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Surgery Center of Lee's Summit
1950 SE Shenandoah Drive
Lee's Summit, MO 64063

Date 12/30/22
Job Number 3-22030
Drawn By TS
Checked By EB

Revision
Number Date Description

C2.0

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SITE PLAN

SITE DATA

SITE	
SITE AREA:	3.96 AC 172,695 SF
IMPERVIOUS AREA:	
EXISTING:	0 SF (00.0%)
PROPOSED:	95,000 SF (55.0%)
BUILDING	
BUILDING AREA (W/O FUTURE ADDITION):	19,750 SF (11.4% FAR)
PARKING	
PARKING PROVIDED:	95 STANDARD 5 HANDICAP (3 VAN)
PARKING REQUIRED:	
5 STALLS PER 1,000 BUILDING SF:	99
ADA STALLS: (BASED ON 100 PARKING STALLS)	4

ZONING

CP-2 (PLANNED COMMUNITY COMMERCIAL)

OIL AND GAS

Per visual inspection, no oil and gas wells were located on the site or within 185 feet. No records of wells were located on the Missouri Department of Natural Resources GIS.

LEGAL DESCRIPTION

HCA MIDWEST, LOT 1A

CONSTRUCTION NOTES

- 01 LEAD FREE, WATER-BORNE EMULSION BASED WHITE TRAFFIC PAINT FOR PARKING LOT STRIPING.
- 02 WET CURB & GUTTER.
- 03 DRY CURB & GUTTER.
- 04 ZERO-HEIGHT CURB.
- 05 TRANSITION CURB. REFER TO GRADING PLAN.
- 06 MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS.
- 07 PROPOSED STAFF COURTYARD.
- 08 PROPOSED EXTENDED DRY DETENTION.
- 09 PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- 10 PROPOSED MECHANICAL ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- 11 SERVICE AREA.
- 12 SCREENING WALL. REFER TO ARCHITECTURAL PLANS.

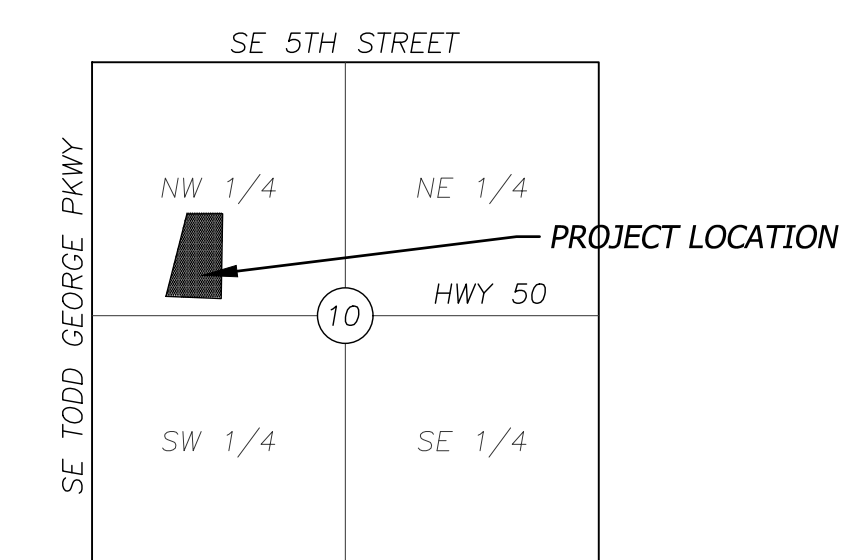
DETAILS

SEE CONSTRUCTION DETAILS - SHEETS C7.0-7.1

- 001 TYPE CG-1 CURB & GUTTER
- 002 CONCRETE DRIVEWAY ENTRANCE
- 003 LIGHT DUTY ASPHALT PAVEMENT
- 004 MEDIUM DUTY ASPHALT PAVEMENT
- 005 MEDIUM DUTY PCC PAVEMENT
- 006 CONCRETE DUMPSTER SECTION
- 007 CONCRETE SIDEWALK SECTION
- 008 SIDEWALK RAMP
- 009 (ADA) HANDICAP PARKING STRIPING
- 010 ADA SIGNAGE
- 011 ENERGY DISSIPATER (RIP RAP)
- 012 LOW FLOW FLUME

