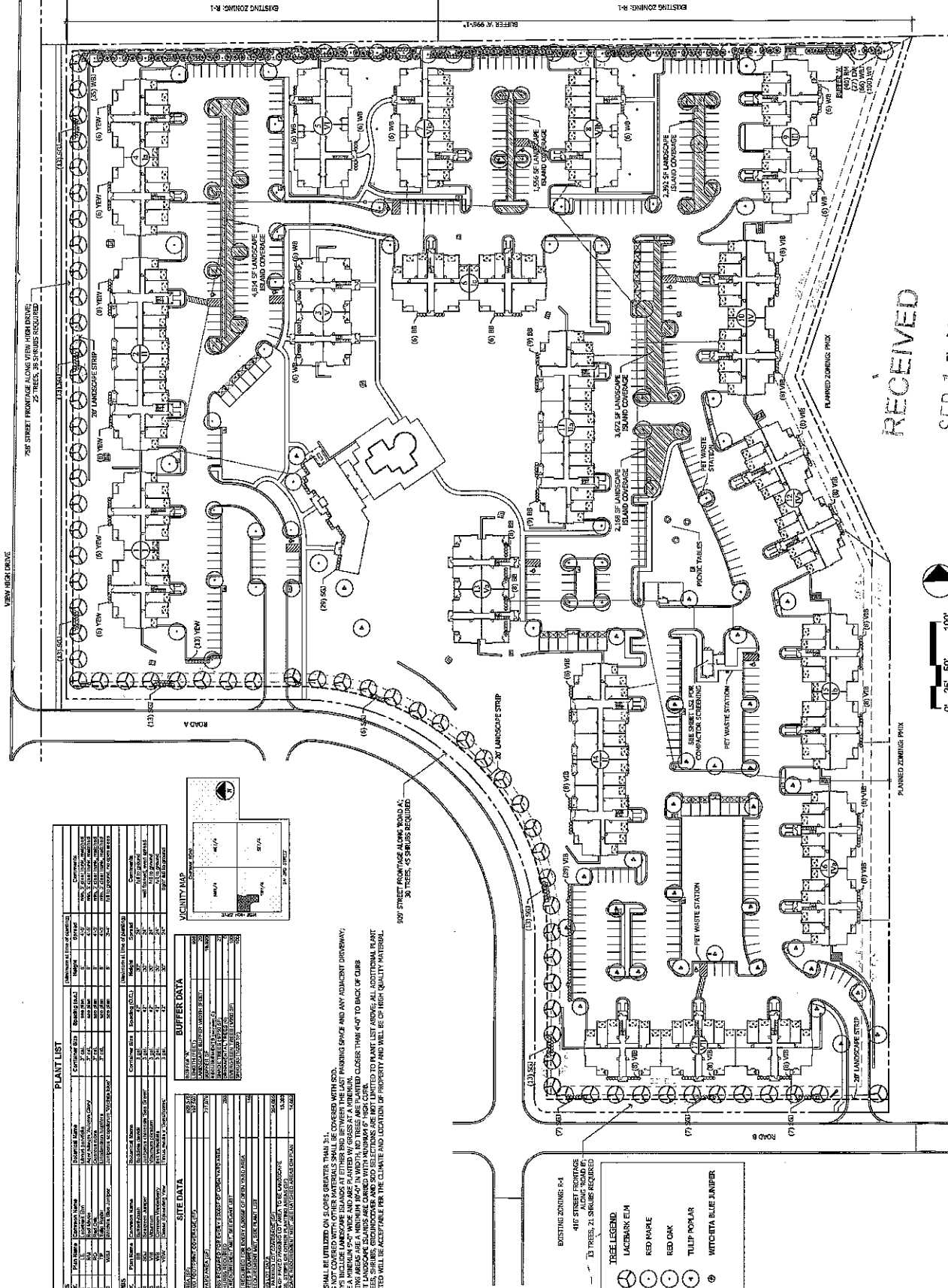
Sheet Title:
LANDSCAPE PLAN

Date:
22 July 2016

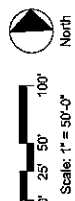
Sheet Number:

LSI

RELEASED FOR PERMITTING



RECEIVED
SEP 15 2016



Planning & Codes Adm 2016-146

PLANT LIST

PLANT	Common Name	Quantity	Remarks
01	Maple	1	Plant in central area
02	Red Oak	2	Plant along walkway
03	Witchita Blue Juniper	1	Plant in island
04	Red Maple	2	Plant near parking
05	Red Oak	3	Plant in perimeter
06	Tulip Poplar	1	Plant in island
07	Witchita Blue Juniper	1	Plant in island

SITE DATA

Item	Description
1	Project Name
2	Site Address
3	City/State/Zip
4	Client Name
5	Project Manager
6	Site Area (sq ft)
7	Building Area (sq ft)
8	Parking Area (sq ft)
9	Planting Area (sq ft)
10	Planting Date
11	Planting Method
12	Planting Source
13	Planting Contractor
14	Planting Cost
15	Planting Notes

NOTES:

- GROUND COVER SHALL BE UTILIZED ON SLOPES GREATER THAN 3:1.
- ALL SHRUBS TO BE PLANTED IN ISLANDS SHALL BE COMPACT WITH THE EXISTING PAVING AND SHALL BE PLANTED WITHIN THE EXISTING PARKING SPACE AND ANY ADJACENT DRIVEWAY.
- ALL TREES TO BE PLANTED IN ISLANDS SHALL BE PLANTED WITHIN THE EXISTING PARKING SPACE AND ANY ADJACENT DRIVEWAY.
- ALL TREES ARE A MINIMUM 5" DBH AND ARE PLANTED WITHIN THE EXISTING PARKING SPACE AND ANY ADJACENT DRIVEWAY.
- ALL TREES TO BE PLANTED IN ISLANDS SHALL BE PLANTED WITHIN THE EXISTING PARKING SPACE AND ANY ADJACENT DRIVEWAY.
- ADDITIONAL TREES, SHRUBS, BIGNONIA, AND SOIL SELECTIONS ARE NOT LIMITED TO PLANT LIST ABOVE. ALL ADDITIONAL PLANT MATERIAL SELECTED WILL BE ACCEPTABLE FOR THE CLIMATE AND LOCATION OF PROJECT AND WILL BE OF HIGH QUALITY MATERIAL.

TREE LEGEND

(Symbol)	RED MAPLE
(Symbol)	RED OAK
(Symbol)	TULIP POPLAR
(Symbol)	WITCHITA BLUE JUNIPER

EXISTING ZONING: R-1
41' STREET FRONTAGE
4' TREES, 2' SHRUBS REQUIRED

41' STREET FRONTAGE
4' TREES, 2' SHRUBS REQUIRED

Revisions:

