

LEGAL DESCRIPTION PROVIDED BY OWNER

TRACT 1:
THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 47, RANGE 31, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART IN ROAD.

FURTHER EXCEPTING THE FOLLOWING:
THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE QUIT CLAIM DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064936.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064937.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064940.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064941.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064944.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1994, AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 080602014 AS DOCUMENT NO. 2014E0064945.

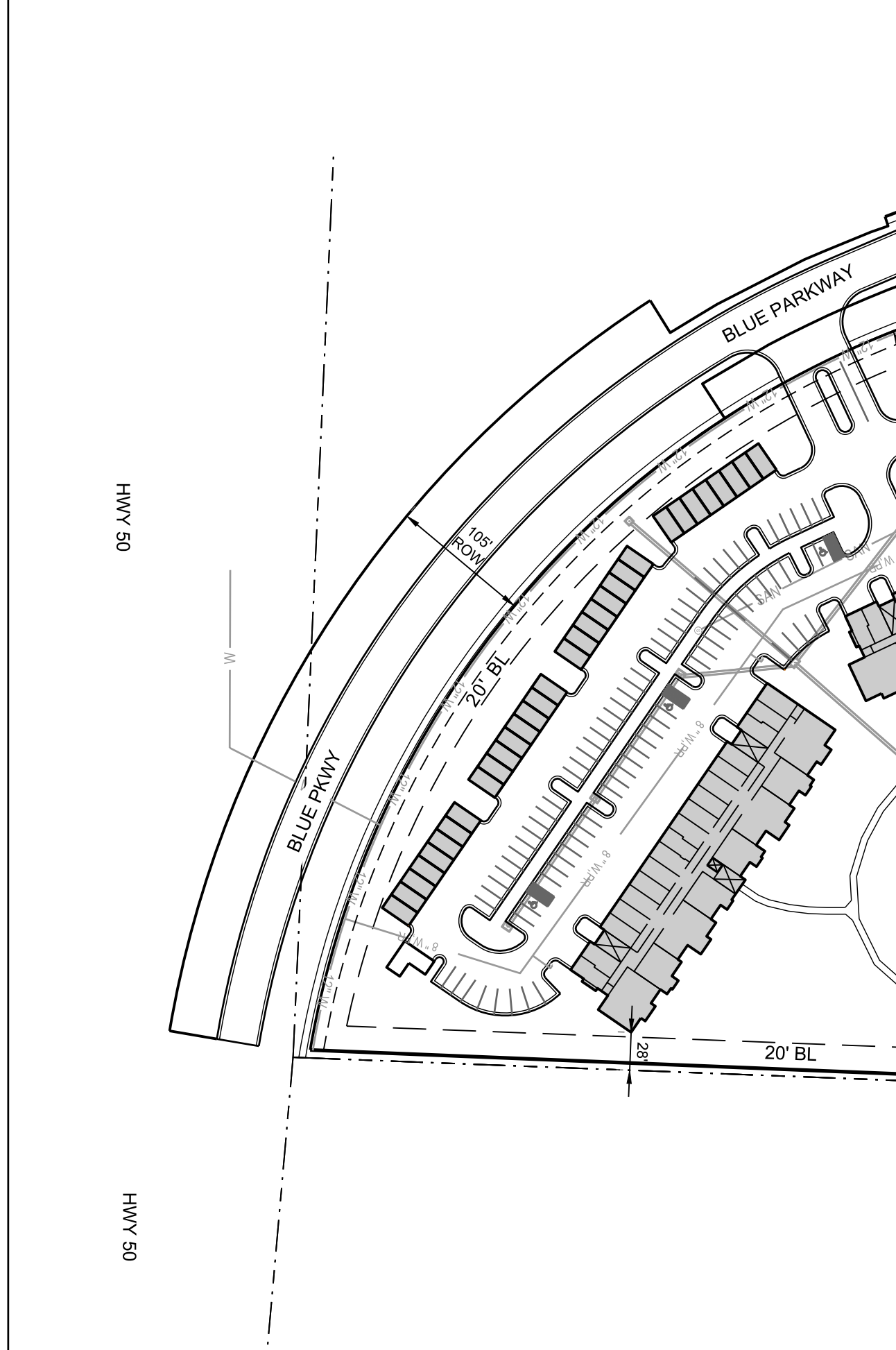
THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE WARRANTY DEED RECORDED 081401414 AS DOCUMENT NO. 2014E0067050 AND AS DOCUMENT NO. 2014E0067056.

THAT PART CONVEYED TO THE CITY OF LEE'S SUMMIT BY THE WARRANTY DEED RECORDED 081401414 AS DOCUMENT NO. 2014E0067054 AND AS DOCUMENT NO. 2014E0067054.

AND FURTHER EXCEPT

A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS BEGINNING AT THE NORTHEAST CORNER OF THE SAID NORTHWEST QUARTER, THENCE SOUTH 02°19'40" WEST, ON THE EAST LINE OF THE SAID NORTHWEST QUARTER 2,514.26 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTH OUTER ROAD OF EXISTING EAST BOUND ROUTE 50 AS DESCRIBED IN GENERAL WARRANTY DEED, INSTRUMENT NUMBER 2014E0064945 RECORDED IN THE JACKSON COUNTY RECORDER OF DEEDS; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 89°17'49" WEST WITH A RADIUS OF 708.50 FEET, A CENTRAL ANGLE OF 47°20'45" AND AN ARC DISTANCE OF 585.46 FEET; THENCE SOUTH 57°03'00" WEST, 31.00 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 32°57'00" WEST WITH A RADIUS OF 789.95 FEET, A CENTRAL ANGLE OF 137°12'24" AND AN ARC DISTANCE OF 171.53 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 784.50 FEET, A CENTRAL ANGLE OF 0°27'30" AND AN ARC DISTANCE OF 142.62 FEET TO A POINT INTERSECTING WITH THE WEST LINE OF THE EAST HALF OF THE SAID NORTHWEST QUARTER OF SECTION 11; THENCE ON SAID WEST LINE, NORTH 82°22'54" EAST, 1,858.88 FEET TO A POINT ON THE NORTH LINE OF THE SAID NORTH WEST QUARTER; THENCE ON SAID NORTH LINE, SOUTH 87°51'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.

TRACT 2:
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH RANGE 31 WEST OF THE 5TH PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS BEGINNING AT THE NORTHEAST CORNER OF THE SAID NORTHWEST QUARTER, THENCE SOUTH 02°19'40" WEST, ON THE EAST LINE OF THE SAID NORTHWEST QUARTER 2,514.26 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTH OUTER ROAD OF EXISTING EAST BOUND ROUTE 50 AS DESCRIBED IN GENERAL WARRANTY DEED, INSTRUMENT NUMBER 2014E0064945 RECORDED IN THE JACKSON COUNTY RECORDER OF DEEDS; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 89°17'49" WEST WITH A RADIUS OF 708.50 FEET, A CENTRAL ANGLE OF 47°20'45" AND AN ARC DISTANCE OF 585.46 FEET; THENCE SOUTH 57°03'00" WEST, 31.00 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 32°57'00" WEST WITH A RADIUS OF 789.95 FEET, A CENTRAL ANGLE OF 137°12'24" AND AN ARC DISTANCE OF 171.53 FEET; THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 784.50 FEET, A CENTRAL ANGLE OF 0°27'30" AND AN ARC DISTANCE OF 142.62 FEET TO A POINT INTERSECTING WITH THE WEST LINE OF THE EAST HALF OF THE SAID NORTHWEST QUARTER OF SECTION 11; THENCE ON SAID WEST LINE, NORTH 82°22'54" EAST, 1,858.88 FEET TO A POINT ON THE NORTH LINE OF THE SAID NORTH WEST QUARTER; THENCE ON SAID NORTH LINE, SOUTH 87°51'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.



SITE DATA	
EXISTING ZONING	AG - AGRICULTURAL
PROPOSED ZONING	RP-1, RP-3, RP-4, CP-1
RP-1 GROSS SITE AREA	12.46 ACRES (542,792.39 S.F.)
RP-3 GROSS SITE AREA	24.55 ACRES (1,069,432.48 S.F.)
RP-4 GROSS SITE AREA	19.21 ACRES (836,787.60)
TOTAL RESIDENTIAL GROSS SITE AREA	56.22 ACRES (2,449,012.45 S.F.)
CP-2 GROSS SITE AREA	6.18 ACRES (269,200.80 S.F.)
TOTAL GROSS SITE AREA	62.40 ACRES

PROJECT DATA (Sec. 6.030, Table 6-2)	
RP-1 PROPOSED NUMBER OF UNITS	77 UNITS
RP-3 PROPOSED NUMBER OF UNITS	118 UNITS
RP-4 PROPOSED NUMBER OF UNITS	252 UNITS
TOTAL NUMBER OF UNITS	448 UNITS
RESIDENTIAL DENSITY	7.18 DU/AC

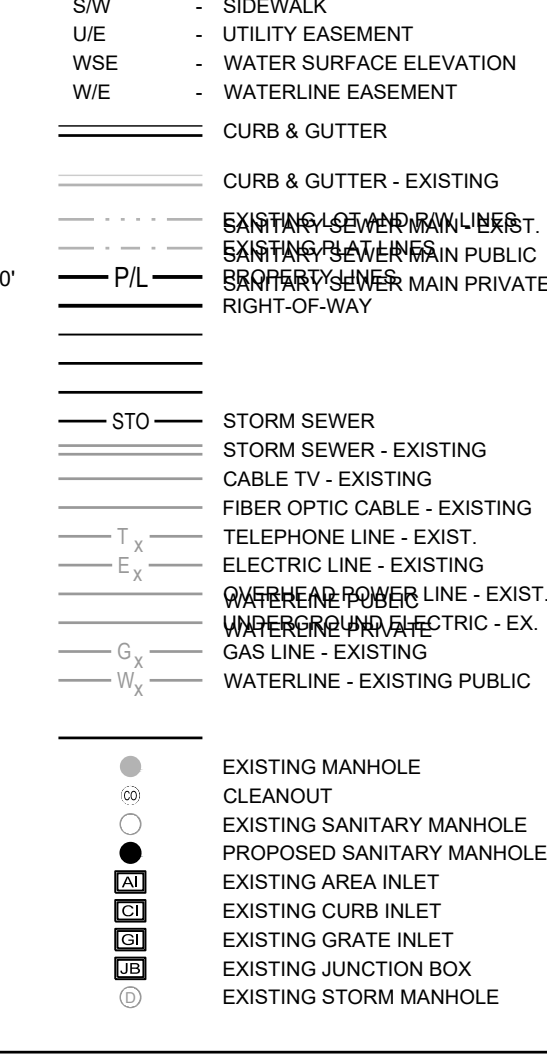
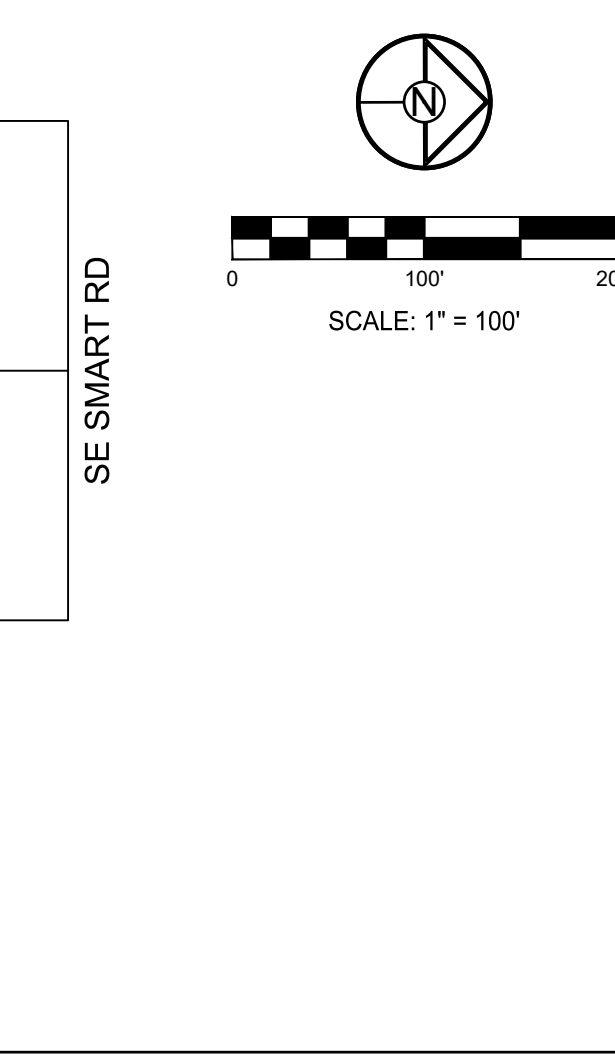
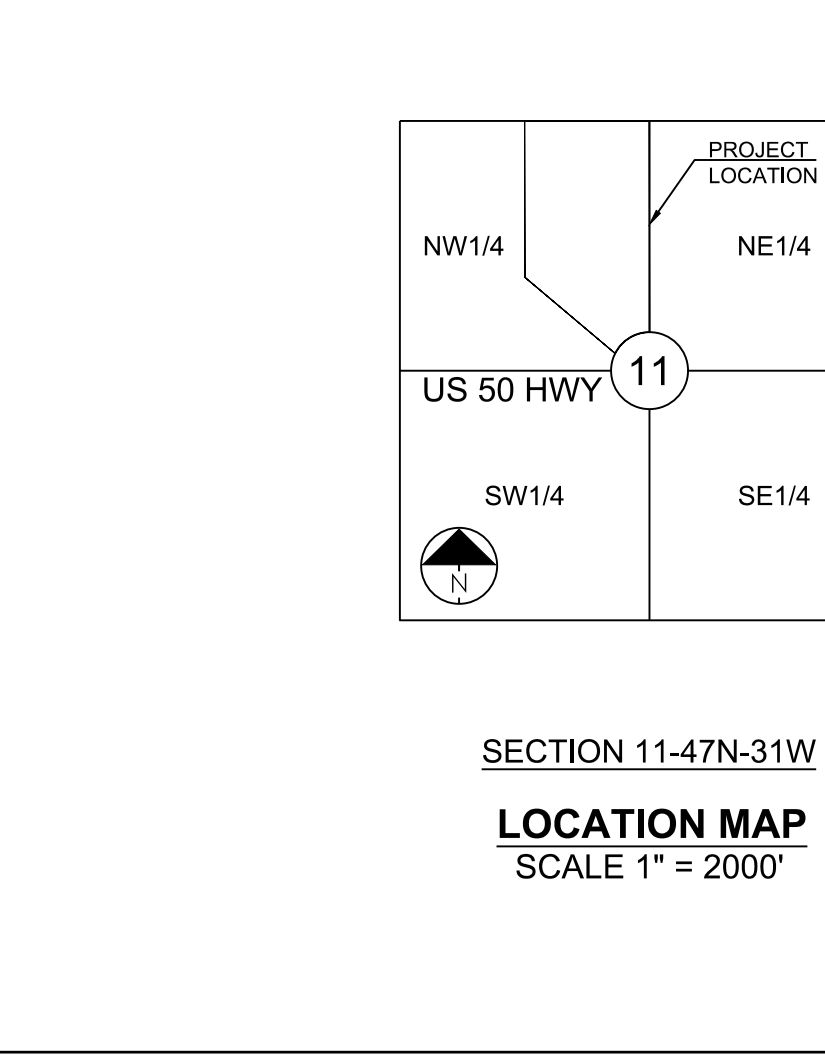
COVERAGE AND OPEN SPACE DATA	
RP-1 OPEN SPACE AREA	3,600 S.F.
RP-3 OPEN SPACE AREA	621,758.76 S.F.
RP-4 OPEN SPACE AREA	63,878.76 S.F.
TOTAL RESIDENTIAL OPEN SPACE AREA	709,037.52 S.F. (29%)(CODE MIN 10%)
CP-2 OPEN SPACE AREA	94,025.24 S.F.

FLOOD NOTE:	
According to the Flood Insurance Rate Map of FEMA panel 437 for map number 29095C0437G, FEMA panel 439 for map number 29095C0439G, FEMA panel 441 for map number 29095C0441G, FEMA panel 445 for map number 29095C0445G dated January 20, 2017 the project does not lie within Zone X, Area of Minimal Flood Hazard.	

- NOTES:**
- BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY OLSSON, INC. DATED 8/13/21 PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
 - TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
 - AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAN AS "UTILITY EASEMENT" OR "LIE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
 - THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
 - BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAN AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
 - ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE ORDINANCES, AND DESIGN STANDARDS.
 - ALL PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE.
 - ALL DRIVES AND PARKING TO BE ASPHALT UNLESS OTHERWISE NOTED ON THE PLAN.
 - ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON THIS PLAN.
 - ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS.
 - BASED ON THE GEOLOGIC DATA ON MISSOURI DEPARTMENT OF NATURAL RESOURCES WEB SITE THERE ARE NO KNOWN WELLS ON THE SITE.
 - ALL LIGHTS SHALL BE ARRANGED, LOCATED AND/OR SCREENED SO THAT LIGHT IS DIRECTED AWAY FROM AND NO LIGHT SOURCE IS VISIBLE FROM A PUBLIC STREET OR RESIDENTIAL USE.
 - All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2012 International Fire Code and local amendments.

- IFC 903.3.1 - Fire department connections. The location of fire department connections shall be approved by the fire code official. Connections shall be a 4 inch Storz type fitting and located within 100 feet of a fire hydrant, or as approved by the code official.
- IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
- D105.1 Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
- IFC 503.2.1 - Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 603.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm)
- IFC 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- IFC 506.1 - Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official 506.1.1 Locks An approved lock shall be installed on gates or similar barriers when required by the fire code official. A Knox padlock will be provided on the gate and a Knox box on the building.
- IFC 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

- Please note that parking lot design must meet the UDO Article 12 requirements and the private drive must meet public street design standards per the Design and Construction Manual Section 5200.
- All public infrastructure shall be designed and constructed in accordance with the City codes and standards. Maximum depth is 15 feet.
- All lighting shall comply with the lighting standards contained within Article 7 of the UDO. All parking lot with 11 or more parking stalls shall be illuminated. Any lights used to illuminate the parking area shall be arranged, located or screened so that light is directed away from and no light source is visible from a public street, a residentially-zoned area, or a residential use.
- Modification requested for maximum block length in the RP-3 district. Max length to be increased from 800' to 825'.



