

Stag's Field

Rezoning from AG to R-1 & RP-4 & Preliminary Development Plan

PL2020-210

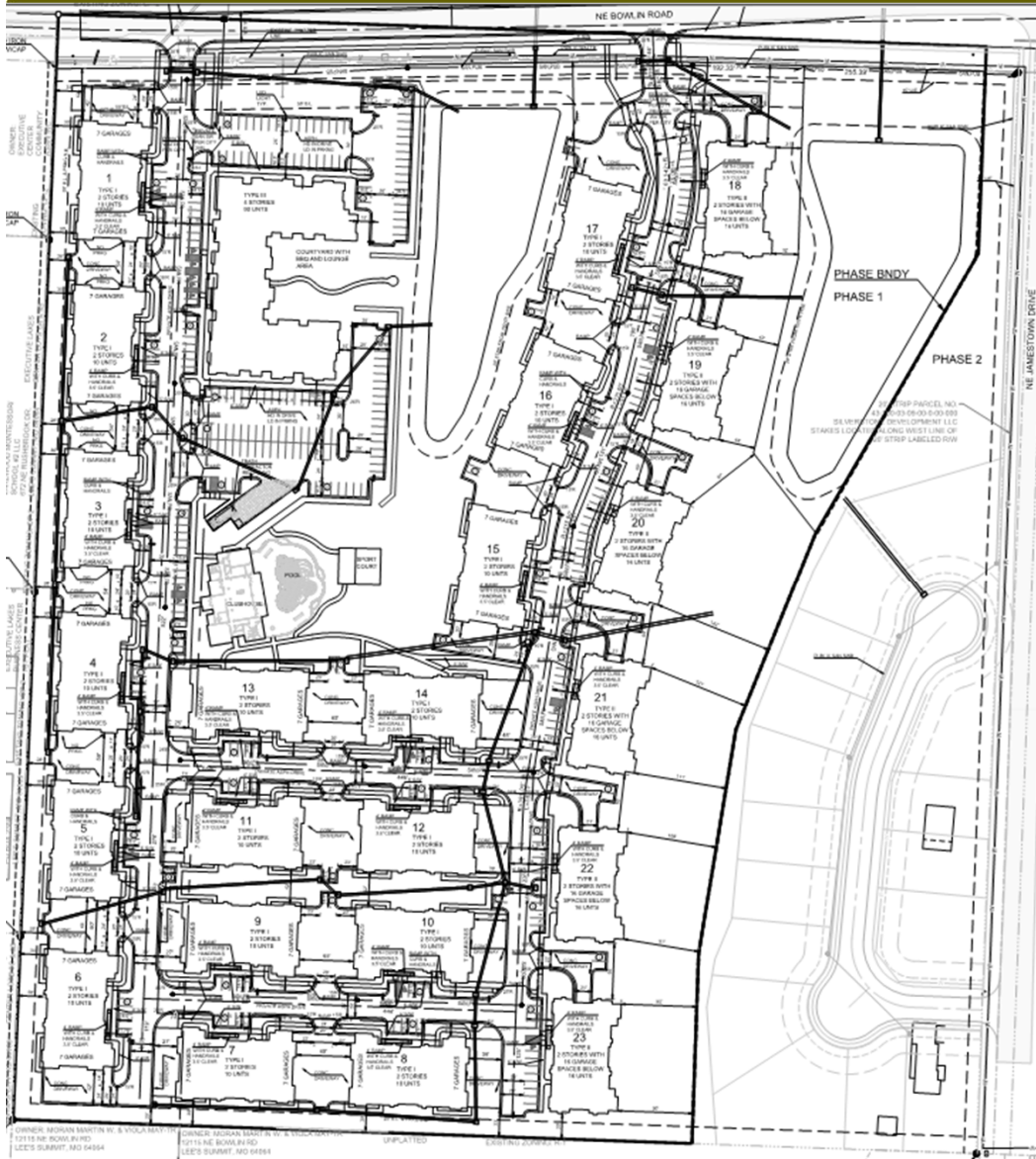
September 24, 2020



LEE'S SUMMIT
MISSOURI



Yours Truly



Size of Property

- 26.06 Acres (RP-4)
- 8.76 Acres (R-1)
- 34.82 Total acres

Number of lots

- 1 - multi-family lot (RP-4)
- 16 - single-family lots (R-1)
- 17 total lots
- 2 common area tracts

