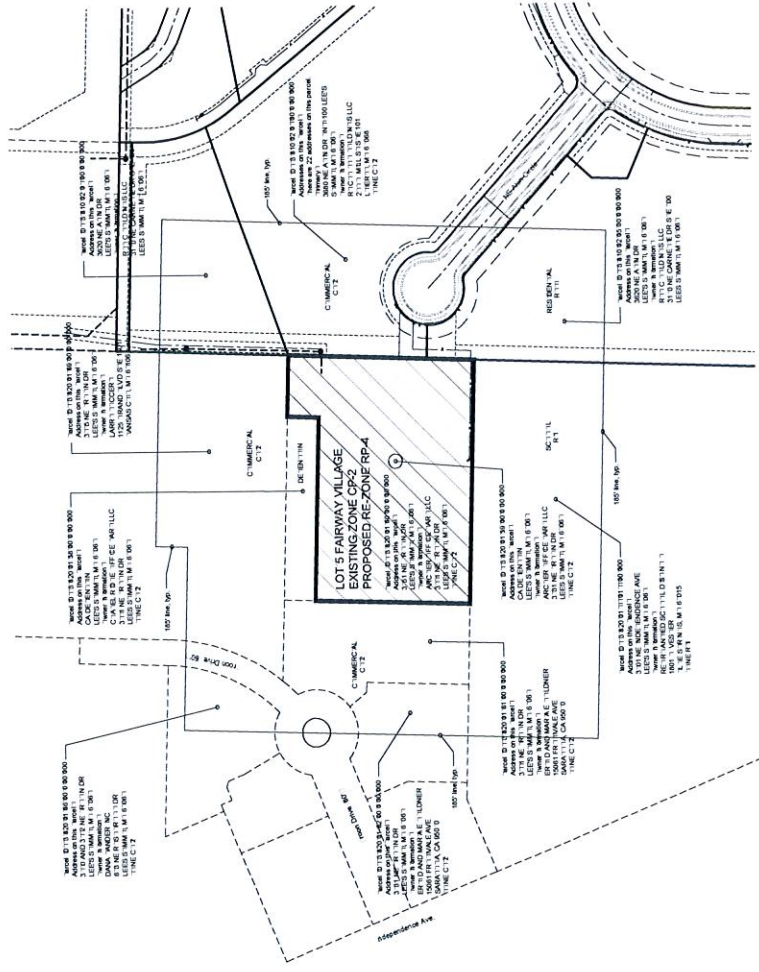


a new residential development  
**Chapel Ridge/Fairway Village Extension**  
Fairway Village Lot 5, NE Akin Circle  
Lee's Summit, Missouri

DATE: 1.26.16  
DRAWN BY: DAE  
CHECKED BY: DAE  
REVISIONS:

drawing number:  
**A1.0**  
drawing type:  
recompiling  
drawing number:  
15086



**1 rezoning map**  
1" = 80'  
NORTH

**Site Criteria**

- site is currently zoned C-1.2
- proposed rezoning to R-P-L
- total site area lot 5, 1.83 acres, approx. 19,523 s.f.
- max. build out, 12 units/acre
- dwelling units/acre, 1.55/112.22 max.
- 60% impervious site area max. 11,111 s.f.
- I.O. green space min., 31,809 s.f.
- setbacks:
  - front 50' rear street
  - side 20' other streets
  - side 10' lot line
  - side 20' between buildings
  - rear 20'
- parking:
  - 2 spaces per 3 dfm. unit
  - 1.5 for visitor L
  - 2.5 spaces per unit
  - 1.5 spaces per 2 dfm. unit
  - 1.5 for visitor L
  - 2.0 spaces per unit

Legal Description: Lot 5 Fairway Village, a sub division in section 11, township 18 north, range 31 west in the city of Lee's Summit, Jackson County, Missouri.