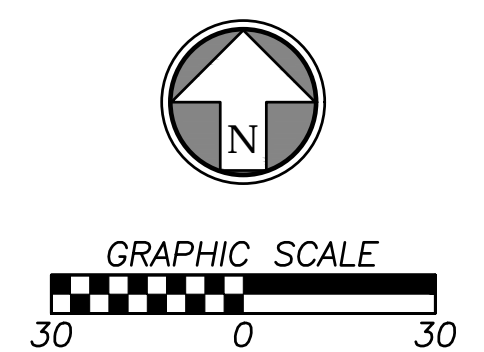
SITE LEGEND

- PARKING STALL COUNT
- PROPOSED BUILDING
- LIGHT DUTY ASPHALT PAVEMENT
- MEDIUM DUTY ASPHALT PAVEMENT
- MEDIUM DUTY PCC PAVEMENT
- CONCRETE DUMPSTER SECTION
- CONCRETE SIDEWALK
- STANDARD CURB & GUTTER
- DRY CURB & GUTTER
- ZERO HEIGHT CURB
- TRANSITION CURB
- ACCESSIBLE ADA ROUTE

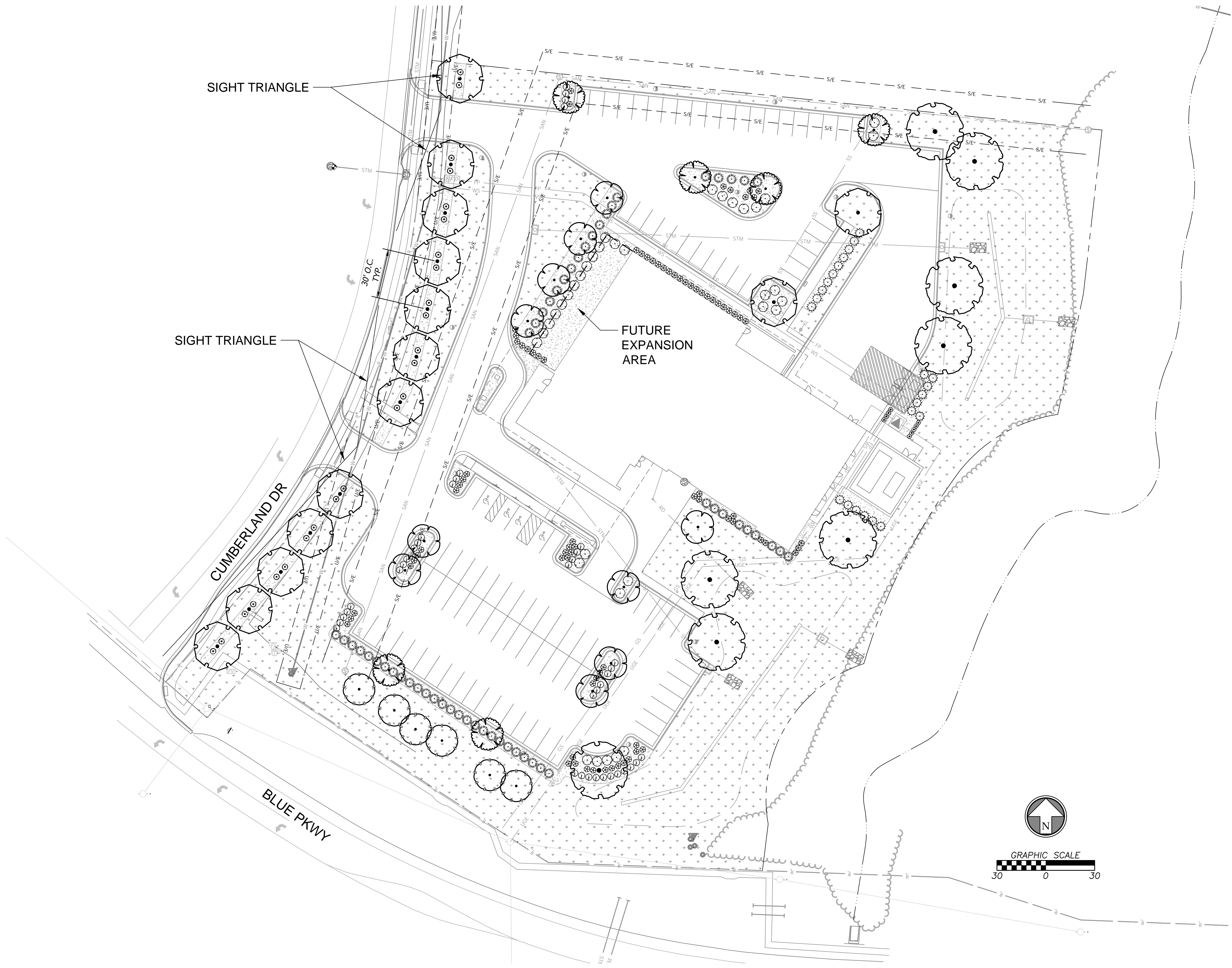


SECTION MAP

SCALE: 1" = 2000'
SECTION 10-T47W-R31W
JACKSON COUNTY, MISSOURI



Dec 29, 2022 - 7:41pm Plotted By: Eric Byrd V:\044660-mca\mca\044660-01\044660-SMS-SITE.dwg Layout: Site Plan



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	14	Liriodendron tulipifera / Tulip Poplar FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	3"	cal
	8	Quercus imbricaria / Shingle Oak FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	3"	cal
	6	Tilia americana 'Lincoln' / Lincoln American Linden FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	3"	cal
EVERGREEN TREE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	6	Abies concolor / White Fir FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B		8'H
ORNAMENTAL TREE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	10	Malus x 'Prairifire' / Prairifire Crab Apple FOR PLANTING SPECIFICATIONS SEE DETAIL 801 & 802, SHEET L2.0	B & B	3"	cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	83	Cornus sericea 'Farrow' TM / Arctic Fire Red Twig Dogwood FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	18"-24"	H