Date	Description
11.24.15	Rev. 01: 100% PERMITS

PERMIT SUBMITTAL
Apartments - Village at View High

Lee's Summit, Missouri
A Residential Development by
Cityscape Residential

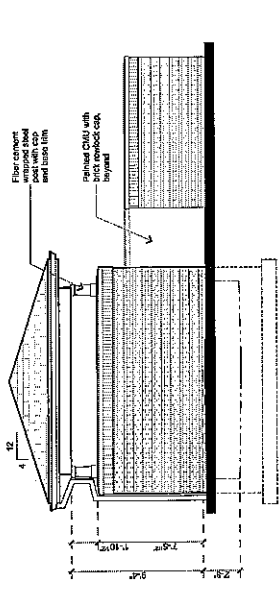
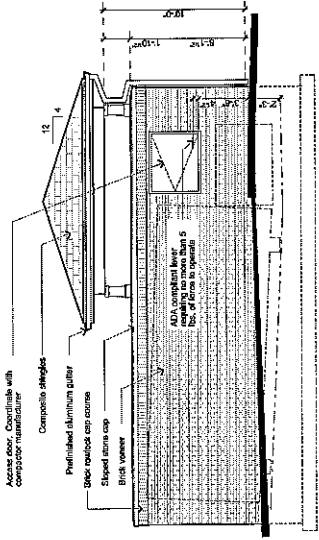
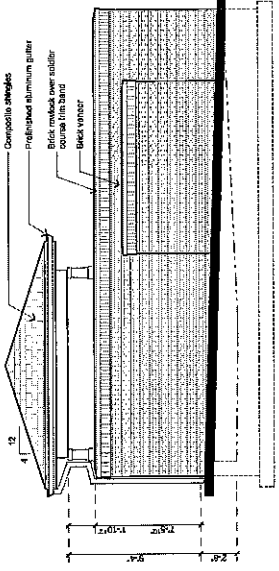
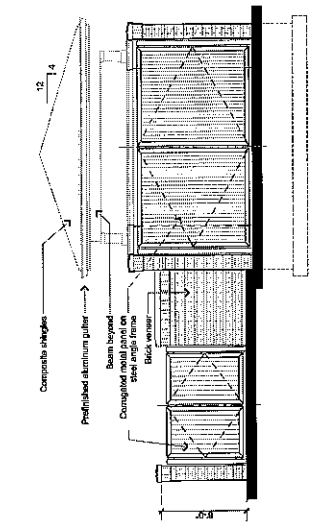
This drawing is an instrument of service. It shall remain the property of SGN+A, Inc. and shall not be reproduced, published or used in any manner without the written permission of SGN+A, Inc.

Sheet Title:
LANDSCAPE PLAN

Date:
22 July 2016

Sheet Number:

LS2
RELEASED FOR PERMITTING



1 Trash Enclosure Elevations

RECEIVED
SEP 15 2016

Planning & Codes Admin 2016 - 146



2016 - 146

SEP 15 2016

Planning & Codes Admin

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER/MODEL	LAMPS	NOTES
E	ENTRANCE WALL MOUNT FIXTURE	OSRAM 100W MASON 5190A	1X 100 WATT LED 5000 K 5000 LUMEN	14"-27" MOUNTING HEIGHT
2A	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2B	CEILING LED WITH 2X 100W MA, 4000K, TYPE 3 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2C	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2D	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2E	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2F	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2G	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2H	CEILING LED WITH 2X 100W MA, 4000K, TYPE 3 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2I	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2J	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2K	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2L	CEILING LED WITH 2X 100W MA, 4000K, TYPE 3 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2M	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2N	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2O	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2P	CEILING LED WITH 2X 100W MA, 4000K, TYPE 3 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2Q	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2R	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2S	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2T	CEILING LED WITH 2X 100W MA, 4000K, TYPE 3 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2U	CEILING LED WITH 2X 100W MA, 4000K, TYPE 2 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2V	CEILING LED WITH 2X 100W MA, 4000K, TYPE 4 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT
2W	CEILING LED WITH 2X 100W MA, 4000K, TYPE 5 MEDIUM	UNIDIMMABLE LIGHTING SYSTEM LED 200 1000 400 7M	2X 100 W LED	REFER TO DRAWING FOR MOUNTING HEIGHT

NOTE: ALL LIGHTING FIXTURES SHALL BE PRECISE BUILT, COORDINATE REQUIRED HEIGHT OF POLE BASE WITH FUTURE WORKING HEIGHT.

D-Series Size 1 LED Area Luminaire

Specifications:

Model	1327
Length	36"
Width	24"
Height	8.5"
Weight	21 lb

Introduction:
The D-Series Size 1 LED Area Luminaire is a high-quality, energy-efficient lighting fixture designed for use in a variety of commercial and residential applications. It features a sleek, modern design and is available in multiple configurations to meet your specific needs.

Key Features:

- Energy-efficient LED technology
- Adjustable beam angle for optimal lighting distribution
- Robust construction for long-lasting performance
- Easy installation and maintenance

Applications:
This luminaire is ideal for use in offices, retail stores, warehouses, and other commercial environments where reliable, high-quality lighting is essential.

D-Series Size 1 LED Wall Luminaire

Specifications:

Model	1327
Length	36"
Width	24"
Height	8.5"
Weight	21 lb

Introduction:
The D-Series Size 1 LED Wall Luminaire is a high-quality, energy-efficient lighting fixture designed for use in a variety of commercial and residential applications. It features a sleek, modern design and is available in multiple configurations to meet your specific needs.

Key Features:

- Energy-efficient LED technology
- Adjustable beam angle for optimal lighting distribution
- Robust construction for long-lasting performance
- Easy installation and maintenance

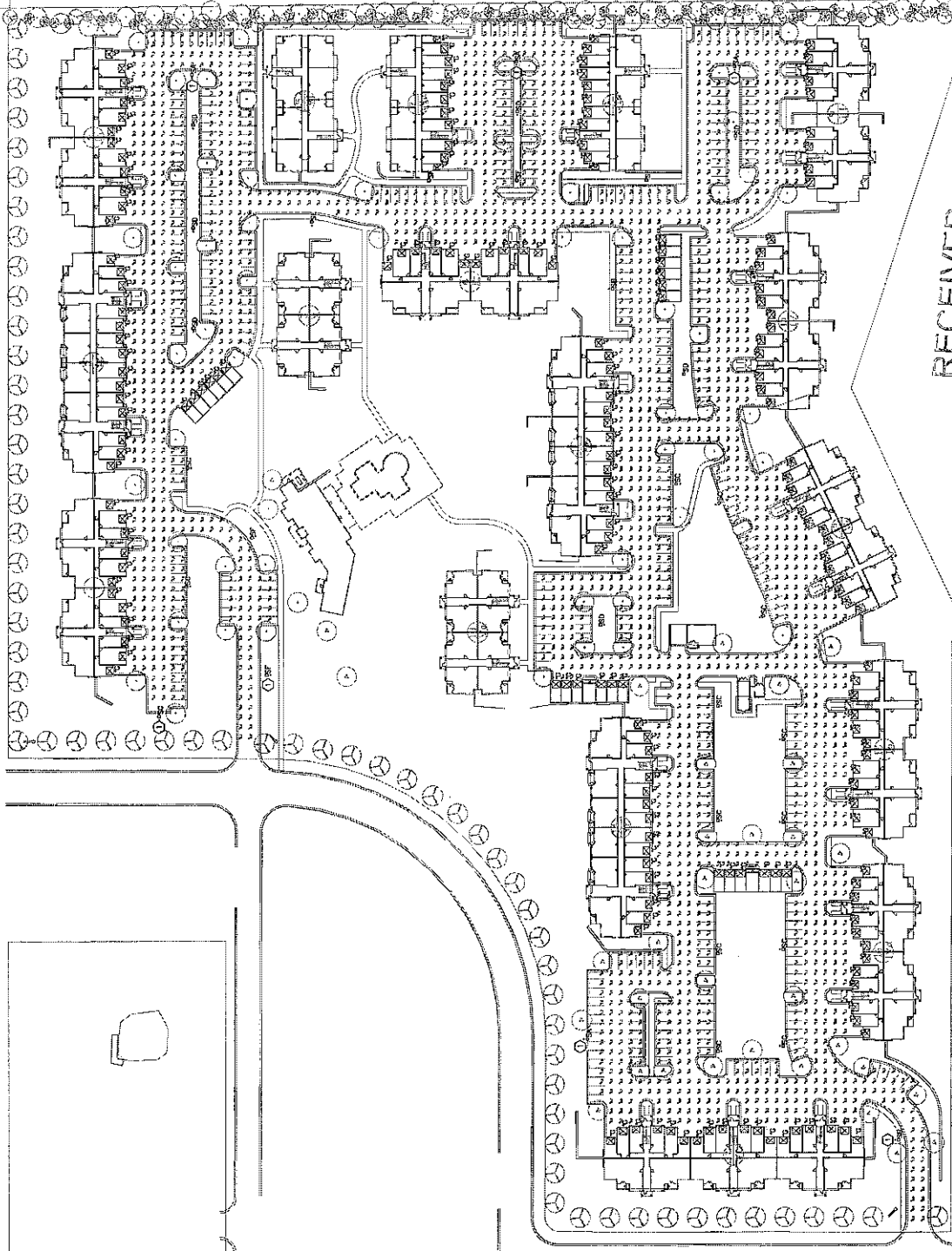
Applications:
This luminaire is ideal for use in offices, retail stores, warehouses, and other commercial environments where reliable, high-quality lighting is essential.