Dwelling Units

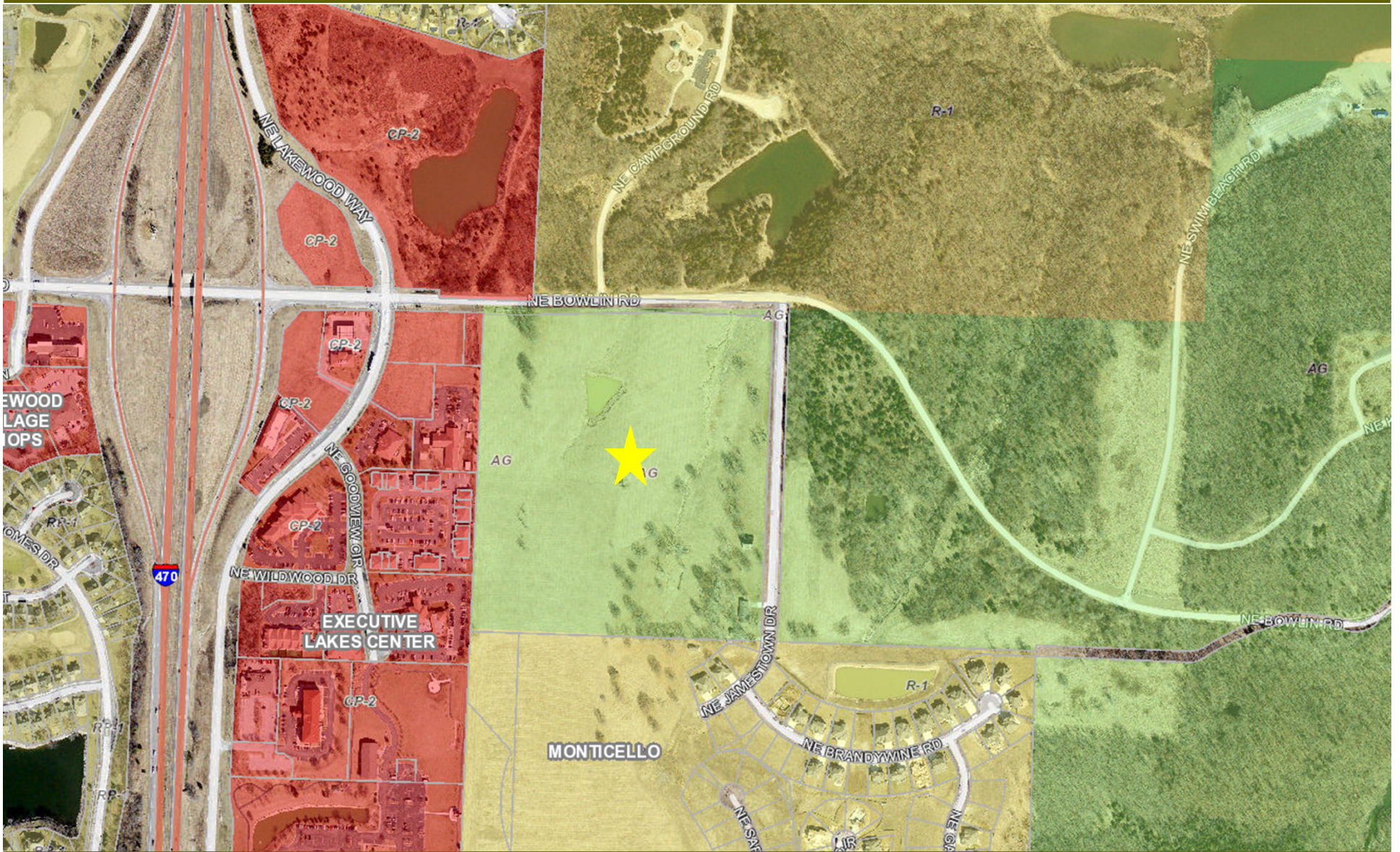
- 356 – multi-family units (RP-4)
- 16 – single-family residences (R-1)
- 372 total dwelling units

Density (Proposed)

- 13.7 units/acre - multi-family (RP-4)
- 1.8 units/acre - single-family (R-1)
- 10.7 units/acre - overall project density

