



STREETS OF
WEST PRYOR

LEE'S SUMMIT, MO

LIVE. DINE. SHOP. PLAY.
EXPERIENCE.

DRAKE
DEVELOPMENT

LEWIS RICE

commercial real estate
Haney Co



IRR Corporate & Public Finance



SHOP



DINE



LIVE



PLAY



EXPERIENCE



Goals of the City of Lee's Summit PMIX Plan



- ❖ **Unified Development**
 - Single Ownership
 - Overall Grading

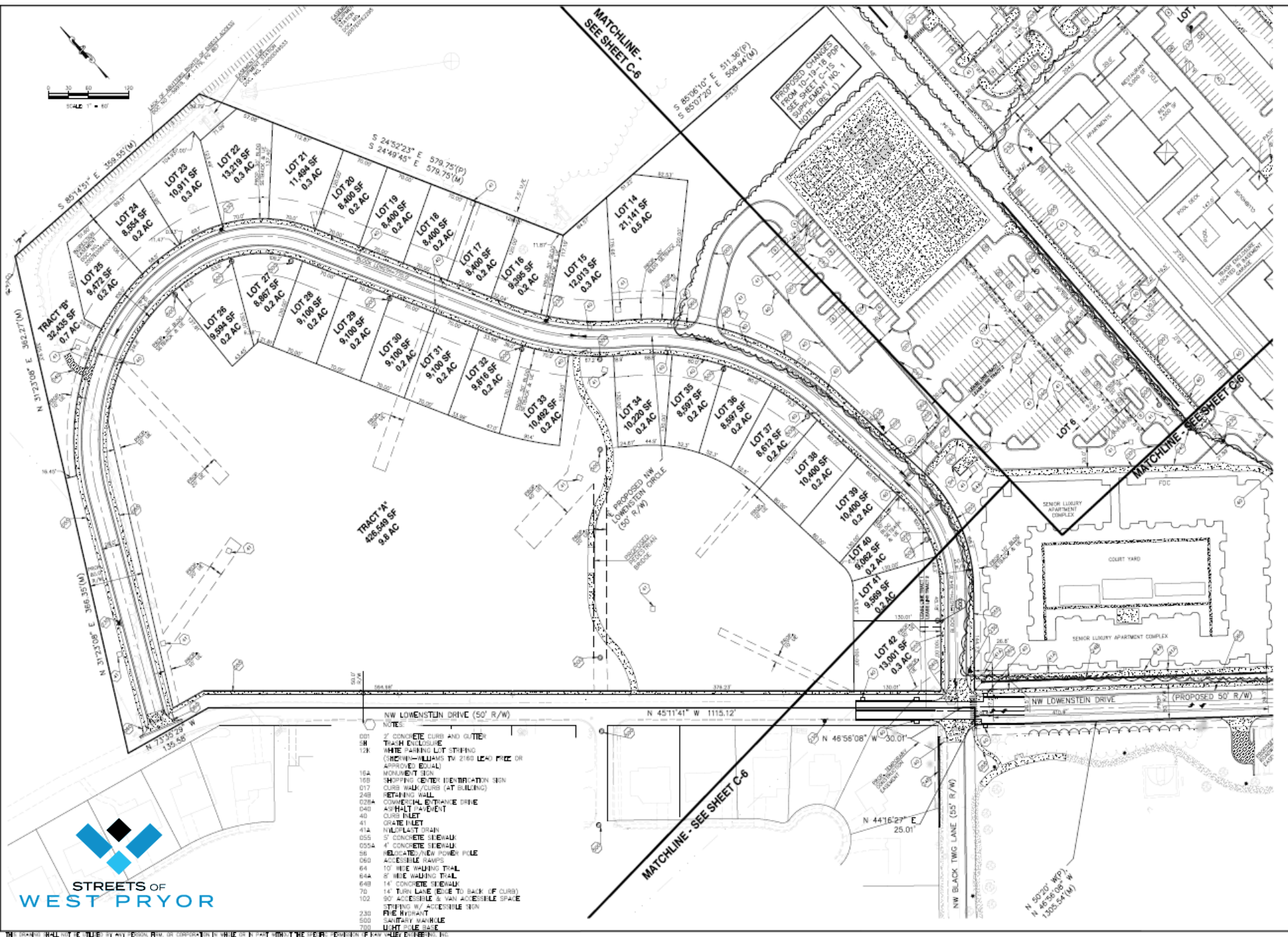
- ❖ **Sticky – Live, Work and Play**
 - Not A Big Box Development
 - Service Oriented

