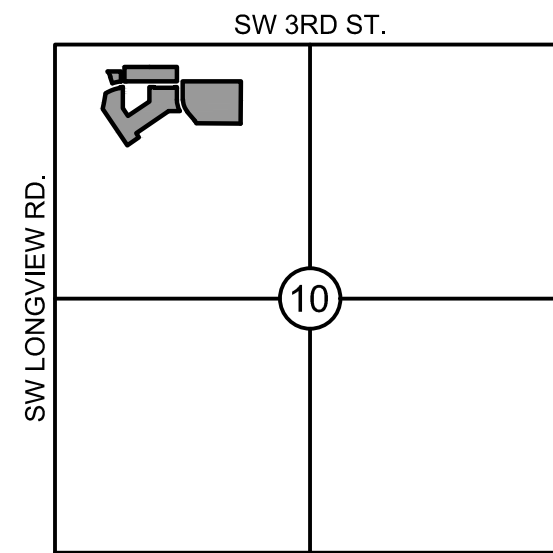


KESSLER VIEW PRELIMINARY DEVELOPMENT PLAN

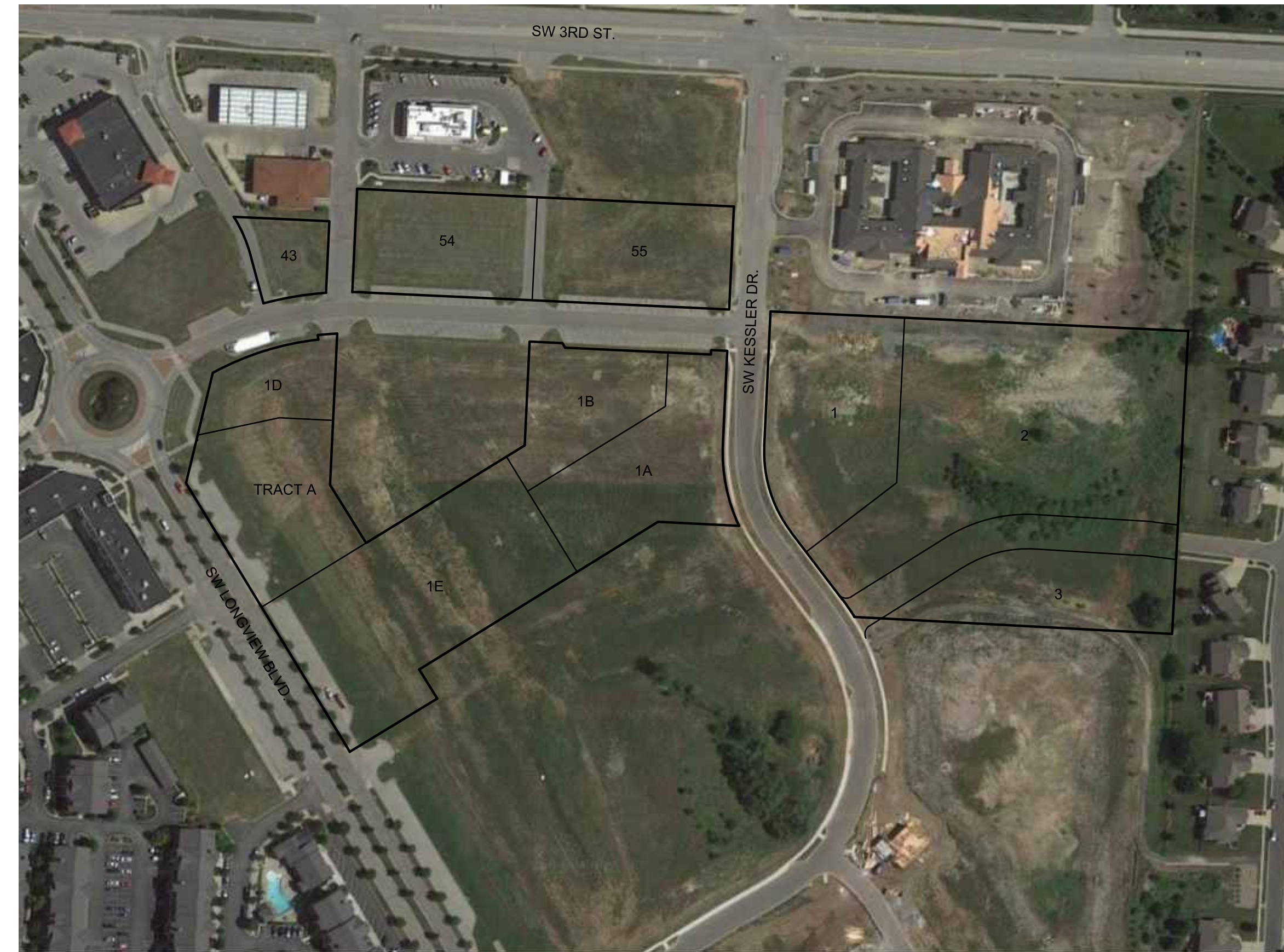
SECTION 10, TOWNSHIP 47N, RANGE 32W
IN LEE'S SUMMIT, JACKSON COUNTY, MO



VICINITY MAP

S10, T47N, R32W
SCALE 1"=2000'

PROJECT TEAM CONTACT LIST	
DEVELOPER	INSPIRED HOMES LLC 1301 BURLINGTON, SUITE 150 NORTH KANSAS CITY, MO 64116 CONTACT: NICK KRIER PHONE: 816.548.3300
OWNER	M-III LONGVIEW LLC 4601 COLLEGE BLVD., SUITE 350 LEAWOOD, KS 66221 CONTACT: COREY WALKER PHONE: 816.561.3796
ENGINEER	OLSSON ASSOCIATES 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: SHANNON BUSTER, P.E. PHONE: 816.587.4320



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PROPERTY DESCRIPTION:

A tract of land in the Northwest Quarter of Section 10, Township 47 North, Range 32 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri, being bounded and described as follows: Commencing at the Northeast corner of said Northwest Quarter; thence North 87°11'20" West, along the North line of said Northwest Quarter, 740.57 feet; thence South 03°11'10" West, 382.01 feet to a point on the West line of BRIDLEWOOD - 4TH PLAT LOTS 169A-174A, a subdivision in said Lee's Summit, Jackson County, Missouri, said point also being the Southeast corner of Lot 1, NEW LONGVIEW COMMERCIAL DISTRICT, FOURTH PLAT, LOT 1, a subdivision in said Lee's Summit, Jackson County, Missouri, said point also being the Point of Beginning of the tract of land to be herein described; thence South 03°11'10" West along said West line and the West line of BRIDLEWOOD-5TH PLAT, a subdivision in said Lee's Summit, Jackson County, Missouri, 439.81 feet to the Northeast corner of Tract A, KESSLER RIDGE AT NEW LONGVIEW - FIRST PLAT, a subdivision in said Lee's Summit, Jackson County, Missouri; thence North 86°48'44" West, along the North line of said Tract A, 461.29 feet to the Northwest corner of said Tract A, said point also being on the East right-of-way line of SW Kessler Drive, as now established; thence Northwesterly, along said East right-of-way line, along a curve to the left, having an initial tangent bearing of North 31°35'13" West with a radius of 310.00 feet, a central angle of 05°37'55" and an arc distance of 30.47 feet; thence North 37°13'07" West, continuing along said East right-of-way line, 123.26 feet; thence Northerly, continuing along said East right-of-way line, along a curve to the right, being tangent to the last described course with a radius of 190.00 feet, a central angle of 40°01'47" and an arc distance of 132.74 feet; thence North 02°48'40" East, continuing along said East right-of-way line, 195.92 feet to the Southwest corner of said Lot 1; thence South 87°11'20" East, along the South line of said Lot 1, 606.38 feet to the Point of Beginning. Containing 252,027 square feet or 5.79 acres, more or less.

Also,

All of Lots 1A, 1B, 1D, 1E, and Tract A, FASCINATION AT NEW LONGVIEW.

Also,

All of Lots 43, 53, and 54, NEW LONGVIEW COMMERCIAL DISTRICT, THIRD PLAT.

NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.03	Revised per Staff comments	CJH

TITLE SHEET	2018
KESSLER VIEW PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	

DWG: \\oss.ad.ocsconsulting.com\ite-ns1\projects\2017\3501-4000\017-3807\40-design\AutoCAD\preliminary plans\36\24\C_TTL01_73807.dwg
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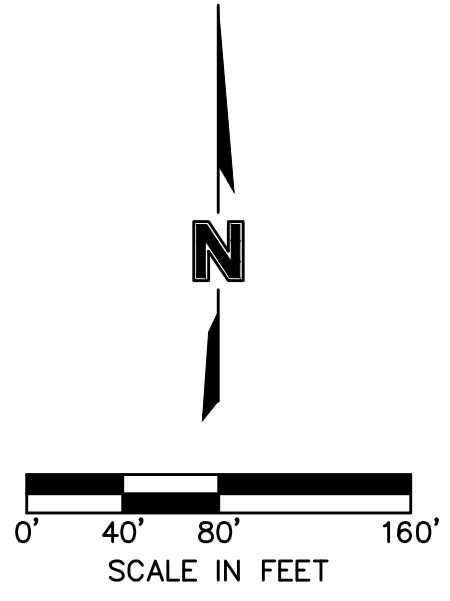



LEGEND	
GENERAL	
[Symbol]	ACU AIR CONDITIONING UNIT
[Symbol]	BOV BLOW OFF VALVE
[Symbol]	BSH BUSH
[Symbol]	COL COLUMN
[Symbol]	CTR CONIFEROUS TREE
[Symbol]	DRN DRAIN GRATE
[Symbol]	DTR DECIDUOUS TREE
[Symbol]	FLP FLAG POLE
[Symbol]	GPL GUY POLE
[Symbol]	GTP GREASE TRAP
[Symbol]	GUY GUY WIRE
[Symbol]	HCP ACCESSIBLE PARKING MARKER
[Symbol]	LST LIFT STATION
[Symbol]	MLB MAILBOX
[Symbol]	PIV POST INDICATOR VALVE
[Symbol]	SCV SPRINKLER CONTROL VALVE
[Symbol]	SGN SIGN
[Symbol]	SLB STREET LIGHT BOX
[Symbol]	SLC STREET LIGHT CABINET
[Symbol]	SPB SPRINKLER BOX
[Symbol]	SPH SPRINKLER HEAD
[Symbol]	STP STUMP
[Symbol]	SVL SEWER VALVE
[Symbol]	TCB TRAFFIC CONTROL BOX
[Symbol]	TSA TRAFFIC SIGNAL WITH MAST ARM
[Symbol]	TSC TRAFFIC SIGNAL CABINET
[Symbol]	TSMH TRAFFIC SIGNAL MANHOLE
[Symbol]	TSP TRAFFIC SIGNAL POLE
[Symbol]	EXISTING TREELINE
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING ROADWAY CENTER LINE
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	R RADIUS
[Symbol]	L ARC DISTANCE
[Symbol]	D DELTA / CENTRAL ANGLE
EASEMENTS & SETBACKS	
[Symbol]	A.E. ACCESS EASEMENT
[Symbol]	B.M.P. BEST MANAGEMENT PRACTICE EASEMENT
[Symbol]	B.L. BUILDING SETBACK
[Symbol]	C.T.V.E. CABLE TV EASEMENT
[Symbol]	F.O.E. FIBER OPTIC EASEMENT
[Symbol]	F.P.S.E. FIRE PROTECTION SYSTEM EASEMENT
[Symbol]	L.L.E. FUEL LINE EASEMENT
[Symbol]	L.S.E. LANDSCAPE EASEMENT
[Symbol]	G.E. NATURAL GAS EASEMENT
[Symbol]	T.E. TELEPHONE EASEMENT
[Symbol]	E.E. POWER/ELECTRIC EASEMENT
[Symbol]	P.S. PARKING SETBACK
[Symbol]	S.B. STREAM BUFFER
[Symbol]	S.D.E. SURFACE DRAINAGE EASEMENT
[Symbol]	SIGHT DIST. ESMT. SIGHT DISTANCE EASEMENT
[Symbol]	S.E. SANITARY SEWER EASEMENT
[Symbol]	S.L.E. STEAM LINE EASEMENT
[Symbol]	D.E. STORM DRAINAGE EASEMENT
[Symbol]	S.W.M.E. STORM WATER MANAGEMENT EASEMENT
[Symbol]	T.C.D.S.E. TEMPORARY CUL-DE-SAC EASEMENT
[Symbol]	TEMP. ESMT. TEMPORARY EASEMENT
[Symbol]	U.E. UTILITY EASEMENT
[Symbol]	W.E. WATER EASEMENT
[Symbol]	F.Y.S. FRONT YARD SETBACK
[Symbol]	R.Y.S. REAR YARD SETBACK
[Symbol]	S.Y.S. SIDE YARD SETBACK
SURVEY MARKERS	
[Symbol]	BMK BENCHMARK
[Symbol]	CPT CONTROL POINT
[Symbol]	FND FOUND MONUMENT
[Symbol]	ROW ROW MARKER
[Symbol]	SCR SECTION CORNER
[Symbol]	SET SET MONUMENT
BOUNDARIES	
[Symbol]	SECTION LINE
[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	PROPOSED PROPERTY BOUNDARY
[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING RIGHT-OF-WAY
CONTOURS	
[Symbol]	-100- EXISTING INDEX CONTOURS
[Symbol]	-100- EXISTING INTERMEDIATE CONTOURS

LEGEND	
UTILITIES	
[Symbol]	CAB CABLE BOX
[Symbol]	CAV CABLE VAULT
[Symbol]	TVP TELEVISION PEDESTAL
[Symbol]	TVR TELEVISION RISER
[Symbol]	EXISTING CABLE TV, OVERHEAD
[Symbol]	EXISTING CABLE TV, UNDERGROUND
[Symbol]	FOB FIBER OPTIC BOX
[Symbol]	FOM FIBER OPTIC MANHOLE
[Symbol]	FOP FIBER OPTIC PEDESTAL
[Symbol]	FOV FIBER OPTIC VAULT
[Symbol]	EXISTING FIBER OPTIC, OVERHEAD
[Symbol]	EXISTING FIBER OPTIC, UNDERGROUND
[Symbol]	FDC FIRE DEPT. CONNECTION
[Symbol]	EXISTING FIRE PROTECTION SYSTEM LINE
[Symbol]	EXISTING FUEL LINE
[Symbol]	GAR GAS RISER
[Symbol]	GMH GAS MANHOLE
[Symbol]	GMK GAS MARKER
[Symbol]	GMT GAS METER
[Symbol]	GRG GAS REGULATOR
[Symbol]	GVL GAS VALVE
[Symbol]	EXISTING NATURAL GAS LINE
[Symbol]	TEC TELEPHONE CABINET
[Symbol]	TEP TELEPHONE PEDESTAL
[Symbol]	TER TELEPHONE RISER
[Symbol]	TEV TELEPHONE VAULT
[Symbol]	TMH TELEPHONE MANHOLE
[Symbol]	EXISTING TELEPHONE LINE, OVERHEAD
[Symbol]	EXISTING TELEPHONE LINE, UNDERGROUND
[Symbol]	GLT GROUND LIGHT
[Symbol]	LTP LIGHT POLE
[Symbol]	PWP POWER POLE
[Symbol]	TRF ELECTRIC TRANSFORMER
[Symbol]	EBX ELECTRIC BOX
[Symbol]	ELC ELECTRIC CABINET
[Symbol]	ELR ELECTRIC RISER
[Symbol]	EMH ELECTRIC MANHOLE
[Symbol]	EMT ELECTRIC METER
[Symbol]	ESC ELECTRIC SECTIONALIZER
[Symbol]	EVT ELECTRIC VAULT
[Symbol]	YDL YARD LIGHT
[Symbol]	EXISTING POWER/ELECTRIC LINE, OVERHEAD
[Symbol]	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
[Symbol]	SCO SEWER CLEANOUT
[Symbol]	SSMH SANITARY MANHOLE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING STEAM LINE
[Symbol]	SDMH STORM SEWER MANHOLE
[Symbol]	FES FLARED END SECTION
[Symbol]	RDN ROOF DRAIN
[Symbol]	EXISTING STORM SEWER
[Symbol]	FH FIRE HYDRANT
[Symbol]	WMH WATER MANHOLE
[Symbol]	WMK WATER MARKER
[Symbol]	WMT WATER METER
[Symbol]	WVL WATER VALVE
[Symbol]	EXISTING WATER LINE