RECEIVED

GENERAL NOTES:
 1. THESE NOTED DIMENSIONS ARE MEASURED TO THE CENTERLINE OF THE CURVE.

KEY NOTES:
 1. POLE LIGHT SHALL BE INSTALLED AT 15'-0" RT

SYMBOL	DESCRIPTION	TYPE	SIZE	HEIGHT	SPACING
(Symbol)	POLE LIGHT	STANDARD	15'0"	15'0"	15'0"
(Symbol)	POLE LIGHT	STANDARD	15'0"	15'0"	15'0"
(Symbol)	POLE LIGHT	STANDARD	15'0"	15'0"	15'0"



1 SITE PLAN - LIGHTING
 SCALE: 1" = 80'-0"

RECEIVED

SEP 15 2016

Planning & Codes Admin

-2016-146

JSE
 Jordan & Sons Engineers
 PROFESSIONAL ENGINEERS
 WITH SPECIALTY CONTRACTORS
 License Number: 118881 Date: 09-28-2016 Expires: 09-28-2018

Revisions: _____
 Date: _____
 Description: _____

Preliminary
 Design Concepts
**Apartments -
 Village at View
 High**
 Lee's Summit, Missouri

A Residential Development by:
**Cityscape
 Residential**

The drawings are the property of SGN+A, Inc. and shall remain the property of SGN+A, Inc. for the purpose of providing architectural services to Cityscape, Inc.

Sheet Title:
**SITE PLAN -
 LIGHTING AT
 PROPERTY LINE**

Date:
 8/30/2016

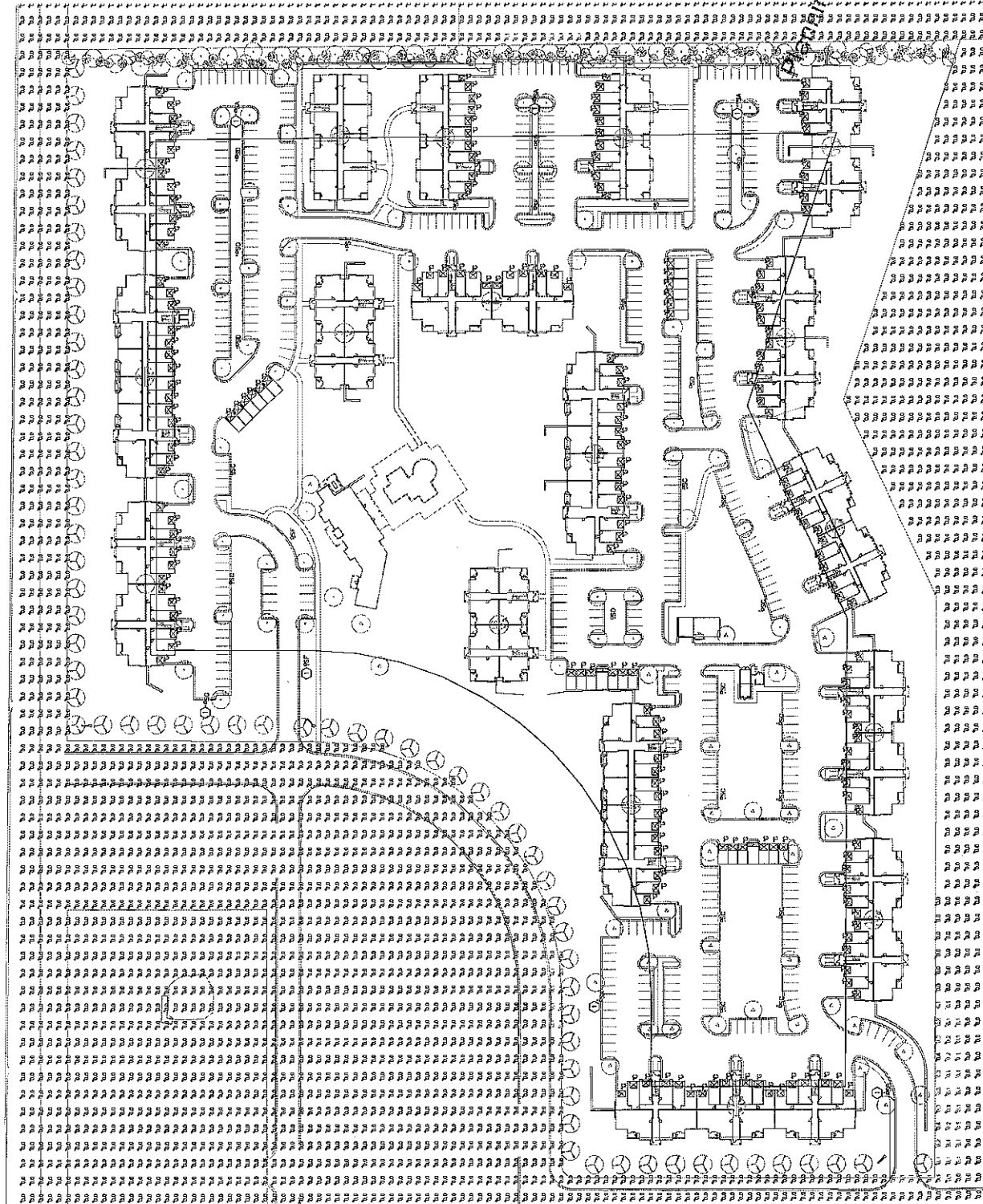
Sheet Number:
E1.1

Not Released for Construction

GENERAL NOTES:
 1. UNLESS NOTED OTHERWISE, ALL POLE MOUNTED SITE LIGHTS SHALL BE INSTALLED AT 20'-0" HT.

KEY NOTES:
 ① POLE LIGHT SHALL BE INSTALLED AT 15'-0" HT.

NO.	REVISIONS	DATE	BY	CHK'D	DATE

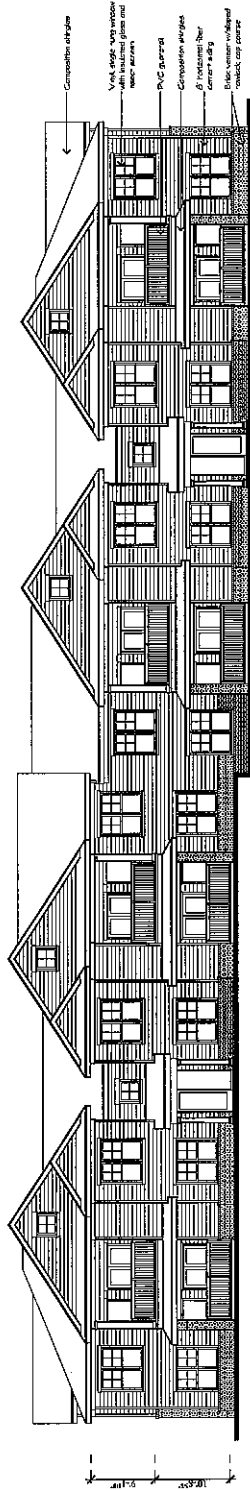


RECEIVED
 SEP 16 2016
 Planning & Codes Admin

JISE
 Jordan & Scott Engineers
 ARCHITECTS & ENGINEERS
 1000 BENTLEY BLVD
 SUITE 1000
 DALLAS, TX 75201
 TEL: 214.496.9800
 FAX: 214.496.9801
 WWW.JISE.COM

1 SITE PLAN - LIGHTING AT PROPERTY LINE
 SCALE: 1" = 50'-0"

-2016-146



Revisions:

Date	Description

Preliminary
 Design Concepts

**Apartments -
 Village at
 View High**
 Lee's Summit, Missouri

A Residential Development by:
Cityscape Residential

This drawing is an instrument of service prepared by SGN+A and shall not be reproduced, published or used in any form without the written permission of SGN+A, Inc.