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**NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN**
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

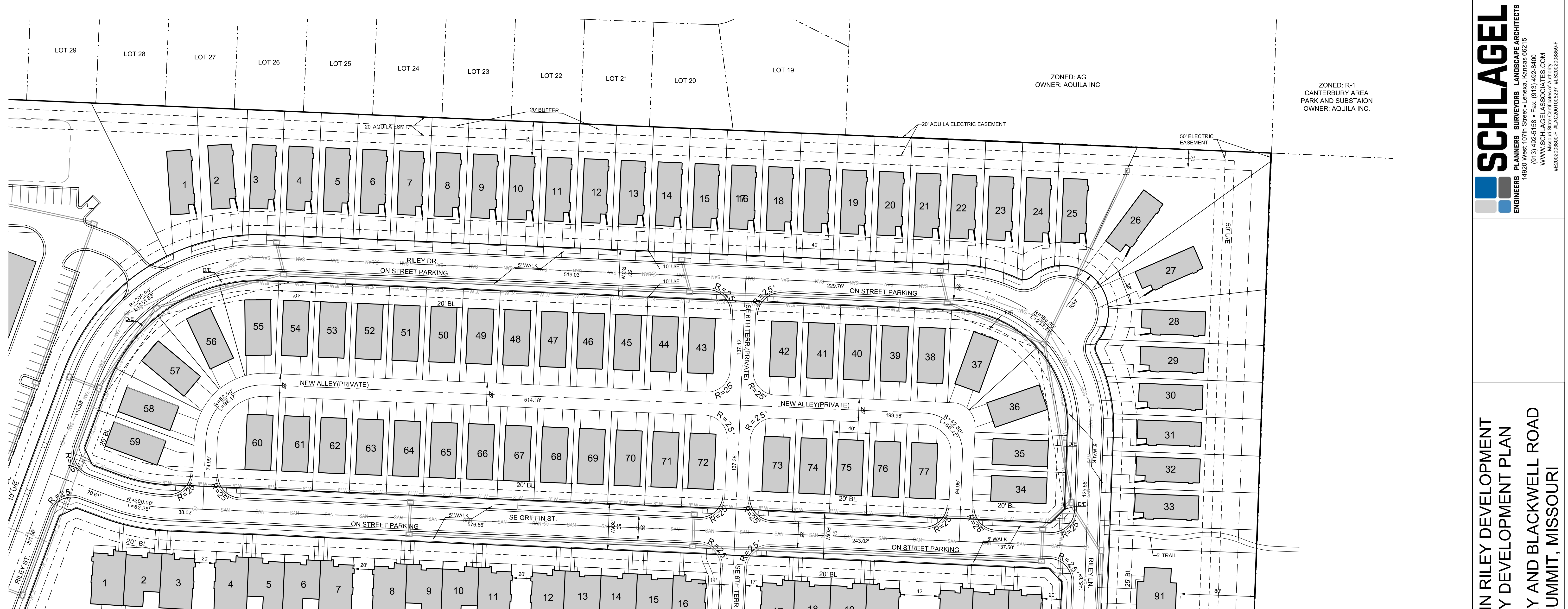
REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.09.02	CITY COMMENTS DATED 8/1/2021

DRAWN BY:	SCH	CHECKED BY:	SCH	DATE PREPARED:	PROJ. NUMBER:
SCH	SCH	SCH	SCH	2021.08.24	20-505

OVERALL SITE PLAN	
SHEET	C1.0
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A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
2021.09.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS
2021.08.24	CITY COMMENTS



SITE DATA
 EXISTING ZONING
 PROPOSED ZONING
 GROSS SITE AREA
 ROW AREA
 NET SITE AREA

AG - AGRICULTURAL
 RP - PLANNED MIXED USE DISTRICT
 12.46 ACRES (542,792.39 S.F.)
 2.29 ACRES (99,637.82 S.F.)
 10.17 ACRES (443,005.2 S.F.)(EXCL. PUBLIC ROW)

PROJECT DATA(Sec. 6.030, Table 6-2)
 PROPOSED NUMBER LOTS
 DENSITY ALLOWED PER CODE
 DENSITY PROPOSED INCL. PUBLIC ROW
 DENSITY PROPOSED EXCL. PUBLIC ROW
 MINIMUM LOT SIZE PER CODE
 MINIMUM LOT SIZE PROPOSED
 MINIMUM LOT WIDTH PER CODE
 MINIMUM LOT WIDTH PROPOSED

78 UNITS
 4 DU/AC(8 DU/AC WITH BONUSES)
 6.26 DU/AC
 7.67 DU/AC
 6,800 S.F.
 4,000 S.F. MODIFICATION REQUESTED
 60 FT.
 40 FT. MODIFICATION REQUESTED

COVERAGE AND OPEN SPACE DATA
 CODE REQUIREMENT (Sec. 8.050)
 OPEN SPACE REQUIRED BY CODE (10%)(GROSS AREA)54,279.24 S.F.
 OPEN SPACE PROVIDED 54,279.24 S.F.(IN OTHER PROJECT AREAS)

PARKING DATA
 CODE REQUIREMENT(Sec. 8.530 - Vehicle parking Table 8-1)
 TOTAL PARKING REQUIRED PER CODE(78X2)
 GARAGE PARKING PROVIDED
 DRIVEWAY SPACES PROVIDED
 PUBLIC STREET PARKING PROVIDED ON ONE SIDE
 TOTAL PARKING SPACES PROVIDED

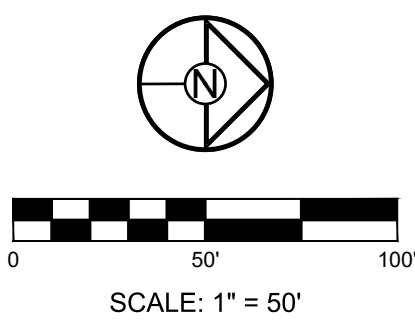
2 PER UNIT (FULLY ENCLOSED)
 156 FULLY ENCLOSED SPACES
 156 GARAGES
 156 SPACES
 31 SPACES
 343 SPACES

BUILDING SETBACKS(Sec. 6.040 Table 6-3)
 REQUIRED FRONT YARD MAJOR STREET
 PROVIDED FRONT YARD MAJOR STREET
 REQUIRED FRONT YARD FROM OTHER STREETS
 PROVIDED FRONT YARD FROM OTHER STREETS
 REQUIRED SIDE YARD SETBACK FROM LOT LINE
 PROVIDED SIDE YARD SETBACK FROM LOT LINE
 REQUIRED REAR YARD SETBACK
 PROVIDED REAR YARD SETBACK

50 FT.
 N/A
 20 FT. 25 FT GARAGE
 20 FT. 25 FT. GARAGE
 5 FT.
 5 FT.
 20 FT.
 20 FT.

PARKING SETBACKS(Sec. 8.620)
 REQUIRED FROM PUBLIC RIGHT OF WAY
 PROVIDED FROM PUBLIC RIGHT OF WAY
 REQUIRED FROM RESIDENTIAL USE
 PROVIDED FROM RESIDENTIAL USE
 REQUIRED FROM SIDE AND REAR PROPERTY
 PROVIDED FROM SIDE AND REAR PROPERTY

20 FT.
 20 FT.
 20 FT.
 20 FT. (IN MOST AREAS MORE)
 20 FT.
 20 FT. (IN MOST AREAS MORE)



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SITE DATA
 EXISTING ZONING: AG - AGRICULTURAL
 PROPOSED ZONING: RP-3 PLANNED MIXED USE DISTRICT
 GROSS SITE AREA: 24.55 ACRES (1,069,432.46 S.F.)
 NET SITE AREA: 21.58 ACRES (939,885.56 S.F.)(EXCL. PUBLIC ROW)

PROJECT DATA(Sec. 6.030, Table 6-2)
 PROPOSED NUMBER UNITS: 113 UNITS
 DENSITY ALLOWED PER CODE: 10 DU/AC
 DENSITY PROPOSED INCL. PUBLIC ROW: 4.60 DU/AC
 DENSITY PROPOSED EXCL. PUBLIC ROW: 5.24 DU/AC
 DRIVE AND PARKING AREA: 4,000 S.F. PER UNIT
 MINIMUM LOT SIZE PER CODE: 7,985.13 S.F. PER UNIT USING NET AREA

COVERAGE AND OPEN SPACE DATA
 CODE REQUIREMENT (Sec. 8.050): 10% OF TOTAL LAND AREA
 OPEN SPACE REQUIRED BY CODE (10%)(1,069,432.46 GROSS AREA)(1) BUILDING AREA: 106,943.25 S.F.
 DRIVE AND PARKING AREA: 205,006.23 S.F. (EXCL. PUBLIC STREETS)
 TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA): 289,233.10 S.F.
 OPEN SPACE AREA: 539,386.88 S.F.

PARKING DATA
 CODE REQUIREMENT(Sec. 8.530 - Vehicle parking Table 8-1): 2 PER UNIT
 TOTAL PARKING REQUIRED PER CODE(113X2): 228 SPACES(113 GARAGE MIN)
 GARAGE PARKING PROVIDED: 199 GARAGES
 DRIVEWAY SPACES PROVIDED: 199 SPACES
 OPEN PARKING SPACES PROVIDED: 60 SPACES (INCL. 2 ADA)
 PUBLIC STREET PARKING PROVIDED ON ONE SIDE: 48 SPACES
 TOTAL PARKING SPACES PROVIDED: 257 SPACES

BUILDING SETBACKS(Sec. 6.040 Table 6-3)
 REQUIRED FRONT YARD MAJOR STREET: 50 FT.
 PROVIDED FRONT YARD MAJOR STREET: N/A
 REQUIRED FRONT YARD FROM OTHER STREETS: 20 FT. 25 FT. GARAGE
 PROVIDED FRONT YARD FROM OTHER STREETS: 20 FT. 25 FT. GARAGE
 REQUIRED SIDE YARD SETBACK FROM LOT LINE: 10 FT.
 PROVIDED SIDE YARD SETBACK FROM LOT LINE: 10 FT.
 REQUIRED SEPARATION BETWEEN BUILDINGS: 20 FT.
 PROVIDED SEPARATION BETWEEN BUILDINGS: 20 FT. FOR CLOSEST
 REQUIRED REAR YARD SETBACK: 20 FT.
 PROVIDED REAR YARD SETBACK: 20 FT.

PARKING SETBACKS(Sec. 8.620)
 REQUIRED FROM PUBLIC RIGHT OF WAY: 20 FT.
 PROVIDED FROM PUBLIC RIGHT OF WAY: 20 FT.
 REQUIRED FROM RESIDENTIAL USE: 20 FT.
 PROVIDED FROM RESIDENTIAL USE: 20 FT. (IN MOST AREAS MORE)
 REQUIRED FROM SIDE AND REAR PROPERTY: 20 FT.
 PROVIDED FROM SIDE AND REAR PROPERTY: 20 FT. (IN MOST AREAS MORE)

**A NEW GRIFFON RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

ZONE: R-1 SUMMIT MILL 2ND PLAT OWNER: SUMMIT MILLS HOA

REVISION	DATE	DESCRIPTION
1	2021.08.24	CITY COMMENTS
2	2021.09.02	CITY COMMENTS DATED 8-1-2021
3		
4		
5		
6		
7		

DRAWN BY: SCH
 CHECKED BY: SCH
 DATE PREPARED:
 PROJ. NUMBER: 20-205

55+ TOWNHOMES SITE PLAN

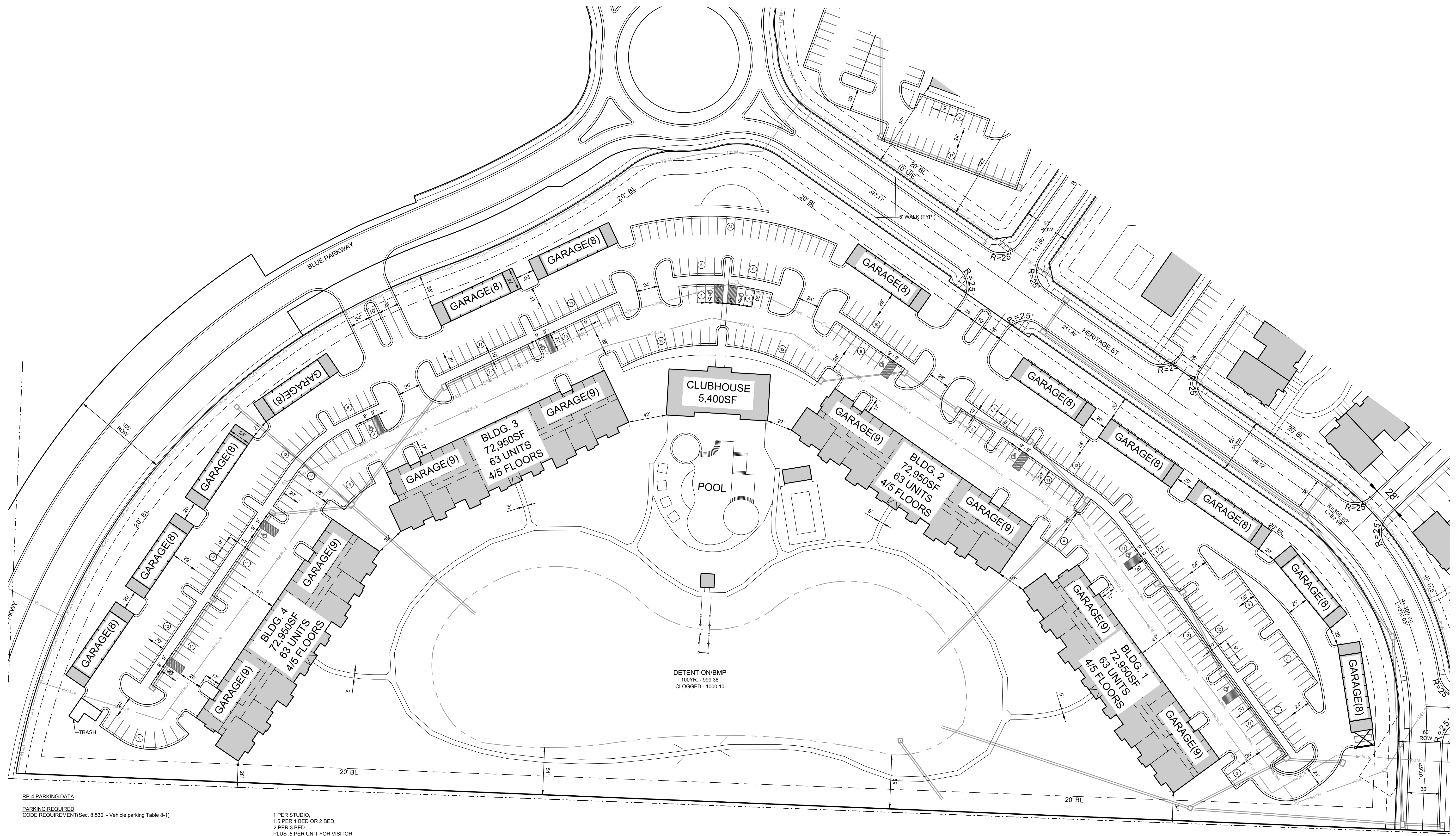
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**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**



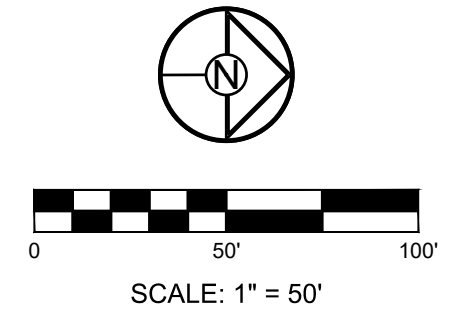
RP-4 PARKING DATA

PARKING REQUIRED CODE REQUIREMENT (Sec. 8.530 - Vehicle parking Table 8-1)	1 PER STUDIO, 1.5 PER 1 BED OR 2 BED, 2 PER 3 BED PLUS .5 PER UNIT FOR VISITOR
TYPE I BLDG PARKING REQUIRED 24(STD)X1P + 132(1BD)X1.5P + 72(2 BD)X1.5P + 24(3BD)X2P = 378 + 0.5PX 252 CLUBHOUSE PARKING REQUIRED (MINIMUM OF 6)	504 SPACES(126 SPACES PER BLDG) 6 SPACES
TOTAL APARTMENT PARKING REQUIRED	510 SPACES
PARKING PROVIDED TYPE I BLDG DETACHED GARAGE PARKING PROVIDED (12 BLDGS X8) TYPE I BLDG OPEN PARKING PROVIDED TYPE I BLDG ATTACHED GARAGE PARKING PROVIDED (4 BLDGS X18)	96 SPACES 351 SPACES 72 SPACES
TOTAL APARTMENT PARKING PROVIDED	519 SPACES
ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 351X.02) ACCESSIBLE SPACES PROVIDED REQUIRED	10 SPACES 10 SPACES

RP-4 BUILDING SETBACKS REQUIRED FRONT YARD MAJOR STREET REQUIRED FRONT YARD MAJOR STREET REQUIRED FRONT YARD FROM OTHER STREETS PROVIDED FRONT YARD FROM OTHER STREETS REQUIRED SIDE YARD SETBACK FROM LOT LINE PROVIDED SIDE YARD SETBACK FROM LOT LINE REQUIRED SEPARATION BETWEEN BUILDINGS PROVIDED SEPARATION BETWEEN BUILDINGS REQUIRED REAR YARD SETBACK PROVIDED REAR YARD SETBACK	50 FT. N/A 20 FT. 20 FT. 10 FT. 20 FT. 20 FT. 20 FT. FOR CLOSEST 20 FT. 20 FT.
PARKING SETBACKS REQUIRED FROM PUBLIC RIGHT OF WAY PROVIDED FROM PUBLIC RIGHT OF WAY REQUIRED FROM RESIDENTIAL USE PROVIDED FROM RESIDENTIAL USE REQUIRED FROM SIDE AND REAR PROPERTY PROVIDED FROM SIDE AND REAR PROPERTY	20 FT. 20 FT. 20 FT. 20 FT. 20 FT. (IN MOST AREAS MORE) 20 FT. (IN MOST AREAS MORE)

SITE DATA EXISTING ZONING PROPOSED ZONING GROSS SITE AREA	AG - AGRICULTURAL RP-4 PLANNED APARTMENT RESIDENTIAL DISTRICT 19.21 ACRES (836,787.60 S.F.)
BUILDING DATA TYPE I NUMBER OF UNITS TOTAL NUMBER OF UNITS TYPE I BLDG	6(3 STD) 33(1 BED) 18(2 BED) 6(3 BED) 63 UNITS TOTAL 4 BLDGS X 63 UNITS = 252 UNITS
RP-4 SITE DATA PROPOSED NUMBER OF APARTMENT PROPOSED RP-4 DENSITY PROPOSED	252 UNITS 13.12 UNITS / ACRE (REQUESTED DEVIATION FROM 12 UNITS / ACRE)
DENSITY PER CODE FOR RP-4 ZONING NUMBER OF UNITS PER CODE FOR RP-4 ZONING MINIMUM LOT SIZE PER UNIT PER CODE MINIMUM LOT SIZE PER UNIT PROPOSED OPEN SPACE REQUIRED BY CODE (10%(744,751.85X.1)	N/A 205 UNITS 3,500 S.F. N/A 74,475.19 S.F.
BUILDING AREA DRIVE AND PARKING AREA TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA) OPEN SPACE AREA	324,800 S.F. 194,749 S.F. 333,765 S.F. 410,987.35 S.F. (55%)

PIERSON ARMINDA K, FURRY MICHAEL E,
FURRY BLAKE



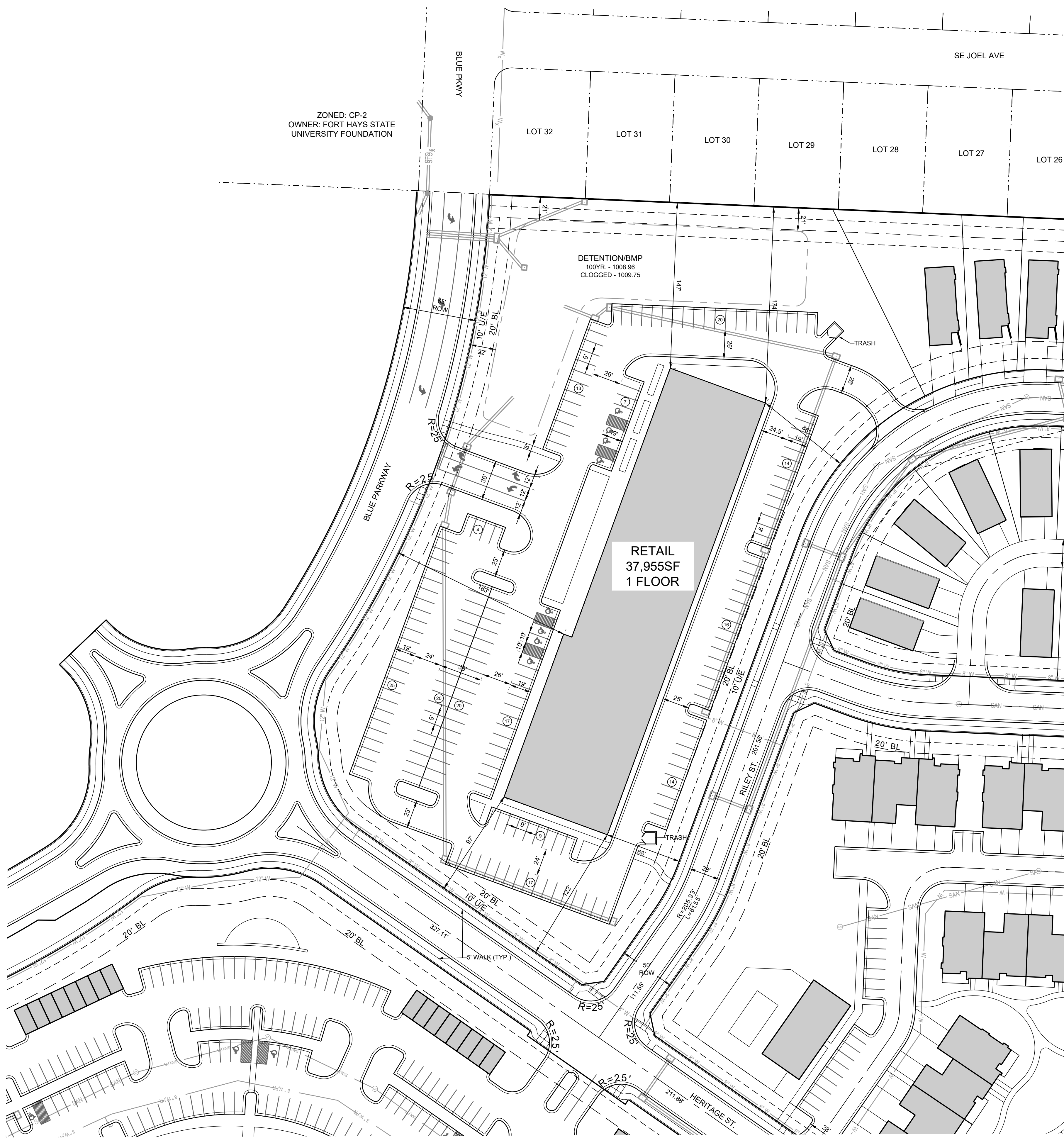
REVISION DATE	DESCRIPTION

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	
PROJ. NUMBER:	
PROJECT NO.	