NOTES:
 1. EXISTING ZONING: PMIX; EXISTING LAND USE: UNDEVELOPED
 2. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR: <https://dnr.mo.gov/geology/geosrv/oilandgas.htm> (UPDATED FEBRUARY 2018)
 3. FEMA FLOODPLAIN DESIGNATION: AREA OF MINIMAL FLOOD HAZARD

185' ADJACENT PROPERTY OWNERS		
PROPERTY	OWNER	MAILING ADDRESS
FASCINATION AT NEW LONGVIEW - LOT 1C	M-III LONGVIEW LLC	4601 COLLEGE BLVD. STE. 300, LEAWOOD, KS 66211
FASCINATION AT NEW LONGVIEW - TRACTS B, C, D, E	M-III LONGVIEW LLC	4601 COLLEGE BLVD. STE. 300, LEAWOOD, KS 66211
FASCINATION AT NEW LONGVIEW - LOT 2	YARCO-DEVCO LLC	7920 WARD PARKWAY, KANSAS CITY, MO 64114
TOWER PARK COMMERCIAL - LOT 3	GALE COMMUNITIES INC	400 SW LONGVIEW BLVD. STE. 105, LEE'S SUMMIT, MO 64081
TOWER PARK COMMERCIAL - LOT 7	M-III LONGVIEW LLC	4601 COLLEGE BLVD. STE. 300, LEAWOOD, KS 66211
TOWER PARK COMMERCIAL - LOT 6	JVM NEW LONGVIEW LLC	PO BOX 06494, CHICAGO, IL 60606-6494
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 41	W PHARMACY I DIST	1 CVS DR., WOODSOCKET, RI 02895
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 42	ALLIANCE PETROLEUM LLC	4251 LINDELL BLVD., ST. LOUIS, MO 63108
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 44	M-III LONGVIEW LLC	4601 COLLEGE BLVD. STE. 300, LEAWOOD, KS 66211
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 51	MCDONALDS REAL ESTATE CO	11 SOUTHEAST 2ND ST., LEE'S SUMMIT, MO 64063
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 52	M-III LONGVIEW LLC	4601 COLLEGE BLVD. STE. 300, LEAWOOD, KS 66211
NEW LONGVIEW COMMERCIAL DISTRICT - LOT 1	LEE'S SUMMIT MEMORY CARE LLC	545 E JOHN CARPENTER FWY. STE. 500, IRVING, TX 75062
BRIDLEWOOD - LOT 170A	HATAWAY JOEL E & SUSAN E - TRUSTEES	3053 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 171A	WINSLOW DAVID L & SHAYLA R	3049 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 172A	NICHOLS ROBERT D & AMY R	3045 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 173A	FRAZIER SHARI L	3041 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 174A	BOAZ DAVID B & JENNIFER L	3039 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 175	BURD MICHAEL I	3036 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 189	ROATH DAMON E & SHAWNA E	409 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 190	PHILLIPS JAMES D & PATRICIA M TRUSTEES	405 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 191	VERSER C DWAYNE & CAROL L	401 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 192	BOMAR JARVIS & CINDY	3035 SW GENTRY CT., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 193	SALADINO MARION A	400 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 194	ALLEN GREGORY ALLEN & TIWANA	404 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 195	FLEMING MATTHEW C & VEIT TAMARA A	408 SW GENTRY LN., LEE'S SUMMIT, MO 64081
BRIDLEWOOD - LOT 196	LINDSEY BRIAN K & TAMRA K	412 SW GENTRY LN., LEE'S SUMMIT, MO 64081
KESSELER RIDGE - TRACT A	INSPIRED HOMES LLC	1301 BURLINGTON ST., STE. 150, NORTH KANSAS CITY, MO 64116





100 Southside of University at 845.992
 300 HURLBURTON SUITE 100
 NORTH KANSAS CITY, MO 64116
 TEL: 816.587.4320
 FAX: 816.587.1393
www.ololssonassociates.com

NO. REV.	DATE	DESCRIPTION	BY	
			CHK	APP
1	2018.07.03	Revised per Staff comments		

EXISTING CONDITIONS

KESSELER VIEW

PRELIMINARY DEVELOPMENT PLAN

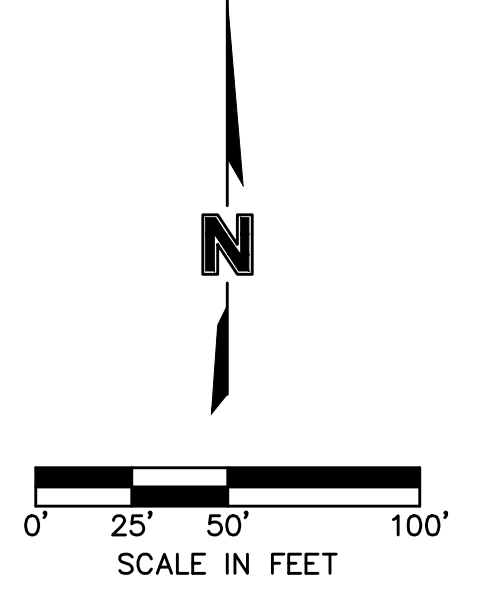
LEE'S SUMMIT, MO

2018

SHEET 02



LEGEND	
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-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS
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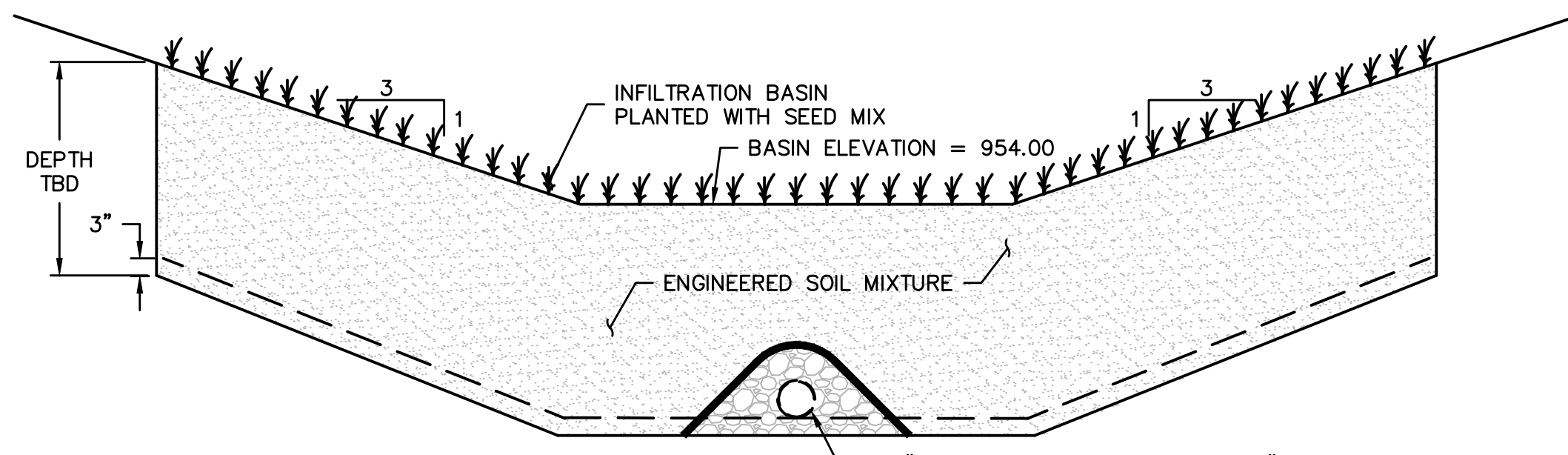
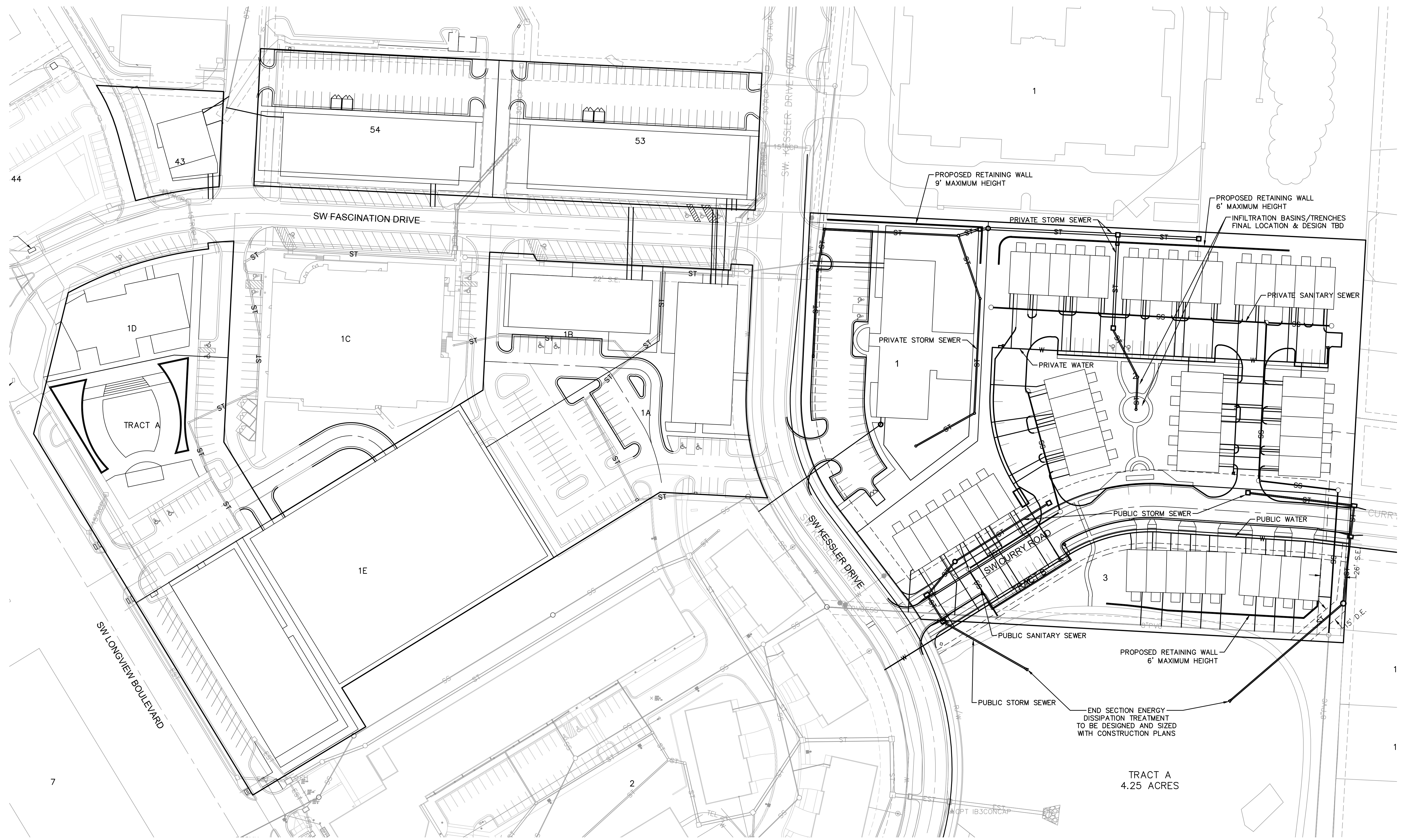


NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.03	Revised per Staff comments	CJH

PRELIMINARY GRADING PLAN
KESSLER VIEW
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT, MO

drawn by: CJH
checked by: JAB
designed by: NH
QA/QC by: JEF
project no.: 017-3807
date: 2018.05.04

DWG: F:\2017\1601-4000\017-3807\40-Design\AutoCAD\Preliminary Plans\Sheets\GNV\01_Development Plans_3624\C_UTL01_73807.dwg
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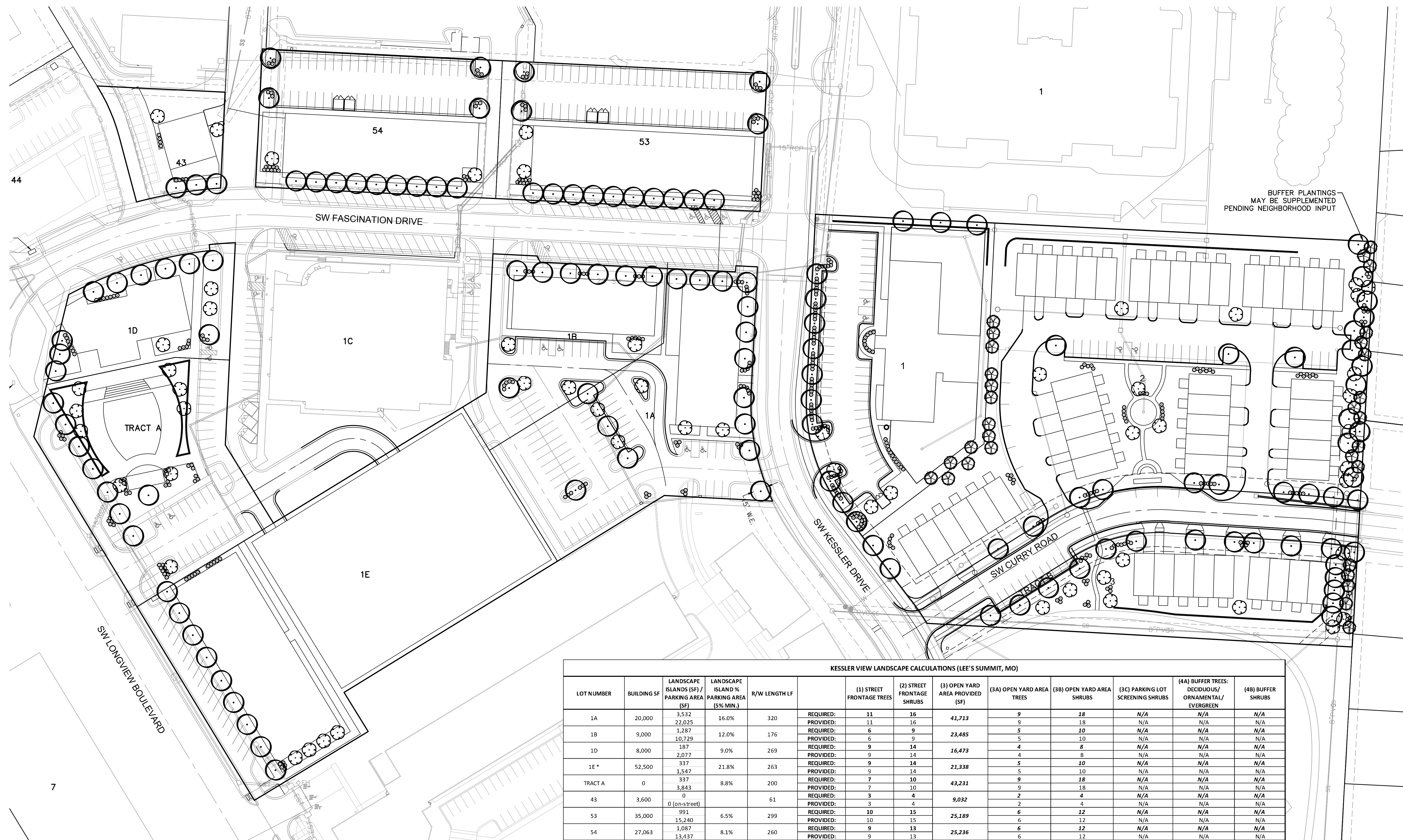


INFILTRATION BASIN DETAIL

LEGEND	
—EG	EXISTING NATURAL GAS LINE
—E/TEL/0H	EXISTING TELEPHONE LINE, OVERHEAD
—E/TEL	EXISTING TELEPHONE LINE, UNDERGROUND
—E/EOH	EXISTING POWER/ELECTRIC LINE, OVERHEAD
—E/E	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
—E/SS	EXISTING SANITARY SEWER
—SS	PROPOSED SANITARY SEWER
—E/ST	EXISTING STORM SEWER
—ST	PROPOSED STORM SEWER
—E/W	EXISTING WATER LINE
—W	PROPOSED WATER LINE

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.03	Revised per Staff comments	C.H.