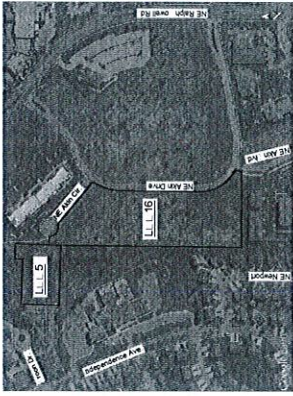
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**Chapel Ridge/Fairway Village Extension**  
 Fairway Village Lot 5, NE Akin Circle  
 Lees Summit, Missouri

DATE: 02.20.16  
 DRAWN BY: [redacted]  
 CHECKED BY: [redacted]  
 PROJECT NUMBER: [redacted]



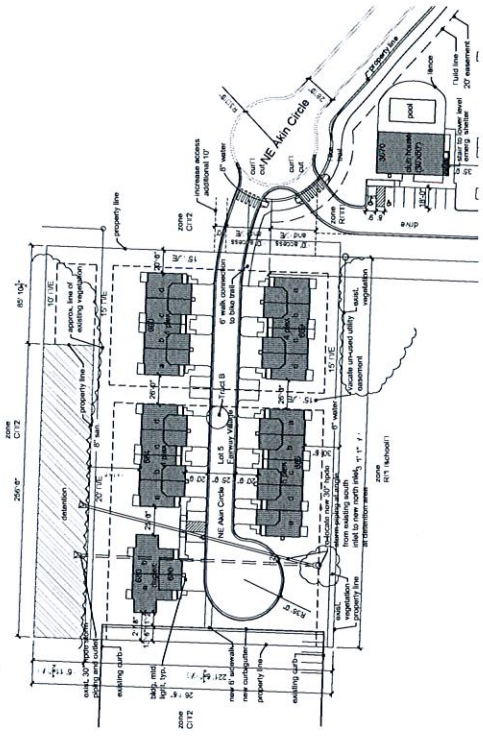
**2** Vicinity Map  
 NOT TO SCALE

- Site Criteria**
- site is currently zoned C-1, 2
  - proposed rezoning to R-1, L
  - total site area lot 5: 1.82 acres, approx. 19,523 s.f.
  - max. build out: 1,537,172 sq. ft.
  - existing umbrellas: 1,537,172 sq. ft. max.
  - 60. impervious site area max. 1,111,111 s.f.
  - 10. green space min. 31,839 s.f.
  - set. back: front 50' major street
  - side 10' lot line
  - side 20' between buildings near 20'
  - parking: 2 spaces per 3 dfm. unit
  - 1.5 or visitor L
  - 2.5 spaces per unit
  - 1.5 spaces per 2 dfm. unit
  - 1.5 or visitor L
  - 2.0 spaces per unit

**Legal Description:** Lot 5 Fairway Village, a subdivision in section 11, township 8 north, range 31 west in the city of Lees Summit, Jackson County, Missouri.

**Land Use Schedule Lot 5 Fairway Village**

total site area:	19,523 s.f.	100.
impervious area:	30,061 s.f.	151.
building footprint and pavement:		
green area:	10,621 s.f.	51.
total building footprint:	16,359 s.f.	
total building area:	30,631 s.f.	
floor area ratio:	30,631 / 19,523 = 1.57	
dwellings on site:		
1. 5plex buildings:	5	
2. duplex buildings:	12	
3. 2plex buildings:	2	
total:	19	
dwellings per acre:	19 / 1.82 = 10.4	
no. 2 bedroom units:	13	
no. 3 bedroom units:	6	
required parking:		
20 x 13:	26	
25 x 6:	15	
total:	41	
actual parking on site:		
surface visitor:	6	
surface dwelling:	19	
total:	25	
total:	41	



**1** site plan Lot 5  
 1" = 50'

- Plan Notes:**
- Typical dimension or drive aisles is 25'0" / lack oil curb to curb. Curbs and gutter design is roll up curb. All curbs and gutter design is roll up curb. All curbs and gutter design is roll up curb. All curbs and gutter design is roll up curb.
  - Site lighting is LED single head lighting mounted and DA approved. Light Loss Factor 0.90. Footcandle averages in c.f. Laved areas: 1.1 average, 1.8 max., 0.3 min. Property line: 1.001 average

Lot 5 Fairway Village lies outside of 0.1 annual chance flood per FEMA Flood Map 15060C0069F dated September 28, 2006.