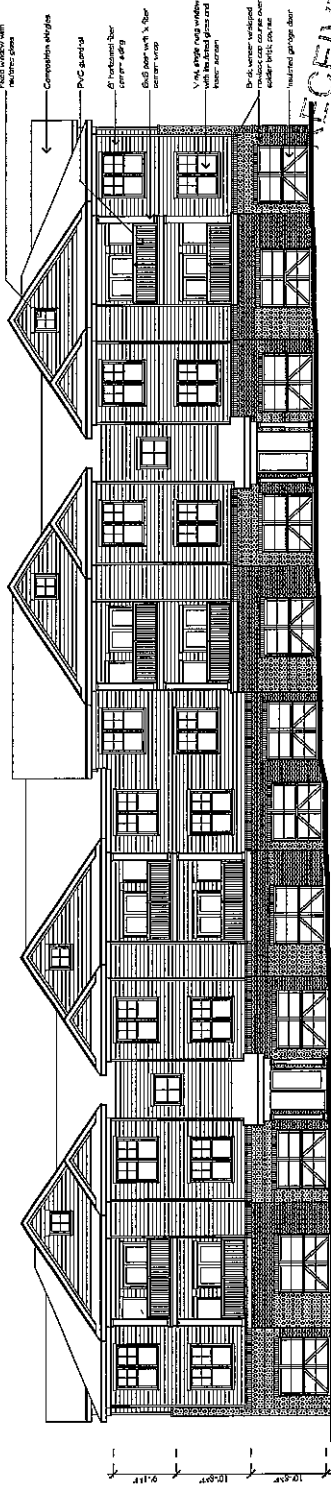
Sheet Title:
 Type I - Building
 Elevations

Date:
 8/30/2016

Sheet Number:
 A1

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.

Building Type I
 Building #'s 1, 4, 6 & 15, similar



Building Type I
 Building #'s 1, 4, 6 & 15, similar

RECEIVED
 SEP 15 2016
 Planning & Codes Admin

-2016-146

Revisions:

Date:	Description:

Preliminary
Design Concepts

Apartments -
Village at
View High
Lee's Summit, Missouri

A Residential Development by:
Cityscape
RESIDENTIAL

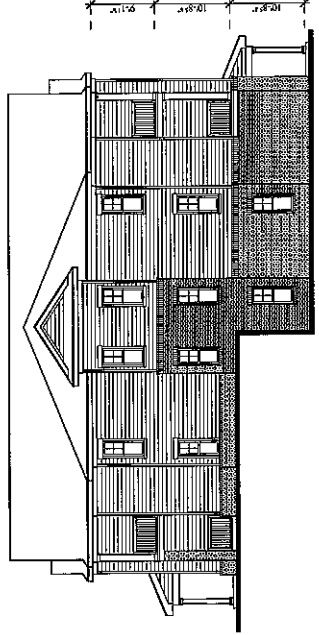
This drawing is an instrument of service of SGN+A, Inc. and shall not be reproduced, published or used in any way without the prior permission of SGN+A, Inc.

Sheet Title:
Type I - Building
Elevations

Date:
8/30/2016

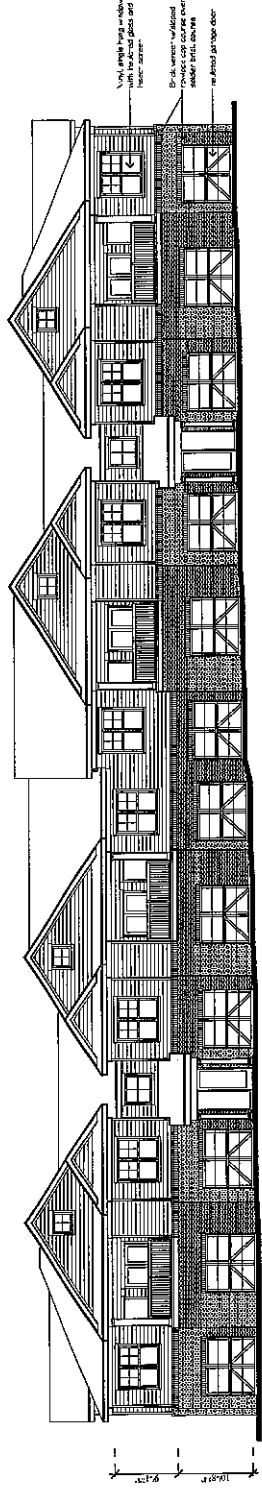
Sheet Number:
A2

Not Related For Construction



Building Type I
Building #'s 1, 4, 6 & 15, similar

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.



Building Type I
Building # 15

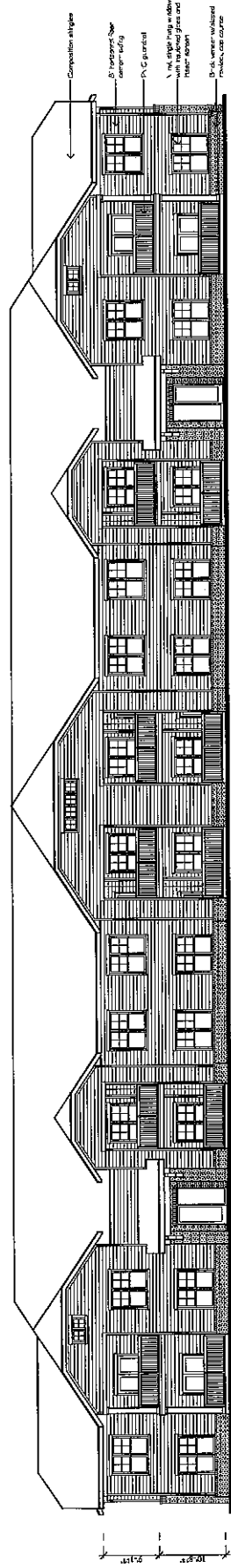
RECEIVED
SEP 15 2016
Planning & Codes Admin - 2016 - 146

Revisions:

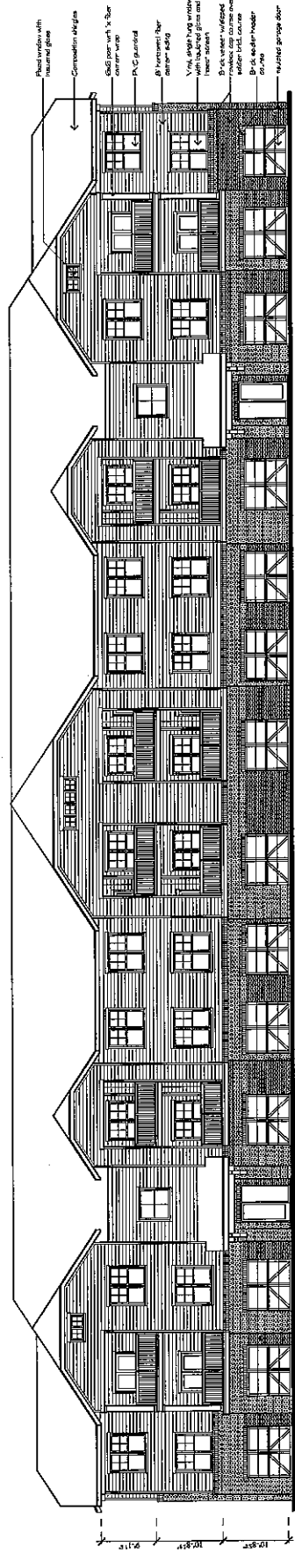
Date	Description

**Preliminary
 Design Concepts**
**Apartments -
 Village at
 View High**
 Lee's Summit, Missouri

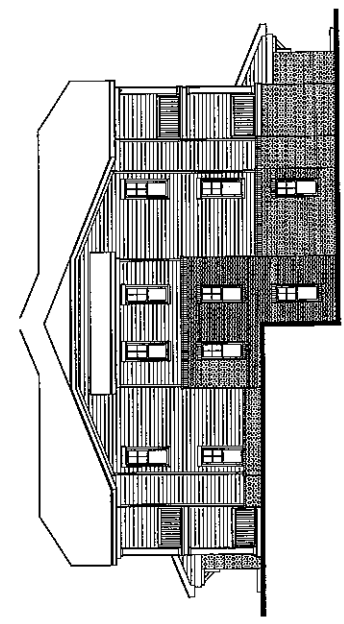
Sheet Title:
 Type II - Building
 Elevations
 Date:
 8/30/2016
 Sheet Number:
A3



Building Type II
 Building #s 2 & 14
 Building # 11, similar



Building Type II
 Building #s 2 & 14
 Building # 11, similar



Building Type II
 Building #s 2, 11 & 14

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.