APARTMENT SITE PLAN

SHEET
C1.3
 #

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ZONED: CP-2
OWNER: FORT HAYS STATE UNIVERSITY FOUNDATION

SITE DATA		
EXISTING ZONING	AG - AGRICULTURAL	
PROPOSED ZONING	CP-2	
GROSS SITE AREA	6.18 ACRES (269,200 S.F.)	
NET SITE AREA	5.04 ACRES (219,650.1 S.F.)	
PROJECT DATA(See 6.030, Table 6-2)		
DENSITY PER CODE		MAX. 0.55 FAR
DENSITY PROPOSED		0.17 FAR
MINIMUM LOT SIZE PER UNIT PER CODE		20,000 S.F.
MINIMUM LOT SIZE PER UNIT PROPOSED		219,650.1 S.F.
MINIMUM LOT WIDTH PER CODE		100 FT.
LOT WIDTH PROPOSED		
OPEN SPACE DATA		
PUBLIC GATHERING OPEN SPACE PROVIDED BY CODE(See 8.130)(5%)(219,650.1X.05)	10,985.50 S.F.	
PUBLIC GATHERING OPEN SPACE PROVIDED	14,029.46 S.F.	
BUILDING AREA	37,955 S.F.	
DRIVE AND PARKING AREA	135,944.09 S.F.	
TOTAL IMPERVIOUS AREA(BUILDING, DRIVES, AND PARKING AREA)	181,944.83 S.F.	
OPEN SPACE AREA	99,328.85 S.F.	
PARKING DATA		
CODE REQUIREMENT(See 8.530 - Vehicle parking Table 8-1)	5 PER 1,000SQFT	
PARKING REQUIRED PER CODE (37,955 / 1000 X 5)	190 SPACES	
PARKING PROVIDED	196 SPACES	
ACCESSIBLE PARKING SPACES REQUIRED (2% OF TOTAL OPEN SPACES 190X.02)	4 SPACES	
ACCESSIBLE SPACES PROVIDED	8 SPACES	
PARKING LOT LANDSCAPE AREA CODE REQUIREMENT(See 8.810)	5% OF PARKING AREA	
PARKING LOT LANDSCAPE AREA REQUIRED(81,802.49X0.05)	4,090.12 S.F.	
PARKING LOT LANDSCAPE AREA PROVIDED	7,053.59 S.F.	
BUILDING SETBACKS		
REQUIRED FRONT YARD MAJOR STREET	Max 15 FT.	
PROVIDED FRONT YARD MAJOR STREET	150 FT.	
REQUIRED FRONT YARD FROM OTHER STREETS	Max 0-5 FT.	
PROVIDED FRONT YARD FROM OTHER STREETS	60 FT.	
REQUIRED SIDE YARD SETBACK FROM LOT LINE	10 FT.	
SIDE YARD SETBACK PROVIDED	15 FT.	
REQUIRED REAR YARD SETBACK	20 FT.	
REAR YARD SETBACK PROVIDED	20 FT.	
PARKING SETBACKS(See 8.620)		
REQUIRED FROM PUBLIC RIGHT OF WAY	20 FT.	
PROVIDED FROM PUBLIC RIGHT OF WAY	18 FT.*	
REQUIRED FROM RESIDENTIAL USE	20 FT.	
PROVIDED FROM RESIDENTIAL USE	20 FT. (IN MOST AREAS MORE)	
REQUIRED FROM SIDE AND REAR PROPERTY	20 FT.	
PROVIDED FROM SIDE AND REAR PROPERTY	20 FT. (IN MOST AREAS MORE)	
*2' PARKING SIDE YARD DEVIATION REQUESTED.		



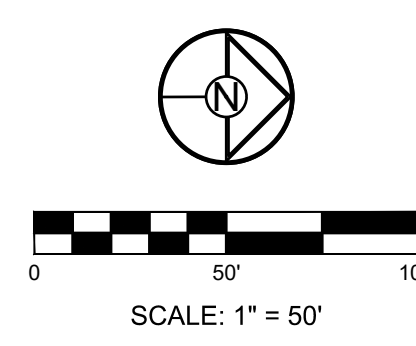
**A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI**

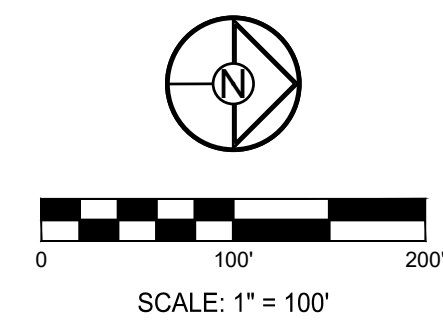
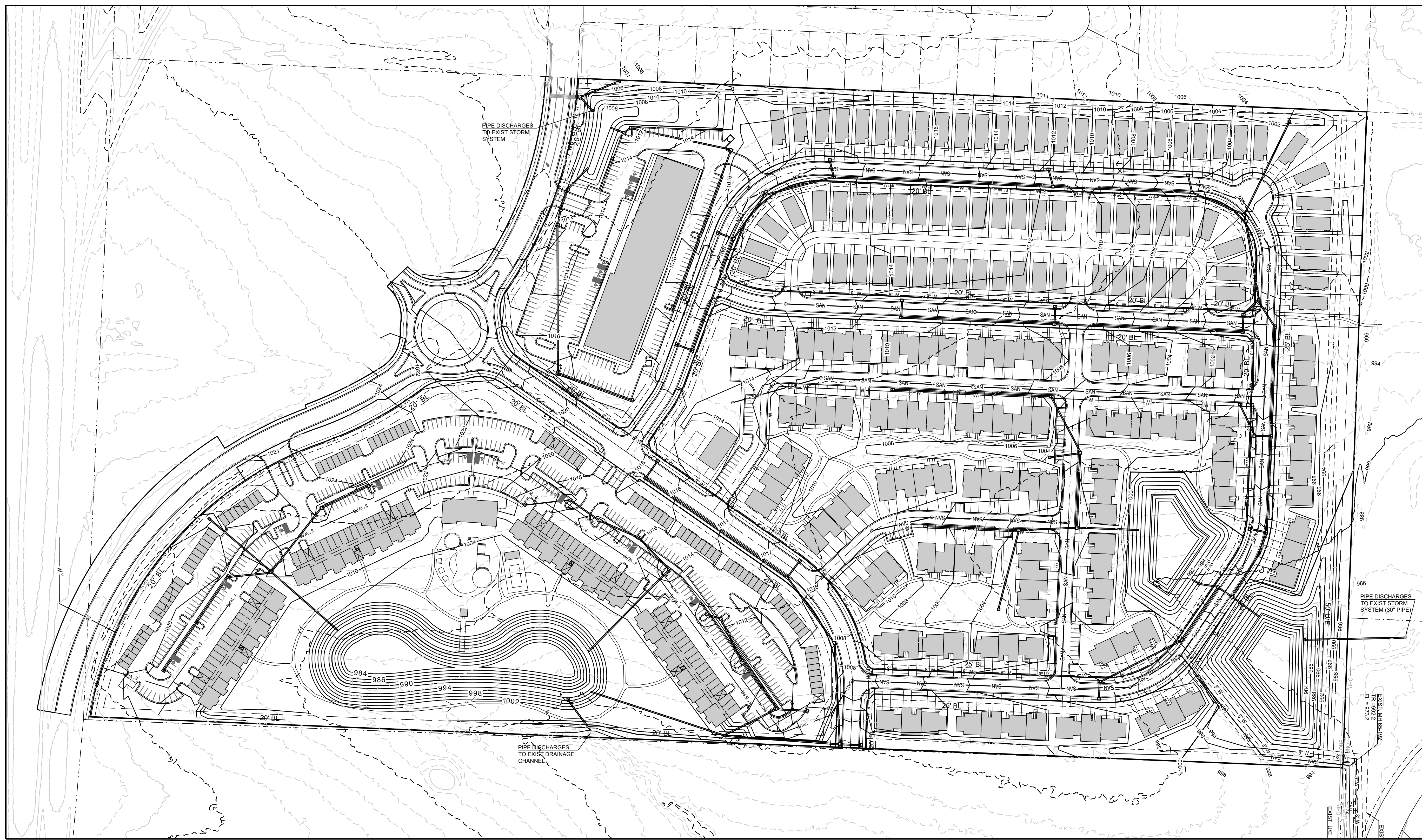
REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.08.02	CITY COMMENTS DATED 8/1/2021

DRAWN BY: SCH
CHECKED BY: SCH
DATE PREPARED:
PROJ. NUMBER: 20-205

RETAIL SITE PLAN

SHEET
C1.4
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**A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/20/21

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	
PROJ. NUMBER:	20-205

OVERALL GRADING PLAN

SHEET
C2.0
#

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificate of Authority
#E2002003690-F #LAC2001005237 #LS2002008659-F

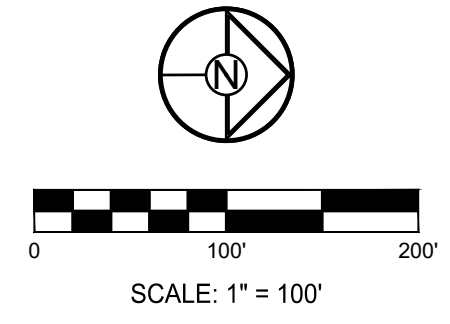


**A NEW GRIFFIN RILEY DEVELOPMENT PLAN
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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2021.09.02	CITY COMMENTS DATED 8/1/2021

SINGLE FAMILY
 GRADING PLAN

SHEET
C2.1
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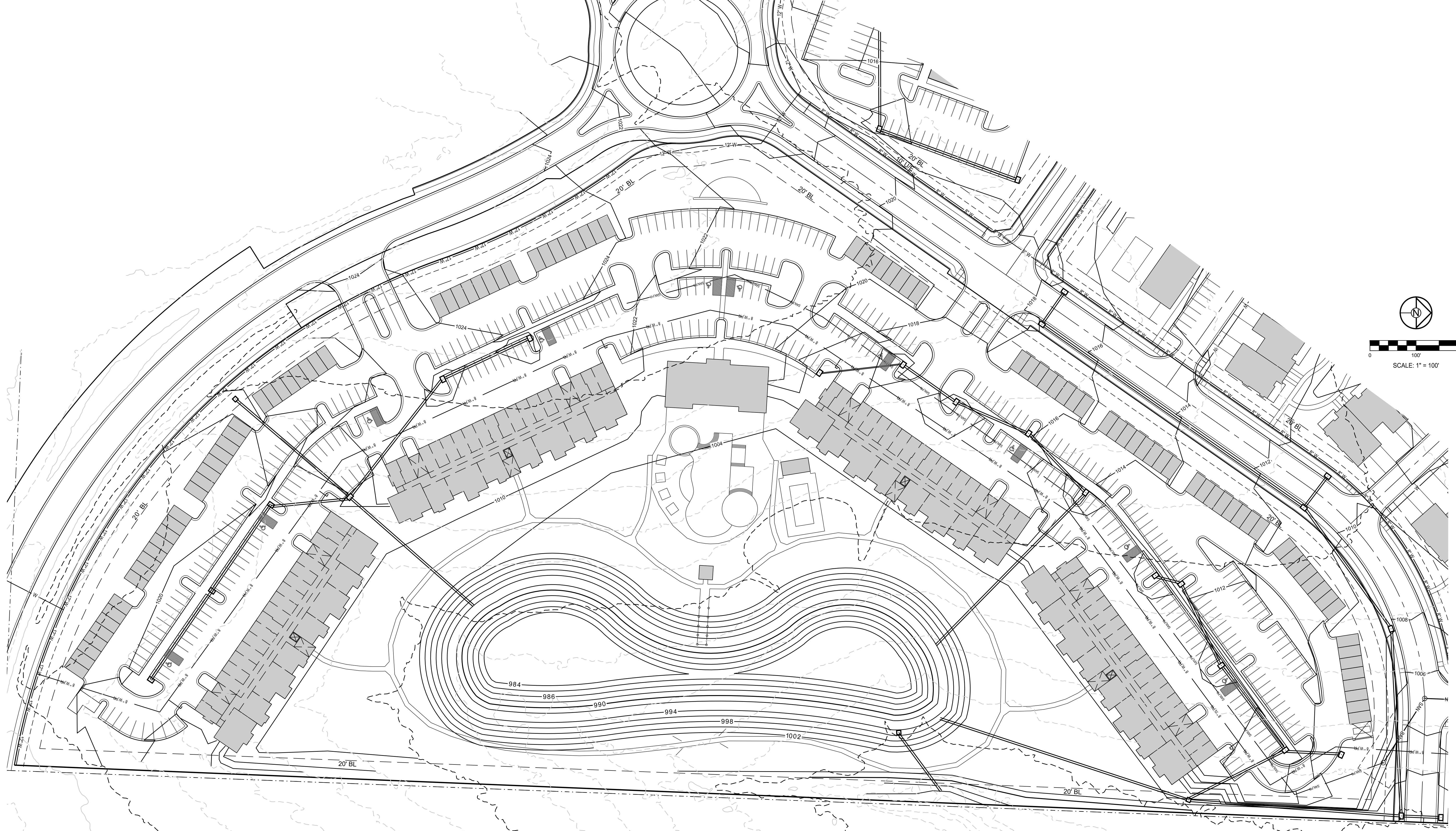


**A NEW GRIFFIN RILEY DEVELOPMENT PLAN
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021 08 24	CITY COMMENTS
2021 09 02	CITY COMMENTS DATED 8/1/2021
2021 09 02	CITY COMMENTS DATED 8/1/2021
2021 09 02	CITY COMMENTS DATED 8/1/2021
2021 09 02	CITY COMMENTS DATED 8/1/2021
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2021 09 02	CITY COMMENTS DATED 8/1/2021

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DATE PREPARED:	20-205
PROJ. NUMBER:	20-205

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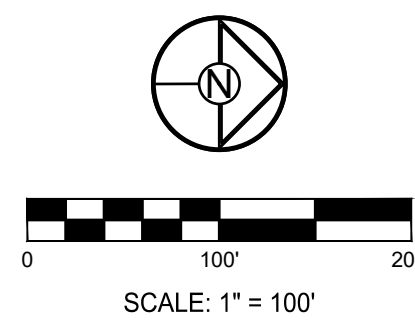
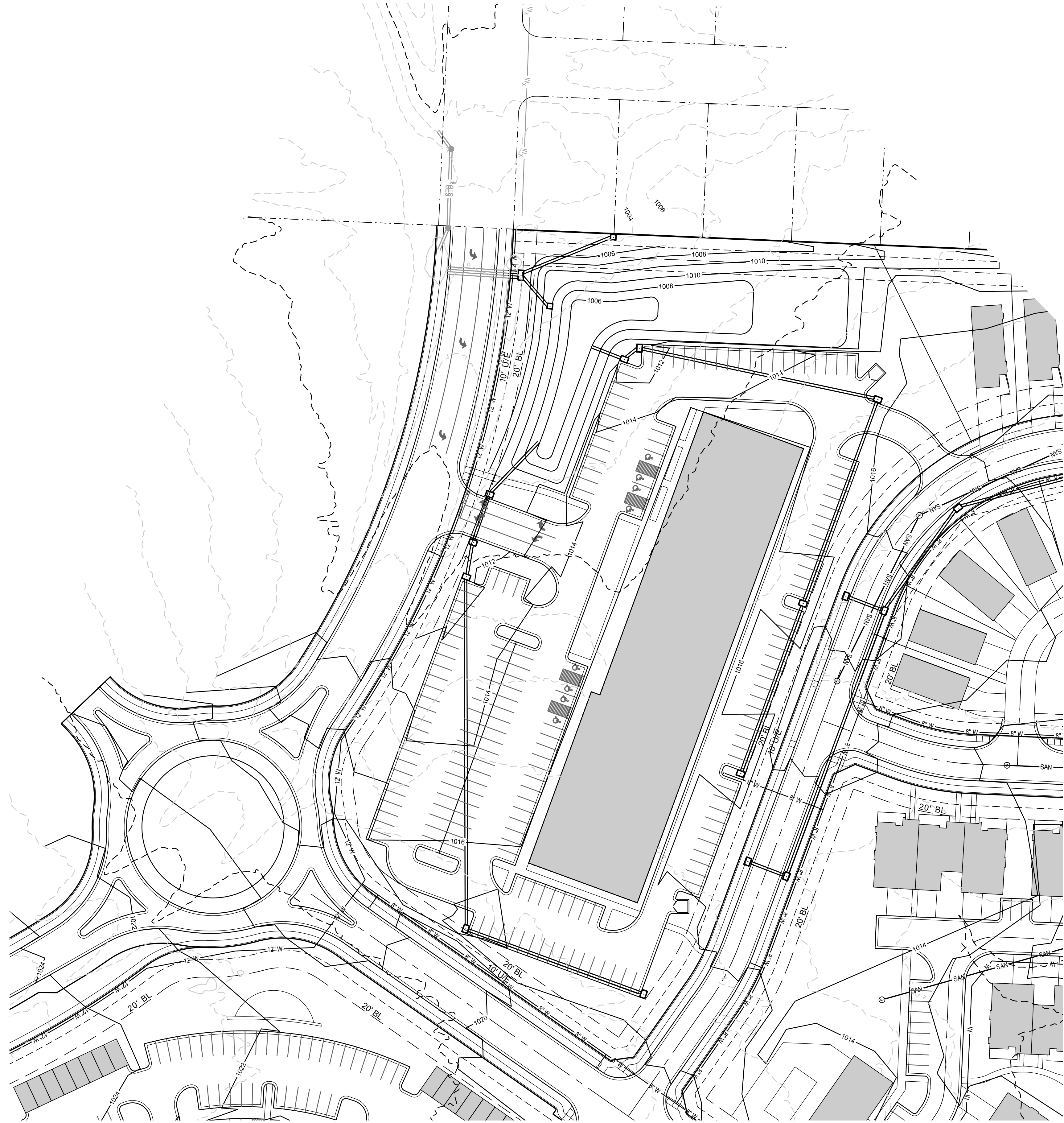


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 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
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2021.09.02	CITY COMMENTS DATED 8/1/2021

**APARTMENT
 GRADING PLAN**

SHEET
C2.3
 #



SCALE: 1" = 100'

RETAIL GRADING PLAN

SHEET

C2.4
#

DRAWN BY:	DESCRIPTION
SCH	CITY COMMENTS
CHECKED BY:	CITY COMMENTS DATED 8/1/2021
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DATE PREPARED:	
PROJ. NUMBER:	
20-205	