PRELIMINARY UTILITY PLAN
 KESSLER VIEW
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO 2018



BUFFER PLANTINGS
 MAY BE SUPPLEMENTED
 PENDING NEIGHBORHOOD INPUT

KESSLER VIEW LANDSCAPE CALCULATIONS (LEE'S SUMMIT, MO)

LOT NUMBER	BUILDING SF	LANDSCAPE ISLANDS (SF) / PARKING AREA (SF)	LANDSCAPE ISLAND % PARKING AREA (% MIN.)	R/W LENGTH LF	(1) STREET FRONTAGE TREES	(2) STREET FRONTAGE SHRUBS	(3) OPEN YARD AREA PROVIDED (SF)	(3A) OPEN YARD AREA TREES	(3B) OPEN YARD AREA SHRUBS	(3C) PARKING LOT SCREENING SHRUBS	(4A) BUFFER TREES: DECIDUOUS/ ORNAMENTAL/ EVERGREEN	(4B) BUFFER SHRUBS
1A	20,000	3,532 / 22,025	16.0%	320	REQUIRED: 11 PROVIDED: 11	16 16	41,713	9 9	28 18	N/A N/A	N/A N/A	
1B	9,000	1,287 / 10,729	12.0%	176	REQUIRED: 6 PROVIDED: 6	9 9	23,485	5 5	10 10	N/A N/A	N/A N/A	
1D	8,000	187 / 2,077	9.0%	269	REQUIRED: 9 PROVIDED: 9	14 14	16,473	4 4	8 8	N/A N/A	N/A N/A	
1E*	52,500	337 / 1,547	21.8%	263	REQUIRED: 9 PROVIDED: 9	14 14	21,338	5 5	10 10	N/A N/A	N/A N/A	
TRACT A	0	337 / 3,843	8.8%	200	REQUIRED: 7 PROVIDED: 7	10 10	43,231	9 9	18 18	N/A N/A	N/A N/A	
43	3,600	0 / 0 (on-street)		61	REQUIRED: 3 PROVIDED: 3	4 4	9,032	2 2	4 4	N/A N/A	N/A N/A	
53	35,000	991 / 15,240	6.5%	299	REQUIRED: 10 PROVIDED: 10	15 15	25,189	6 6	12 12	N/A N/A	N/A N/A	
54	27,063	1,087 / 13,437	8.1%	260	REQUIRED: 9 PROVIDED: 9	13 13	25,236	6 6	12 12	N/A N/A	N/A N/A	
1	10,000	1,163 / 14,779	7.9%	282	REQUIRED: 10 PROVIDED: 10	15 15	47,064	10 10	20 20	64 64	N/A N/A	
2	36,000	948 / 5,254	18.0%	357	REQUIRED: 12 PROVIDED: 12	18 18	95,987	20 20	40 40	N/A N/A	12 / 8 / 12 12 / 8 / 12	
3	9,000	0 / 0 (on-street)		333	REQUIRED: 12 PROVIDED: 12	17 17	28,897	6 6	12 12	N/A N/A	5 / 3 / 5 5 / 3 / 5	
TOTALS	210,163			2820	PROVIDED: 98	145	377,645	82	164	64	17 / 11 / 17	17

* Open Yard Area calculations for Lot 1E exclude the proposed Parking Structure (49,611 SF)

LANDSCAPE REQUIREMENTS DESCRIPTIONS

- (1) STREET FRONTAGE SHALL BE PLANTED WITH ONE (1) TREE PER 30 LF OF STREET FRONTAGE
- (2) STREET FRONTAGE SHALL BE PLANTED WITH ONE (1) SHRUB FOR EVERY 20 LF OF STREET FRONTAGE.
- (3A) IN ADDITION TO STREET FRONTAGE TREES, 1 TREE SHALL BE PROVIDED FOR EVERY 5,000 SF OF OPEN YARD AREA.
- (3B) OPEN YARD AREAS SHALL BE LANDSCAPED WITH TWO (2) SHRUBS PER 5,000 SF OF TOTAL LOT AREA.
- (3C) 12 SHRUBS PER EVERY 40 LF SHALL BE PROVIDED ALONG PARKING AREA ADJACENT STREET R/W THIS MUST BE 18" MIN. HEIGHT AT TIME OF PLANTING & SPREAD INTO A CONTINUOUS VISUAL
- (4) A 20' WIDE BUFFER SCREEN SHALL BE PROVIDED BETWEEN TWO DIFFERENT ADJACENT USES, IN THE FORM OF (4A) 1 SHADE TREE PER 500 SF; 1 ORNAMENTAL TREE PER 750 SF; 1 EVERGREEN PER 500 SF; AND (4B) 1 SHRUB PER 500 SF.

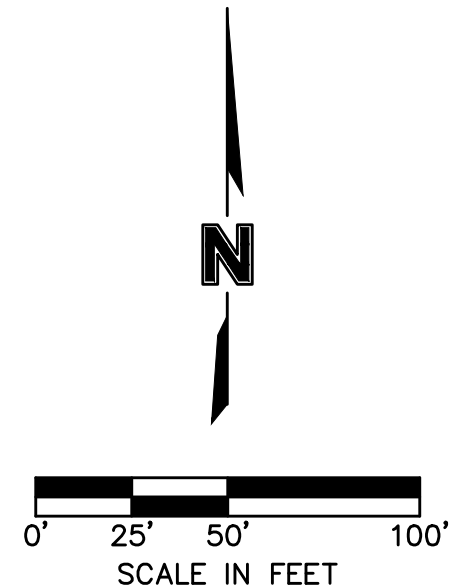
NOTES:

- (1) Open areas not covered with other materials shall be covered with sod, per Section 14.090.B.2 Groundcover.
- (2) All shrub requirements shall be met, per Article 14 of UDO. Final development plans shall include final landscaping design.
- (3) All ground-mounted mechanical units shall be totally screened from view in accordance with Article 7 of UDO.
- (4) Any parking lot designed or intended to accommodate five (5) cars or more and any area set aside for loading or unloading of trucks or vans, if such parking lot or loading area is visible from a street right-of-way, a visual screen shall be provided, per Section 14.120 of UDO

PLANT SCHEDULE

TREES	QTY	SIZE
	136	DECIDUOUS 3" CALIPER
	58	ORNAMENTAL 3" CALIPER
	31	EVERGREEN 8' HEIGHT
SHRUBS	QTY	SIZE
	392	SHRUB 24"-30" HT. OR 5-GAL. CONT.

NOTES:
 1. FINAL PLACEMENT OF LANDSCAPE MATERIAL SHALL BE DETERMINED AT TIME OF FINAL SITE PLANS AND SHALL COMPLY TO APPROPRIATE SPACING AND DISTANCE REQUIREMENTS.

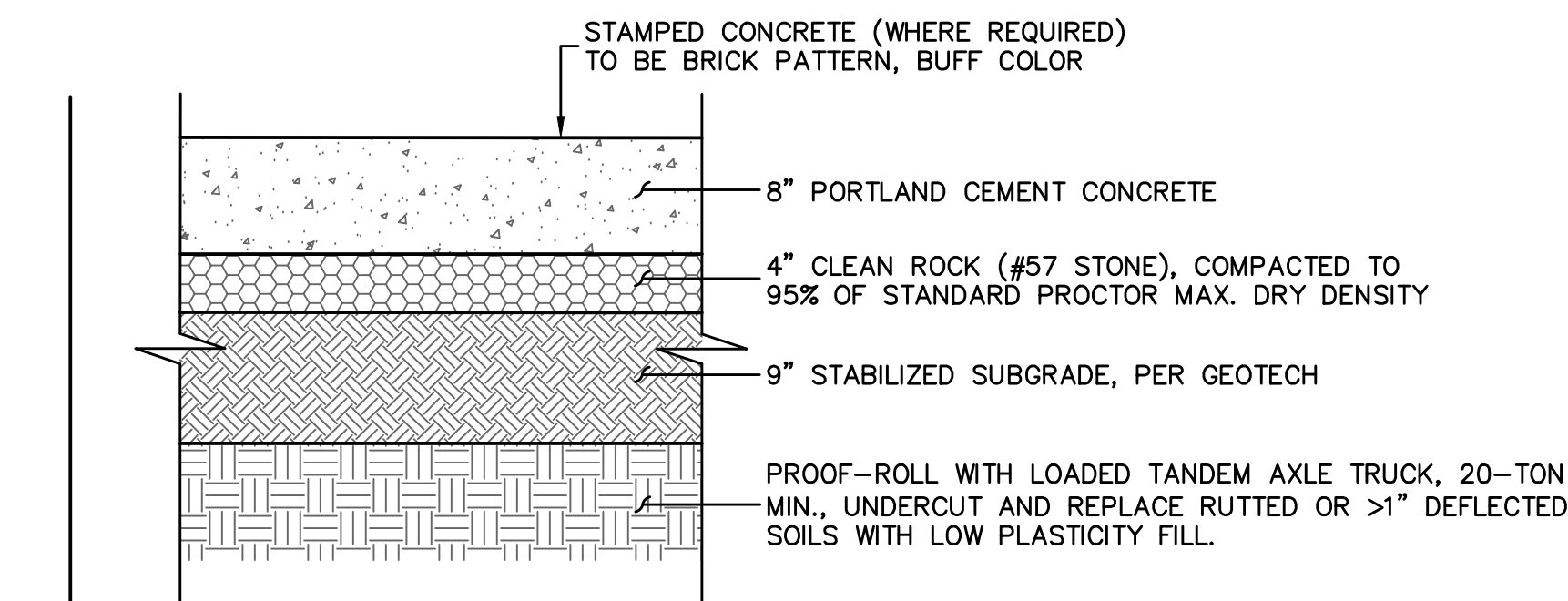
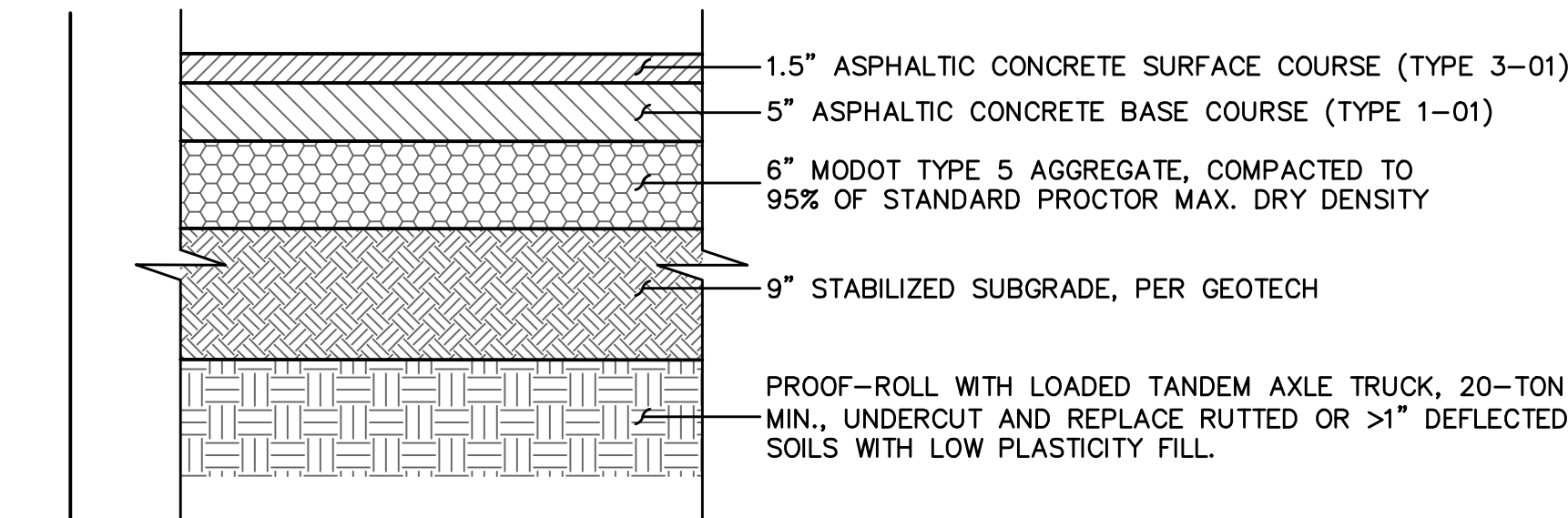
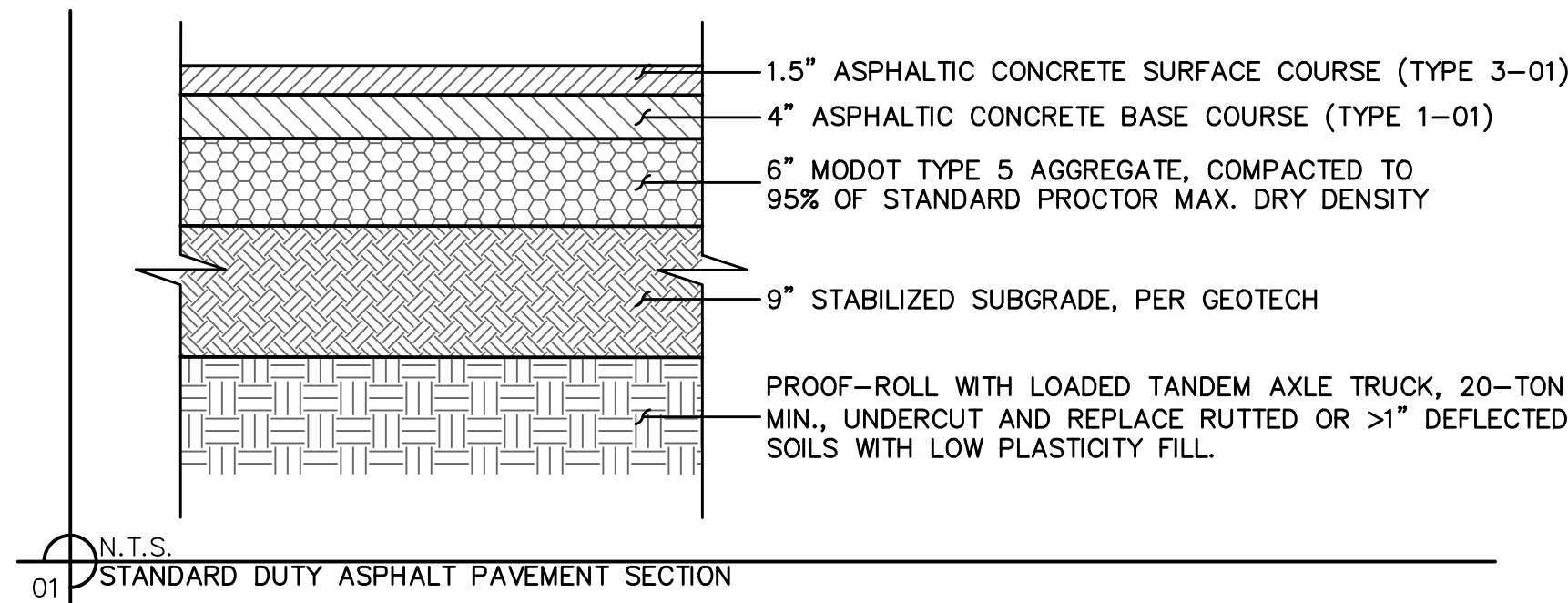