- ❖ **Density**
 - Multi-Story
 - Structured Parking

- ❖ **Integrated with the Park**

- ❖ **Honor the Local Homeowner's Concerns**

- ❖ **Relocate High Tension Power Lines**



- NW LOWENSTEIN DRIVE (50' R/W)
- NOTES:
- 001 2' CONCRETE CURB AND GUTTER
 - 01 TRASH ENCLOSURE
 - 128 WHITE PARKING LOT STRIPING (MICHON-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 164 MONUMENT SIGN
 - 168 SHOPPING CENTER IDENTIFICATION SIGN
 - 017 CURB WALL / CURB (AT BUILDING)
 - 248 RETAINING WALL
 - 028A COMMERCE ENTRANCE DRIVE
 - 040 ASPHALT PAVEMENT
 - 40 CURB INLET
 - 41 GRATE INLET
 - 41A MULTIPURPOSE DRAIN
 - 055 5" CONCRETE SEWMAI
 - 055A 4" CONCRETE SEWMAI
 - 56 RELOCATE / NEW POWER POLE
 - 060 ACCESSIBLE RAMPS
 - 64 10' WIDE WALKING TRAIL
 - 64A 8' WIDE WALKING TRAIL
 - 64B 14' CONCRETE SEWMAI
 - 70 14" TURN LANE (EDGE TO BACK OF CURB)
 - 102 90° ACCESSIBLE & VAN ACCESSIBLE SPACE
 - 230 STAIRING W/ ACCESSIBLE SIGN
 - 500 FIVE HYDRANT
 - 500 SAFETY WALKWAY
 - 700 LIGHT POLE BASE