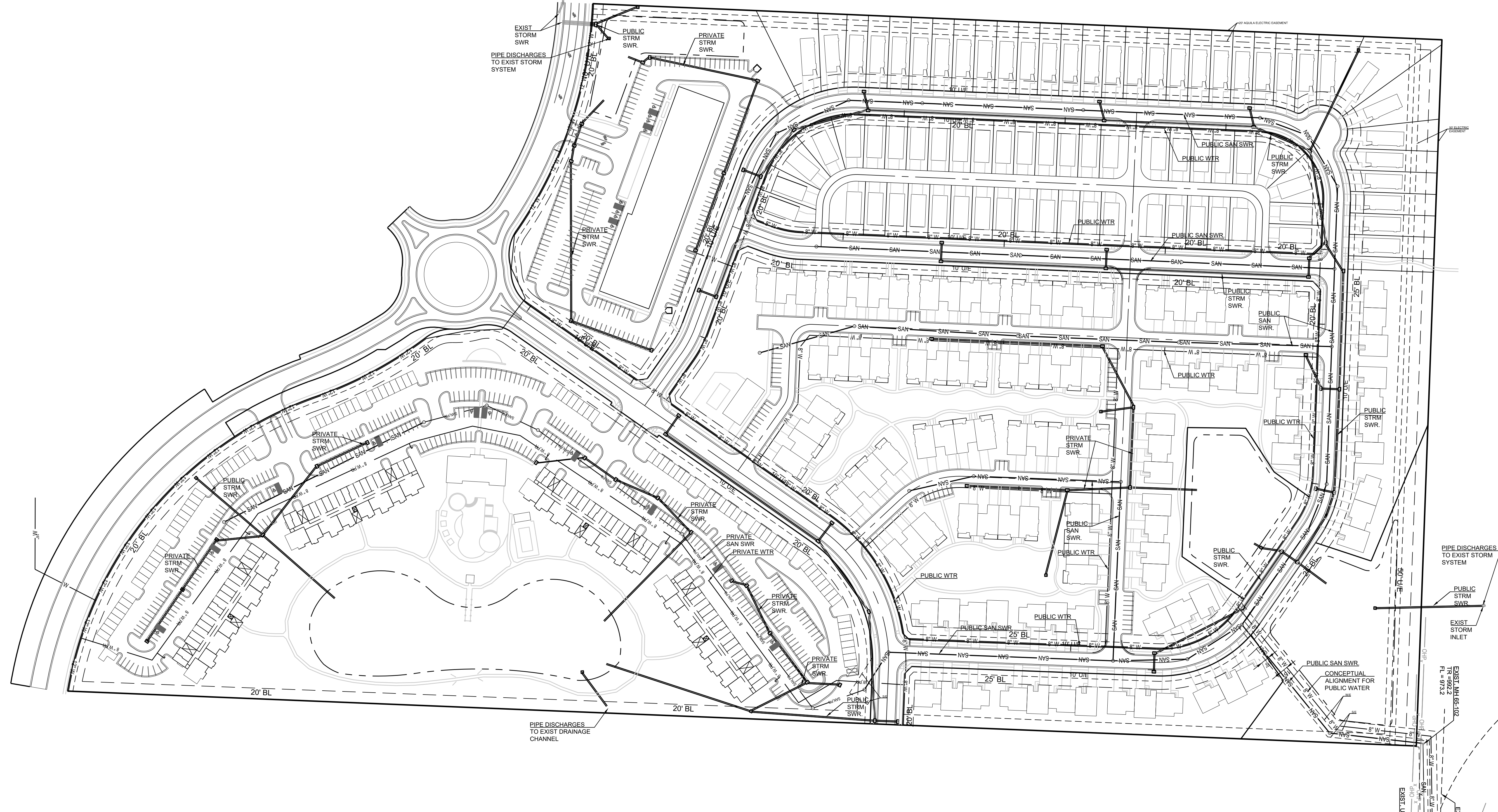
A NEW GRIFFIN RILEY DEVELOPMENT
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 LEE'S SUMMIT, MISSOURI

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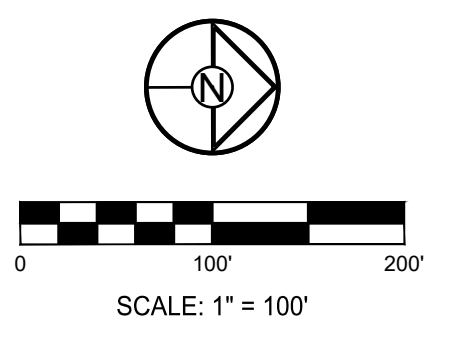
REVISION DATE	DESCRIPTION
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2021.09.02	CITY COMMENTS DATED 8/1/2021

PRELIMINARY UTILITY PLAN

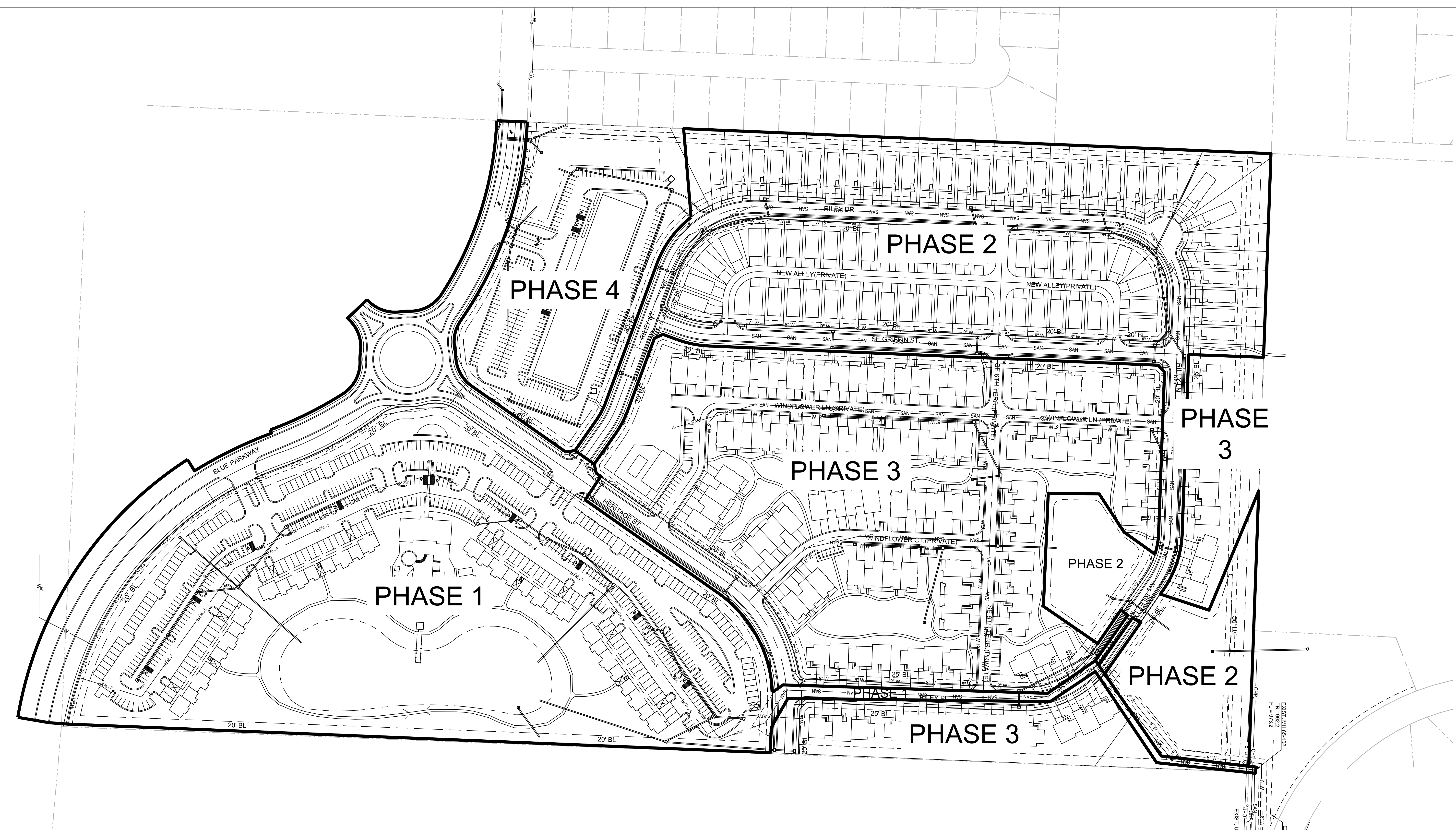
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- LEGEND:**
- BL, B.L. or S.B. - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - G/E - GAS LINE EASEMENT
 - P/L - PROPERTY LINE
 - ROW or R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - SW - SIDEWALK
 - L/E - UTILITY EASEMENT
 - WSE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - SANITARY SEWER MAIN PUBLIC
 - SANITARY SEWER MAIN PRIVATE
 - STORM SEWER
 - STORM SEWER - EXISTING
 - CABLE TV - EXISTING
 - FIBER OPTIC CABLE - EXISTING
 - TELEPHONE LINE - EXIST.
 - ELECTRIC LINE - EXISTING
 - WIREHEAD POWER LINE - EXIST.
 - WIREHEAD POWER LINE - EX.
 - GAS LINE - EXISTING
 - WATERLINE - EXISTING PUBLIC
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE



**A NEW GRIFFIN RILEY DEVELOPMENT
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 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**



PHASE DESCRIPTION
PHASE 1 BLUE PARKWAY ROAD IMPROVEMENTS AS REQUIRED 380 FEET OF HERITAGE STREET SANITARY SEWER CONNECTION TO NORTH OFF SITE SEWER IMPROVEMENTS WATER MAIN ON BLUE PARKWAY APARTMENT SITE
PHASE 2 SINGLE FAMILY SITE DETENTION IN NE CORNER PUBLIC STREETS IN SINGLE FAMILY AREA UTILITY EXTENSIONS
PHASE 3 55+ SITE HERITAGE STREET TO EAST BOUNDARY PUBLIC STREETS IN 55+ AREA UTILITY EXTENSIONS
PHASE 4 RETAIL SITE

REVISION DATE	DESCRIPTION
2021-08-24	CITY COMMENTS DATED 9-1-2021
2021-09-02	CITY COMMENTS DATED 9-1-2021

DATE PREPARED	PROJ. NUMBER
08/24/2021	20-205

PRELIMINARY PHASING PLAN

SHEET
C4.0

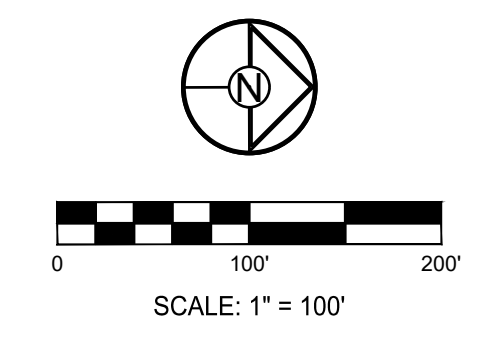
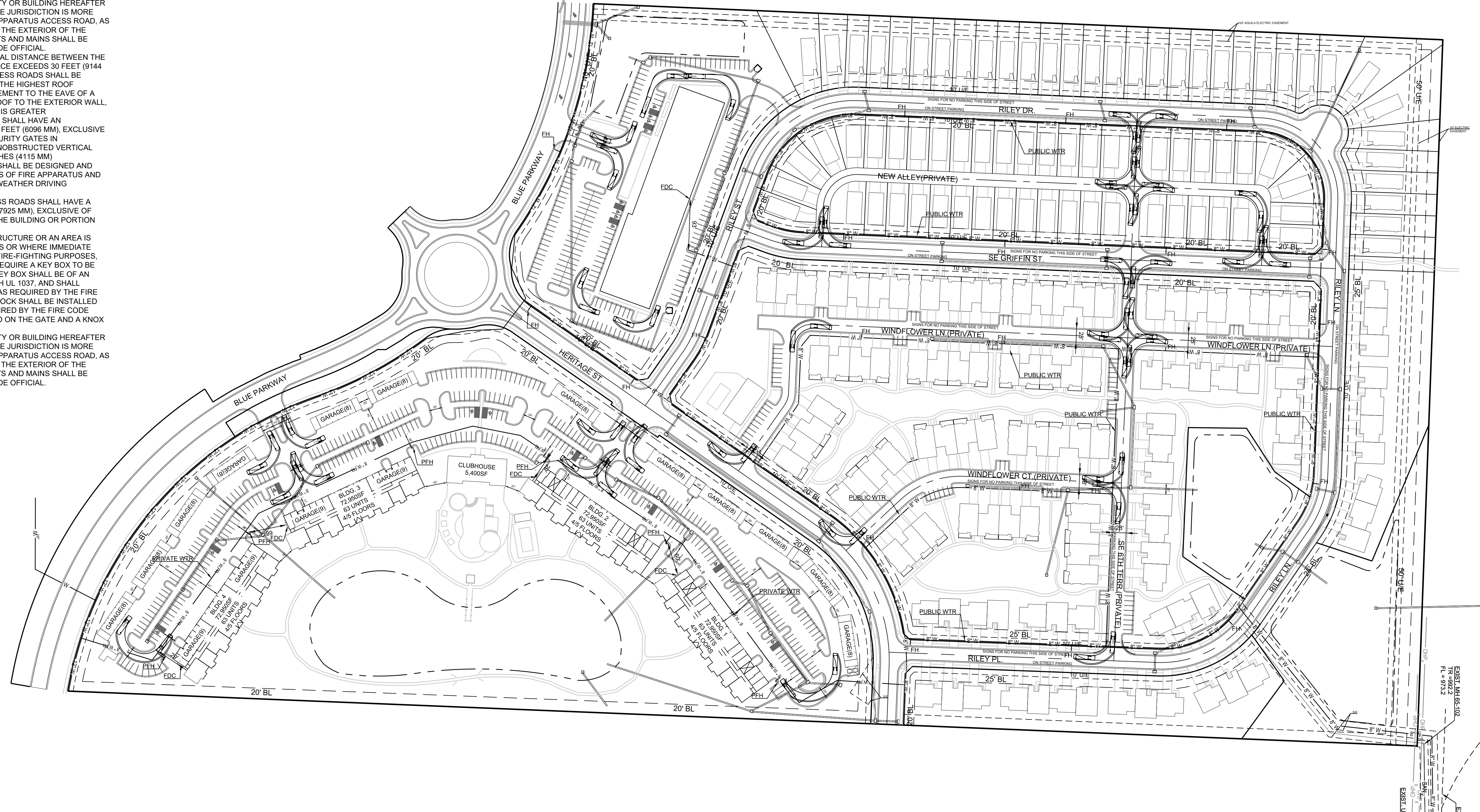
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NOTES:

1. ALL ISSUES PERTAINING TO LIFE SAFETY AND PROPERTY PROTECTION FROM THE HAZARDS OF FIRE, EXPLOSION OR DANGEROUS CONDITIONS IN NEW AND EXISTING BUILDINGS, STRUCTURES AND PREMISES, AND TO THE SAFETY TO FIRE FIGHTERS AND EMERGENCY RESPONDERS DURING EMERGENCY OPERATIONS, SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE CODE AND LOCAL AMENDMENTS.
2. IFC 903.3.7- FIRE DEPARTMENT CONNECTIONS. THE LOCATION OF FIRE DEPARTMENT CONNECTIONS SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. CONNECTIONS SHALL BE A 4 INCH STORZ TYPE FITTING AND LOCATED WITHIN 100 FEET OF A FIRE HYDRANT, OR AS APPROVED BY THE CODE OFFICIAL.
3. IFC 507.5.1- WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.
4. D105.1 WHERE REQUIRED, WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET (9144 MM), APPROVED AERIAL FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.
5. IFC 503.2.1 - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.8, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM).
6. IFC 503.2.3 - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
7. D105.2 WIDTH. AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925 MM), EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.
8. IFC 506.11 - WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. 506.1.1 LOCKS AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. A KNOX PAD LOCK WILL BE PROVIDED ON THE GATE AND A KNOX BOX ON THE BUILDING.
9. IFC 507.5.1 - WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL.

NOTE:

1. ALL FIRE APPARATUS ACCESS ROADS HAVE BEEN DESIGNED FOR A WIDTH OF 26 FEET (SEE SITE PLAN).
2. TURNING RADIUS SHOWN ON THE PLAN IS BASED ON A FIRE ENGINE SJ-40 TEMPLATE.
3. PARKING LOTS HAVE BEEN DESIGNED TO MEET CITY CODE REQUIREMENTS.
4. FIRE HYDRANTS AND FDC HAVE NOT BEEN DETERMINED AT THIS TIME BUT WILL MEET CITY CODES.
5. ALL FIRE ACCESS ROADS WILL BE CAPABLE OF SUPPORTING A 75,000 LB VEHICLE AS REQUIRED BY CODE.



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2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021
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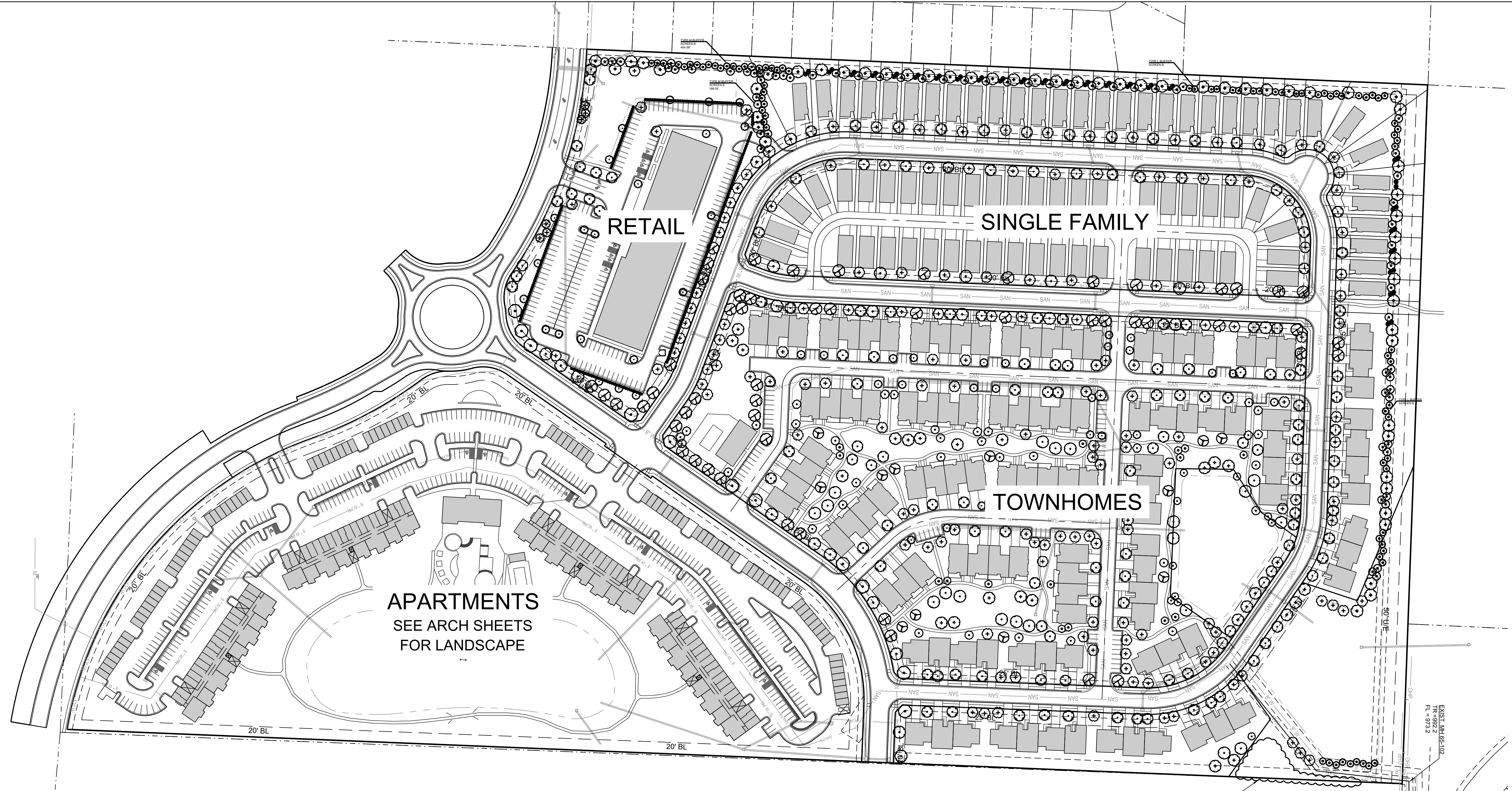
FIRE ACCESS PLAN