NO. REV.	DATE	REVISIONS DESCRIPTION	BY
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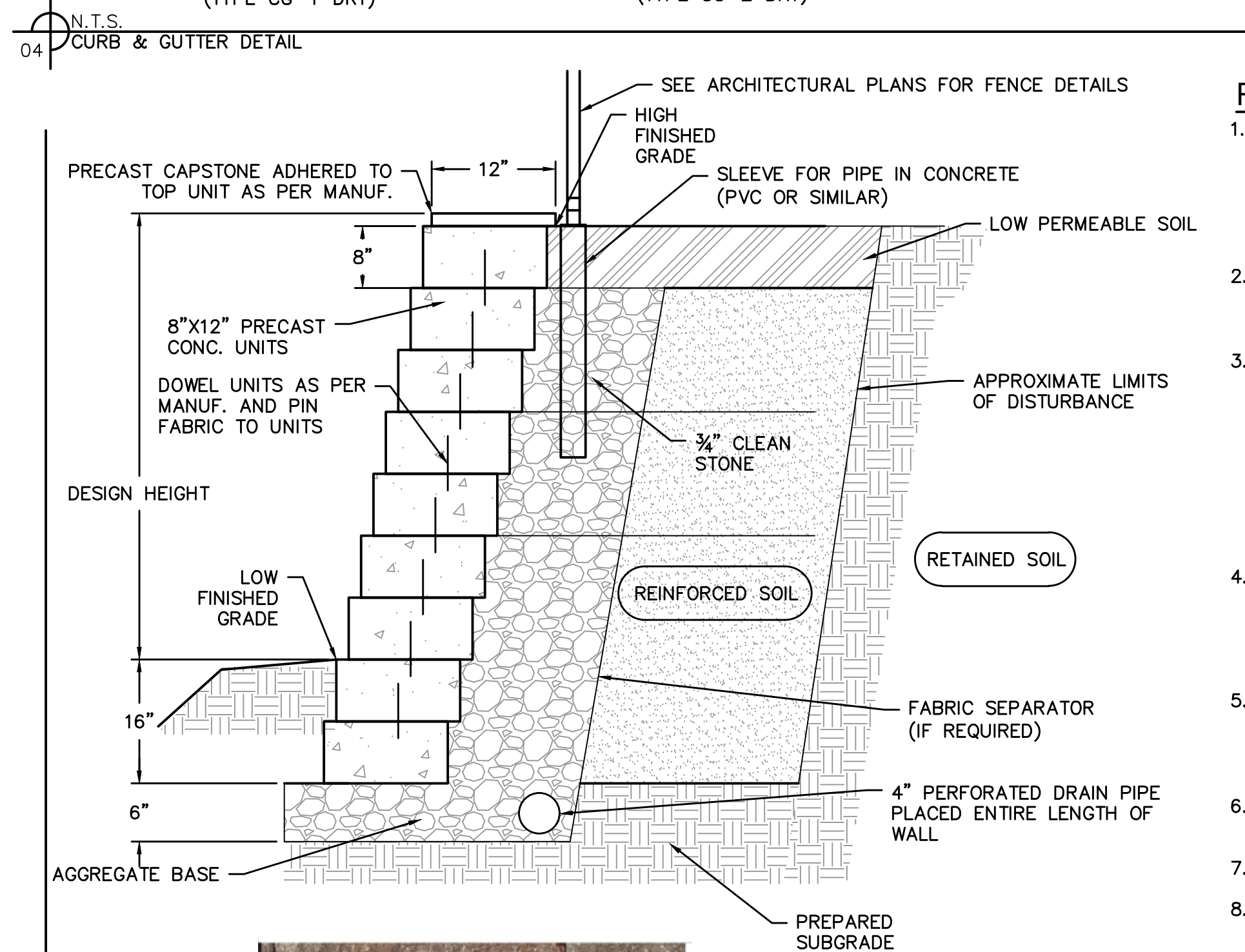
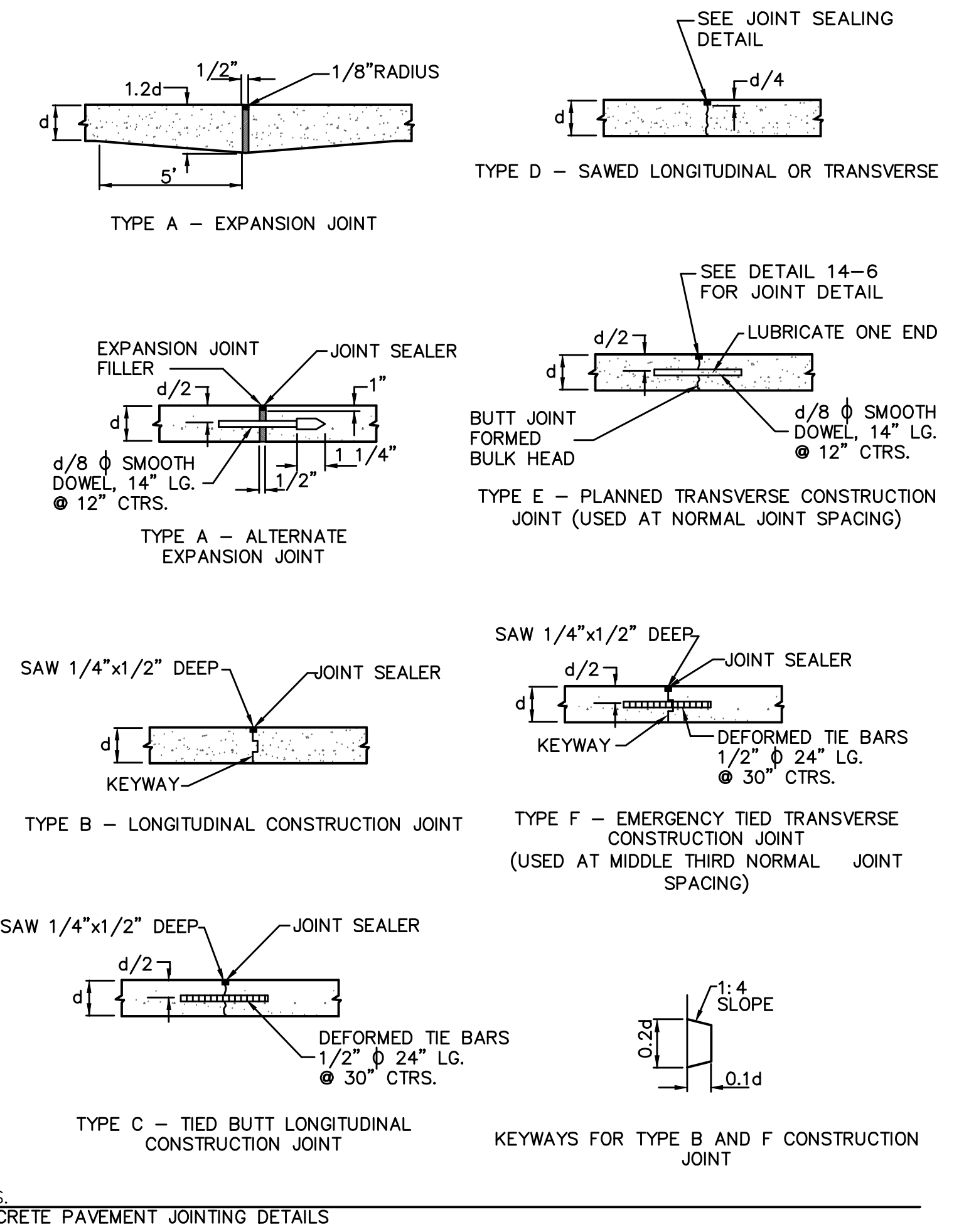
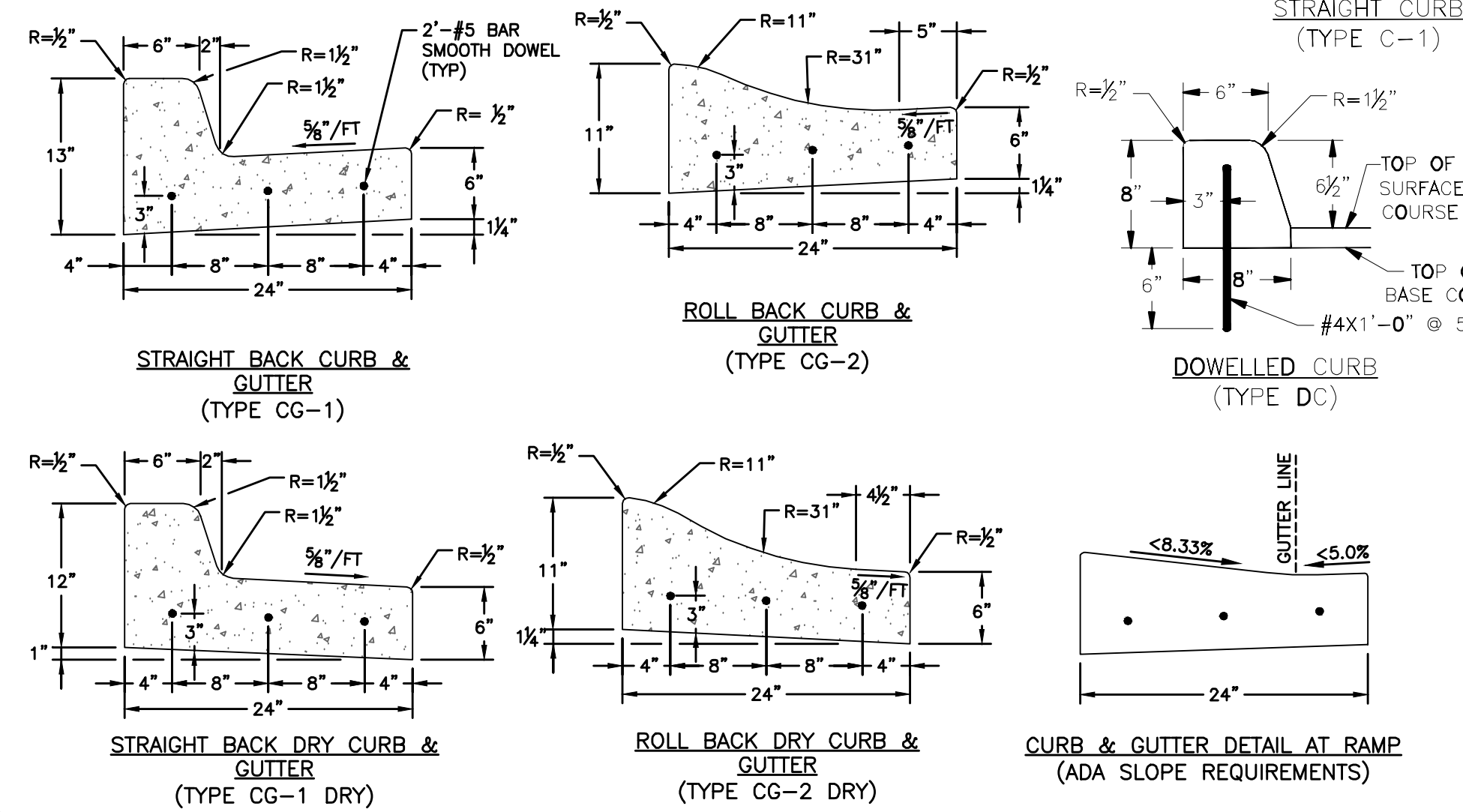
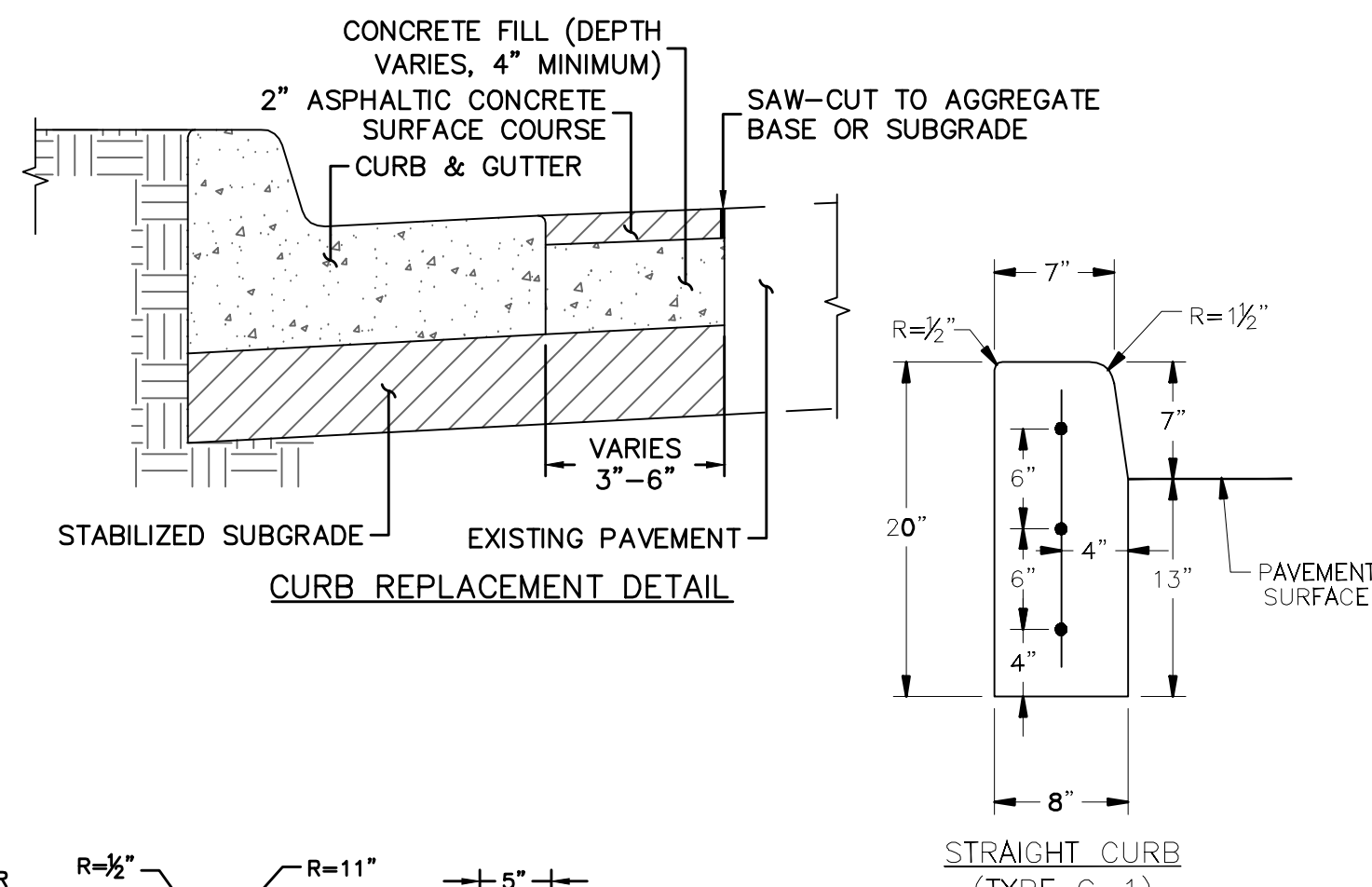
PRELIMINARY LANDSCAPE PLAN
 KESSLER VIEW
 PRELIMINARY DEVELOPMENT PLAN
 LEE'S SUMMIT, MO

drawn by: CJH
 checked by: JAB
 designed by: NH
 QA/QC by: JEF
 project no.: 017-3807
 date: 2018.05.04

DWG: F:\2017\1601-4000\017-3807\40-Design\AutoCAD\Preliminary Plans\3624\C-DT01_73807.dwg
 DATE: Jun 29, 2018 8:55am
 USER: chalmquist



- GENERAL NOTES:**
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
 - KCMBB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
 - ASPHALTIC CONCRETE SURFACE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



RETAINING WALL NOTES

- THE DETAILS PROVIDED HERE ARE FOR GENERAL GUIDANCE ONLY. THE WALL SHALL BE "DESIGN-BUILD" PROVIDED COMPLETE IN-PLACE BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT PRODUCT DATA INCLUDING BLOCK TYPE, COLOR, AND FINISH FOR APPROVAL BY OWNER AND ARCHITECT.
- THE RETAINING WALL SHALL BE A VERSA-LOK MOSAIC RETAINING WALL (WEATHERED) AND THE COLOR SHALL BE SANDSTONE BLEND.
- THE WALL SHALL BE DESIGNED BY THE INSTALLER ACCORDING TO THE WALL UNIT MANUFACTURER'S DESIGN CRITERIA. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER AS A SHOP DRAWING FOR REVIEW. ALL DESIGN CALCULATIONS AND DESIGN CRITERIA, (ANGLE OF FRICTION, SOIL WEIGHT, ETC.), SHALL BE SUBMITTED WITH THE SHOP DRAWING. ALL DESIGN MUST BE SEALED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MISSOURI.
- FACTORS OF SAFETY SHALL BE AS FOLLOWS:
 1.5 AGAINST REINFORCEMENT GRID PULLOUT OR RUPTURE
 1.5 AGAINST EXTERNAL SLIDING FAILURE
 2.0 AGAINST OVERTURNING
- THE DESIGN, DIMENSIONS, AND MATERIAL SHOWN IN THIS DETAIL ARE GENERAL IN NATURE. THE AGGREGATE MATERIALS, GEOGRID SYSTEM, AND INSTALLATION SHALL BE AS WALL UNIT MANUFACTURER'S REQUIREMENTS.
- SEE SPECIFICATIONS FOR MATERIAL SELECTION AND OTHER REQUIREMENTS.
- WALL DESIGN SHALL INCLUDE GLOBAL STABILITY.
- RETAINING WALL SHALL PROVIDE POSITIVE INTERLOCKING BETWEEN BLOCKS AND GRID.
- WALL TO MEET ALL DESIGN AND INSPECTION REQUIREMENTS OF LEE'S SUMMIT, MISSOURI.
- GLOBAL STABILITY ANALYSIS SHOULD BE PERFORMED BY THE WALL DESIGNER, TAKING INTO ACCOUNT EXTERNAL LOADS, SLOPES ABOVE AND BELOW THE WALL AND HYDROSTATIC PRESSURE, WHEN APPLICABLE.
- RETAINING WALLS 4' AND GREATER IN HEIGHT SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
- HANDRAIL OR FENCING IS REQUIRED AT THE TOP OF WALL FOR ANY DROP IN HEIGHT OF 30" OR MORE.