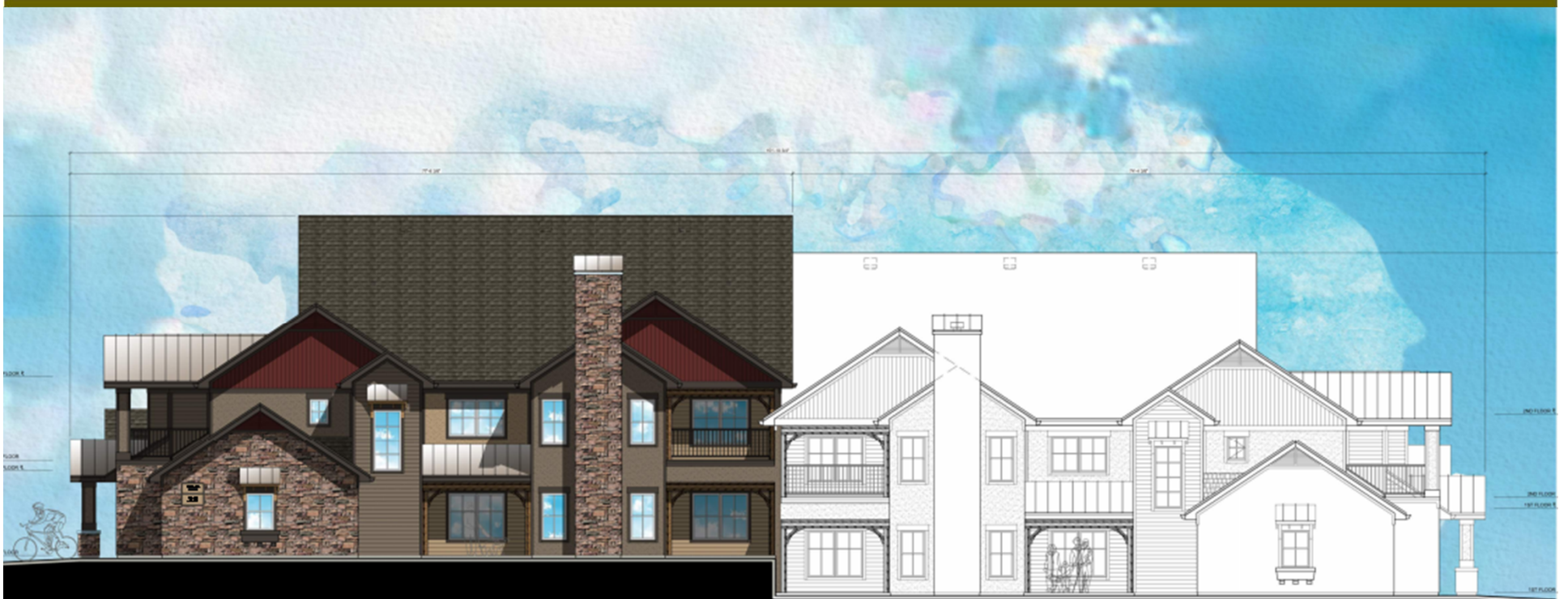


Project Information



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Aerial/Zoning Map









**BOWLIN ROAD
MANOR HOME**



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Elevations

| | | | |
|---|---|---|---|
|  | STONE (CONCRETE STONE) CONCRETE STONE COLOR: SAND |  | CEMENT LAP SPERMALLOY, SPERMALLOY COLOR: TO BE SELECTED |
|  | ASPHALT ROOF (SHALE) SHALE COLOR: WEATHERED WOOD |  | CEMENT LAP SPERMALLOY, SPERMALLOY COLOR: TO BE SELECTED |
|  | STEEL BEAM METAL METAL COLOR: CHAMPAGNE METAL |  | STUCCO SPERMALLOY, SPERMALLOY COLOR: TO BE SELECTED |



4 TYPE 1 MANOR HOME
1/8" = 1'-0"



3 TYPE 1 MANOR HOME
1/8" = 1'-0"



2 TYPE 1 MANOR HOME
1/8" = 1'-0"



1 TYPE 1 MANOR HOME
1/8" = 1'-0"

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Elevations



4 REAR ELEVATION
1/4" = 1'-0"









2 GARAGE ENTRANCE ELEVATION
1/4" = 1'-0"



3 END ELEVATION
1/4" = 1'-0"

COLOR MATERIALS

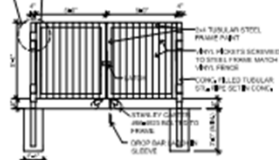
| | |
|--|--|
|  STONE, CONCREDED STONE COLOR: BROWN STONE |  BRICK, COMMON LAP COLOR: TO BE SELECTED |
|  ARTS & CRAFTS STONE COLOR: HEATHERED WOOD |  BRICK, COMMON LAP COLOR: TO BE SELECTED |
|  STAIRS, BRASS METAL COLOR: BRASS METAL |  BRICK COLOR: TO BE SELECTED |