	24	Itea virginica 'Merlot' / Merlot Sweetspire FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	24"-36"	H
	9	Panicum virgatum 'Northwind' / Northwind Switch Grass FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	1 gal	18"-24"	H
	36	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	12"-18"	H
EVERGREEN SHRUB	QTY	BOTANICAL / COMMON NAME	SPEC	HEIGHT	
	55	Pinus mugo 'Pumilio' / Dwarf Mugo Pine FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	24"-30"	H
	23	Taxus x media 'Fairview' / Fairview Yew FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	24"-30"	H
	39	Thuja occidentalis 'Golden Globe' / Golden Globe Arborvitae FOR PLANTING SPECIFICATIONS SEE DETAIL 803 & 804, SHEET L2.0	5 gal	24"-30"	H
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SPEC		
	67,625 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue Sod: 90% 3-species Turf-Type Fescue Blend (Covenant II, Avenger, Garrison), 10% Bluegrass. PLACE ALUMINUM LANDSCAPE EDGING, OR APPROVED EQUAL, WHERE PLANTING BEDS ADJOIN TURF AREAS. SEE DETAIL 805, SHEET L2.0	sod		

MULCH SCHEDULE

	ROCK MULCH SAMPLE OF ROCK MULCH TO BE PROVIDED TO OWNER AND ARCHITECT FOR APPROVAL. Buffalo River Rock or Regional Equal. Size: 1"-3" Rock. Depth: 3" Depth	906 sf
	WOOD MULCH Double Ground Hardwood Mulch 3" Depth.	12,402 sf

LEGEND

	980	PROPOSED FINISH GRADE MAJOR CONTOUR
	982	PROPOSED FINISH GRADE MINOR CONTOUR
	980	EXISTING GRADE MAJOR CONTOUR
	982	EXISTING GRADE MINOR CONTOUR
		PROPOSED STORM SEWER LINE
	RD	PROPOSED ROOF LINE DRAIN
	PL	PROPERTY LINE
	R/W	RIGHT-OF-WAY LINE