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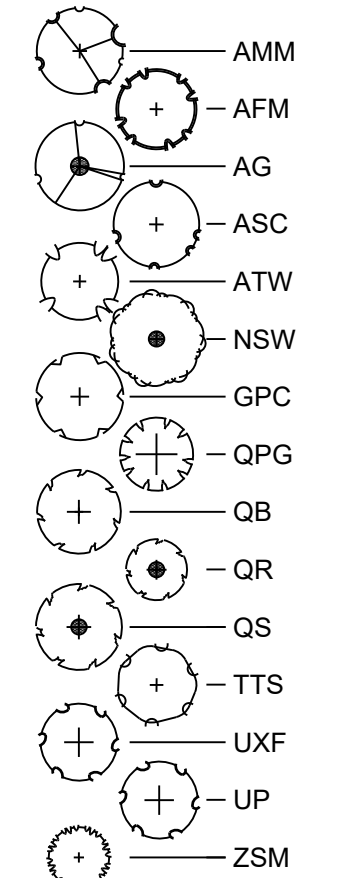
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 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**



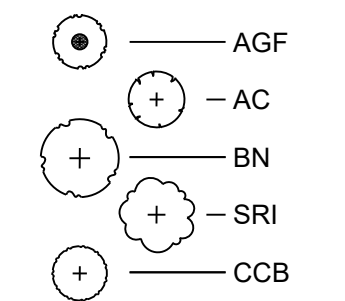
APARTMENTS
 SEE ARCH SHEETS
 FOR LANDSCAPE

SHADE TREES



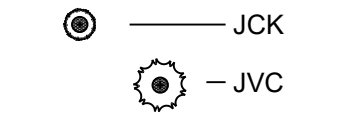
54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.	B&B
3 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.	B&B
12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.	B&B
20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.	B&B
131 EA.	Acer truncatum 'Warrend'	Pacific Sunset Maple	2.5" Cal.	B&B
11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.	B&B
6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.	B&B
25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
51 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
19 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.	B&B
48 EA.	Zelkova serrata 'Musashino'	Musashino Columnnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES



15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
57 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
10 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B

EVERGREEN TREES



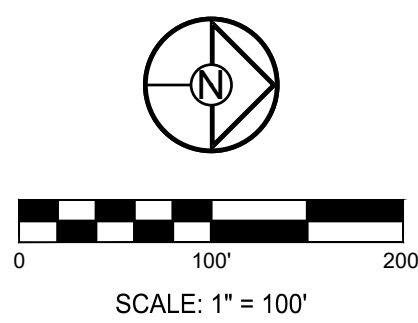
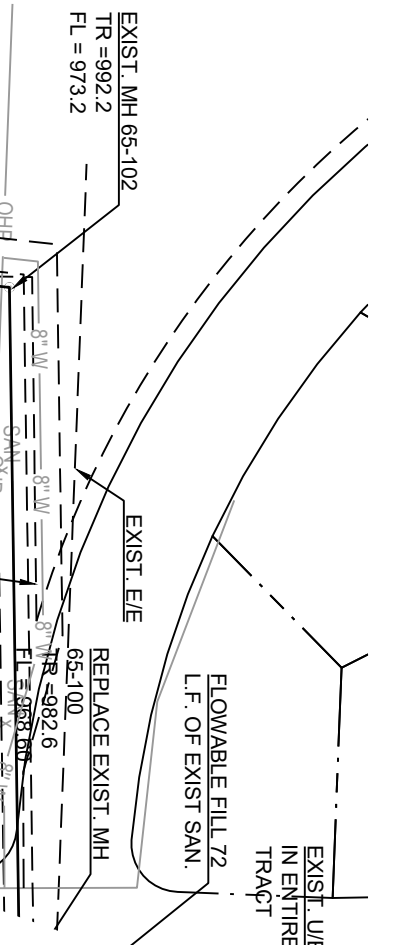
52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
72 EA.	Juniperus virginiana 'Canaerti'	Canaert Juniper	6' ht.	B&B

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS (EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A80.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

MODIFICATIONS REQUESTED:

- REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES FOR THE BUFFER SCREENING AREA.
- REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 6 FEET.
- REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".



REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/24/2021

OVERALL LANDSCAPE PLAN

SHEET
L1.0
 #

PLANT LIST:

Common Name	Botanical Name	Size	Notes
Columnar Trees			
ARM	Armstrong Maple	Acer rubrum 'Armstrong'	2' Cal B&B
CHB	Columnar Hornbeam	Cornus kousa 'Fastidiosa'	2' Cal B&B
COM	Columnar Sugar Maple	Acer saccharum 'Endowment'	2' Cal B&B
HCR	Heritage Oak	Quercus macrocarpa 'Clemens'	2' Cal B&B
RPO	Columnar Royal Prince Oak	Quercus robur 'bicolor Long'	2' Cal B&B
Shade Trees			
ABM	Autumn Blaze Maple	Acer x fernaldii 'Autumn Blaze'	2' Cal B&B
AFM	Autumn Fantasy Maple	Acer x fernaldii 'Autumn Fantasy'	2' Cal B&B
BDY	Common Baldypress	Taxodium distichum	2' Cal B&B
BWM	Brandywine Red Maple	Acer rubrum 'Brandywine'	2' Cal B&B
EQM	Emerald Queen Red Maple	Acer platanoides 'Emerald Queen'	2' Cal B&B
FEM	Frontier Elm	Ulmus carolinensis x parvifolia 'Frontier'	2' Cal B&B
FPM	Fall Fiesta Sugar Maple	Acer saccharum 'Fall Fiesta'	2' Cal B&B
GNK	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold'	2' Cal B&B
HOX	Heritage Oak	Quercus macrocarpa 'Clemens'	2' Cal B&B
LIL	Greenpire Littleleaf Linden	Tilia cordata 'Greenpire'	2' Cal B&B
LPT	London Plane Tree	P. x acerifolia 'Bloodgood'	2' Cal B&B
LSM	Legacy Sugar Maple	Acer saccharum 'Legacy'	2' Cal B&B
NSM	Norwegian Sunset Maple	Acer truncatum x A. platanoides 'Kalthalform'	2' Cal B&B
OGM	October Glory Red Maple	Acer rubrum 'October Glory'	2' Cal B&B
PSM	Pacific Sunset Maple	Acer truncatum x A. platanoides 'Warrenred'	2' Cal B&B
ROK	Red Oak	Quercus rubra	2' Cal B&B
SQM	Sienna Glen Maple	Acer x fernaldii 'Sienna'	2' Cal B&B
SOX	Styline Honeylocust	Gleditsia triacanthos 'Styline'	2' Cal B&B
SOK	Shumard Oak	Quercus shumardii	2' Cal B&B
SMV	Sun Valley Maple	Acer rubrum 'Sun Valley'	2' Cal B&B
SWD	Swamp White Oak	Quercus bicolor	2' Cal B&B
ZEL	Zelkova	Zelkova serrata 'Green Vase'	2' Cal B&B
ZES	Columnar Zelkova	Zelkova serrata 'Muschino'	2' Cal B&B
Evergreen Trees			
BSP	Bakeri Blue Spruce	Picea pungens 'Bakeri'	6' Ht B&B
CNS	Columnar Norway Spruce	Picea abies 'Cupressina'	6' Ht B&B
ERC	Red Cedar	Juniperus virginiana	6' Ht B&B
NWS	Norway Spruce	Picea abies	6' Ht B&B
RSS	Riverside Upright Spruce	Picea omorika 'Riverside'	6' Ht B&B
SBS	Serbian Spruce	Picea omorika	6' Ht B&B
WSS	Welspire Spruce	Picea mariana 'Welspire'	6' Ht B&B
Ornamental Trees			
CRB	Coralburst Crabapple	Malus 'Coralburst'	2' cal B&B
CPP	Crimson Pointe Plum	Prunus x cerasifera 'Crispizam'	2' cal B&B
ERE	Eastern Redbud	Cercis canadensis	2' cal B&B
FLD	Flowering Dogwood	Comus Florida	2' cal B&B
JTL	Japanese Tree Lilac	Syringa reticulata	2' cal B&B
MAO	Emerald Magnolia	Magnolia grandiflora 'DD Blanchard'	2' cal B&B
PFC	Prairiefire Crabapple	Malus x 'Prairiefire'	2' cal B&B
RVB	River Birch	Betula Ngra	2' cal B&B
SBM	Southern Magnolia	Magnolia virginiana x australis	2' cal B&B
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	2' cal B&B
SVB	Serviceberry	Amelanchier canadensis	2' cal B&B
WSD	Whitebud	Cercis canadensis 'White Bud'	2' cal B&B

PRELIMINARY PLANT LIST SUBJECT TO CHANGE.

LANDSCAPE REQUIREMENTS:

STREET FRONTAGE:
(8.790.A.1): 1 TREE PER 30 L.F.

REQUIRED:	PROVIDED:
BLUE PARKWAY = +/- 1,103 L.F. / 30 = 37	37
FUTURE ROAD = +/- 1,143 L.F. / 30 = 39	39

(8.790.A.2): N/A

(8.790.A.3): 1 SHRUB PER 20 L.F.

REQUIRED:	PROVIDED:
BLUE PARKWAY = +/- 1,103 L.F. / 20 = 56	56
FUTURE ROAD = +/- 1,143 L.F. / 20 = 58	58

OPEN YARD AREAS:

REQUIRED:	PROVIDED:
(8.790.B.1): 2 SHRUBS PER 5,000 S.F. OF TOTAL LOT AREA	
TOTAL LOT AREA = +/- 744,806 S.F. / 5,000 = 149 * 2 = 298	298

(8.790.B.2): ACKNOWLEDGED

(8.790.B.3): 1 TREE PER 5,000 S.F. OF TOTAL LOT AREA

REQUIRED:	PROVIDED:
TOTAL LANDSCAPED OPEN SPACE = +/- 445,403 S.F. / 5,000 = 89	89

(8.790.C): SEE ARCHITECTURAL ELEVATIONS FOR ARCHITECTURAL SCREENING. ADDITIONAL LANDSCAPE SCREENING SHOWN BELOW.

LANDSCAPE STRIPS ALONG STREET FRONTAGE:
(8.800.A-C): ACKNOWLEDGED

PARKING LOT AND LOADING AREA LANDSCAPING:

REQUIRED:	PROVIDED:
(8.810.A): TOTAL PARKING AREA = 223,108 S.F. * 5% = 11,156 S.F.	11,156 S.F. MIN.

(8.810.B-D): ACKNOWLEDGED

SCREENING, PARKING LOT:

(8.820.A): ACKNOWLEDGED

(8.820.B): ACKNOWLEDGED

(8.820.C): SCREENING ACHIEVED USING METHOD 4 "COMBINATION". DETACHED GARAGES LINE THE PERIMETER & ARE DESIGNED W/ THE SAME ARCHITECTURAL AESTHETIC AS THE BUILDINGS (C.3 "WALL"), & THE LANDSCAPING PROVIDED UNDER SEC. 8.970.A.3 FOR STREET FRONTAGE PROVIDED WILL BE CONSOLIDATED AT THE GAPS TO MEET THE DENSITY OF C.1 "PLANTED".

(8.820.D): ACKNOWLEDGED

(8.820.E): ACKNOWLEDGED

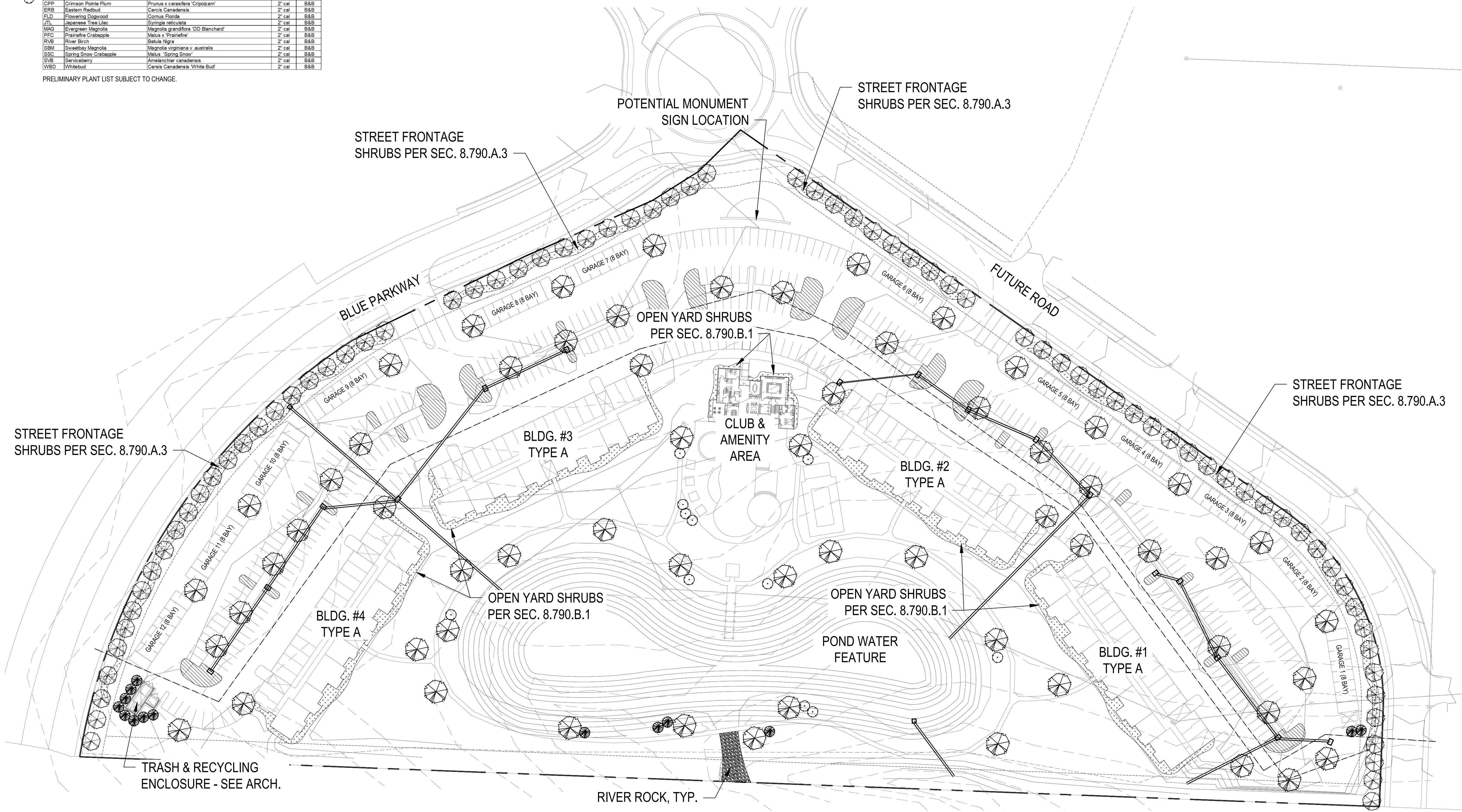
(8.870): N/A

STREET FRONTAGE SHRUB HATCH
OPEN YARD AREA SHRUB HATCH

PARKING AND LOADING AREA SHRUB HATCH

GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
 - CREeping GROUNDcover SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
 - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
 - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES. SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- IN THE EVENT OF WORK IN OR ON THE SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- STRIP TOP SOIL & SAVE FOR PLANTING AREAS. EXCAVATE TO A DEPTH OF 18" FOR ALL PLANTING BEDS AND REPLACE WITH PLANTING SOIL MIX. REFER TO L3.00 FOR PLANTING SOIL MIX.
- ROCK BEDS SHALL BE BUFFALO RIVER ROCK, 3"-8" SIZE, BY HOUSE OF ROCKS OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.



LANDSCAPE PLAN

1" = 60'-0"
0 30' 60' 120'

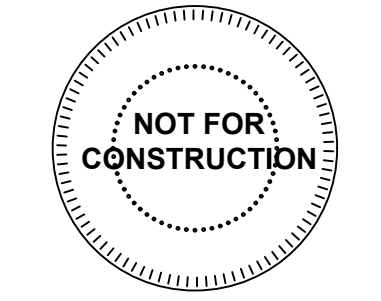
PRELIMINARY DEVELOPMENT PLAN

ARCHITECTURE
LANDSCAPE
ARCHITECTURE
ENERGY SERVICES

NSPJ

ARCHITECTS
3515 W. 75TH ST., SUITE 201
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415
F. 913.831.1563
NSPJARCH.COM
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A NEW DEVELOPMENT FOR:

GRIFFIN RILEY

50 HWY & BLACKWELL
LEE'S SUMMIT, MISSOURI

DRAWING RELEASE LOG

- 07/23/2021 - PDP SUBMITTAL
- 08/24/2021 - PDP ReSUBMITTAL

REVISIONS

DATE
07/23/2021
JOB NO.

DRAWN BY:

SHEET NO.
L1.00



STREET FRONTAGE SHRUBS PER SEC. 8.790.A.3

STREET FRONTAGE SHRUBS PER SEC. 8.790.A.3

POTENTIAL MONUMENT SIGN LOCATION

STREET FRONTAGE SHRUBS PER SEC. 8.790.A.3

BLUE PARKWAY

FUTURE ROAD

OPEN YARD SHRUBS PER SEC. 8.790.B.1

STREET FRONTAGE SHRUBS PER SEC. 8.790.A.3

BLDG. #3 TYPE A

BLDG. #2 TYPE A

BLDG. #4 TYPE A

OPEN YARD SHRUBS PER SEC. 8.790.B.1

OPEN YARD SHRUBS PER SEC. 8.790.B.1

POND WATER FEATURE

BLDG. #1 TYPE A

TRASH & RECYCLING ENCLOSURE - SEE ARCH.

RIVER ROCK, TYP.

RENDERED SITE PLAN

1" = 60'-0" 0 30 60 120'

PRELIMINARY DEVELOPMENT PLAN



REVISIONS

DATE
07/23/2021
JOB NO.

DRAWN BY:

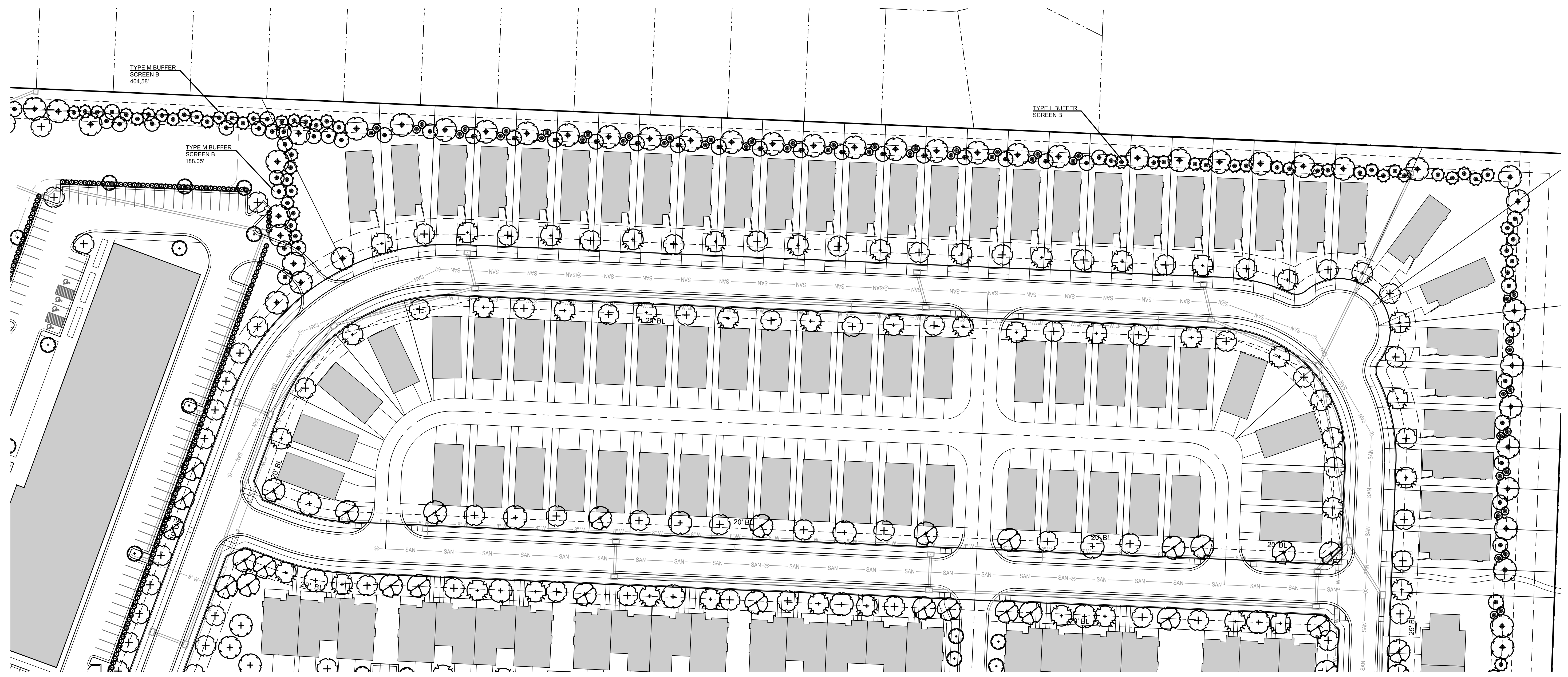
SHEET NO.