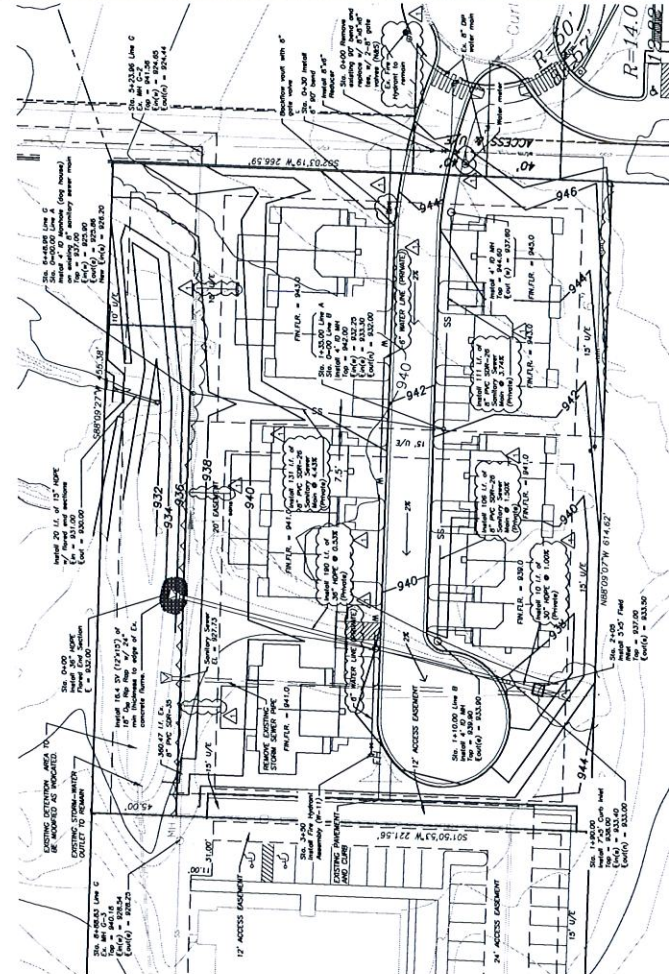
As shown, May 1, 2006, Little Blue River.

**-2016--013**  
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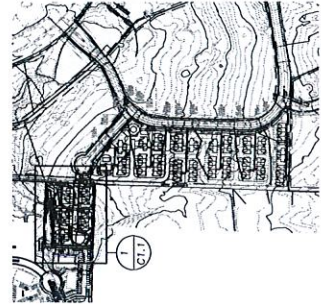
**FEB 29 2016**

a new residential development





**1 Preliminary Grading and Utility Plan**



**2 Vicinity Map**

**Property Legend**

- right of way
- - - property lines
- - - easements
- - - setbacks

**Construction Notes**

1. Proposed storm sewer (private).
2. Sanitary Sewer Service Lines will top into existing 4" PVC SDR-26 Sanitary Sewer Main Line to the north and east of the site. Drive off of the 8" Sanitary Sewer Main Line to the north and east of the site. Drive off of the 8" Sanitary Sewer Main Line to the north and east of the site. Drive off of the 8" Sanitary Sewer Main Line to the north and east of the site.
3. 4" PVC SDR-26 Sanitary Sewer Service Lines with clean-outs as shown on plans (private). Min. slope of 1/4%.
4. Water Service Line with water meters as shown (private).
5. Proposed fire hydrant and 6" fire service line with double check detector assembly and post indicator valve as shown (private).
6. Irrigation meter and RPZ backflow preventer with stop valves as shown (private).