06 RETAINING WALL DETAILS

05 CONCRETE PAVEMENT JOINTING DETAILS

NOTES
 1. DETAILS FOR REFERENCE ONLY. NOT TO BE USED FOR CONSTRUCTION.

NO.	REV.	DATE	DESCRIPTION
1		2018.07.03	Revised per Staff comments

DETAIL SHEET	2018
KESSLER VIEW PRELIMINARY DEVELOPMENT PLAN	
LEE'S SUMMIT, MO	



PRECEDENT IMAGERY - TOWNHOMES

KESSLER VIEW
 PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

2018

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2018.07.03	Revised per Staff comments	CJH

REVISIONS

OLSSON ASSOCIATES
 100 Southside of Highway 66, Suite 100
 301 E. BIRKINGTON SUITE 100
 NORTH KANSAS CITY, MO 64116
 TEL: 816.587.4320
 FAX: 816.587.1393
 www.olssonassociates.com

drawn by: CJH
 checked by: JAB
 designed by: NH
 QA/QC by: JEE
 project no.: 017-3807
 date: 2018.05.04



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	9	KIM LIGHTING	AR3P35-80L4K	ARCHETYPE LED PICO-PRISM	C-70-CRI DATA SHOWN IS ABSOLUTE.	1	ar3p35-80L4K.IES	10066	0.9	93.8
□	B	5	KIM LIGHTING	AR4P35-80L4K	ARCHETYPE LED PICO-PRISM	C-70-CRI DATA SHOWN IS ABSOLUTE.	1	ar4p35-80L4K.IES	10574	0.9	93.8
○	D	14	KIM LIGHTING	LEX19335-60L4K	LANTERN LED	C-70-CRI DATA SHOWN IS ABSOLUTE.	1	le19335-60L4K.IES	5319	0.9	65.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING CENTRAL	+	1.5 f	3.7 f	0.2 f	18.5:1	7.5:1
PARKING EAST	+	1.2 f	2.7 f	0.3 f	9.0:1	4.0:1
PARKING NORTH	+	0.8 f	2.0 f	0.1 f	20.0:1	8.0:1
PARKING SOUTH	+	1.4 f	3.0 f	0.3 f	10.0:1	4.7:1
RESIDENTIAL PARKING/DRIVE	+	1.0 f	4.2 f	0.1 f	42.0:1	10.0:1

1 SITE PHOTOMETRICS PLAN
 SCALE: 1" = 50'-0"

KIM LIGHTING

19" Era[®] Lantern Pico[™] LED

Medium Housing, Bottom Mount, Single Circuit, 4000K, 4000K, 4000K, 4000K

FEATURES

- Full CRI (90+) technology
- Available in 3000K, 4000K and 5000K
- Standard CCT
- Type 1, 2, 3, 4, 5, R, L distribution
- 0-10V dimming (single channel)
- Superior optical design, 90° cut-off

CERTIFICATIONS

- RoHS Compliant
- UL Listed
- ETL Listed

ORDERING CODE

Configuration	ETL	Fixture	Electrical Model
AR3	AR3	AR3	AR3
AR4	AR4	AR4	AR4
AR5	AR5	AR5	AR5
AR6	AR6	AR6	AR6
AR7	AR7	AR7	AR7
AR8	AR8	AR8	AR8
AR9	AR9	AR9	AR9
AR10	AR10	AR10	AR10
AR11	AR11	AR11	AR11
AR12	AR12	AR12	AR12
AR13	AR13	AR13	AR13
AR14	AR14	AR14	AR14
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AR16	AR16	AR16	AR16
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AR18	AR18	AR18	AR18
AR19	AR19	AR19	AR19
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AR22	AR22	AR22	AR22
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AR46	AR46	AR46	AR46
AR47	AR47	AR47	AR47
AR48	AR48	AR48	AR48
AR49	AR49	AR49	AR49
AR50	AR50	AR50	AR50

KIM LIGHTING

19" Era[®] Lantern Pico[™] LED

Medium Housing, Bottom Mount, Single Circuit, 4000K, 4000K, 4000K, 4000K

FEATURES

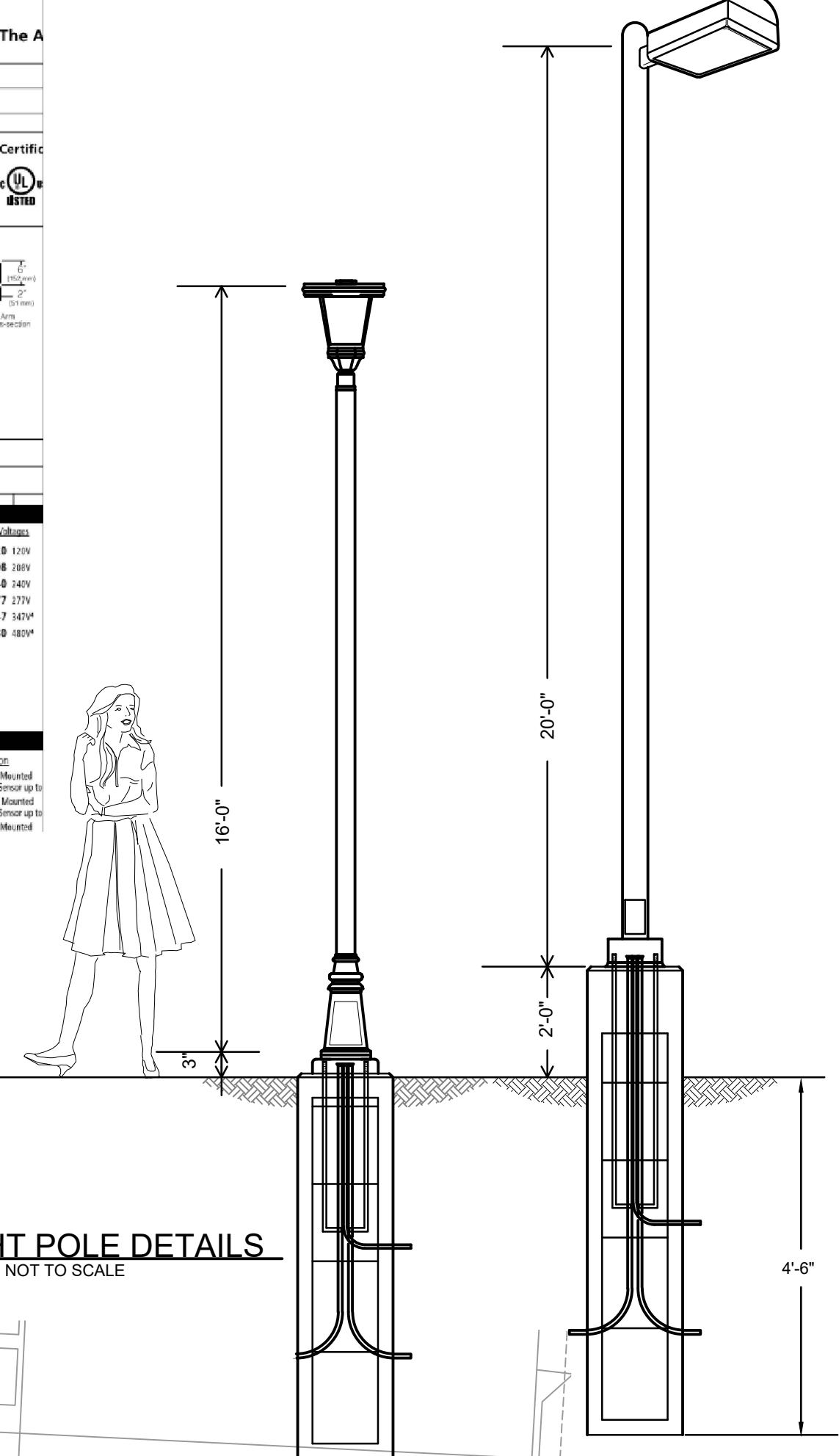
- Pico[™] technology
- Full light output
- Available in 3000K, 4000K and 5000K
- Standard CCT
- Type 1, 2, 3, 4, 5, R, L distribution
- 0-10V dimming (single channel)
- Standard CCT

CERTIFICATIONS

- RoHS Compliant
- UL Listed
- ETL Listed

ORDERING CODE

Configuration	ETL	Fixture	Electrical Model
AR3	AR3	AR3	AR3
AR4	AR4	AR4	AR4
AR5	AR5	AR5	AR5
AR6	AR6	AR6	AR6
AR7	AR7	AR7	AR7
AR8	AR8	AR8	AR8
AR9	AR9	AR9	AR9
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AR45	AR45	AR45	AR45
AR46	AR46	AR46	AR46
AR47	AR47	AR47	AR47
AR48	AR48	AR48	AR48
AR49	AR49	AR49	AR49
AR50	AR50	AR50	AR50



2 LIGHT POLE DETAILS
 SCALE: NOT TO SCALE

MOLSSON ASSOCIATES

MO Certificate of Authority #001992
 TEL 816.887.4330
 NORTH KANSAS CITY, MO 64116
 FAX 816.887.1393
 www.molssonassociates.com

NO.	REV.	DATE	DESCRIPTION
1		2018.07.03	Revised per Staff comments

SITE PHOTOMETRICS PLAN

KESSLER VIEW
 PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT, MO

2018

BY: CHH

REVISIONS DESCRIPTION

drawn by: _____

checked by: _____

designed by: _____

QA/QC by: _____

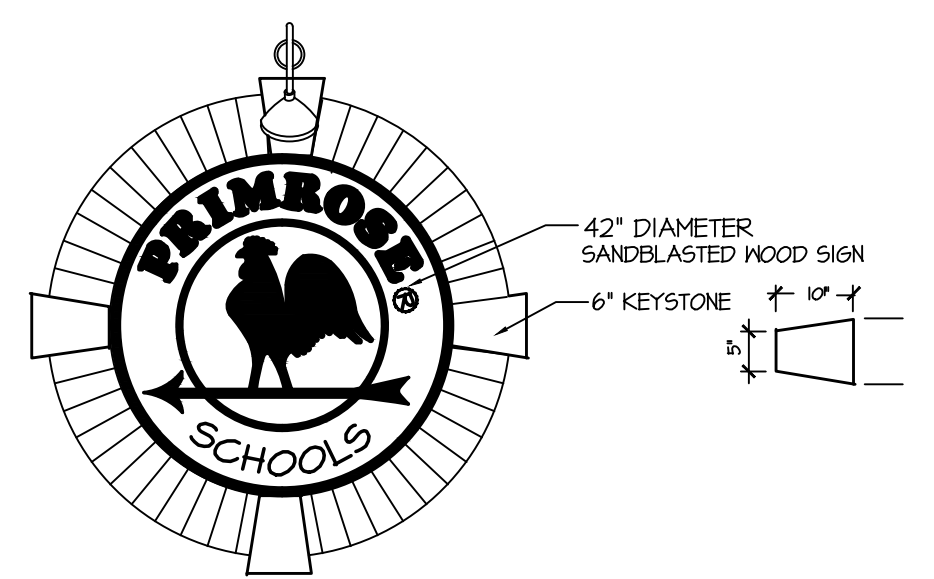
project no.: 017-3807

date: 2018.05.04

SHEET E1

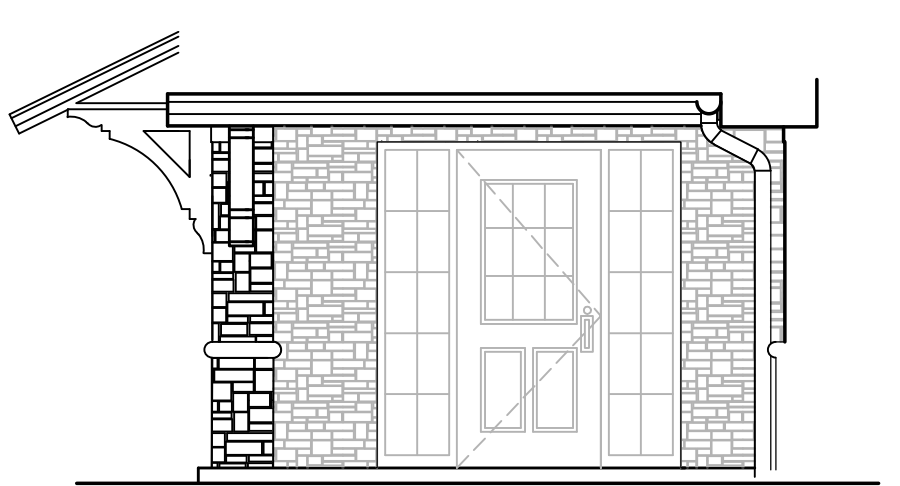
EXTERIOR COLOR SCHEDULE	
TRASH ENCLOSURE GATES (POST & HINGES)	#M HC 112 TATE OLIVE (INDUSTRIAL ENAMEL) EXTERIOR APPLICATION
EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND DOWNSPOUTS, SOFFITS	TO MATCH HARDIE TRIM SANDSTONE BEIGE JH30-20 (BM HC-82 or SW 5N 6151)
EXTERIOR HARDIE TRIM, FASCIA, FRIEZE	SANDSTONE BEIGE JH30-20 (BM HC-82 or SW 5N 6151)
WINDOWS	BEIGE OR ALMOND ALUMINUM/VINYL
BRICK	BORAL CONCORD MODULAR GROUT: BUFF COLORED MORTAR
ASPHALT SHINGLES	MANIF. GAF STYLE: TIMBERLINE NATURAL SHADOW-LIFETIME WARRANTY COLOR: HEATHERED WOOD 56
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOF COLOR	
VINYL SHUTTERS	ARCHITECTURALDEPOT.COM - 14" JOINED SHUTTERS W/INSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED RO28 FOREST GREEN
STANDING SEAM ROOF	AEP-SPAN SNAPSEAM - 12" COLOR = DARK BRONZE
STEEL BRACING SUPPORTS & HOOD BRACKETS	#M HC 112 TATE OLIVE (INDUSTRIAL ENAMEL) EXTERIOR APPLICATION
STONE	LONESTAR STONE - LIBERTY CLASSIC - AUTUMN GROUT: BUFF COLORED MORTAR

- CONSTRUCTION NOTES:**
- VINYL SHUTTERS - SEE WINDOW SCHEDULE FOR SIZES.
 - STONE: SEE EXTERIOR COLOR ABOVE FOR MANIF.
 - CUPOLA WITH HEATHER VANE: SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
 - EXTRUDED ALUMINUM 6" WIDE GUTTERS WITH SPIKE & FERRULE AT 36" O.C. OGEE PROFILE. CONNECT 4"DIA. DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
 - BRICK SOLDIER COURSE
 - EXTRUDED ALUMINUM 3" WIDE DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
 - BRICK VENEER
 - ROUNDED PRECAST SILL - NATURAL WHITE COLOR
 - STANDING SEAM ROOF ON METAL FRAME
 - 22" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS.
 - ALUMINUM SINGLE HUNG WINDOWS WITH CLEAR GLASS (SEE ELEV. SHEET A2.1)
 - FIXED ALUMINUM WINDOWS WITH TINTED GLASS. (SEE ELEVATIONS SHEET A2.1)
 - WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. FLUSH TOP TO BOT OF SOFFIT OR 80" MIN AF6.
 - STOP BULLNOSE SILL AS REQUIRED TO ALLOW SPACE FOR ELECTRICAL SWITCHGEAR.
 - 6" REFLECTORIZED ADDRESS NUMBERS - 6" BLACK
 - H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE

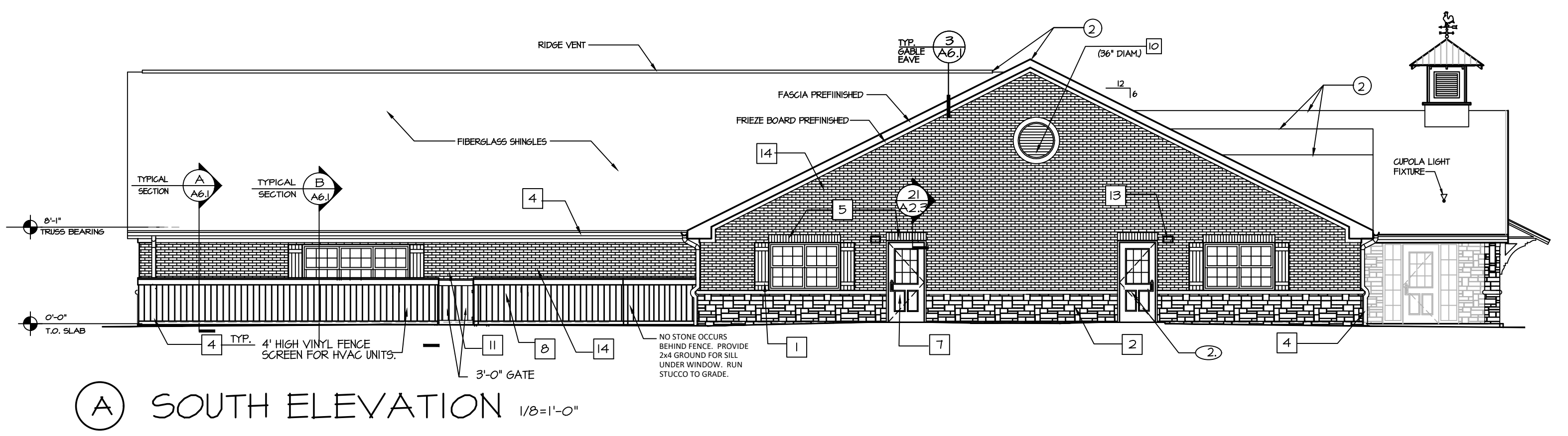


1 WALL MOUNTED LOGO SIGN
1/2"=1'-0"

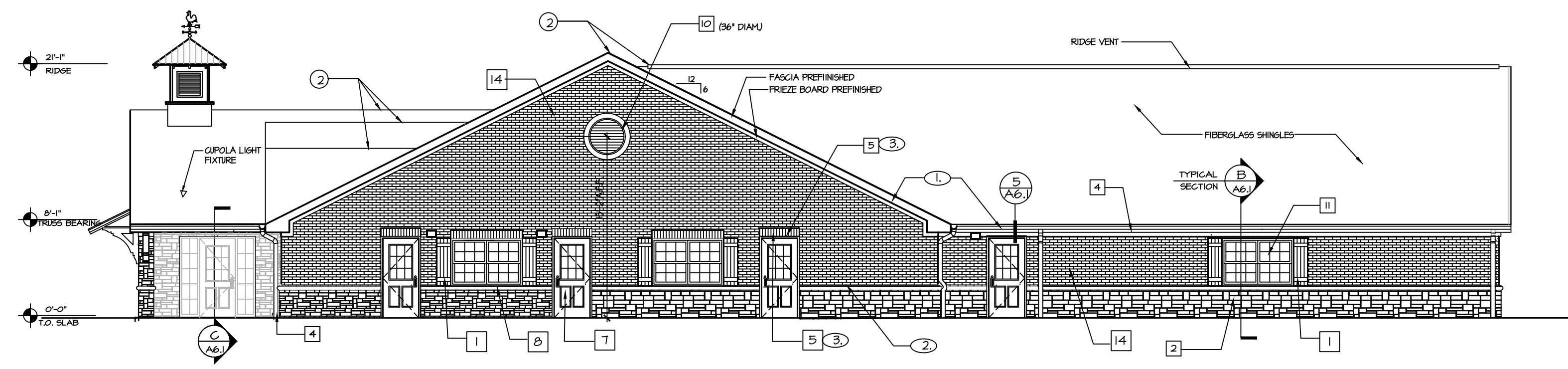
SIGN COLORS:
ROOSTER, CIRCLES & TEXT = TATE OLIVE
BACKGROUND = BEIGE
(TOTAL SIGN AREA = 9.6 SQ. FT.)



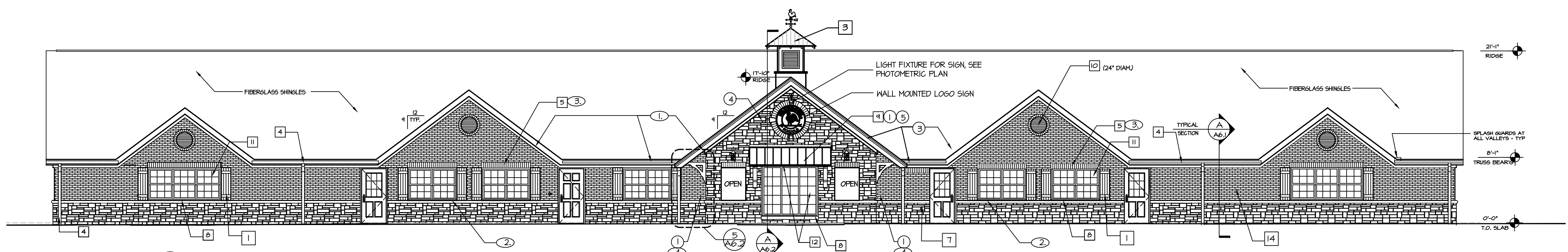
2 ENLARGED ENTRY, ELEV. N.T.S.



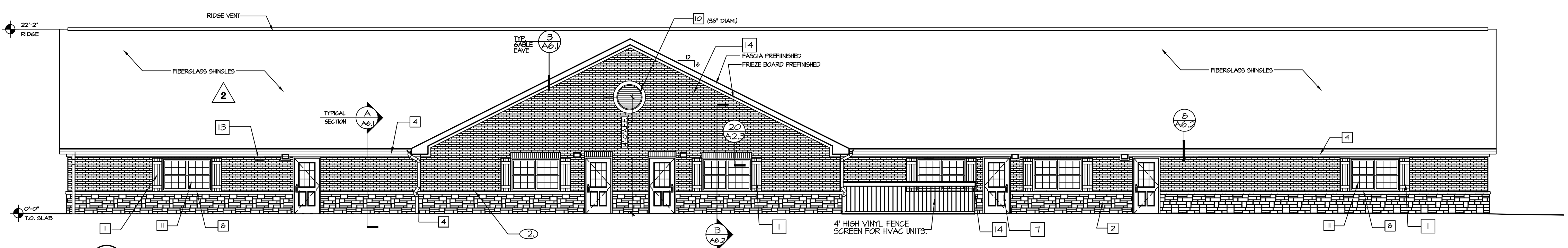
(A) SOUTH ELEVATION 1/8"=1'-0"



(B) NORTH ELEVATION 1/8"=1'-0"



(C) EAST ELEVATION 1/8"=1'-0"



(D) WEST ELEVATION 1/8"=1'-0"

A New Building For:
Primrose School Franchising Company
3660 Cedarcrest Road
Acworth, Georgia 30101
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Primrose School Franchising Company

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Children's Design Group
Mark D. Payne, A.I.A. - Architect
PO BOX 1365
GULF SHORES, AL 36547
(334)-568-3624
(206)-350-0593 Fax
child.design@mindspring.com

Site:
PRIMROSE SCHOOL PROTOTYPE

Building Type:
2017 TX-L

Drawing Title:
EXTERIOR ELEVATIONS

Date: 4/15/2017 Dwn: MDP
Ckd: MDP

Drawing Number:
A-4

Revisions:



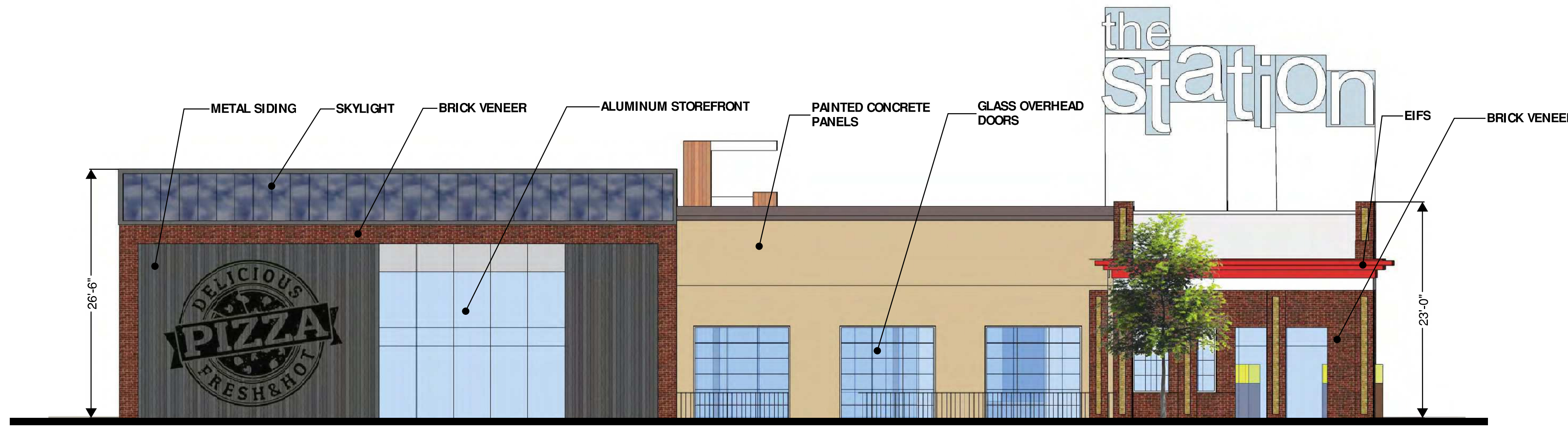
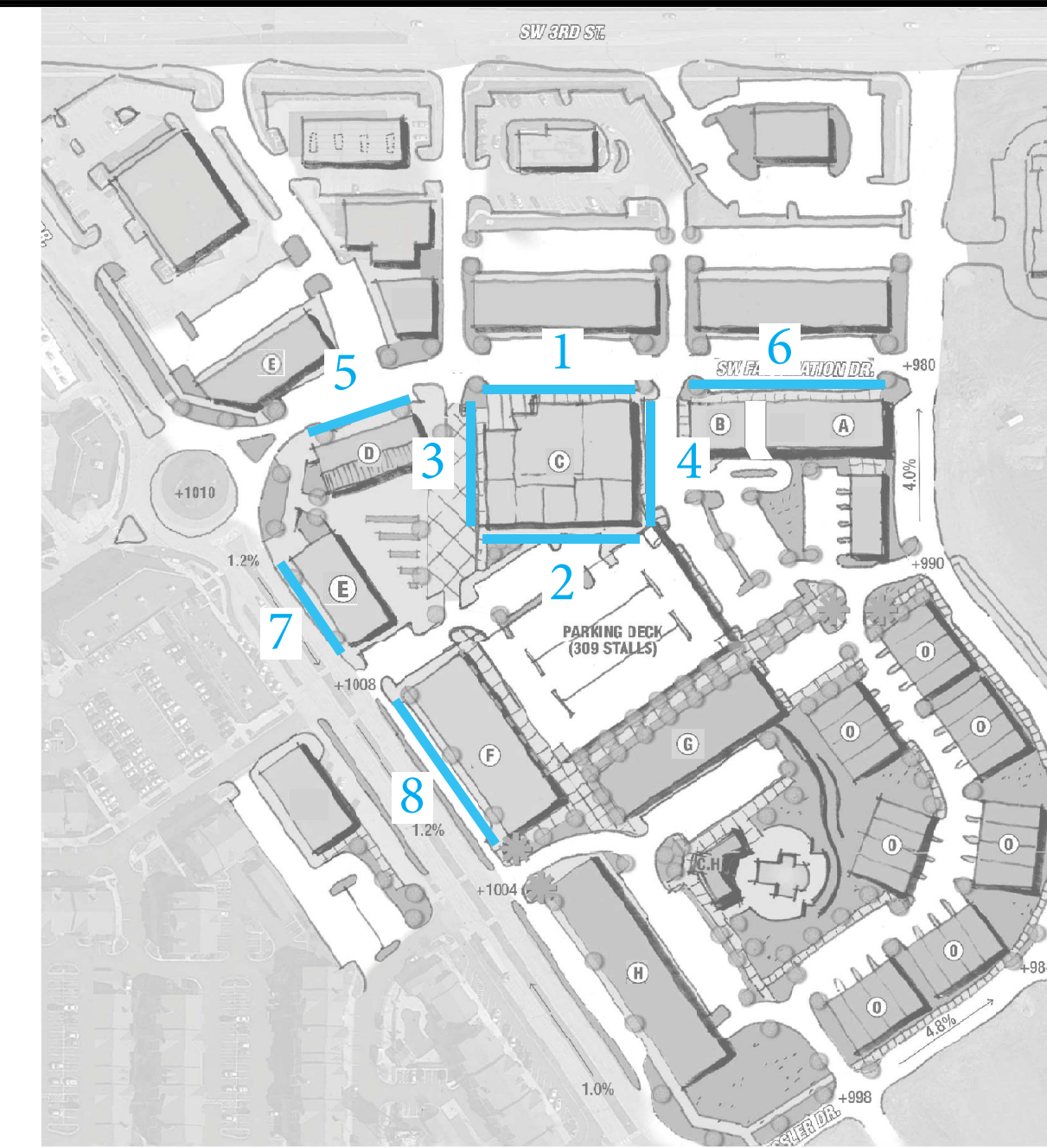
REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



5. EXTERIOR ELEVATION - BUILDING D RESTAURANTS - NORTH SCALE 1/8" = 1' - 0"



6. EXTERIOR ELEVATION - BUILDING A & B RETAIL AND OFFICE - NORTH SCALE 1/8" = 1' - 0"

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEE'S SUMMIT, MISSOURI

.103-L0505\Box Real Estate Development Final.rvt

DEVELOPER
 BOX REAL ESTATE
 DEVELOPMENT
 920 SW OVATION DRIVE
 LEE'S SUMMIT, MO 64081
 PH: 913.735.9861

SCHEDULE

ISSUE	DATE	DESCRIPTION
1	9/22/16	PRELIMINARY DEVELOPMENT PLAN

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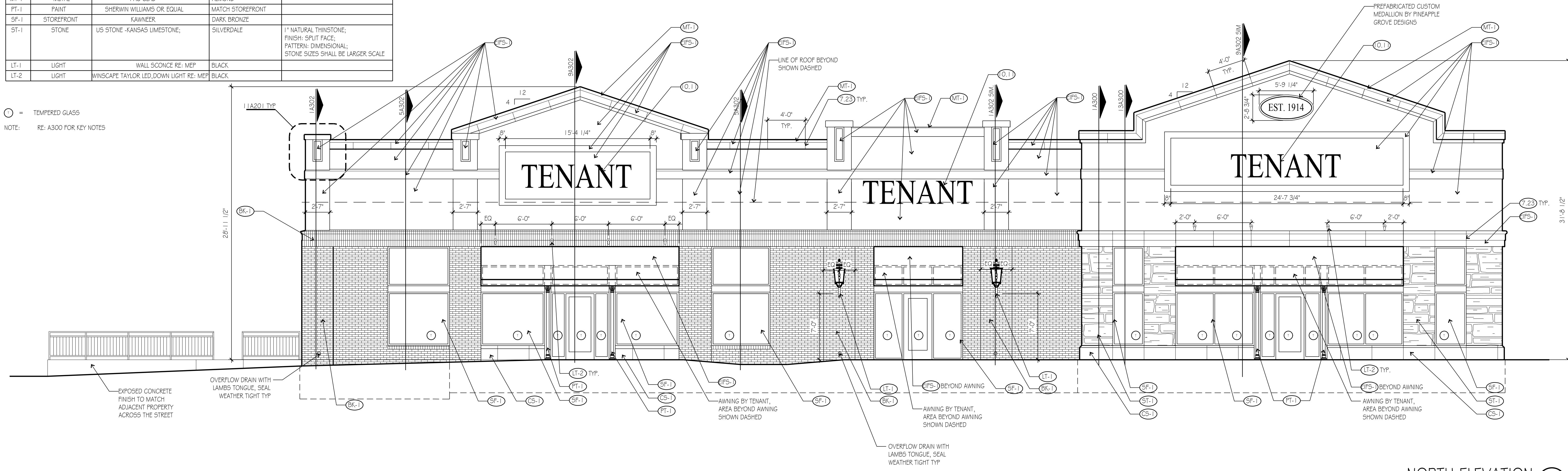
ELEVATIONS