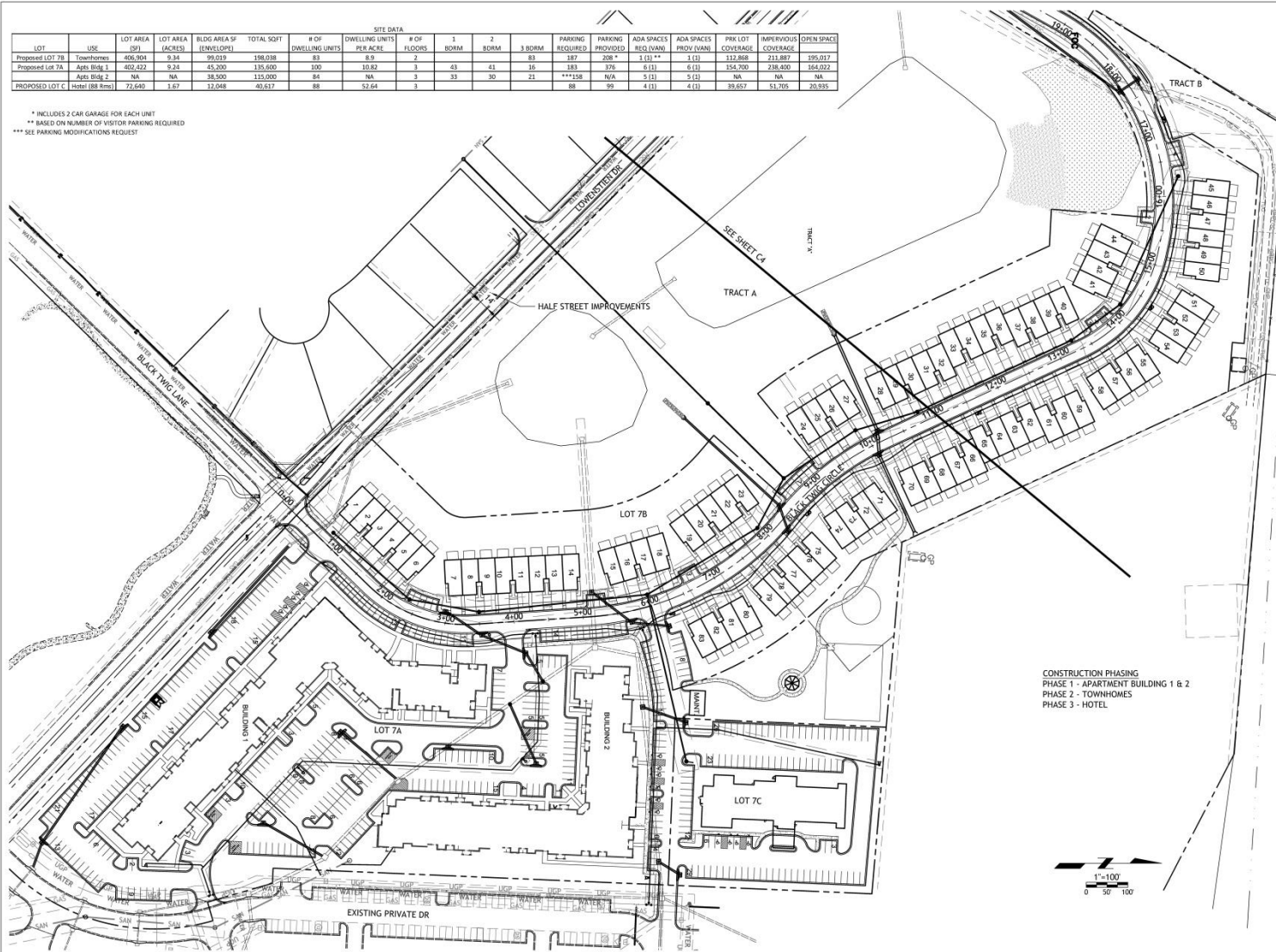
NO. 1	DATE	DESCRIPTION	DSN	DWN	CHK

LEON D. OSBOURNE
ENGINEER
MO # 021728

KAW VALLEY ENGINEERING
1000 S. WENTZ ROAD, SUITE 200
LEWIS & CLARK, MISSOURI 64501
PH: (417) 234-7344
WWW.KAWVALLEYENGINEERING.COM

STREETS OF WEST PRYOR
NW/O NW PRYOR ROAD & NW LOWENSTEIN DRIVE
LEWIS SUMMIT, MISSOURI
PRELIMINARY DEVELOPMENT PLAN
SITE PLAN - SUPPLEMENT NO. 1

PROJECT NO.	44-1002-1
DATE	12/11/21
LOD	1
DATE	12/11/21
SCALE	C-5S
SHEET NO.	1



LOT	USE	LOT AREA (SQ)	LOT AREA (ACRES)	BLDG AREA SF (ENVELOPE)	TOTAL SQFT	SITE DATA												
						# OF DWELLING UNITS	# OF FLOORS	1 BDRM	2 BDRM	3 BDRM	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQ (VAN)	ADA SPACES PROV (VAN)	PKN LOT COVERAGE	IMPERVIOUS COVERAGE	OPEN SPACE	
Proposed LOT 7B	Townhomes	406,904	9.34	99,019	198,038	83	8.9	2			83	187	208*	1 (1)**	1 (1)	112,868	211,887	195,017
Proposed Lot 7A	Apts Bldg 1	402,423	9.34	45,200	135,600	100	10.8	3	43	41	16	183	238	6 (1)	6 (1)	154,700	238,400	164,022
	Apts Bldg 2	NA	NA	38,500	115,000	84	NA	3	33	30		21	***158	N/A	5 (1)	NA	NA	NA
PROPOSED LOT C	Hotel (88 Rms)	72,642	1.67	12,048	40,617	88	52.64	3				88	99	4 (1)	4 (1)	89,657	51,705	20,935