SP1.00

**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021.09.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021

**SINGLE FAMILY
 LANDSCAPE
 PLAN**



LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

NOT REQUIRED PER SECTION Sec. 8.720 STREET FRONTAGE LANDSCAPE PROVIDED	1 TREE PER LOT
BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890&Sec. 8.900) (WEST BOUNDARY)	
ADJACENT LOT SIZE	8,475 S.F.
PROPOSED LOT SIZE ON PERIMETER	5,400 S.F.
DIFFERENCE	1.57
BUFFER TYPE REQUIRED BY CODE	L (LOW IMPACT)
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	780'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.)(15,600 S.F./1,000)	16 TREES
SHADE TREES PROVIDED	16 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.)(15,600 S.F./500)	31 TREES
ORNAMENTAL TREES PROVIDED	22 TREES @ EVERGREEN INSTEAD OF ORN
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.)(15,600 S.F./500)	31 TREES
EVERGREEN TREES PROVIDED	40 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.)(15,600 S.F./200)	78 SHRUBS
SHRUBS PROVIDED	78 SHRUBS

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS/EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALIPIPED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SIX GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

- MODIFICATIONS REQUESTED:
- REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES FOR THE BUFFER SCREENING AREA.
 - REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 6 FEET.
 - REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2".

SHADE TREES

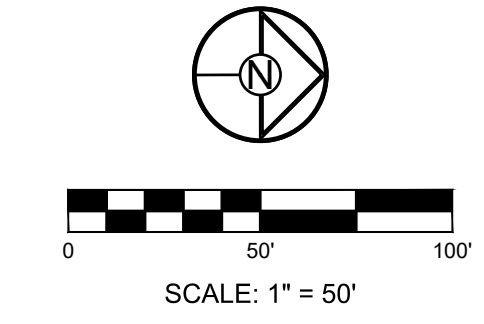
	AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.	B&B
	AFM	3 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.	B&B
	AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.	B&B
	ASC	20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.	B&B
	ATW	131 EA.	Acer truncatum 'Warrend'	Pacific Sunset Maple	2.5" Cal.	B&B
	NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
	GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.	B&B
	OPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.	B&B
	QB	25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
	OR	51 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
	QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
	TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
	UXF	138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
	UP	19 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.	B&B
	ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES

	AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
	AC	57 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
	BN	10 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
	SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
	CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B

EVERGREEN TREES

	JCK	52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
	JVC	72 EA.	Juniperus virginiana 'Canaerti'	Canaert Juniper	6' ht.	B&B



**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021

DRAWN BY: SCH	CHECKED BY: SCH	DATE PREPARED: 20-205
55+ TOWNHOMES LANDSCAPE PLAN		
SHEET		
L1.2		
#		



LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE (Sec. 8.790 A)

COLLECTOR PUBLIC TREES REQUIRED (1 PER 30') (662.12/30')	22 TREES
COLLECTOR PUBLIC TREES PROVIDED	22 TREES
COLLECTOR PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (662.12/20')	33 SHRUBS
COLLECTOR PUBLIC STREET SHRUBS PROVIDED	33 SHRUBS (NOT SHOWN)
RESIDENTIAL PUBLIC STREET TREES REQUIRED (1 PER 30') (3,756.67/30')	125 TREES
RESIDENTIAL PUBLIC STREET TREES PROVIDED	125 TREES
RESIDENTIAL PUBLIC STREET SHRUBS REQUIRED (1 PER 20') (3,756.67/20')	188 SHRUBS
RESIDENTIAL PUBLIC STREET SHRUBS PROVIDED	188 SHRUBS (NOT SHOWN)
RESIDENTIAL PRIVATE STREET TREES REQUIRED (1 PER 30') (4,565.43/30')	152 TREES
RESIDENTIAL PRIVATE STREET TREES PROVIDED	106 TREES
RESIDENTIAL PRIVATE STREET SHRUBS REQUIRED (1 PER 20') (4,565.43/20')	228 SHRUBS
RESIDENTIAL PRIVATE STREET SHRUBS PROVIDED	228 SHRUBS (NOT SHOWN)

OPEN YARD/SITE LANDSCAPE REQUIRED (Sec. 8.790 B)

LOT AREA	939,885.56 S.F.
BUILDING AREA	233,899.93 S.F.
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (705,985.63/5000)	141 TREES
TREES PROVIDED	188 TREES (12 ADD FOR PRIVATE STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (705,985.63/5000X2)	282 SHRUBS
SHRUBS PROVIDED	282 SHRUBS (INCL. PARKING LOT SCREEN) (NOT SHOWN)

PARKING LOT LANDSCAPE (Sec. 8.810)

LANDSCAPE AREA REQUIRED (5% OF PARKING AREA) (X.05)	N/A
LANDSCAPE AREA PROVIDED	N/A
TREES REQUIRED	1 PER ISLAND
TREES PROVIDED	1 ON EACH END OF PARKING ROW
SCREENING REQUIRED	(2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET)
SCREENING PROVIDED	AS REQUIRED BY CODE

MODIFICATION REQUESTED SINCE USES ARE WITHIN THE SAME PROJECT

SHADE TREES

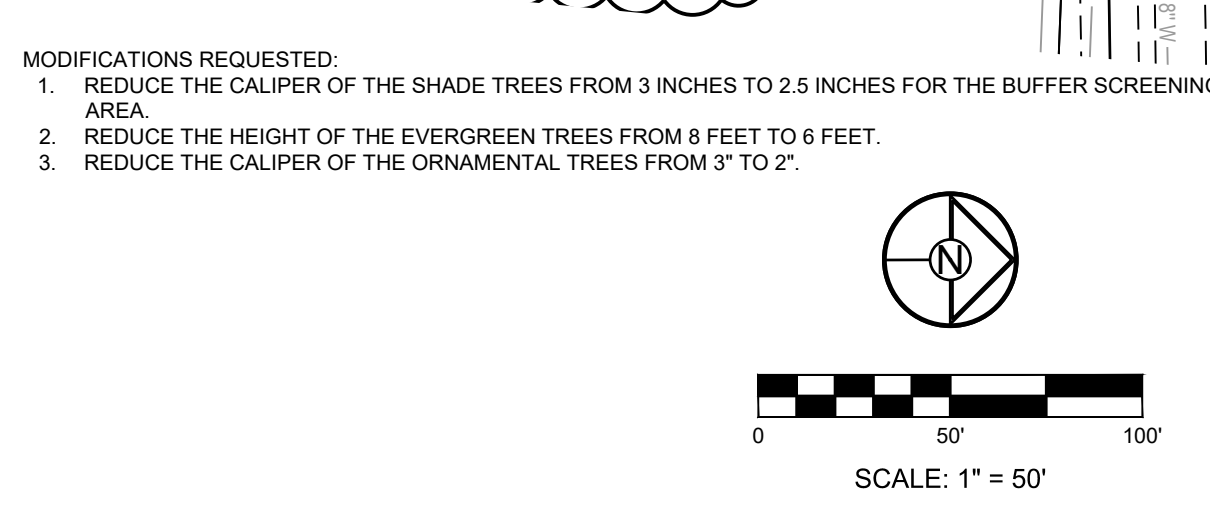
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ATW	131 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple	2.5" Cal.	B&B
NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.	B&B
QPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.	B&B
QB	25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
QR	51 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
UXF	138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
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ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

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SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
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JCK	52 EA.	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper	6' ht.	B&B
JVC	72 EA.	Juniperus virginiana 'Canaertii'	Canaertii Juniper	6' ht.	B&B

NOTES:

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- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS (EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL, AND SOON THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
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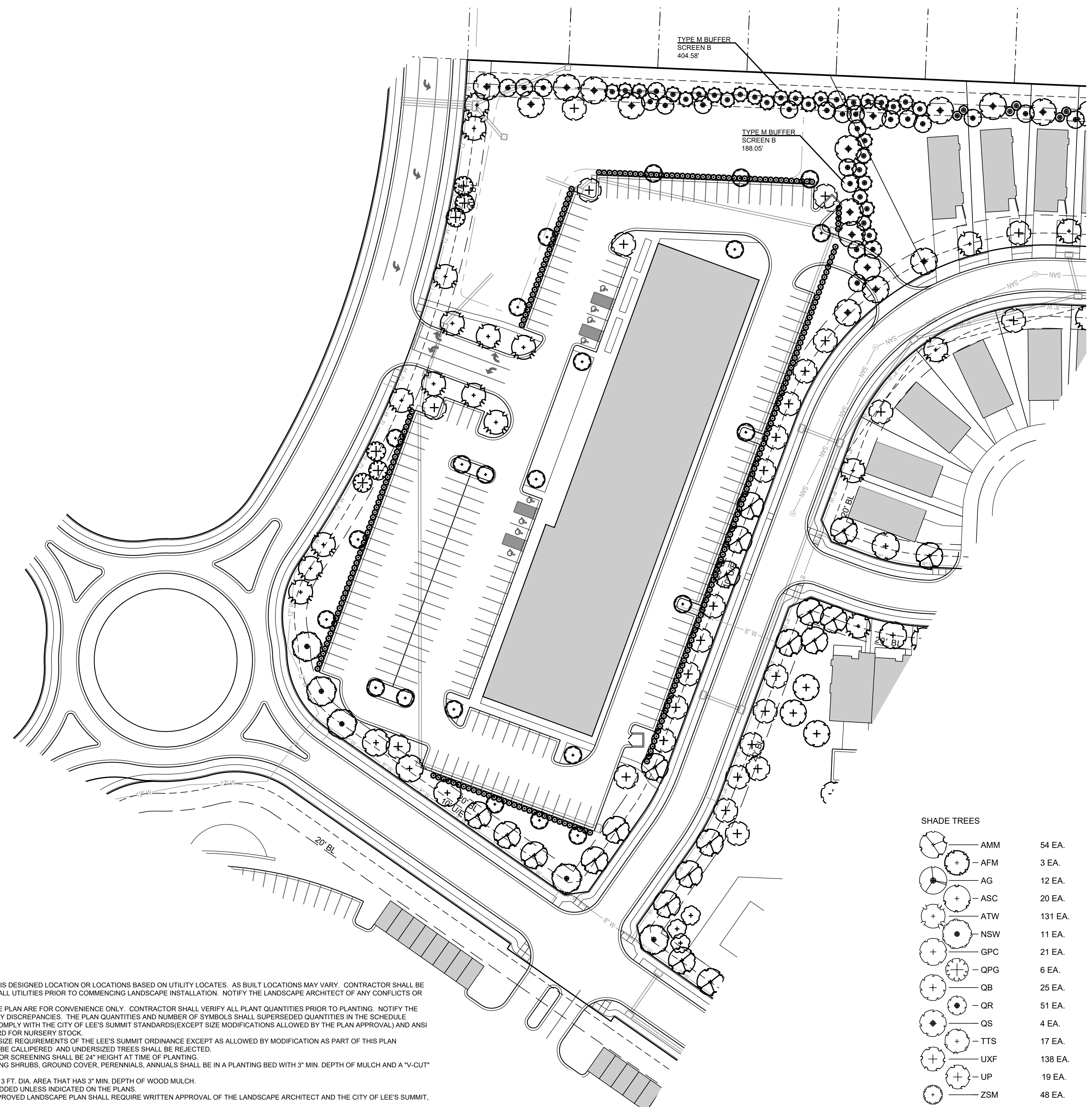


**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

DRAWN BY:	SCH	CHECKED BY:	SCH	DATE PREPARED:	PROJ. NUMBER:	PROJECT NO.	REVISION DATE	DESCRIPTION
							DATE	DESCRIPTION 1

LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE (Sec. 8.790 A)	TREES PROVIDED
BLUE PARKWAY TREES REQUIRED (1 PER 30')(481.57/30')	16 TREES
BLUE PARKWAY TREES PROVIDED	16 TREES
BLUE PARKWAY SHRUBS REQUIRED (1 PER 20')(481.57/20')	24 SHRUBS
BLUE PARKWAY SHRUBS PROVIDED	24 SHRUBS (PARKING LOT SCREEN)
COLLECTOR STREET TREES REQUIRED (1 PER 30')(267.68/30')	9 TREES
COLLECTOR STREET TREES PROVIDED	9 TREES
COLLECTOR STREET SHRUBS REQUIRED (1 PER 20')(267.68/20')	14 SHRUBS
COLLECTOR STREET SHRUBS PROVIDED	14 SHRUBS (PARKING LOT SCREEN)
RESIDENTIAL STREET TREES REQUIRED (1 PER 30')(573.03/30')	19 TREES
RESIDENTIAL STREET TREES PROVIDED	19 TREES
RESIDENTIAL STREET SHRUBS REQUIRED (1 PER 20')(573.03/20')	29 SHRUBS
RESIDENTIAL STREET SHRUBS PROVIDED	29 SHRUBS (PARKING LOT SCREEN)
OPEN YARD/SITE LANDSCAPE REQUIRED (Sec. 8.790 B)	
TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (180,515/5,000)	36 TREES
TREES PROVIDED	36 TREES (IN ADDITION TO STREET TREES)
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL. BLDG.) (180,515/5,000X2)	72 SHRUBS
SHRUBS PROVIDED	72 SHRUBS (INCL. PARKING LOT SCREEN)
PARKING LOT LANDSCAPE (Sec. 8.810)	
LANDSCAPE AREA REQUIRED PER CODE	5% OF PARKING AREA
PARKING LOT LANDSCAPE AREA REQUIRED (86,490.16X0.05)	4,324.51 S.F.
PARKING LOT LANDSCAPE AREA PROVIDED	7,053.59 S.F.
TREES REQUIRED (1 PER ISLAND)	14 TREES
TREES PROVIDED	14 TREES
SCREENING REQUIRED PER CODE	2.5 FT. HT. ALONG ENTIRE FRONTAGE ADJ. TO STREET
SCREENING PROVIDED	SHRUBS TO MEET CODE
BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890 & Sec. 8.900) (WEST BOUNDARY)	
PROPOSED USE	CP-1
ADJACENT USE	R-1
BUFFER TYPE REQUIRED BY CODE	M
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	404.58'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.) (8,091.6 S.F./1,000)	8 TREES
SHADE TREES PROVIDED	8 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./500)	16 TREES
ORNAMENTAL TREES PROVIDED	16 TREES
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./500)	16 TREES
EVERGREEN TREES PROVIDED	16 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.) (8,091.6 S.F./200)	41 SHRUBS
SHRUBS PROVIDED	41 SHRUBS
BUFFER SCREENING & LANDSCAPE (Sec. 8.890 Table 8.890 & Sec. 8.900) (NORTH BOUNDARY)	
PROPOSED USE	CP-1
ADJACENT USE	R-1
BUFFER TYPE REQUIRED BY CODE	M
SCREENING TYPE PROPOSED	B
BUFFER LENGTH	188.05'
SCREEN B SHADE TREES REQUIRED (1 PER 1,000 S.F.) (3,761 S.F./1,000)	4 TREES
SHADE TREES PROVIDED	4 TREES
SCREEN B ORNAMENTAL TREES REQUIRED (1 PER 500 S.F.) (3,761 S.F./500)	8 TREES
ORNAMENTAL TREES PROVIDED	8 TREES
SCREEN B EVERGREEN TREES REQUIRED (1 PER 500 S.F.) (3,761 S.F./500)	8 TREES
EVERGREEN TREES PROVIDED	8 TREES
SCREEN B SHRUBS REQUIRED (1 PER 500 S.F.) (3,761 S.F./200)	19 SHRUBS
SHRUBS PROVIDED	19 SHRUBS



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MODIFICATIONS REQUESTED:

- REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES FOR THE BUFFER SCREENING AREA.
- REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 6 FEET TO 5 FEET
- REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3" TO 2."

SHADE TREES

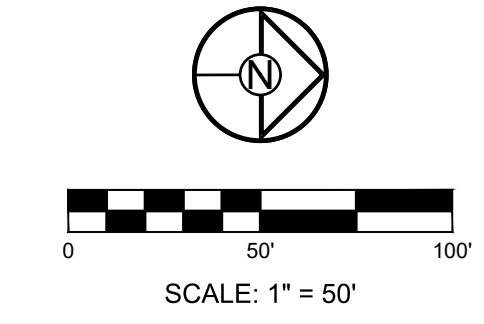
AMM	54 EA.	Acer miyabei 'Morton'	State Street Miyabe Maple	2.5" Cal.	B&B
AFM	3 EA.	Acer x freemanii 'Marmo'	Marmo Maple	2.5" Cal.	B&B
AG	12 EA.	Acer griseum	Paperbark Maple	2.5" Cal.	B&B
ASC	20 EA.	Acer saccharum 'Autumn Splendor'	Marmo Maple	2.5" Cal.	B&B
ATW	131 EA.	Acer truncatum 'Warrenrd'	Pacific Sunset Maple	2.5" Cal.	B&B
NSW	11 EA.	Nyssa sylvatica 'Wildfire'	Shadmaster Honeylocust	2.5" Cal.	B&B
GPC	21 EA.	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" Cal.	B&B
QPG	6 EA.	Quercus palustris 'Green Pillar'	Green Pillar Oak	2.5" Cal.	B&B
QB	25 EA.	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B
QR	51 EA.	Quercus rubra	Red Oak	2.5" Cal.	B&B
QS	4 EA.	Quercus shumardii	Shumard Oak	2.5" Cal.	B&B
TTS	17 EA.	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	B&B
UXF	138 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
UP	19 EA.	Ulmus parvifolia	Lacebark Elm	2.5" Cal.	B&B
ZSM	48 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES

AGF	15 EA.	Acer ginnala 'Flame'	Flame Amur Maple	2" Cal. & 8' ht.	B&B
AC	57 EA.	Amelanchier canadensis	Shadblow Serviceberry	2" Cal. & 8' ht.	B&B
BN	10 EA.	Betula nigra	River Birch	2" Cal. & 8' ht.	B&B
SRI	20 EA.	Syringa reticulata 'Ivory Silk'	Ivory Silk Lilac	2" Cal. & 8' ht.	B&B
CCB	14 EA.	Cercis canadensis 'Burgandy Hart'	Burgandy Hart Redbud	2" Cal. & 8' ht.	B&B