CONFLUENCE PROJECT NO: 16033KC

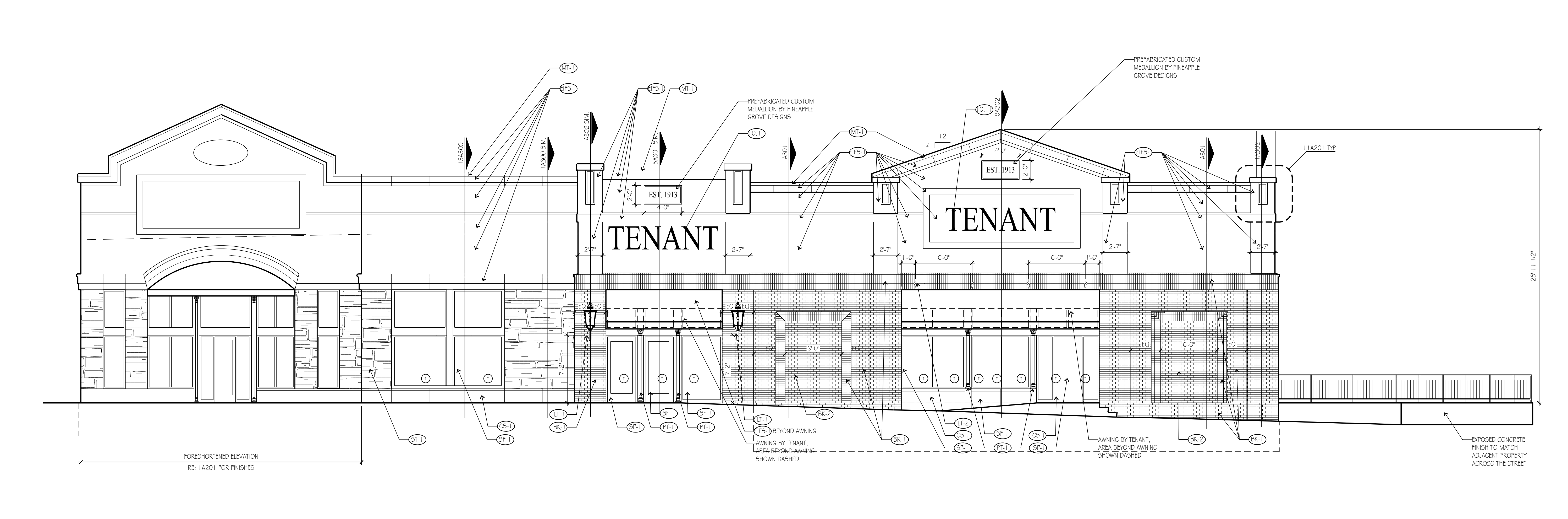
File Location: \\HMC-NASLS\ms-projects\16001\16033-KC-NLV-BAB-Theater\Submittal Sets\Preliminary Development Plan\RF-TITLEBLOCK / Drawn by: MC / Checked by: CC

MATERIAL LEGEND				
SYMBOL	MATERIAL	MANUFACTURER	COLOR	FINISHES
BK-1	BRICK	SILOUX CITY BRICK	COPPERTONE SMOOTH	
BK-2	BRICK	SILOUX CITY BRICK	BADLANDS VELOUR	
CS-1	CAST STONE	CONTINENTAL CAST STONE	BUFF	
EFS-1	EIPS	SHERWIN WILLIAMS	WOOL SKEIN SWG 148	
MT-1	METAL	PAC-CLAD	ALMOND	
PT-1	PAINT	SHERWIN WILLIAMS OR EQUAL	MATCH STOREFRONT	
SF-1	STOREFRONT	KAWNEER	DARK BRONZE	
ST-1	STONE	US STONE - KANSAS LIMESTONE	SILVERDALE	1" NATURAL THINSTONE; FINISH: SPLIT FACE; PATTERN: DIMENSIONAL; STONE SIZES SHALL BE LARGER SCALE
LT-1	LIGHT	WALL SCONCE RE: MEP	BLACK	
LT-2	LIGHT	MINISCAPE TAYLOR LED, DOWN LIGHT RE: MEP	BLACK	

○ = TEMPERED GLASS
NOTE: RE: A300 FOR KEY NOTES



NORTH ELEVATION ③
SCALE: 3/16"=1'-0"



SOUTH ELEVATION ①
SCALE: 3/16"=1'-0"

THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision as an instrument of service and is intended for use only on this project. All Drawings, Specifications, ideas and designs, including the overall layout, form, arrangement, and composition of spaces and elements portrayed, constitute the original, unpublished work of the Architect. Any reproduction, use, or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

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RELATED DOCUMENTS: This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other Drawings may affect the Work described. Failure to review and integrate the entire set of the whole of the Construction Documents does not relieve the Contractor from providing a complete Project.

OWNER: Will of law, codes, ordinances and regulations with authorities having jurisdiction and with requirements of the Licenser, if applicable. Do not start Work until all permits and required approvals are obtained.

VERIFY ACTUAL CONDITIONS and dimensions prior to construction. Commencement of work constitutes acceptance and recognition of all existing conditions. Application of a material or equipment item to Work related to other conditions acceptance of the Work, and acceptance of responsibility for satisfactory installation.

DIMENSIONS SHOWN are to finish face of a material unless otherwise indicated. EXCLUDE & RESERVE dimensions - DO NOT SCALE drawings unless otherwise directed.

project title

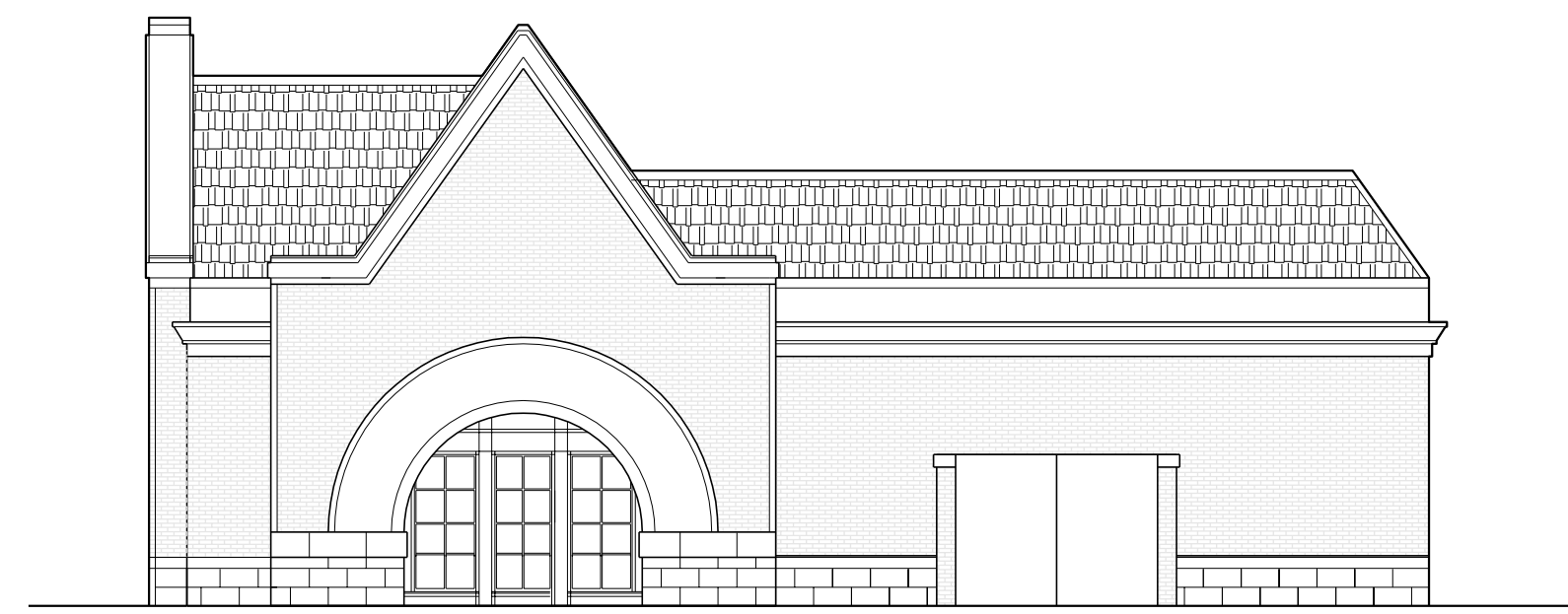
FASCINATION NORTH - LOT 44
MULTI-TENANT SHELL
3300 SW FASCINATION DR
LEE'S SUMMIT, MO 64081

project number
18132.001
drawing issuance
PERMIT 3/27/18
drawing revisions
No. Description: Date:

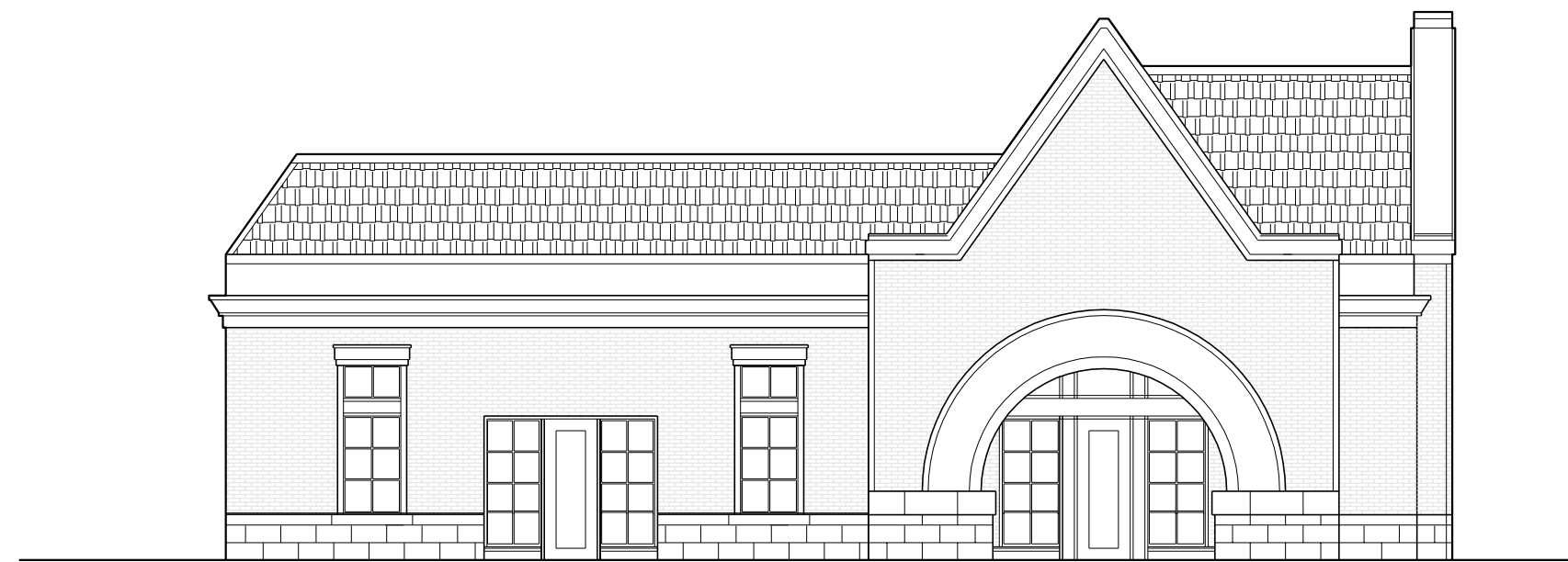
professionalseal

drawing title
ELEVATIONS

drawing number
A200



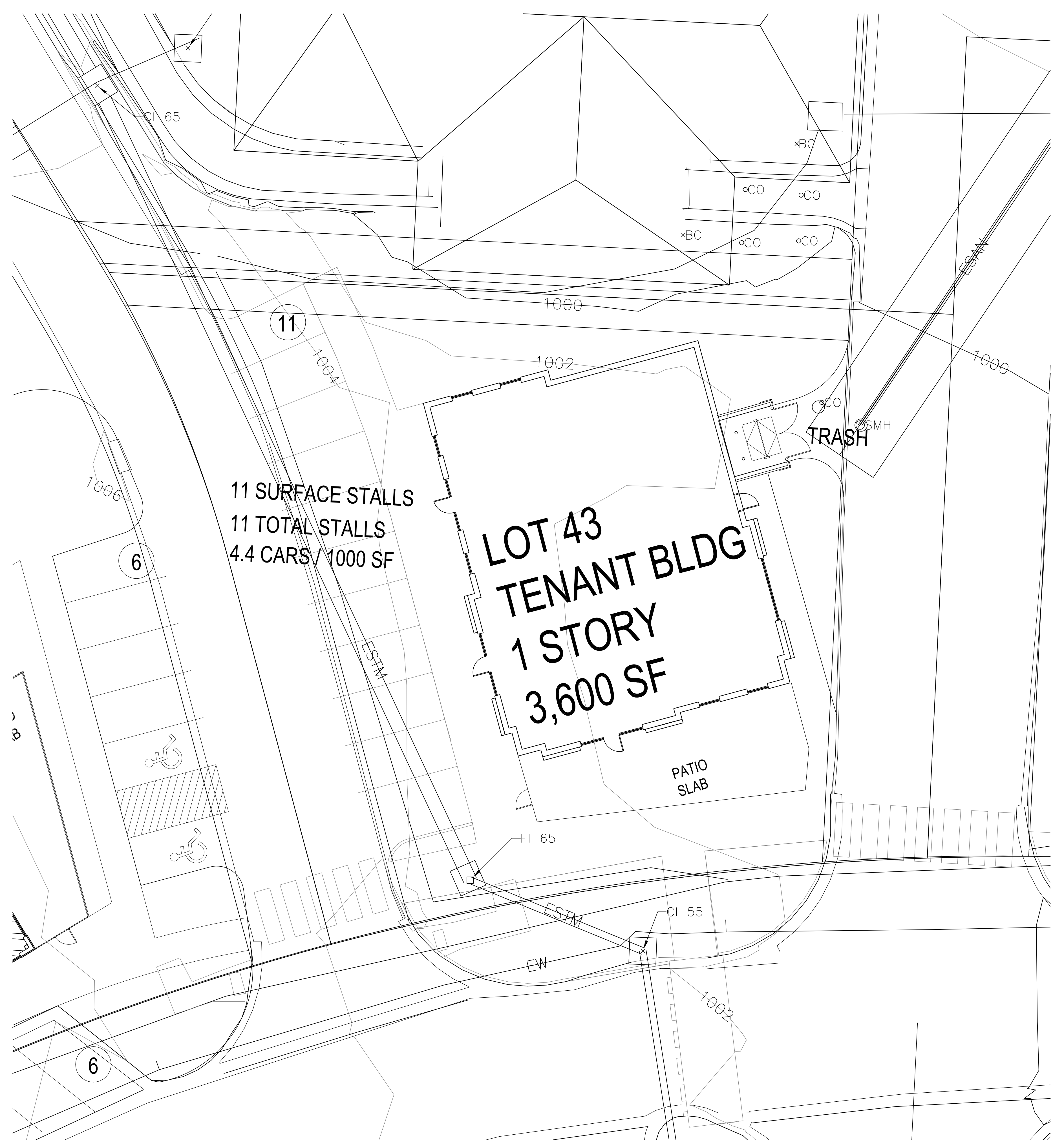
LOT 43 EAST ELEVATION



LOT 43 WEST ELEVATION



LOT 43 SOUTH ELEVATION



LOT 43 SITE PLAN



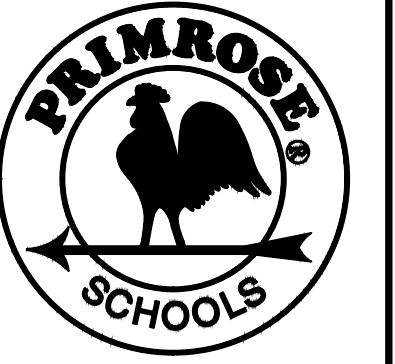
A202 - LOT 43 SITE PLAN & ELEVATION

SCALE: 1"=10'