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**General Notes**

1. All construction shall conform to the City of Lees Summit's Design and Construction Manual, listed on the drawing.
2. All work within the right of way shall conform to the technical specifications and design criteria for public improvement projects of the City of Lees Summit, Missouri.
3. All work within the right of way shall conform to the technical specifications and design criteria for public improvement projects of the City of Lees Summit, Missouri.
4. The contractor shall be responsible for obtaining all necessary permits from the City of Lees Summit, Missouri, and the Missouri Department of Natural Resources (DNR) standards.
5. The contractor is responsible for providing beams, all fence, stone bases, or other means to prevent erosion control devices (leaved hay bales/silt fences) from being displaced by wind, rain, or other factors.
6. All work and materials shall be subject to inspection and approval by the City of Lees Summit, Missouri, and the Missouri Department of Natural Resources (DNR) standards.
7. The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise providing for the general public.
8. All traffic control in conjunction with construction shall be in accordance with the Missouri Uniform Traffic Control Devices (MUTCD) standards.
9. All traffic control in conjunction with construction shall be in accordance with the Missouri Uniform Traffic Control Devices (MUTCD) standards.
10. The contractor shall provide a minimum 3:1 slope for mowed areas.
11. The contractor shall provide a minimum 3:1 slope for mowed areas.
12. The contractor shall provide a minimum 3:1 slope for mowed areas.
13. The contractor shall provide a minimum 3:1 slope for mowed areas.
14. The contractor shall provide a minimum 3:1 slope for mowed areas.
15. The contractor shall provide a minimum 3:1 slope for mowed areas.
16. The contractor shall provide a minimum 3:1 slope for mowed areas.
17. The contractor shall provide a minimum 3:1 slope for mowed areas.
18. The contractor shall provide a minimum 3:1 slope for mowed areas.
19. The contractor shall provide a minimum 3:1 slope for mowed areas.
20. The contractor shall provide a minimum 3:1 slope for mowed areas.
21. The contractor shall provide a minimum 3:1 slope for mowed areas.
22. The contractor shall provide a minimum 3:1 slope for mowed areas.
23. The contractor shall provide a minimum 3:1 slope for mowed areas.
24. The contractor shall provide a minimum 3:1 slope for mowed areas.
25. The contractor shall provide a minimum 3:1 slope for mowed areas.

**Grading Note**

- Grading shall conform to the City of Lees Summit, Missouri design criteria and to the Geotechnical Report.

**Finishing Note**

- Finishing will follow the requirements contained in Article 12 of the Unified Development Ordinance (UDO).

**Construction Legend**

- existing major
- - - existing minor
- - - proposed major
- - - proposed minor

**Erosion Control Legend**

- Pre-paving silt fence
- Post-paving silt protection

**Utility Legend**

- sanitary main
- sanitary force main
- storm sewer (solid wall)
- water main
- water service (fire)
- water service (domestic)
- natural gas main
- natural gas service
- overhead primary electric
- underground primary electric
- underground secondary electric
- telephone
- overhead cable/phone/data
- underground cable/phone/data

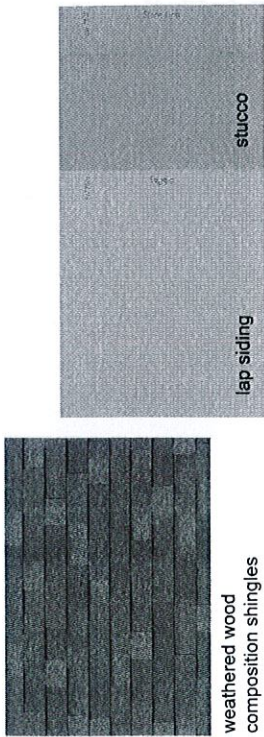


**UTILITY CONTACTS**

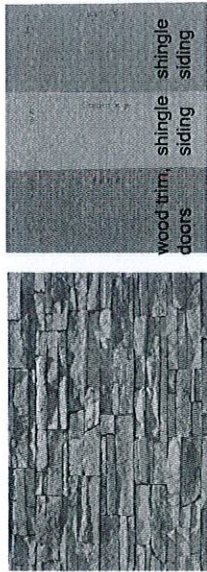
- SANITARY SEWERS - City of Lees Summit, Phone (816) 969-7606.
- STORM SEWERS - City of Lees Summit, Phone (816) 969-7607.
- WATER - City of Lees Summit, Phone (816) 989-7608.
- ELECTRIC - Aquila, Phone (816) 737-7455
- GAS - Missouri Gas Energy, Phone (816) 989-2220
- TELEPHONE - Southwestern Bell Telephone, Phone (816) 278-8715
- CABLE - Time Warner Co., Phone (816) 358-3300