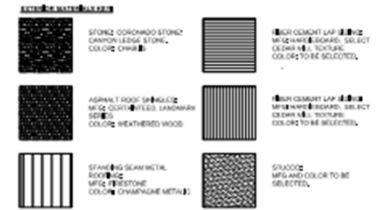
1 FRONT ELEVATION
1/4" = 1'-0"

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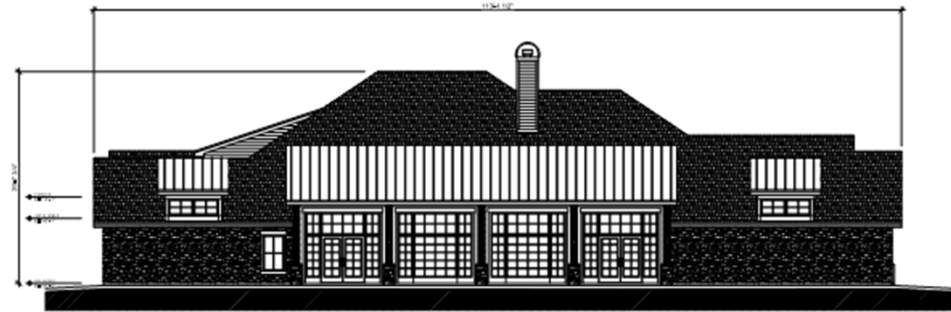
Elevations



5 TRASH ENCLOSURE / SCREEN



4 CLUBHOUSE ELEVATION









3 CLUBHOUSE ELEVATION



2 CLUBHOUSE ELEVATION



1 CLUBHOUSE ELEVATION

| | | | |
|---|---|---|--|
|  | STONE CONCRETE STONE CROWN GAZZ STONE COLOR: DRAB |  | BRICK LAMINATE MID-RANGE BRICK COLOR: TO BE SELECTED |
|  | ASPHALT ROOF MFC CERTIFIED WOOD COLOR: WEATHERED WOOD |  | BRICK LAMINATE MID-RANGE BRICK COLOR: TO BE SELECTED |
|  | STAINLESS STEEL MFC COLOR: STAINLESS METAL |  | STUCCO MFC COLOR TO BE SELECTED |