* INCLUDES 2 CAR GARAGE FOR EACH UNIT
 ** BASED ON NUMBER OF VISITOR PARKING REQUIRED
 *** SEE PARKING MODIFICATIONS REQUEST

SM Engineering
SME
 5507 High Meadow Circle
 Manhattan Kansas, 66503
 scivileng@gmail.com
 785.341.9747

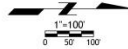
Having under preparation an original plan to work and property of the engineer and shall be available to the public. Use of plans contained herein without consent of the engineer is prohibited. Drawing Board has information available to the engineer. Full certification of actual elevation, conditions, and dimensions is required.



Revisions:
 13-30-20 CITY COMMENTS

STREETS OF W. PRYOR
 LOT 7A - LOT 7C
 LEES SUMMITT, MO.

CONSTRUCTION PHASING
 PHASE 1 - APARTMENT BUILDING 1 & 2
 PHASE 2 - TOWNHOMES
 PHASE 3 - HOTEL



sheet
C3.0
 Civil
 OVERALL LAYOUT
 permit
 28 SEPTEMBER 2020

Lot 7 Building 2



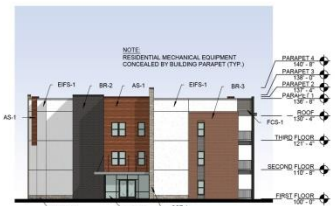
1 WEST ELEVATION (N)



2 WEST ELEVATION (S)



3 SOUTH ELEVATION (W)



4 SOUTH ELEVATION (E)



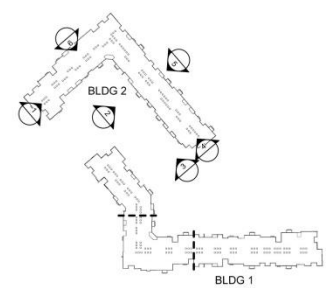
5 EAST ELEVATION



6 NORTH ELEVATION

EXTERIOR MATERIAL LEGEND

EFS-1	EPS	RED BRICK, COLORED MORTAR, 1/2" COLE, SAND FINISH
AS-1	ALUMINUM SIDING	RED, FASTPLANK SYSTEMS, 3/4" COLE, DARK CHERRY
FCS-1	FIBER CEMENT SIDING	RED, PAPER+WOOD, 3/4" COLE, RED+WHITE
FCS-2	FIBER CEMENT SIDING	RED, PAPER+WOOD, 3/4" COLE, PINK GRAY
BR-1	BRICK	RED, HEAVY, COLORED MORTAR, 1/2" COLE, MCKINLEY
BR-2	BRICK	RED, CHECKERED, COLORED MORTAR, 3/4" COLE, MCKINLEY
BR-3	BRICK	RED, MCKINLEY, COLORED MORTAR, 3/4" COLE, MCKINLEY, 1/2" COLE, MCKINLEY
CST-1	GRAY STONE	RED, CLOAKED STONE, BEIGE, LEGGERS, 1/2" COLE, BRUSH
SP	STYROPORAN	COLORED BRICK



KEY PLAN
0 20' 50' 100' 200'