RECEIVED
 SEP 15 2016

Planning & Codes Admin

-2016-146

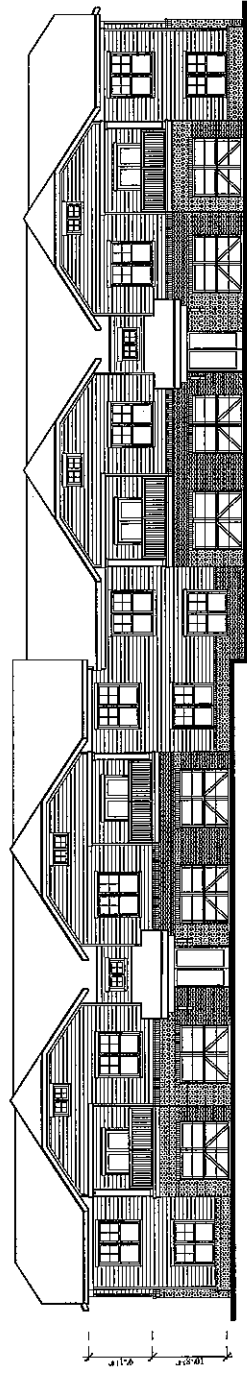
Revisions:

Date	Description

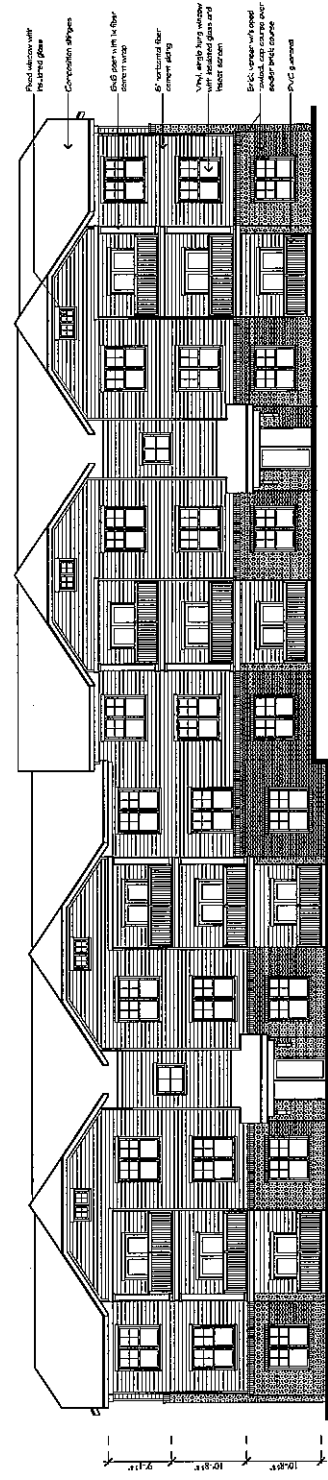
Preliminary Design Concepts
Apartments - Village at View High
Lee's Summit, Missouri

A Residential Development by:
Cityscape Residential
This drawing is an instrument of service. It shall remain the property of SGNMA, Inc. and shall not be reproduced, published or used in any way without the permission of SGNMA, Inc.

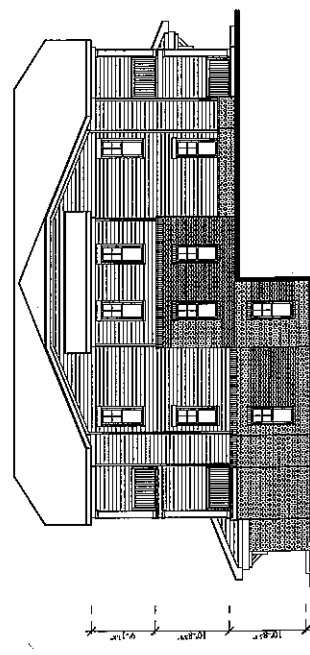
Sheet Title:
Types III & IV - Building Elevations
Date:
8/30/2016
Sheet Number:
A4



Building Types III & IV
Building #'s 9, 10, 12 & 16



Building Types III & IV
Building #'s 9, 10, 12 & 16



Building Types III & IV
Building #'s 9, 10, 12 & 16

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.

RECEIVED
SEP 15 2016

Planning & Codes Admin

-2016-146

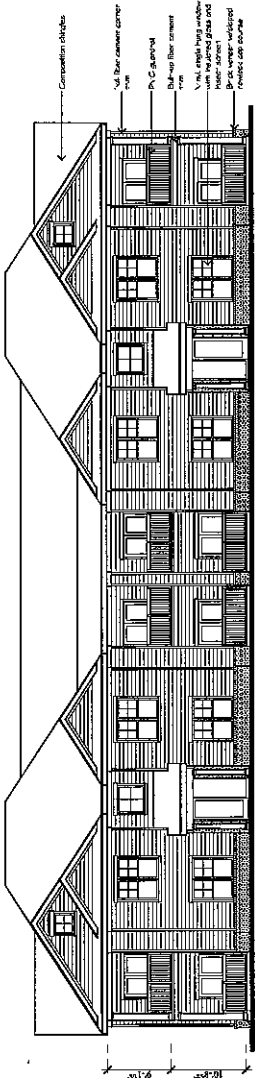
Revisions:

Date:	Description:

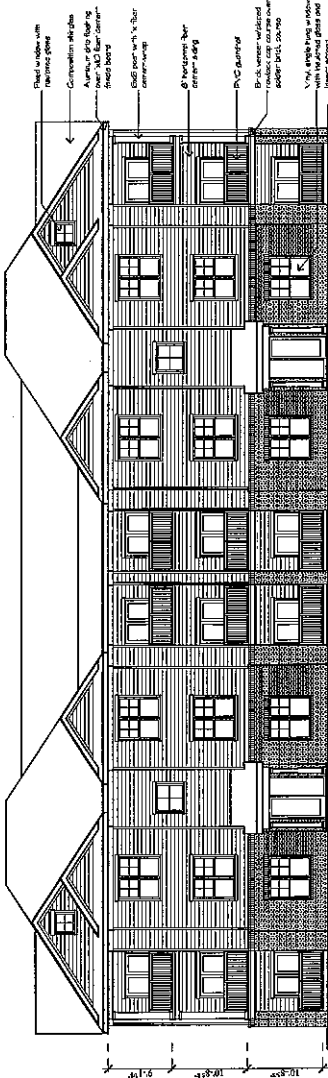
Preliminary
 Design Concepts
**Apartments -
 Village at
 View High**
 Lee's Summit, Missouri

A Residential Development by:
**Cityscape
 Residential**
 The drawing is an illustration of
 services, it is not a contract. It
 shall remain the property of SGN+A,
 Inc. and shall not be reproduced,
 stored, transmitted, or used in
 any way without the prior written
 permission of SGN+A, Inc.
Sheet Title:
 Type V - Building
 Elevations

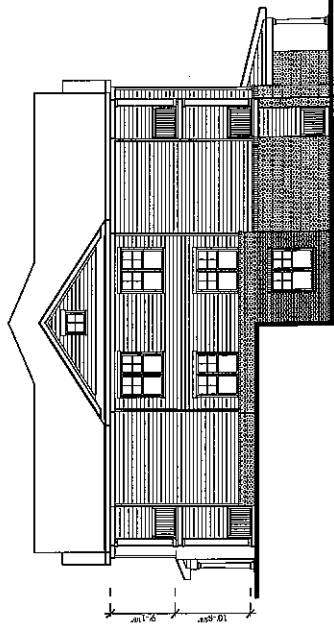
Date:
 8/20/2016
Sheet Number:
 A5



Building Type V
 Building # 13
 Building # 3, similar



Building Type V
 Building # 13
 Building # 3, similar



Building Type V
 Building #s 3 & 13

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.