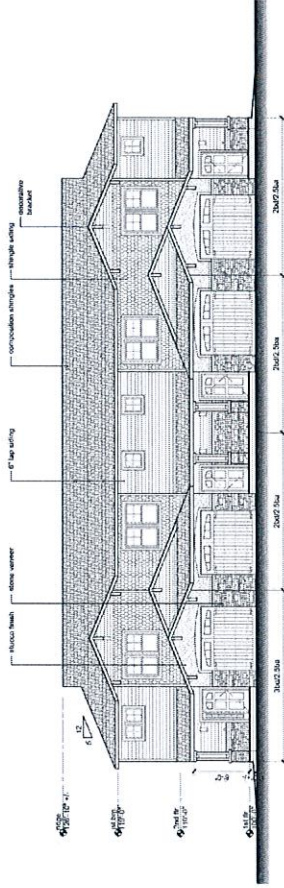
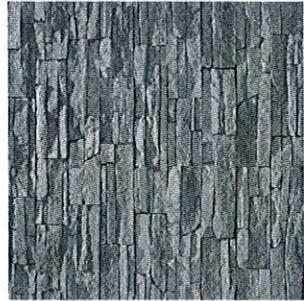




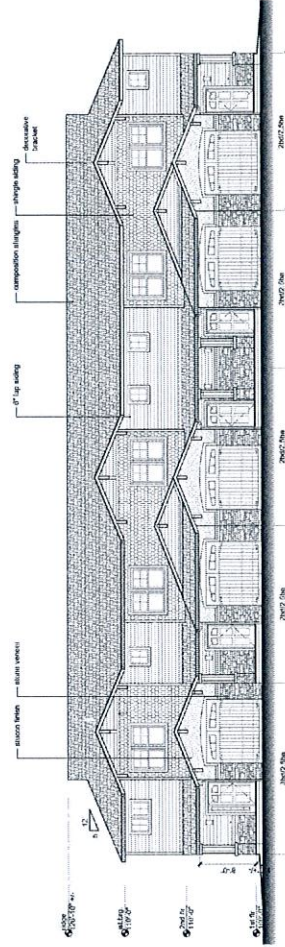
main siding colors - warm neutrals



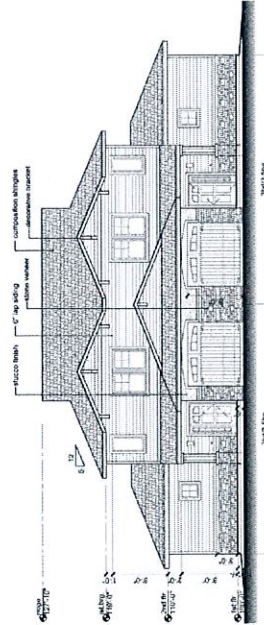
accent colors only - small gable areas, window and door trim, etc.



4 plex elevation - front



5 plex elevation - front



duplex elevation - front

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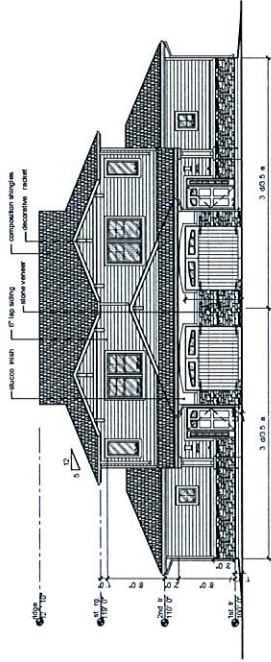
-2016--013 FEB 29 2016



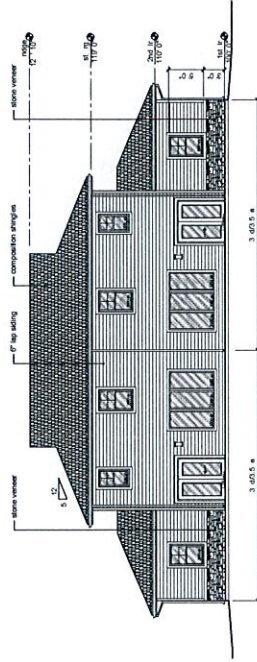
**Chapel Ridge/Fairway Village Extension**  
 a new residential development  
 Fairway Village Lot 5, NE Akin Circle  
 Lees Summit, Missouri

date: 1.29.16  
 drawn by: DAE  
 checked by: DAE  
 reviewed by: DAE

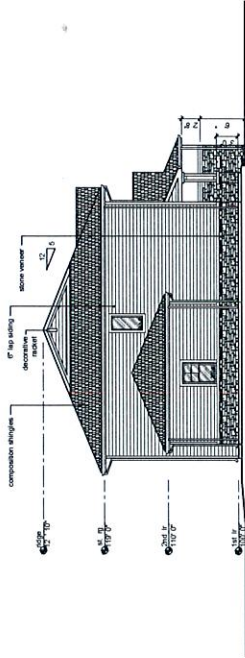
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 drawing type: rezoning/ldp  
 project number: 15006