EVERGREEN TREES

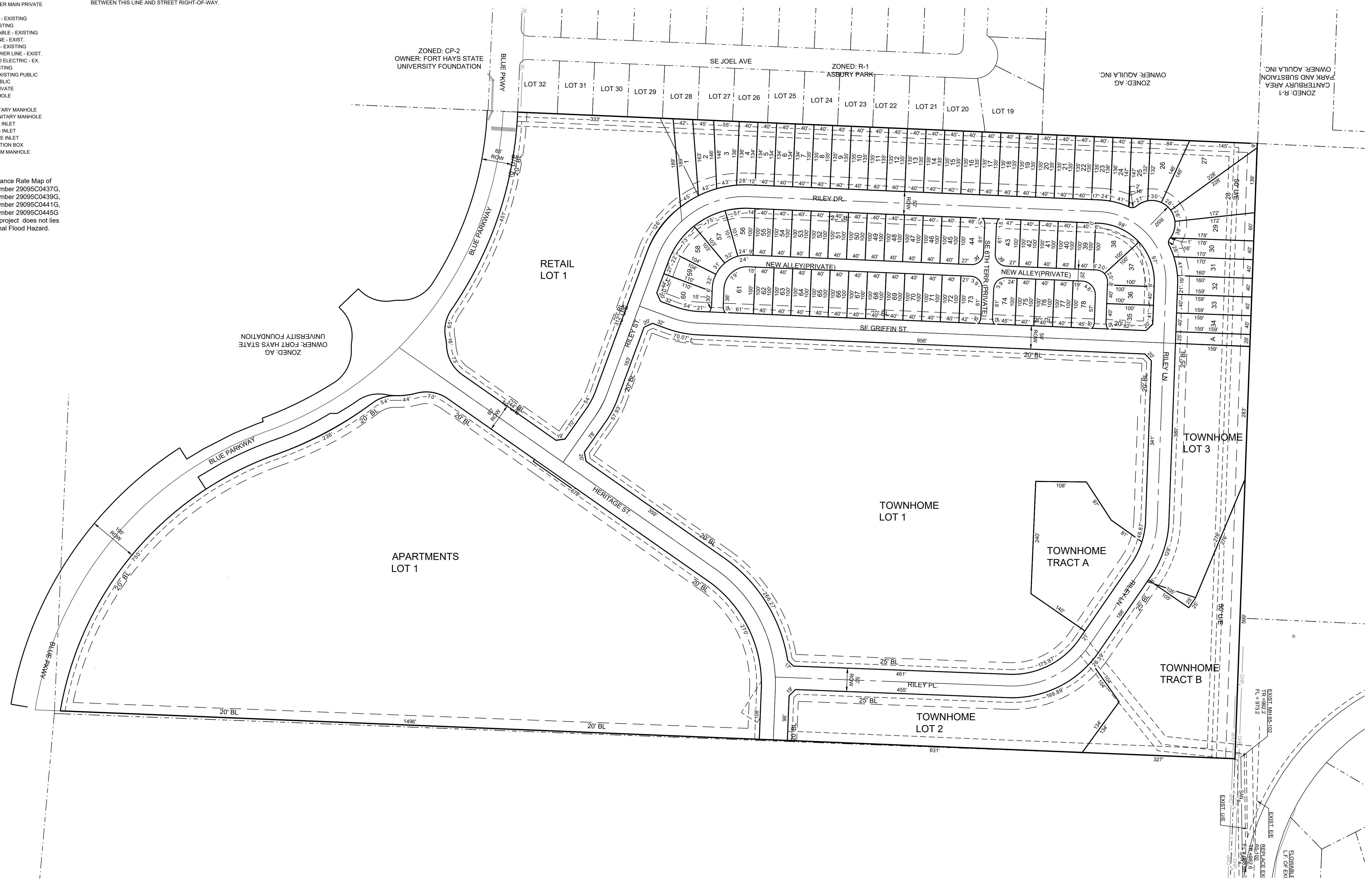
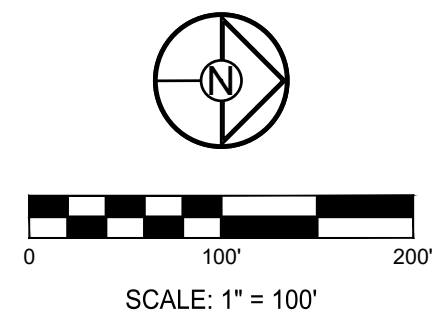
JCK	52 EA.	Juniperus chinensis 'Keteleerii'	Keteleeri Juniper	6' ht.	B&B
JVC	72 EA.	Juniperus virginiana 'Canaertii'	Canaert Juniper	6' ht.	B&B



- LEGEND:**
- BL, B.L. or S.B. - BUILDING LINE
 - D/E - DRAINAGE EASEMENT
 - G/E - GAS LINE EASEMENT
 - P/L - PROPERTY LINE
 - ROW or R.W. - RIGHT-OF-WAY
 - SE - SANITARY SEWER EASEMENT
 - SW - SIDEWALK
 - UE - UTILITY EASEMENT
 - WSE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
 - CG - CURB & GUTTER
 - CG - CURB & GUTTER - EXISTING
 - EL - EXISTING LOT AND RW LINES
 - EL - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - ROW - RIGHT-OF-WAY
 - SSM - SANITARY SEWER MAIN - EXIST.
 - SSM - SANITARY SEWER MAIN PUBLIC
 - SSM - SANITARY SEWER MAIN PRIVATE
 - SSM - STORM SEWER
 - SSM - STORM SEWER - EXISTING
 - SSM - CABLE TV - EXISTING
 - SSM - FIBER OPTIC CABLE - EXISTING
 - SSM - TELEPHONE LINE - EXIST.
 - SSM - ELECTRIC LINE - EXISTING
 - SSM - OVERHEAD POWER LINE - EXIST.
 - SSM - UNDERGROUND ELECTRIC - EX.
 - SSM - GAS LINE - EXISTING
 - SSM - WATERLINE - EXISTING PUBLIC
 - SSM - WATERLINE PUBLIC
 - SSM - WATERLINE PRIVATE
 - SSM - EXISTING MANHOLE
 - SSM - CLEANOUT
 - SSM - EXISTING SANITARY MANHOLE
 - SSM - PROPOSED SANITARY MANHOLE
 - SSM - EXISTING AREA INLET
 - SSM - EXISTING CURB INLET
 - SSM - EXISTING GRATE INLET
 - SSM - EXISTING JUNCTION BOX
 - SSM - EXISTING STORM MANHOLE

FLOOD NOTE:
 According to the Flood Insurance Rate Map of FEMA panel 437 for map number 29095C0437G, FEMA panel 439 for map number 29095C0439G, FEMA panel 441 for map number 29095C0441G, FEMA panel 445 for map number 29095C0445G dated January 20, 2017 the project does not lie within Zone X, Area of Minimal Flood Hazard.

- NOTES:**
1. BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM ALTA SURVEY PREPARED BY OLSSON DATED 2/21/2019 PROVIDED BY AND USED WITH APPROVAL OF THE OWNER.
 2. TOPOGRAPHY FROM CITY OF LEE'S SUMMIT GIS.
 3. AN EASEMENT OR LICENSE WILL GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI TO LOCATE, CONSTRUCT AND MAINTAIN OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF SIDEWALKS, POLES, WIRES, ANCHORS, CONDUITS AND OR STRUCTURES FOR, PEDESTRIAN ACCESS, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED OR DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENT" OR "UE" OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO PUBLIC USE.
 4. THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT. BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.



SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14920 West 107th Street • Lenexa, Kansas 66215
 (913) 492-5158 • Fax: (913) 492-8400
 WWW.SCHLAGELASSOCIATES.COM
 Missouri State Certificate of Authority
 #E2002003600-F #LAC2001000237 #S2002008695-F

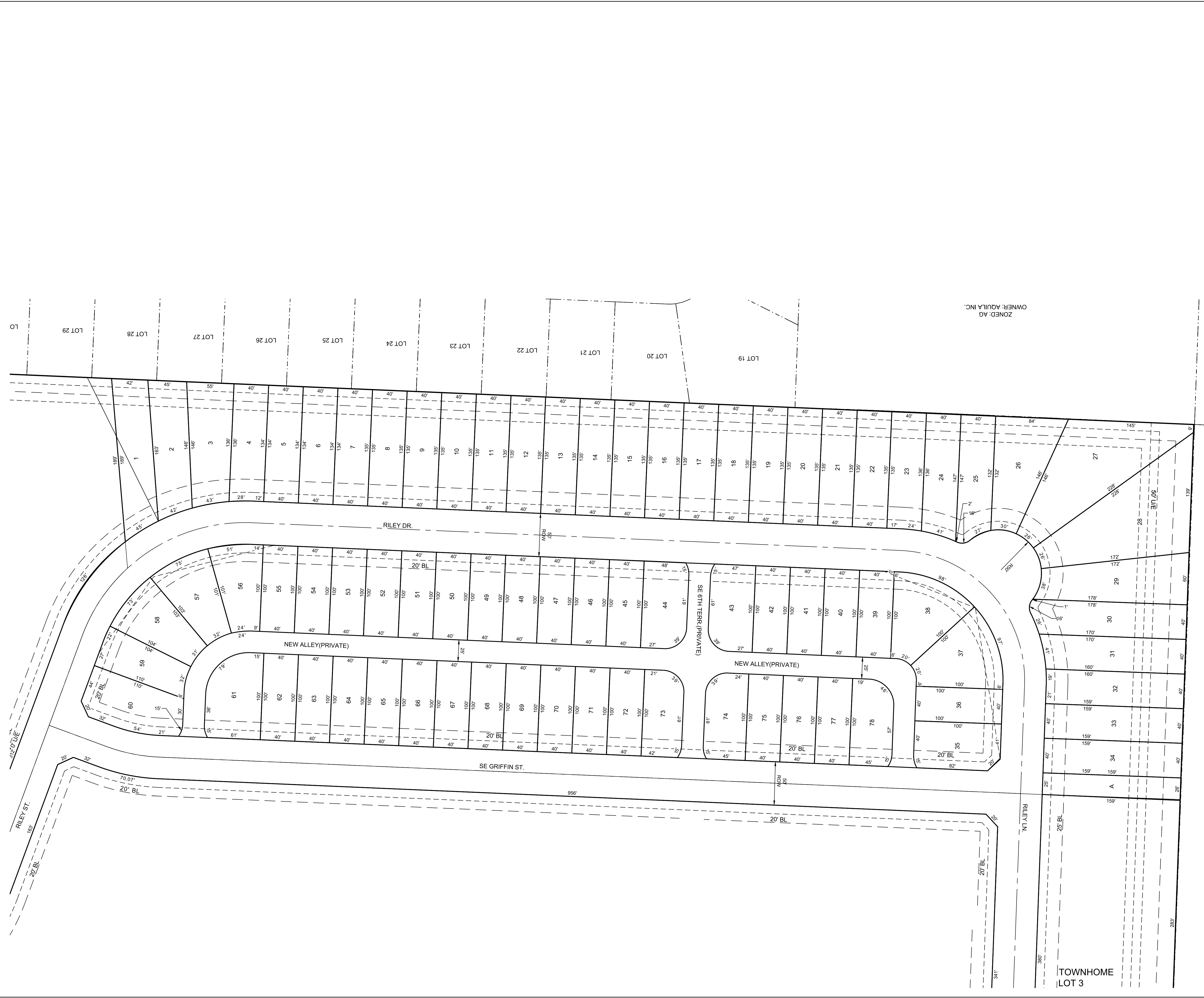
**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
 LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.09.02	CITY COMMENTS DATED 8/1/2021
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2021.09.02	CITY COMMENTS DATED 8/1/2021
2021.09.02	CITY COMMENTS DATED 8/1/2021

OVERALL PRELIMINARY PLAT

SHEET
V1.0
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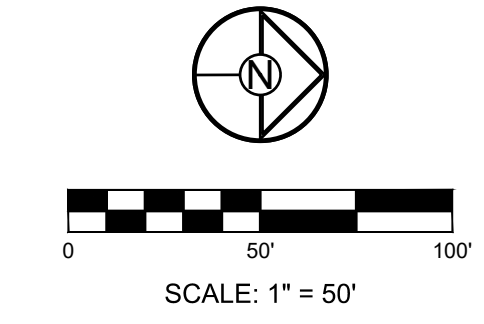
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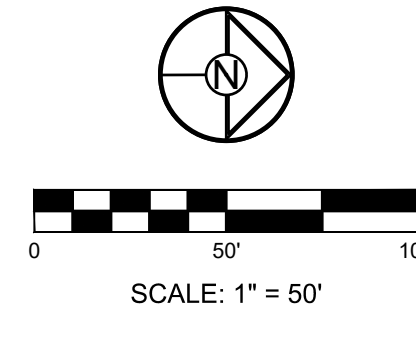
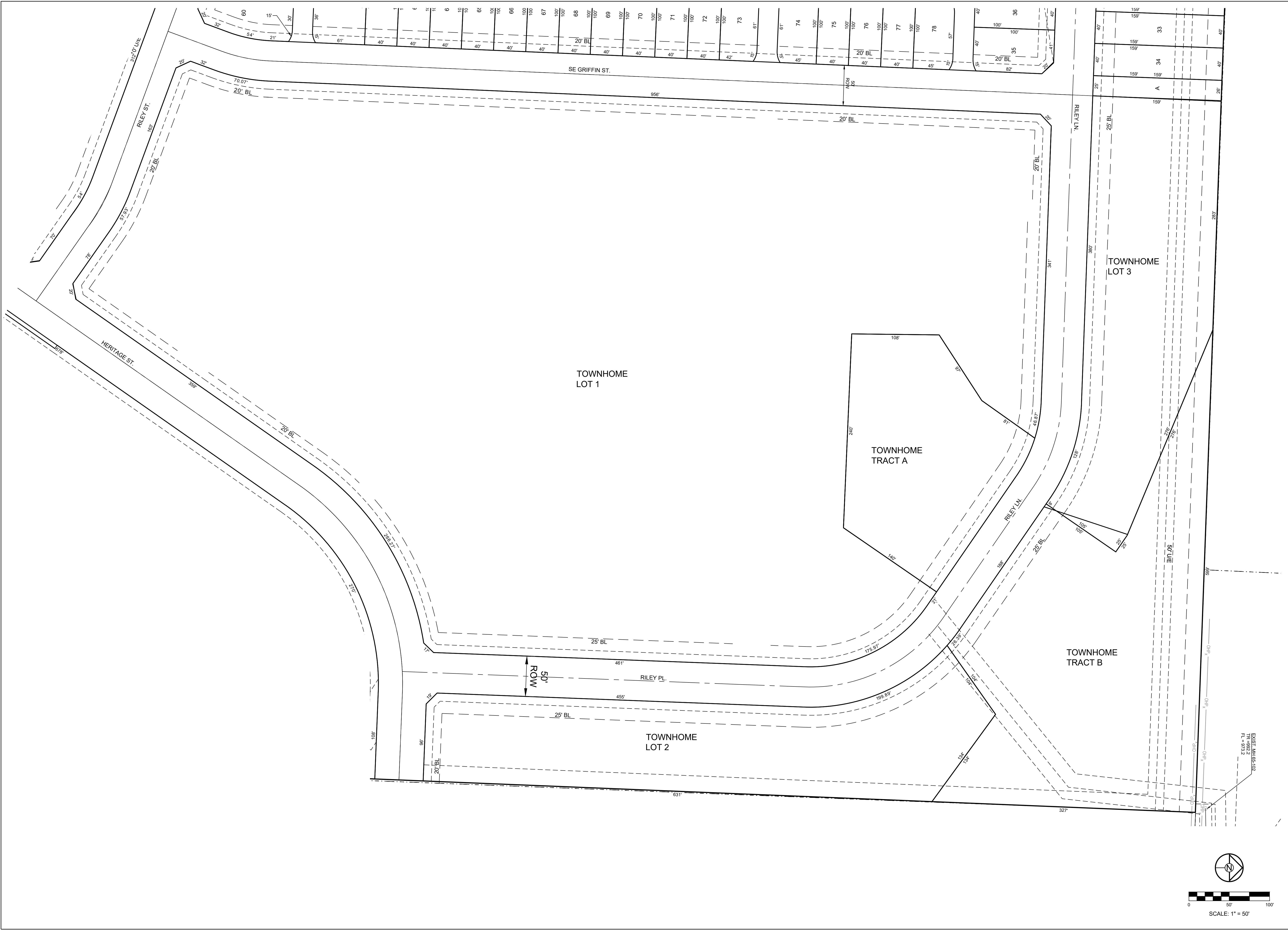
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DATE PREPARED: A
PROJ. NUMBER: 20-205

SINGLE FAMILY PRELIMINARY PLAT

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V1.1
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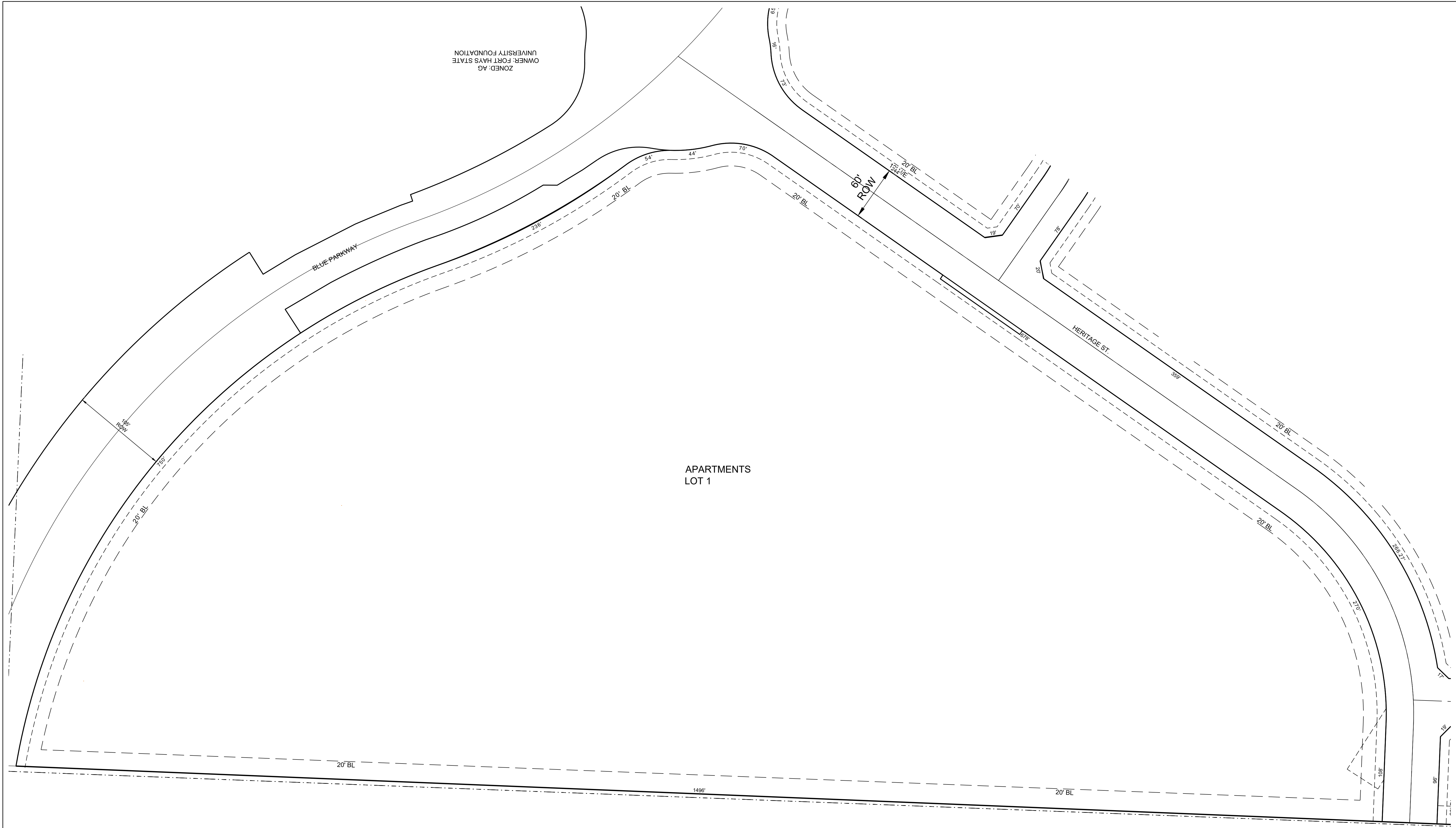
TOWNHOME LOT 3



A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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DRAWN BY:	SCH
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DATE PREPARED:	
PROJ. NUMBER:	20-205

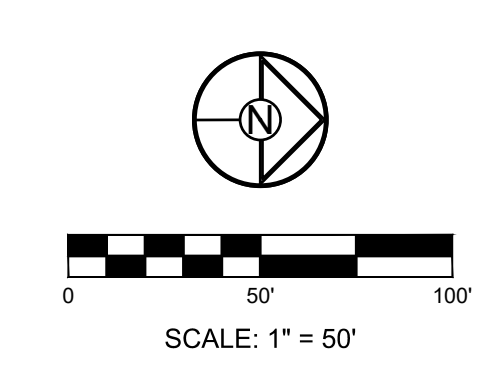


APARTMENTS
LOT 1

BLUE PARKWAY

HERITAGE ST.