SITE DATA

	Quantity	Required	Provided
Street Frontage			
SE Cumberland Dr	351.2		
1 tree / 30 LF of street		11.71	12
1 shrub / 20 LF of street		17.56	24
Open Yard			
site area (without bldg footprint)	152,945		
1 tree / 5,000 SF of lot		30.59	32
2 shrubs / 5,000 SF of lot		61.18	245
Perimeter Parking Landscape			
continuous 2.5' ht screen: min 12 shrubs / 40 LF		Y	Y
Island/Interior Landscape			
parking area (SF)	79,841.00		
landscape min 5% of parking area		3,992.05	7,190.80
trees/landscape in islands		Y	Y
groundcover on all interior areas		Y	Y
Utility Screening			
above ground cabinets should be screened w/landscaping		Y	Y

GENERAL LANDSCAPE NOTES

- The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
- Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- The Contractor shall arrange and conduct a pre-construction meeting onsite with Landscape Architect prior to work.
- Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Lee's Summit and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
- Landscape Contractor shall provide rock mulch sample to owner for approval.

GENERAL IRRIGATION NOTES

- Irrigation plan to be provided during permitting phase of development
- Irrigation plan to not interfere with any proposed improvements shown.
 - Irrigation system design to be based on available psi. Minimum operating pressure for spray heads shall be 30 psi and minimum operating pressure for drip zones shall be 40 psi.
 - The contractor shall be responsible for providing uninterrupted, 110 v electrical service to the controller and for all hook-ups. All exposed low voltage wire shall be enclosed in a conduit.
 - Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
 - Install all mainlines to 1% minimum slope to drain valves located at low points of main system.
 - Irrigation controller and rain sensor shall be located in owner approved locations.

Jan 10, 2023 - 8:56am Plotted By: cingulino.meyer V:\044660-NCA LENC_ASD\04-LANDSCAPE PLAN\Sheet\PDF\044660-SITE-LANDSCAPE PLAN Layout: LANDSCAPE PLAN



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EXTERIOR SW VIEW

HCA LSMC ASC
Hammes + HCA
Lees Summit, MO





EXTERIOR SE VIEW

HCA LSMC ASC
Hammes + HCA
Lees Summit, MO



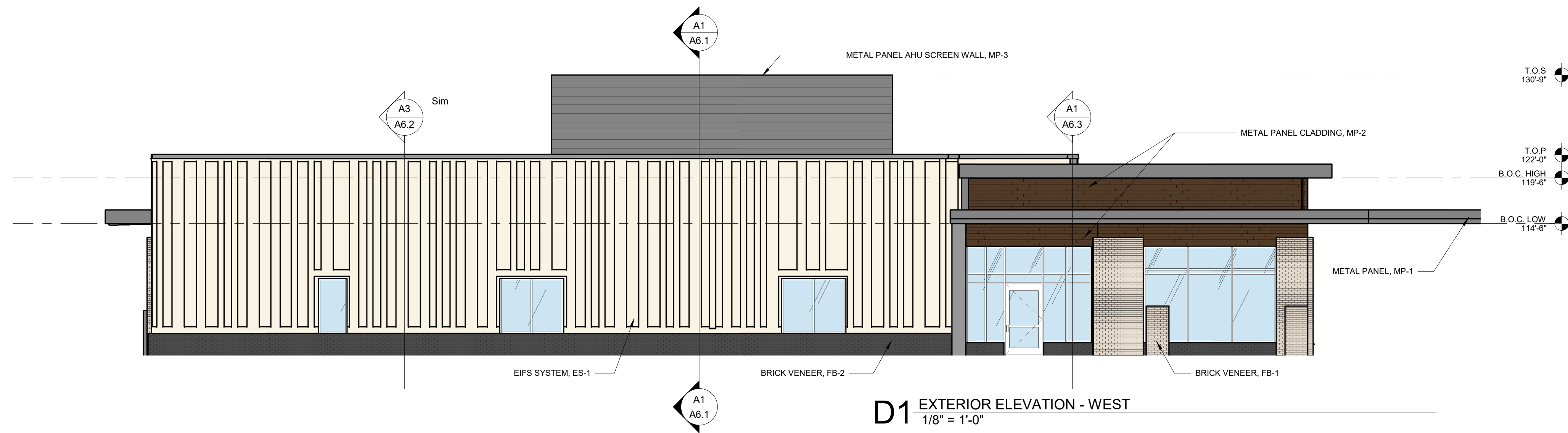
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EXTERIOR FINISH LEGEND