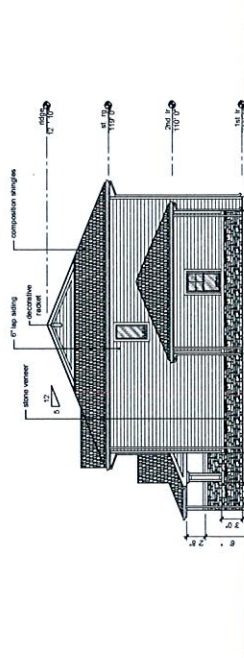
**1** duplex elevation  front  
 scale: 1/8" = 1'-0"



**2** duplex elevation  back  
 scale: 1/8" = 1'-0"



**3** duplex elevation  side  
 scale: 1/8" = 1'-0"



duplex elevation  side  
 scale: 1/8" = 1'-0"

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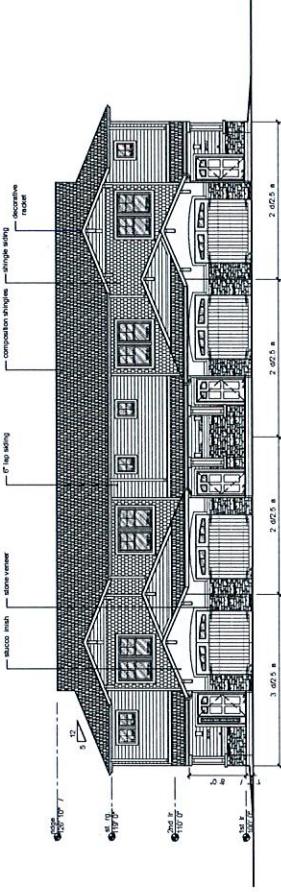
Chapel Ridge/Fairway Village Extension  
 a new residential development  
 Fairway Village Lot 5, NE Akin Circle  
 Lee's Summit, Missouri

DATE: 1-29-16  
 DRAWN BY: DAE  
 CHECKED BY: [blank]  
 PROVISIONS: [blank]  
 02.20.16

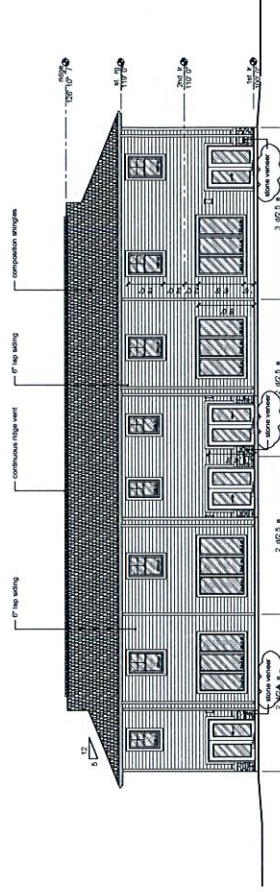
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 PROJECT NUMBER: 15096

**DAVIDSON**

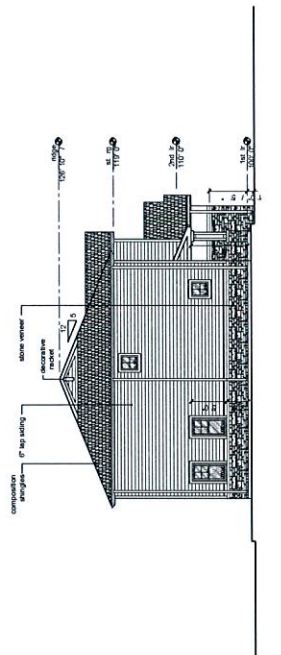
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 ENGINEER: [blank]  
 LANDSCAPE ARCHITECT: [blank]  
 INTERIOR DESIGNER: [blank]