1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION

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Elevations



ASPHALT SHINGLES



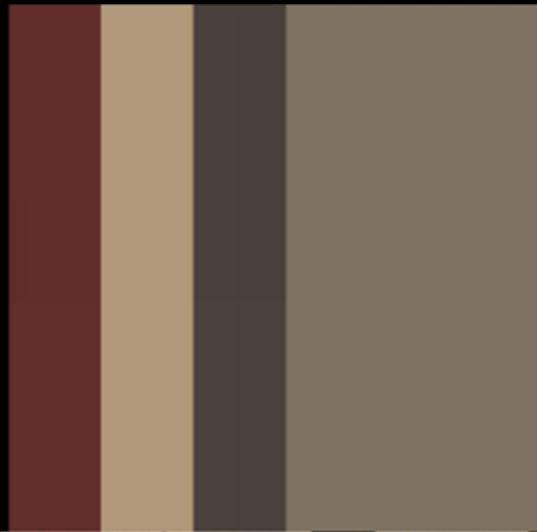
METAL ROOF PANEL



STUCCO



LAP SIDING



ACCENT PAINT

TRIM PAINT

FIELD PAINT



RETAINING WALL



STONE



BOWLIN ROAD EXTERIOR FINISHES

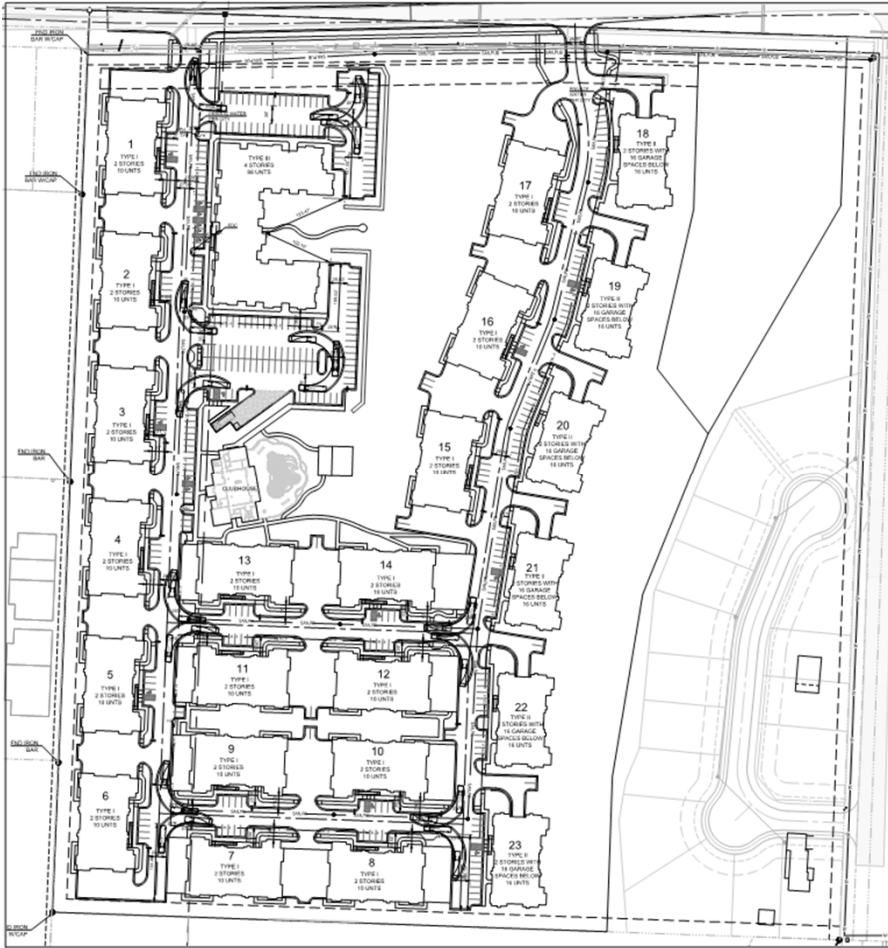


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Elevations

Density and Minimum Lot Size. Modifications requested.

- Required – 12 dwelling units per acre maximum in the RP-4 district; and minimum 3,500 sq. ft. lot size per dwelling unit
- Proposed – 13.7 dwelling units per acre; and 3,200 sq. ft. lot size per dwelling unit



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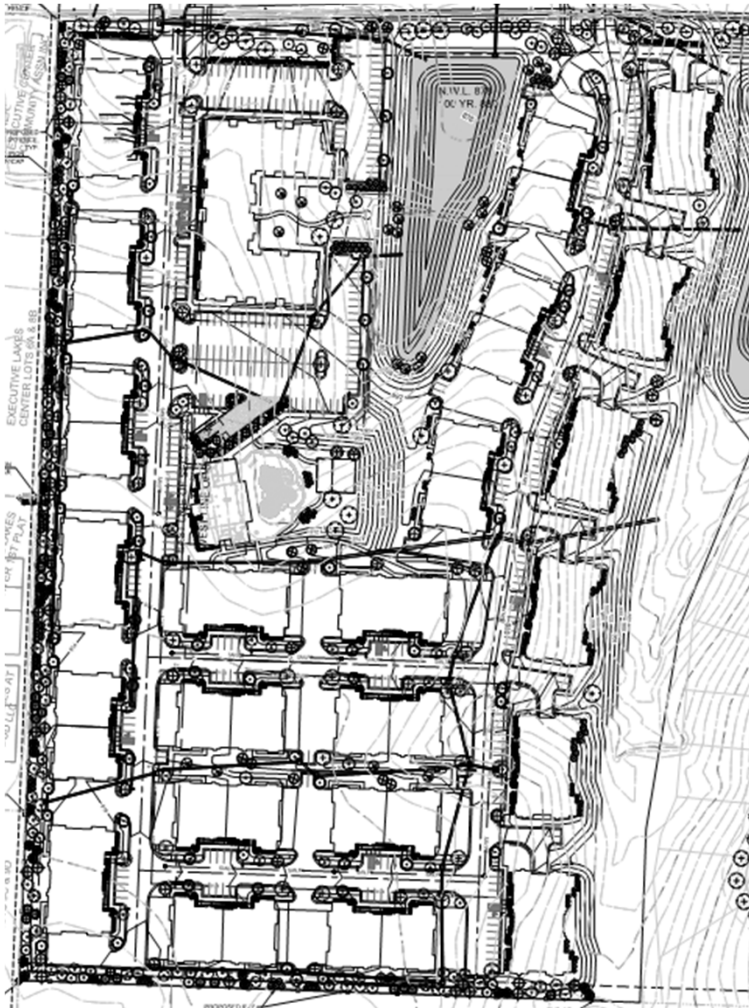
Requested Modifications

Landscaping, Caliper Size. Modification requested.