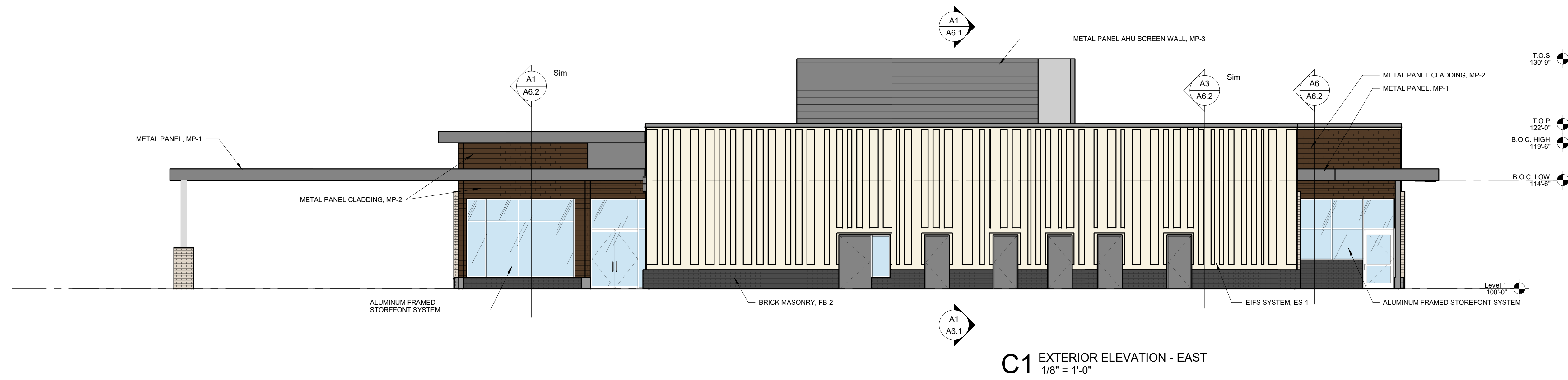
MARK	MATERIAL	MANUFACTURER	COLOR/PATTERN	DIMENSION
ES-1	EIFS SYSTEM	AS SPECIFIED	TBD	2' & 3"
FB-1	TAN BRICK	GLEN GERY	PEARL RIVER IRONSPOT	2 1/4" x 7 5/8" x 3 5/8"
FB-2	DARK BRICK	ENDCOTT	MANGANESE IRONSPOT, SMOOTH	2 1/4" x 7 5/8" x 3 5/8"
MP-1	METAL PANEL	SIM PANEL	CITYSCOPE	VARIES
MP-2	METAL PANEL	KNOTWOOD	WALNUT	VARIES
MP-3	METAL PANEL	BERRIDGE	HR-16, GRAY ZINC	VARIES