BUILDING 2 SUMMIT at WEST PRYOR - PHASE II

LEE'S SUMMIT,
20-001

MISSOURI
11-30-2020



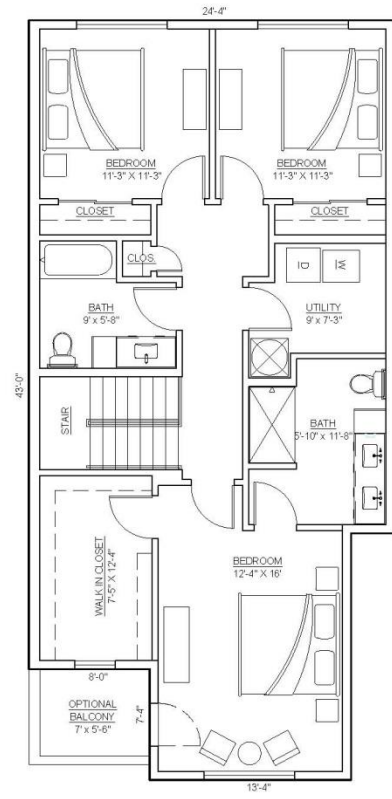
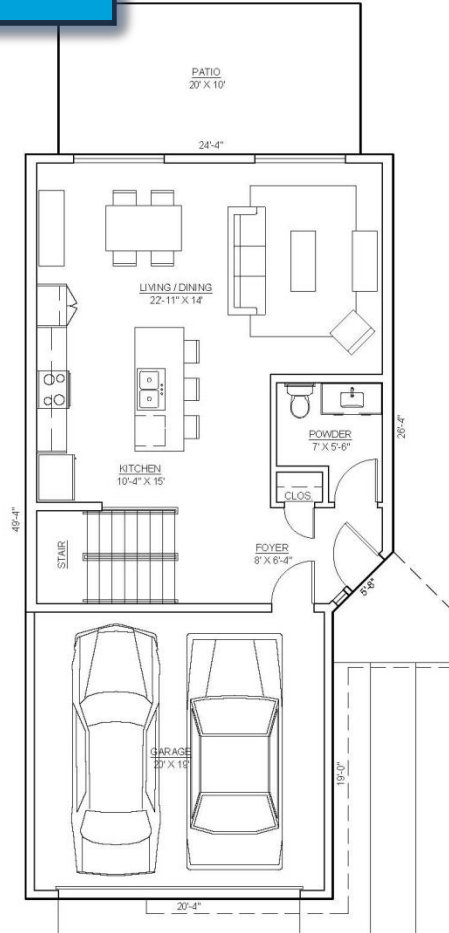
STREETS OF
WEST PRYOR

The Vanguard



BUILDING PERSPECTIVE

Vanguard Floor Plans



1st FLOOR

2nd FLOOR

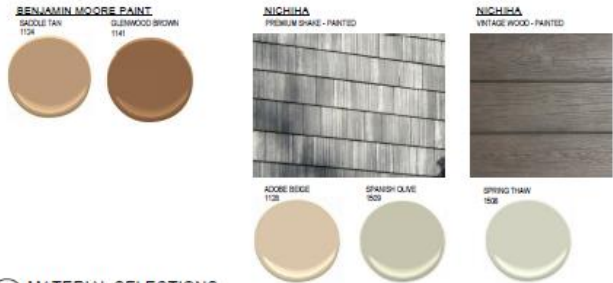
TOWNHOUSE



AREA SUMMARY:

2nd FLOOR:	1,120 SF
1st FLOOR:	740 SF
TOTAL:	1,860 SF

HOTEL



2 MATERIAL SELECTIONS
SCALE: 1/16" = 1'-0"



1 PERSPECTIVE VIEW
SCALE: 1/16" = 1'-0"



PROGRESS PRINT
NOT FOR CONSTRUCTION
DATE: 00/00/00

STREETS OF WEST PRYOR
HOTEL
LEE'S SUMMIT, MO

SUBMISSION DATED
PROGRESS PRINT ONLY

SHEET TITLE
3D VIEW

PROJECT NUMBER
171057

SHEET NUMBER
A-607



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