- Required – Section 8.750 of the UDO requires a minimum of 3-inch caliper, measured at a point 6 inches above the ground or top of the root ball, at planting.
- Proposed – The applicant has requested two modifications to this requirement: (1) a minimum 2.5-inch caliper for shade trees; and (2) a minimum 2-inch caliper for ornamental trees.

Landscaping, Height. Modification requested.

- Required – Section 8.750 of the UDO requires a minimum height of 8 feet at planting for evergreen trees.
- Proposed – The applicant has requested a modification of 3' to allow for a minimum height of 5' for evergreen trees.

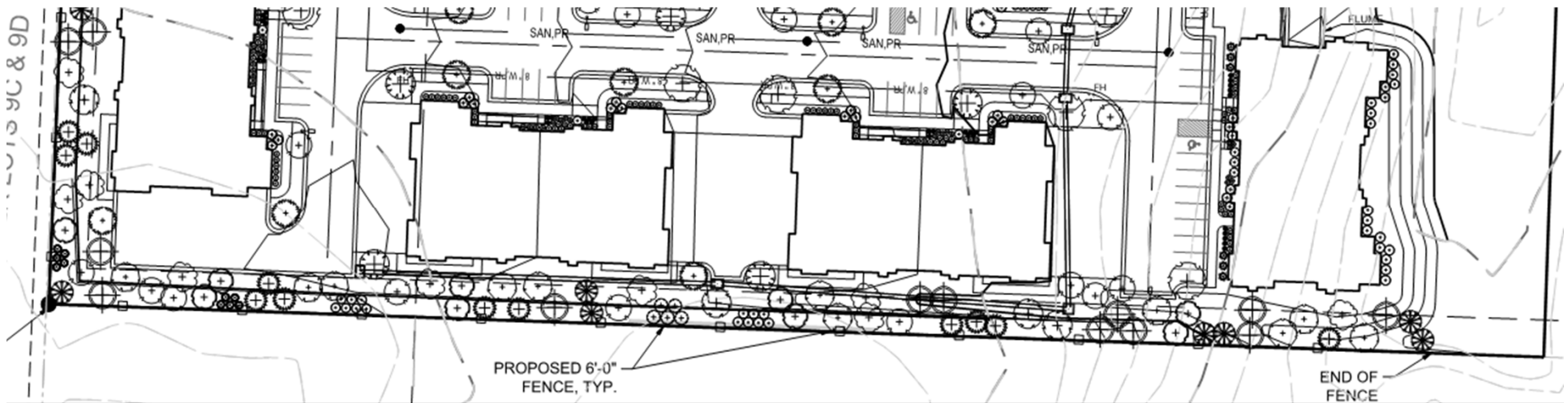


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Requested Modifications

High-impact Landscape Buffer – fence location. Modification requested.

- Required – The 6' fence or wall is required to be centered within the 20'-wide high-impact landscape buffer located along the property line.
- Proposed – The 6' fence will be located on the property line.



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Requested Modifications



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Staff Analysis

1. A modification shall be granted to the maximum density of 12 units per acre in the RP-4 district, to allow a density of 13.7 units per acre in the RP-4 district.
2. A modification shall be granted to the minimum lot size of 3,500 sq. ft. per dwelling unit in the RP-4 district, to allow a minimum lot size of 3,200 sq. ft. per dwelling unit in the RP-4 district.
3. A modification shall be granted to the minimum 3-inch caliper size for deciduous trees, to allow 2.5-inch deciduous shade trees and 2-inch deciduous ornamental trees.
4. A modification shall be granted to the minimum 8-foot height for evergreen trees, to allow 6-foot evergreen trees.
5. A modification shall be granted to the requirement that the fence in a high-impact landscape buffer be located 10 feet from the property line (i.e., centered within the 20-foot landscape buffer), to allow the fence to be located on the property line.
6. Site development and architectural elevations shall be in accordance with plans and specifications submitted to and on file in the Development Services Department dated August 24, 2020 and August 18, 2020.
7. The Developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum, water, sanitary and the traffic-related improvements included in the revised Transportation Impact Analysis (TIA) dated September 16, 2020. No building permits shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Records' Office. All required public improvements, not future improvements, shall be substantially complete prior to any occupancy.



Conditions of Approval