EXTERIOR MATERIALS

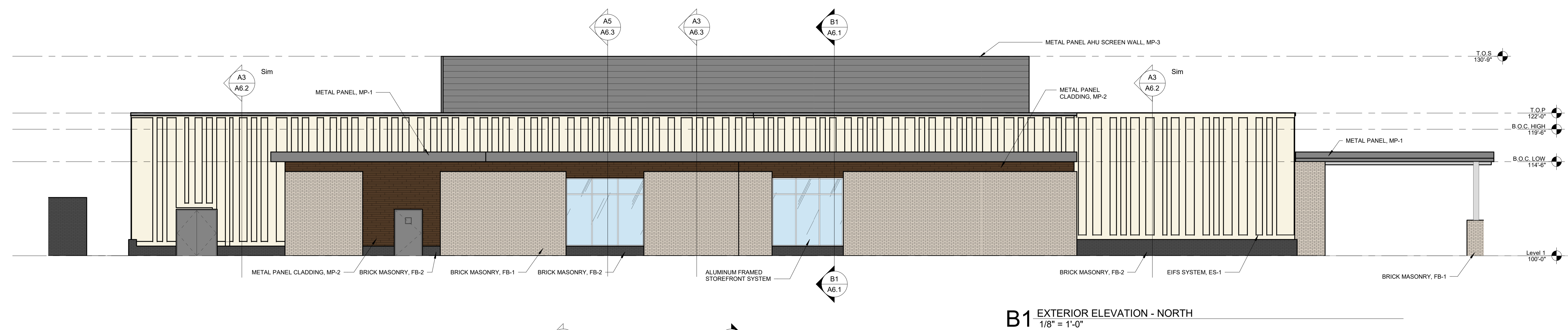
	EAST	WEST	SOUTH
METAL PANEL	19%	17%	29%
EIFS	51%	53%	40%
MASONRY	8%	12%	18%
STOREFRONT	17%	18%	13%
DOORS/OPENINGS	5%	N/A	N/A



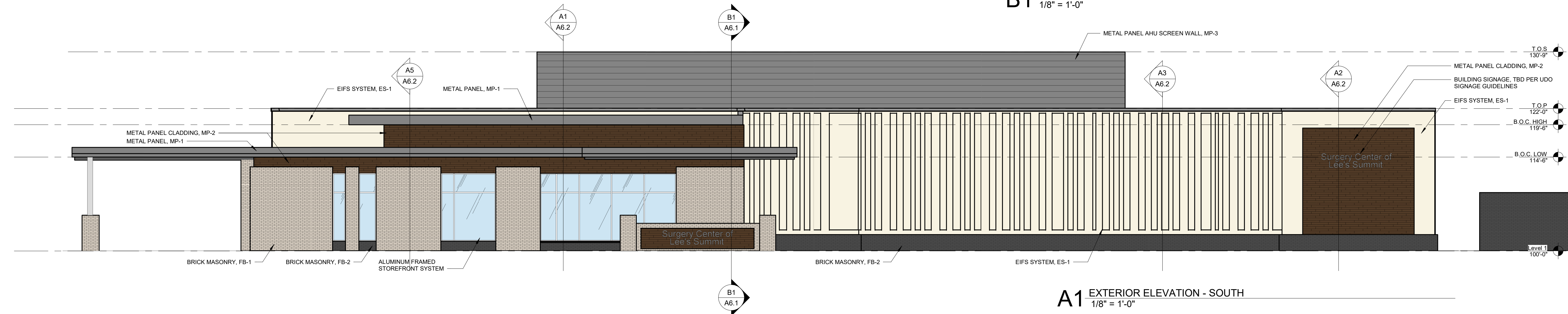
D1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



C1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

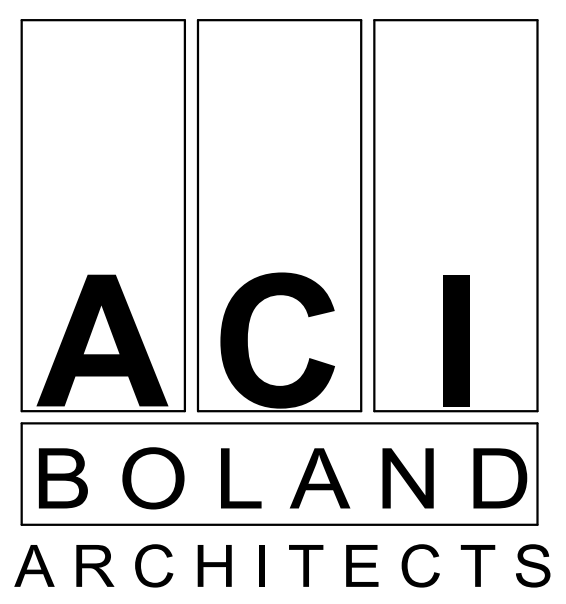


B1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



A1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

PRELIMINARY,
NOT FOR
CONSTRUCTION,
RECORDING
PURPOSES, OR
IMPLEMENTATION



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EXTERIOR ELEVATIONS