RECEIVED
 SEP 15 2016

Planning & Codes Admin

-2016-146



SGN+A, Inc.
 315 West Fowler St. Lion Avenue
 Suite #25
 Memphis, TN 38103
 Tel: 404.373.2370
 Fax: 404.373.2372
 www.sgn+a.com

Revisions:

Date:	Description:

Preliminary Design Concepts
 Apartments -
 Village at
 View High
 Lee's Summit, Missouri

Approved Development by:
Cityscape
 RESIDENTIAL

This drawing is an instrument of service. It and all contents hereof shall remain the property of SGN+A, Inc. and shall not be reproduced, published or used in any way without the prior written permission of SGN+A, Inc.

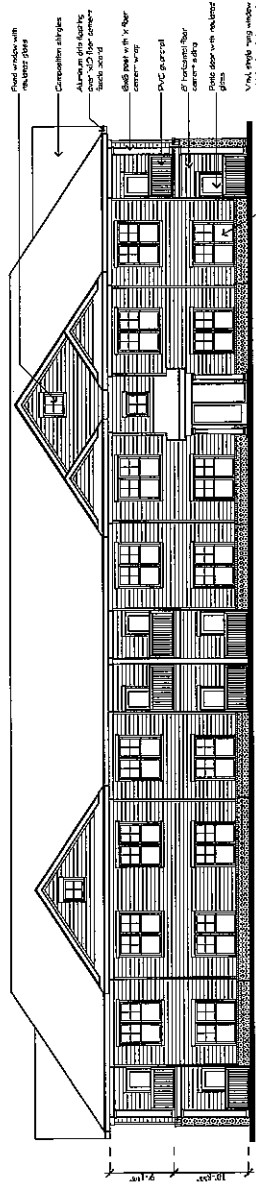
Sheet Title:
 Type VI - Building Elevations

Date:
 8/30/2016

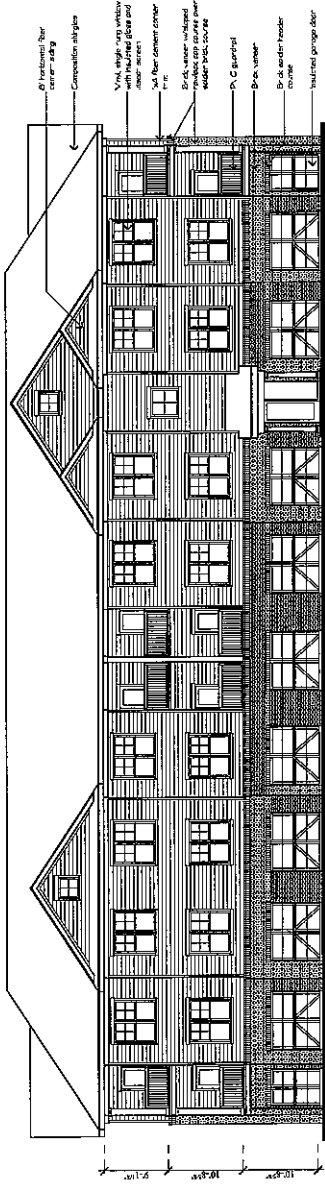
Sheet Number:

A6

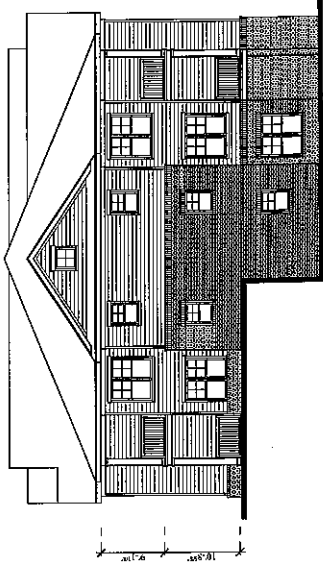
Not Released for Construction



Building Type VI
 Building #5 & 7



Building Type VI
 Building #7



Building Type VI
 Building #5, 7 & 8

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.

RECEIVED

SEP 15 2016

Planning & Codes Admin

-2016-146

Revisions:	Description:

Preliminary
 Design Concepts

Apartments -
 Village at
 View High
 Lee's Summit, Missouri

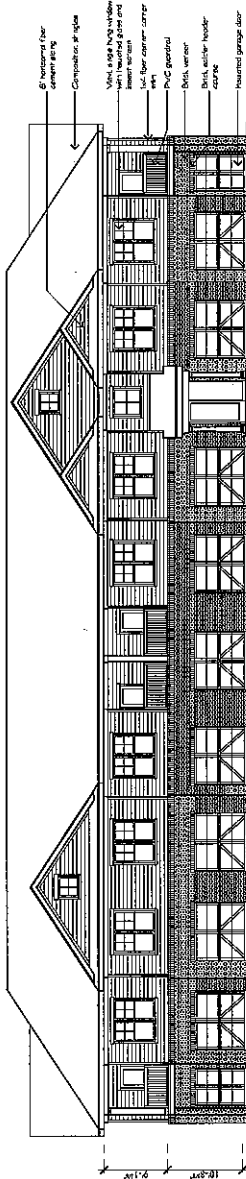
This drawing is an instrument of service. It shall remain the property of Cityscape Residential and shall not be reproduced, published or used in any way without the written permission of Cityscape, Inc.

Sheet Title:
 Type VI - Building
 Elevations

Date:
 8/30/2016

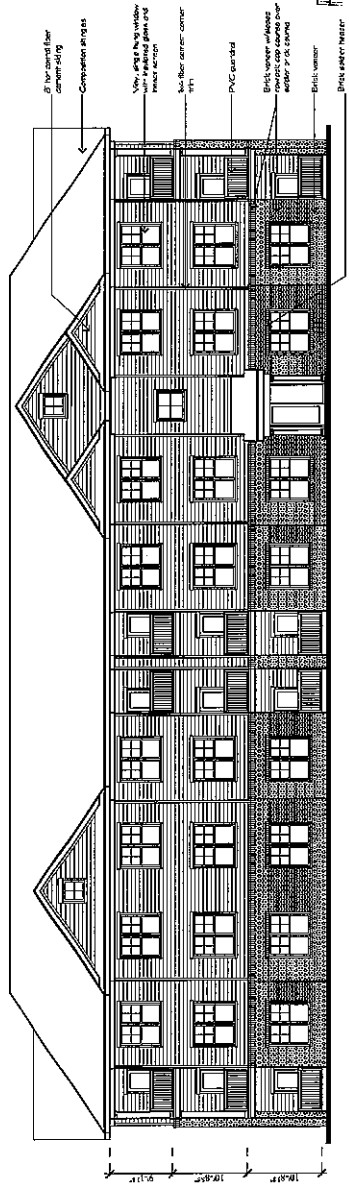
Sheet Number:

A7



Building Type VI
 Building # 8

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE



Building Type VI
 Building #s 5 & 8

RECEIVED

SEP 15 2016

Planning & Codes Admin

2016 146

Revisions:	Descriptions:

Preliminary Design Concepts
 Apartments -
 Village at
 View High
 Lee's Summit, Missouri

A Residential Development by:
Cityscape Residential
This drawing is an instrument of service. It shall remain the property of Cityscape Residential and shall not be reproduced, published or used in any way without the permission of Cityscape, Inc.