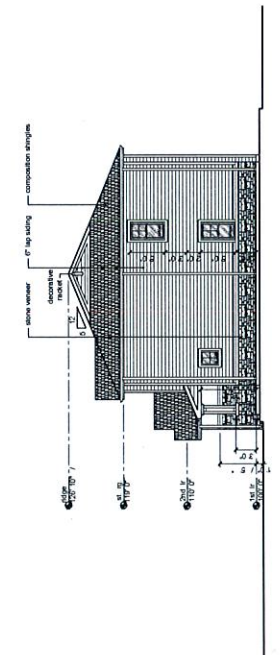
1  plex elevation  front  
 scale: 1/8" = 1'-0"



2  plex elevation  back  
 scale: 1/8" = 1'-0"



3  plex elevation  side  
 scale: 1/8" = 1'-0"



4  plex elevation  side  
 scale: 1/8" = 1'-0"

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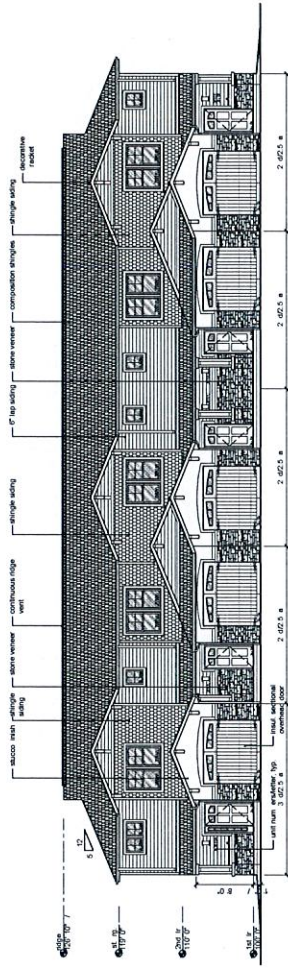
Planning & Codes Admin



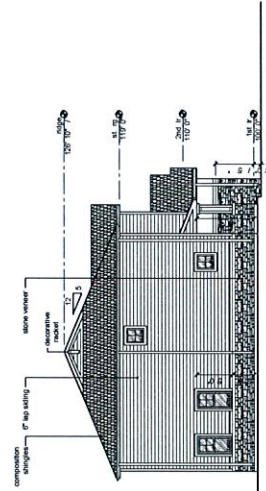
**Chapel Ridge/Fairway Village Extension**  
a new residential development  
Fairway Village Lot 5, NE Akin Circle  
Lee's Summit, Missouri

DATE: 1.29.16  
DRAWN BY: P.M.A.E.  
CHECKED BY: DAE  
REVISIONS: 02.29.16

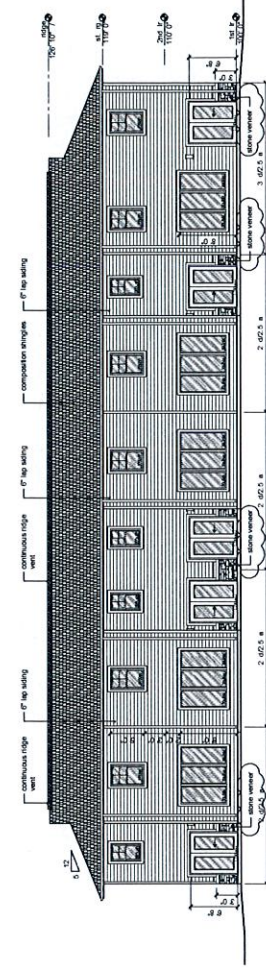
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drawing type: rezoning/psd  
project number: 15086



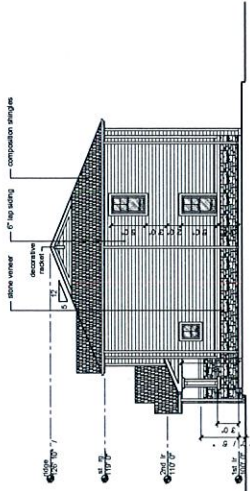
**1** 5 plex elevation **front**  
Scale: 1/8" = 1'-0"



**3** 5 plex elevation **side**  
Scale: 1/8" = 1'-0"



**2** 5 plex elevation **back**  
Scale: 1/8" = 1'-0"



**5** 5 plex elevation **side**  
Scale: 1/8" = 1'-0"

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