10877 WATSON ROAD
ST. LOUIS, MO 63127
PROJECT MANAGERS
314-821-1100



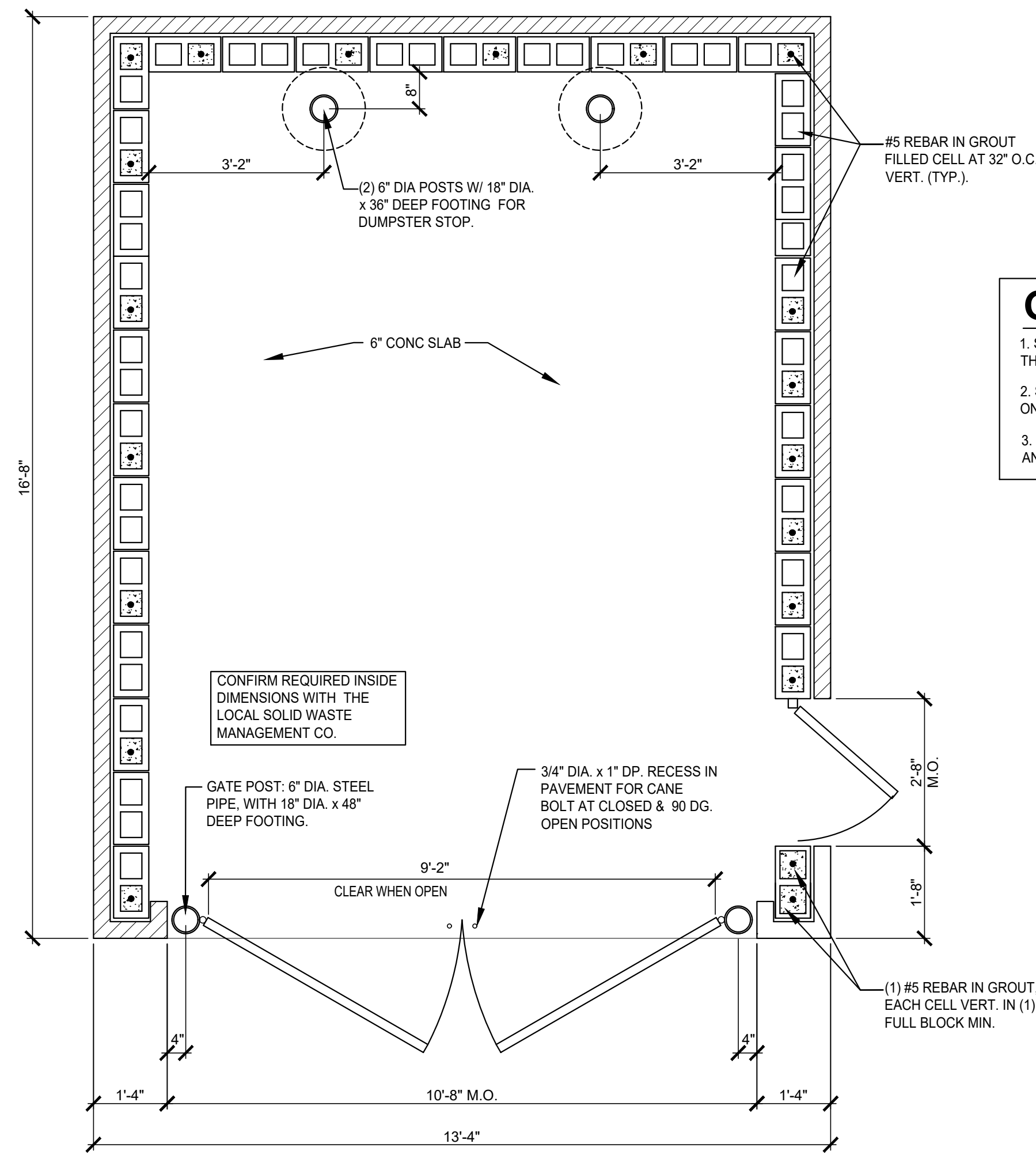
PRIMROSE SCHOOL
FRANCHISING COMPANY
3900 GARDNER STREET ROAD,
ACWORTH, GEORGIA 30101

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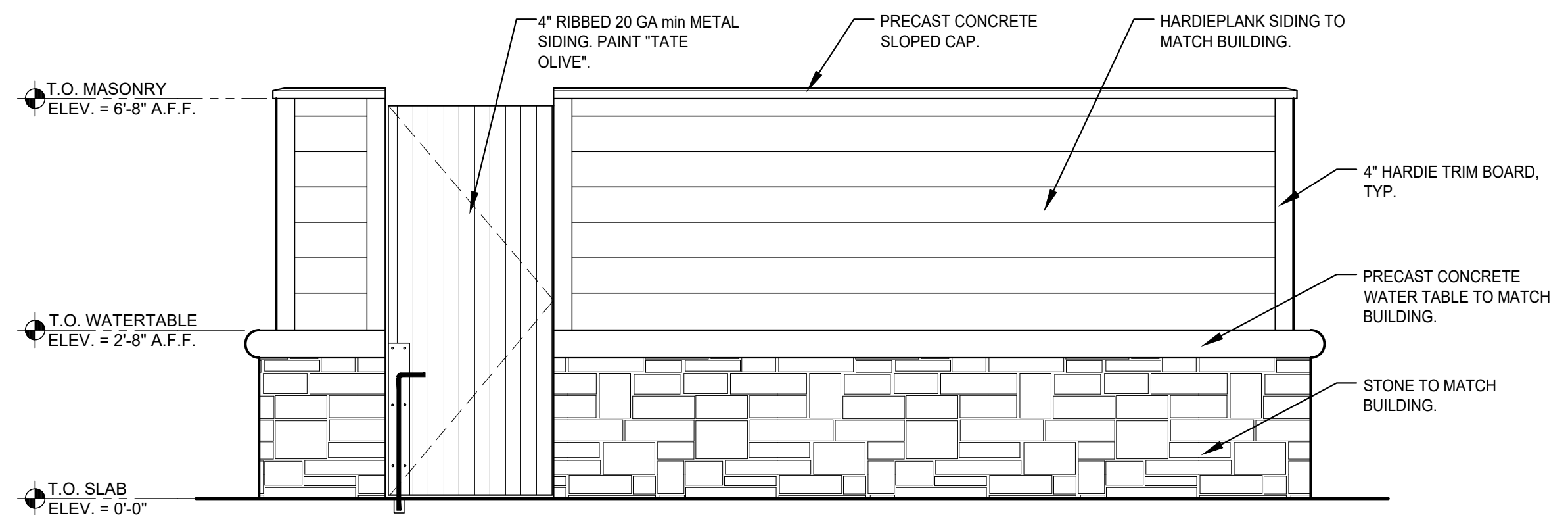
DATE:	
ISSUE:	
DATE:	
ISSUE:	
NO:	

PROJECT LOCATION:
PRIMROSE SCHOOL OF LIBERTY
N.E. 82nd STREET & N. FARLEY AVE.
LIBERTY, MISSOURI

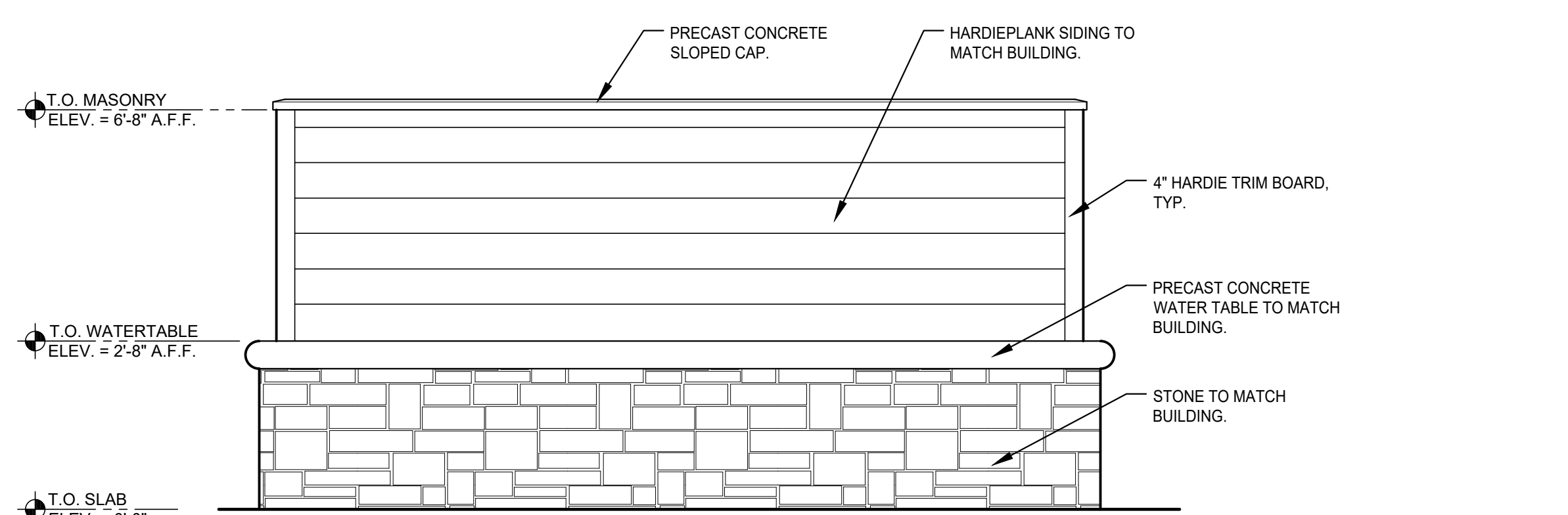
Job No: 917471	Date: 11/10/17
Drawn: MTT	Checked: MTT
Title: DUMPSTER ENCLOSURE DETAILS	
Sheet Number: A7.1	



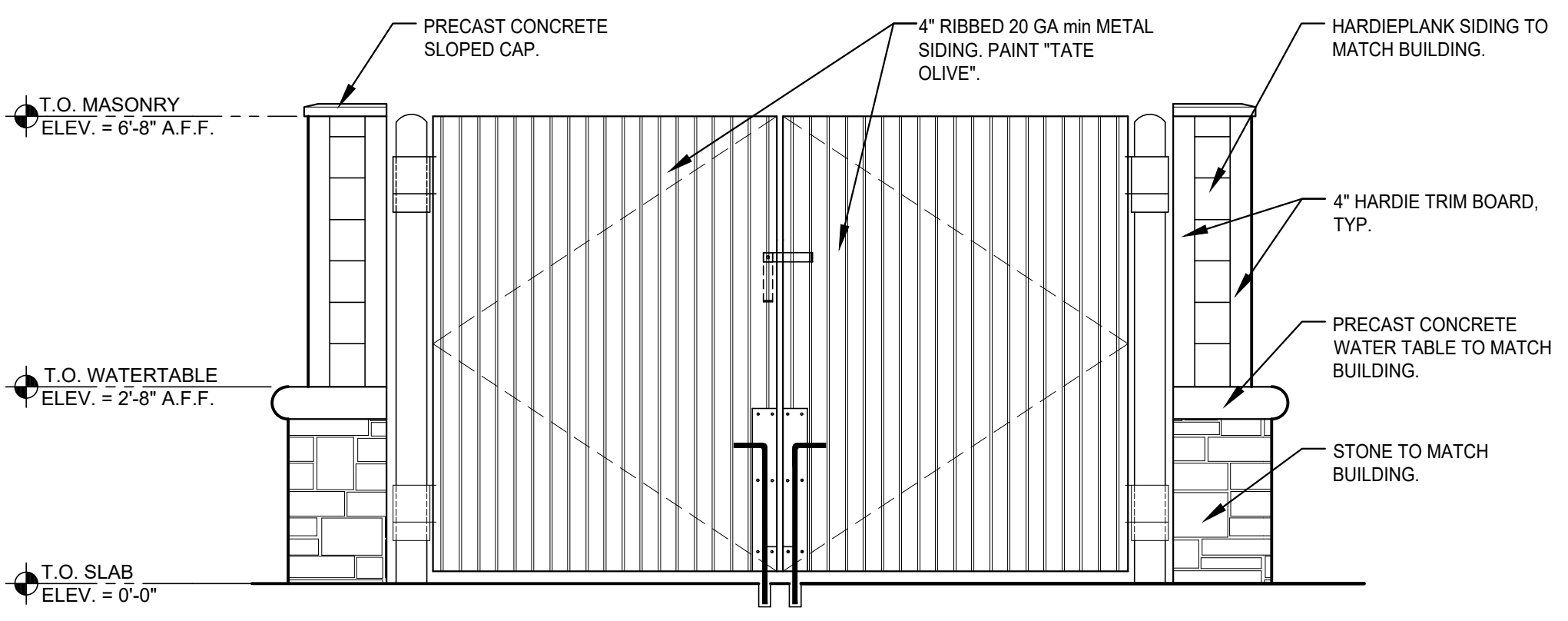
1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



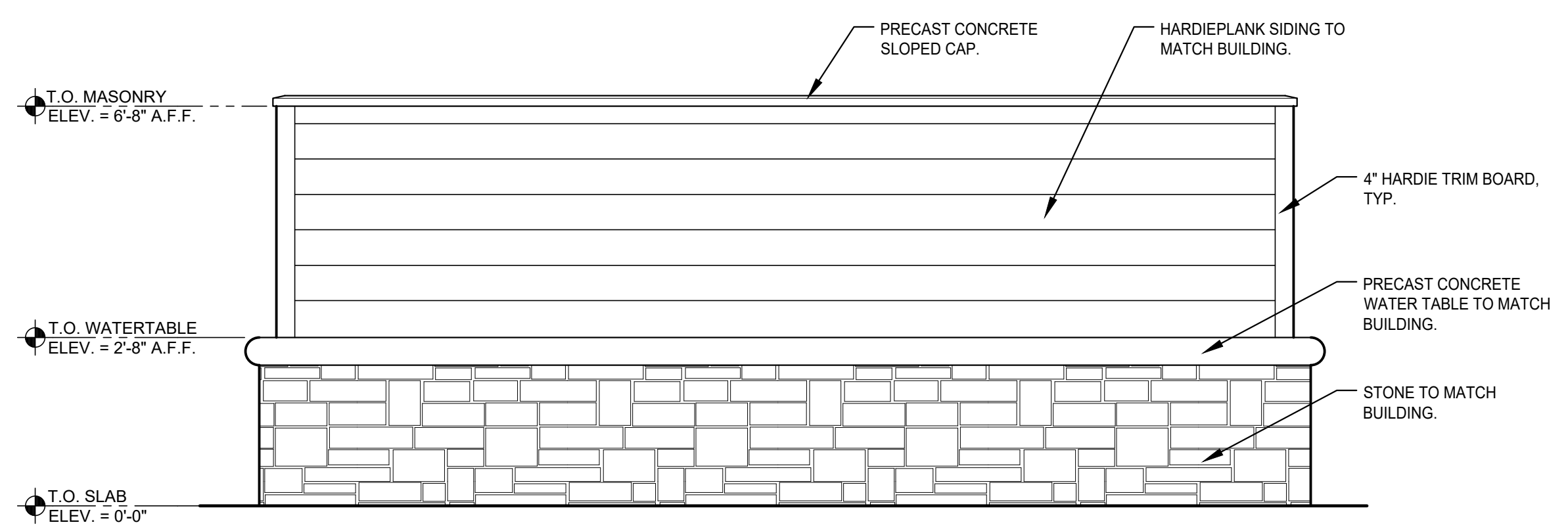
3 RIGHT SIDE ELEVATION
SCALE: 1/2" = 1'-0"



4 REAR ELEVATION
SCALE: 1/2" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/2" = 1'-0"



5 LEFT SIDE ELEVATION
SCALE: 1/2" = 1'-0"

GEN. NOTES

- SIDING & TRIM BD. COLOR TO MATCH THE BUILDING, U.N.O.
- STONE COLOR TO MATCH THE STONE ON THE BUILDING, U.N.O.
- PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES "TATE OLIVE".