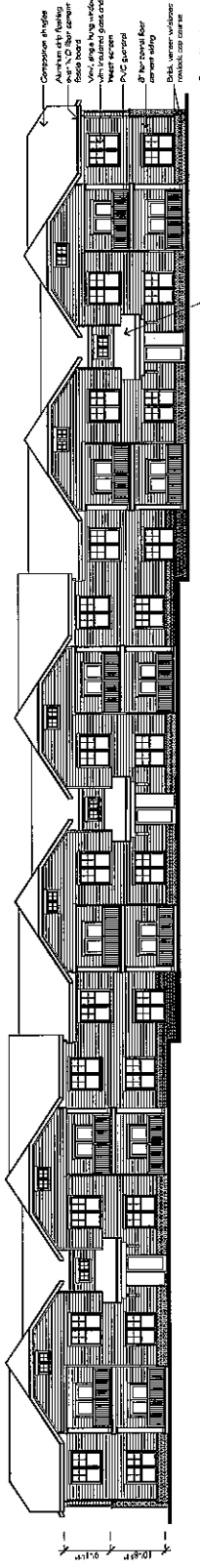
Sheet Title:
 Type VII - Building
 Elevations

Date:
 8/30/2016

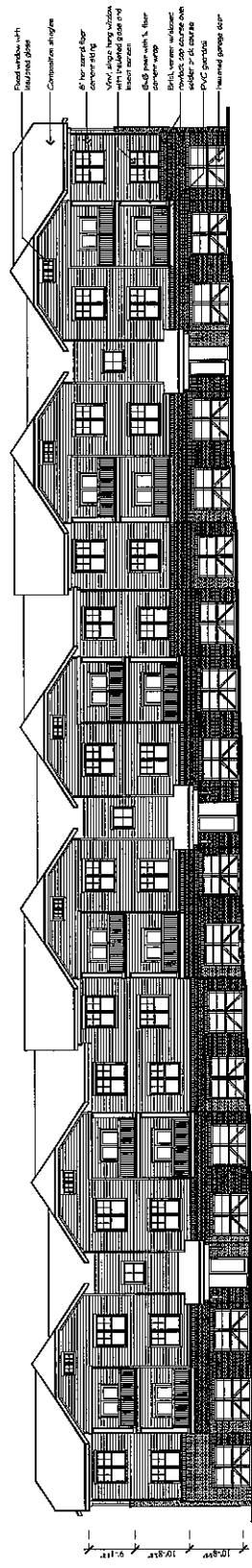
Sheet Number:

A8

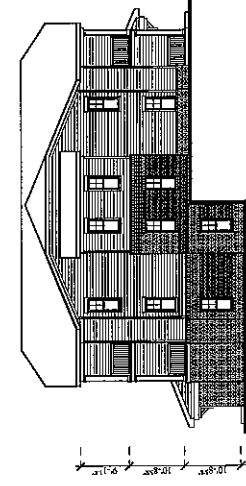
Not Released for Construction



Building Type VII
 Building # 17



Building Type VII
 Building # 17



Building Type VII
 Building # 17

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.

RECEIVED

SEP 15 2016

Planning & Codes Admin - 2016 - 146

Revisions:	Description:

Preliminary Design Concepts
Apartments - Village at View High
 Lee's Summit, Missouri

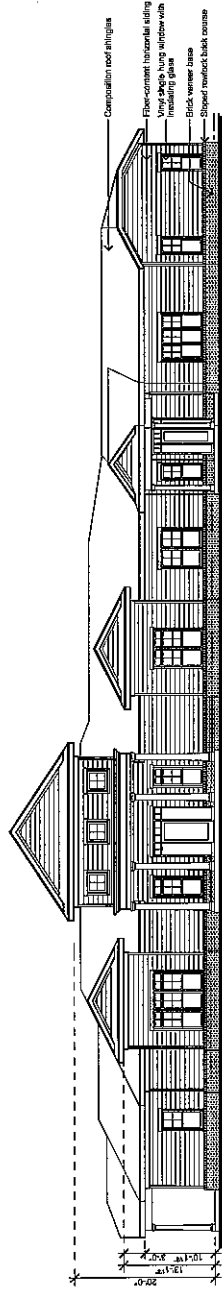
A Residential Development by:
Cityscape Residential
 This drawing is an instrument of service. It and all content hereon shall remain the property of SGN+A, Inc. and shall not be reproduced, published or used in any way without permission of SGN+A, Inc.

Sheet Title:
 Lease & Amenity Center - Elevations

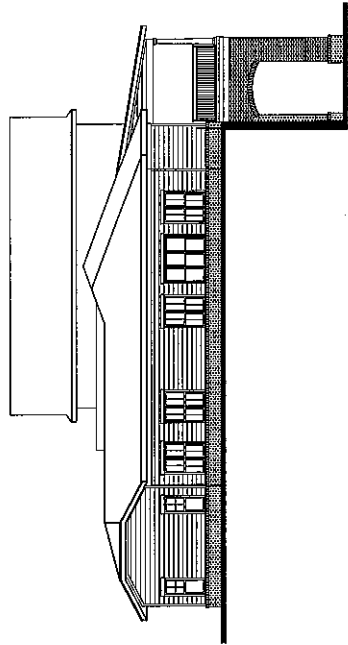
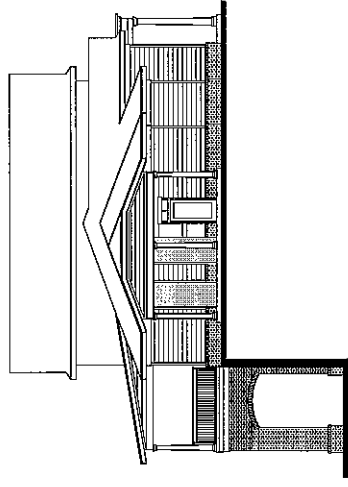
Date:
 8/31/2016

Sheet Number:
 A9

Not Printed in Centrifuge



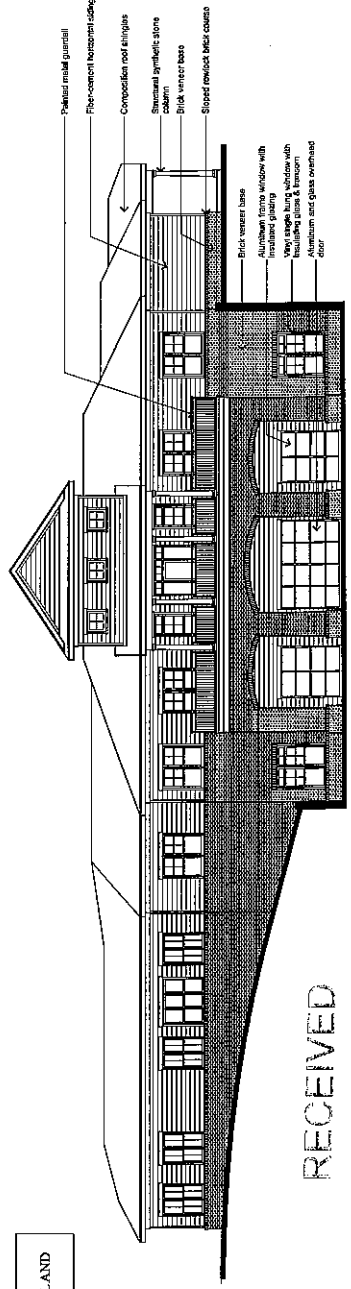
Lease & Amenity Center - Front



Lease & Amenity Center - Side

Lease & Amenity Center - Side

NOTE:
 SEE SHEET A12 FOR MATERIAL AND COLOR PALETTE.



Lease & Amenity Center - Rear

RECEIVED

SEP 15 2016

Planning & Codes Admin

2016 - 146

Revisions:	Description:

Preliminary
Design Concepts

Apartments -
Village at
View High
Lee's Summit, Missouri

A Residential Development by:



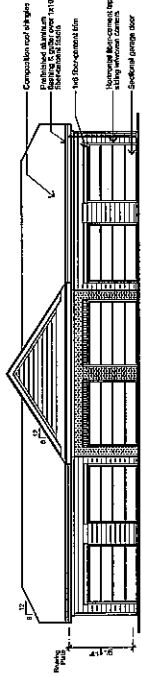
This drawing is an instrument of
service. It shall remain the
property of SGN+A, Inc. and shall
be reproduced, published or used
in any way without permission of
SGN+A, Inc.