ZONED: AG
OWNER: FORT HAYS STATE
UNIVERSITY FOUNDATION



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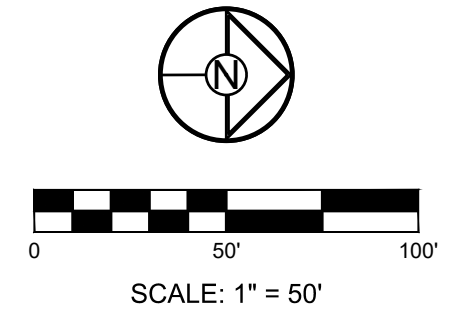
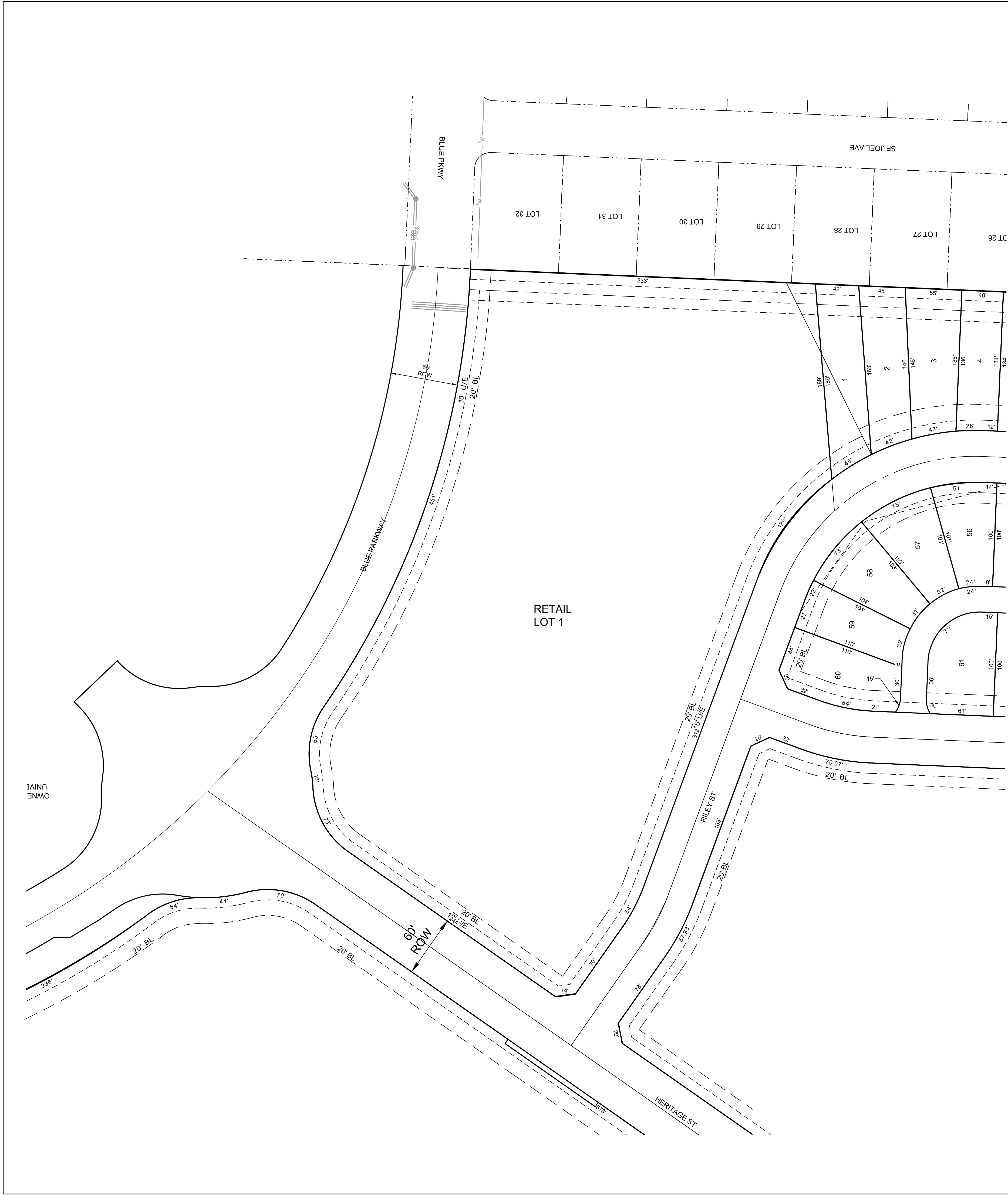
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DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	
PROJ. NUMBER:	20-205

APARTMENT
PRELIMINARY
PLAT

SHEET

V1.3
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**A NEW GRIFFIN RILEY DEVELOPMENT
 PRELIMINARY DEVELOPMENT PLAN
 BLUE PARKWAY AND BLACKWELL ROAD
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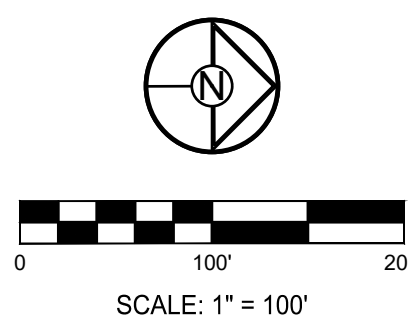
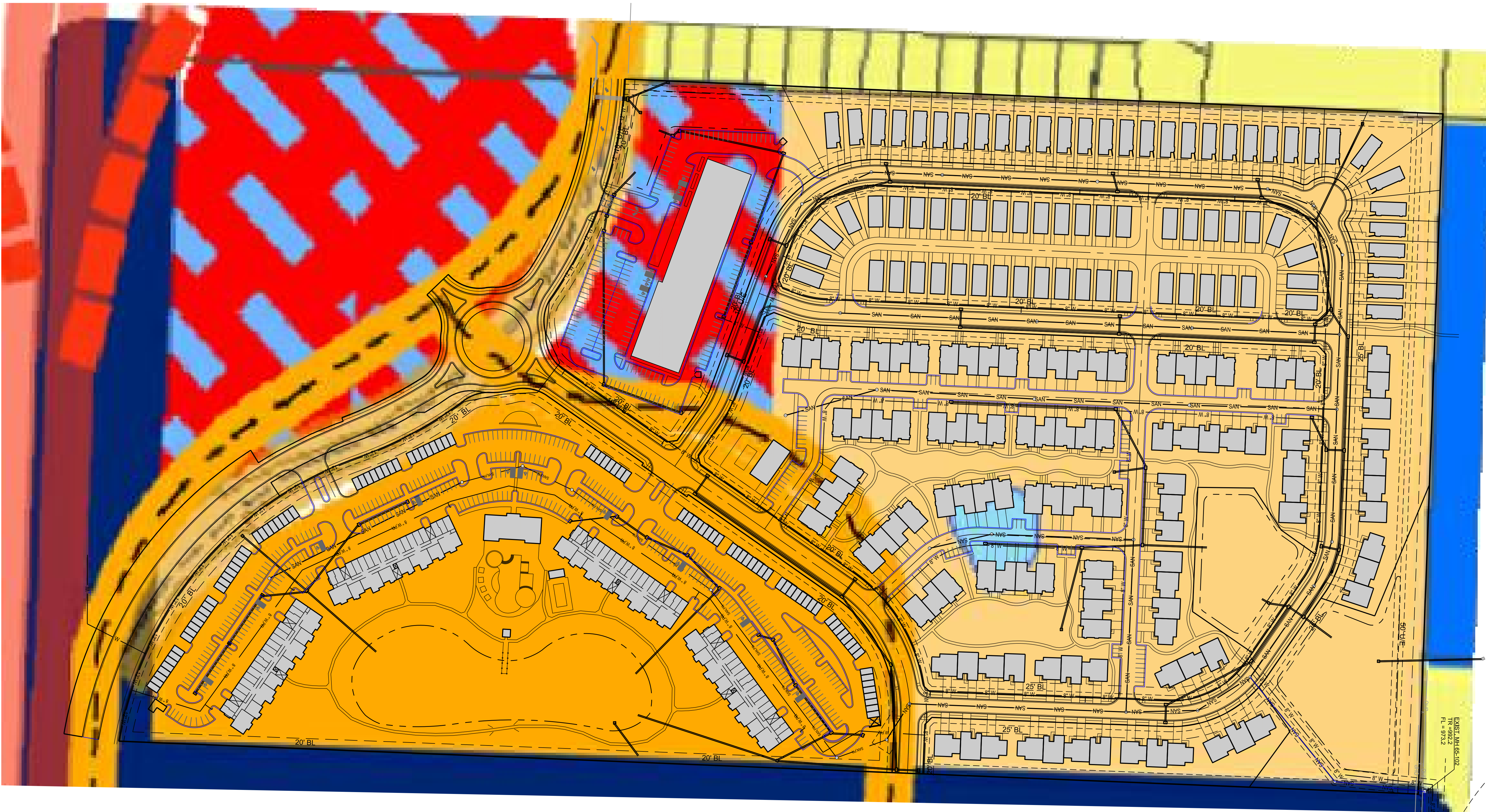
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3	
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DRAWN BY: SCH
 CHECKED BY: SCH
 DATE PREPARED:
 PROJ. NUMBER: 20-205

**RETAIL
 PRELIMINARY
 PLAT**

SHEET
V1.4
 #

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Legend	
LAND USE	Thoroughfare Master Plan - Future Impr Classification
Conservation Area	F_MnDOT
Low-density Residential	F_Major Arterial
Master-Planned Development-3rd Tier	F_Minor Arterial
Medium Density Residential	F_Corn or Ind Collector
Medium/High-density Residential	F_Residential Collector
Mix Use-Office/Shop/Village	F_Local
Residential Mixed-density	E_Highway Freeway or Interstate
Planned Mixed Use (Restricted, O/RES)	E_Major Arterial
Planned Mixed Use (Restricted, R/O/RES)	E_Minor Arterial
Office	E_Commercial or Industrial Collector
Long-Term Reserve	E_Residential Collector
Commercial-dominant Mix Use	E_Local
Commercial (Office/Retail)	E_Parks and Rec/Jackson Co Parks
Master-Planned Development-2nd Tier	City Limit
Retail	COOArea
Retail Commercial-Regional	Parcels
Long-term Retail Opportunity	Lakes
Business Park	Potential TOD Locations
Public/Semi-public	ActivityCenters
Industrial	
Old Town Master Development Plan	
Special Development District	
Park, Golf Course, Nature Pres	
Planned Mixed Use	
Runway Protection Zone	
Airport	

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021/08/24	CITY COMMENTS DATED 9-1-2021
2021/09/02	CITY COMMENTS DATED 9-1-2021

DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:
SCH	SCH		20-295

COMPREHENSIVE
PLAN OVERLAY

SHEET
Z1.0

LEGAL DESCRIPTION PROVIDED BY OWNER

TRACT 1:
THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 47, RANGE 31, JACKSON COUNTY, MISSOURI,
EXCEPT THAT
PART IN ROADS.

FURTHER EXCEPTING THE FOLLOWING:

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE QUIT CLAIM DEED RECORDED
08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,
AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO YVONNE R. ROBBINS, TRUSTEE OF THE YVONNE R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER
27, 1995, AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO W. R. ROBBINS, TRUSTEE OF THE W. R. ROBBINS REVOCABLE LIVING TRUST DATED OCTOBER 27, 1995,
AS RESTATED AS OF JULY 22, 2005, IN WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064878.

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AS RESTATED AS OF JULY 22, 2005, BY THE WARRANTY DEED RECORDED 08/06/2014 AS DOCUMENT NO. 2014E0064878.

THAT PART CONVEYED TO MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION BY THE WARRANTY DEED RECORDED
08/14/2014
AS DOCUMENT NO. 2014E0067093 AND AS DOCUMENT NO. 2014E0067095.

THAT PART CONVEYED TO THE CITY OF LEE'S SUMMIT BY THE WARRANTY DEED RECORDED 08/14/2014 AS DOCUMENT NO.
2014E0067094 AND AS DOCUMENT NO. 014E0067094.

AND FURTHER EXCEPT

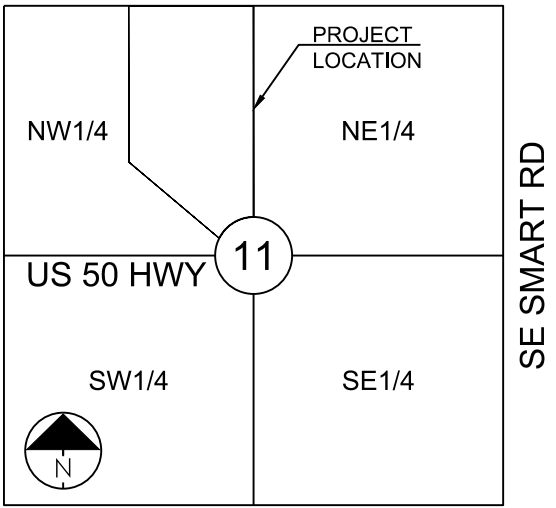
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
NORTHEAST CORNER OF THE SAID NORTHWEST QUARTER; THENCE SOUTH 02°19'49" WEST, ON THE EAST LINE OF THE SAID
NORTHWEST QUARTER 234.28 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTH OUTER ROAD OF EXISTING
EAST BOUND ROUTE 50 AS DESCRIBED IN GENERAL WARRANTY DEED, INSTRUMENT NUMBER 2014E0064845 RECORDED IN THE
JACKSON COUNTY RECORDER OF DEEDS; THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE NORTHWESTERLY ALONG A CURVE
TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 80°17'24" WEST WITH A RADIUS OF 708.50 FEET, A CENTRAL
ANGLE OF 47°20'45" AND AN ARC DISTANCE OF 585.46 FEET; THENCE SOUTH 57°03'00" WEST, 31.00 FEET; THENCE
NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING AN INITIAL TANGENT BEARING OF NORTH 32°57'00" WEST WITH A
RADIUS OF 784.50 FEET, A CENTRAL ANGLE OF 13°17'24" AND AN ARC DISTANCE OF 142.62 FEET; THENCE NORTHWESTERLY
ALONG A CURVE TO THE LEFT HAVING A COMMON TANGENT WITH THE LAST DESCRIBED CURVE WITH A RADIUS OF 784.50
FEET, A CENTRAL ANGLE OF 10°24'58" AND AN ARC DISTANCE OF 142.62 FEET TO A POINT INTERSECTING WITH THE WEST LINE
OF THE EAST HALF OF THE SAID NORTHWEST QUARTER OF SECTION 11; THENCE ON SAID WEST LINE, NORTH 02°22'54" EAST,
1,958.98 FEET TO A POINT ON THE NORTH LINE OF THE SAID NORTHWEST QUARTER; THENCE ON SAID NORTH LINE, SOUTH
87°50'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.

TRACT 2:
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
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1,958.98 FEET TO A POINT ON THE NORTH LINE OF THE SAID NORTHWEST QUARTER; THENCE ON SAID NORTH LINE, SOUTH
87°50'11" EAST, 658.12 FEET TO THE POINT OF BEGINNING.

TRACT 3:
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
NORTHEAST CORNER OF THE SAID NORTHWEST QUARTER; THENCE SOUTH 02°19'49" WEST, ON THE EAST LINE OF THE SAID
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TRACT 4:
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
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TRACT 5:
A TRACT OF LAND IN THE NORTHWEST QUARTER OF SECTION 11 TOWNSHIP 47 NORTH, RANGE 31 WEST OF THE 5TH
PRINCIPAL MERIDIAN IN JACKSON COUNTY, MISSOURI BEING BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE
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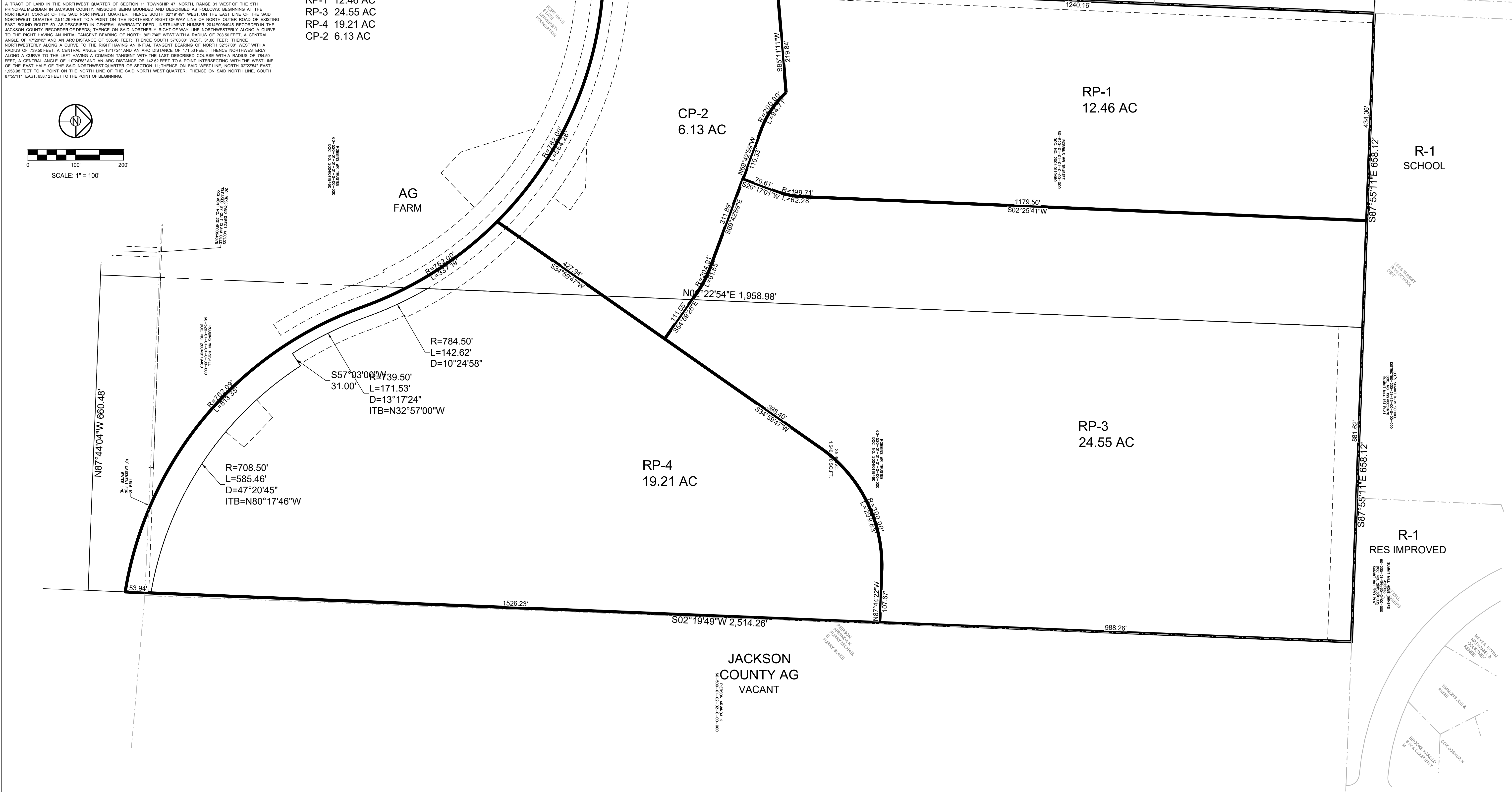
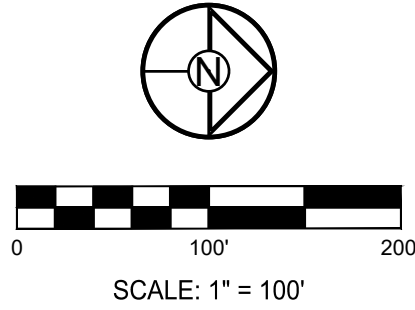


SECTION 11-47N-31W

LOCATION MAP
SCALE 1" = 2000'

REZONING DATA
EXISTING ZONING: AG
EXISTING USE: VACANT

PROPOSED ZONING
RP-1 12.46 AC
RP-3 24.55 AC
RP-4 19.21 AC
CP-2 6.13 AC



SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
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WWW.SCHLAGELASSOCIATES.COM

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**A NEW GRIFFIN RILEY DEVELOPMENT
PRELIMINARY DEVELOPMENT PLAN
BLUE PARKWAY AND BLACKWELL ROAD
LEE'S SUMMIT, MISSOURI**

REVISION DATE	DESCRIPTION
2021.08.24	CITY COMMENTS
2021.09.02	CITY COMMENTS DATED 9-1-2021

DRAWN BY:	DATE PREPARED:
SCH	20-205

CHECKED BY:	PROJ. NUMBER:
SCH	20-205

REZONING
EXHIBIT

SHEET
Z2.0