Sheet Title:
Maintenance and
Dwelling Garages -
Elevations

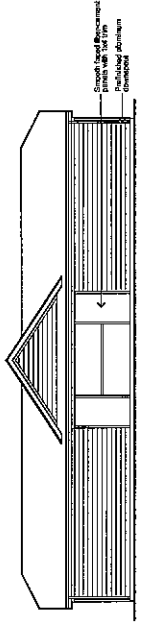
Date:
8/31/2016

Sheet Number:

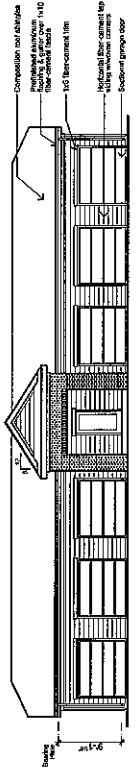
A10



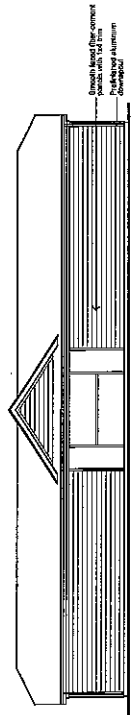
6-Bay Garage - Front



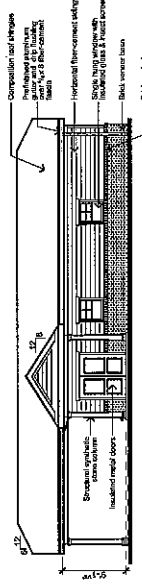
6-Bay Garage - Rear



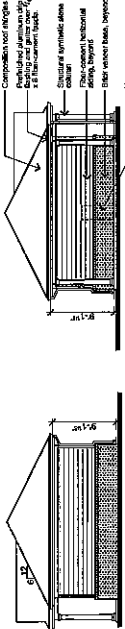
Garage w/Bike Storage - Front



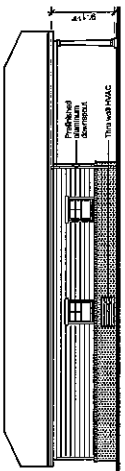
Garage w/Bike Storage - Rear



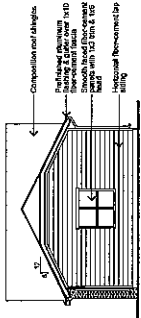
Maintenance Building - Front



Maintenance Building - Care Care Side



Maintenance Building - Rear



6-Bay Garage - Side

NOTE:
SEE SHEET A12 FOR MATERIAL AND
COLOR PALETTE.

RECEIVED

SEP 15 2016

Planning & Codes Admin

-2016-146

Revisions:
 Date: _____
 Description: _____

Preliminary
 Design Concepts

Apartments -
 Village at
 View High
 Lee's Summit, Missouri

A Residential Development by:
Cityscape
 Residential

This drawing is an instrument of
 service. It shall remain the
 property of SGN+A, Inc. and shall
 be reproduced, published or used
 in any way without the written
 permission of SGN+A, Inc.

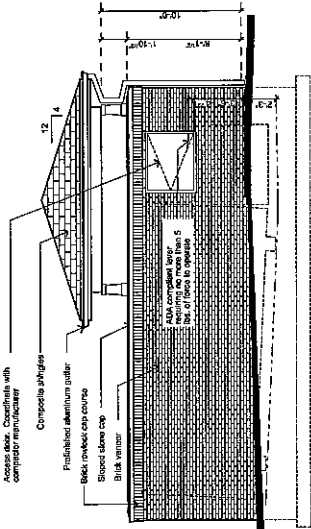
Sheet Title:
 Compactor -
 Elevations

Date:
 8/31/2016

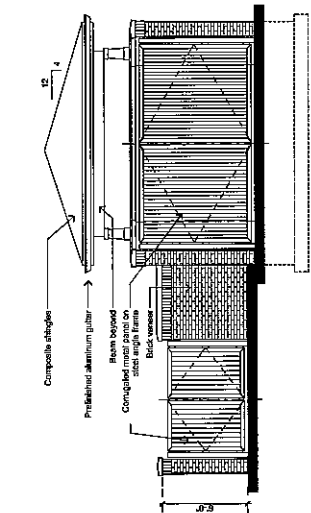
Sheet Number:

A11

Not Released for Construction

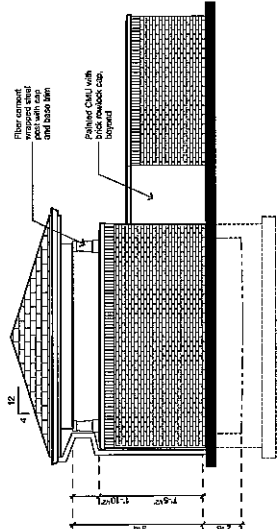


Compactor Elevation - Side

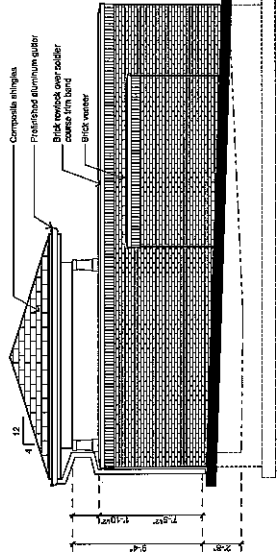


Compactor Elevation - Front

NOTE:
 SEE SHEET A12 FOR MATERIAL AND
 COLOR PALETTE.



Compactor Elevation - Rear



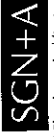
Compactor Elevation - Side

RECEIVED

SEP 15 2016

Planning & Codes Admin

-2016-146



SGN+A, Inc.
 Planning + Architecture
 Landscape Architecture
 375 West Peachtree Street
 Suite 725
 Decatur, Georgia 30030
 Tel. 404-373-7370
 Fax. 404-373-7372
 www.sgn+a.com

Revisions:

Date	Description

Preliminary Design Concepts

Apartments - Village at View High
 Lee's Summit, Missouri



The drawing is an instrument of service for the project of SGN+A and shall not be reproduced, copied, or used in any way without the prior written permission of SGN+A, Inc.

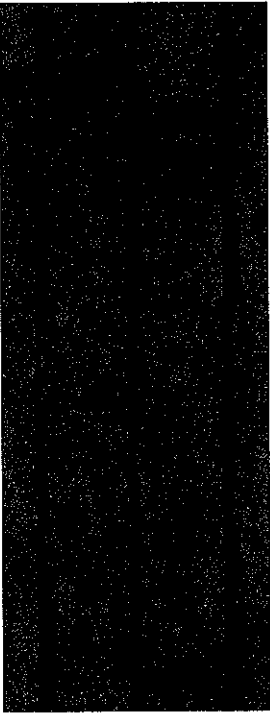
Sheet Title:
 Material Selections

Date: 8/30/2016

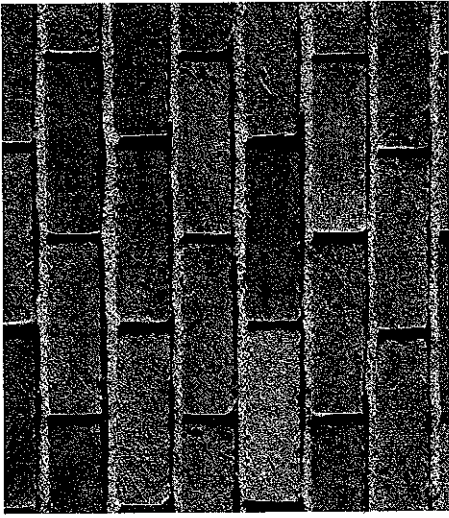
Sheet Number:

A12

Not Released for Construction



Certainteed, Landmark, Burnt Sienna
 Roof Shingles

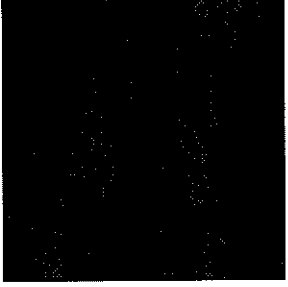


Coronado, Antique Red



Sherwin Williams, Alabaster
 SW 7008

Siding Color



Sherwin Williams, French Roast
 SW 6089

Trim Color

RECEIVED

SEP 15 2016

Planning & Codes Admin

-2016-146