

# Bailey Farm Rezoning and Preliminary Development Plan

#PL2021-105

June 10, 2021



**LEE'S SUMMIT**  
MISSOURI



*Yours Truly*

## Size of Property – 91 total acres

- 1.03 acres (R-1)
- 43.76 acres (RP-1)
- 46.21 acres (RP-2)

## Number of Lots - 252 lots & 6 tracts

- 1 – single family lot (R-1)
- 103 – single family lots (RP-1)
- 116 – single family lots (RP-2)
- 32 – Two-family lots (RP-2)

## Dwelling Units - 284 total

- 1 – single-family residence (R-1)
- 103 – single-family residences (RP-1)
- 116 – single-family residences (RP-2)
- 64 – two-family units (RP-2)

## Density

- 2.8 units/acre (gross)
- 3.1 units/acre (excl. common area)
  - 0.97 units per acre - R-1 (4 max)
  - 2.2 units per acre - RP-1 (4 max)
  - 4.1 units per acre - RP-2 (7.5 max)



# Project Information



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# Aerial/Zoning Map



## **Front Elevation**

- Lap siding
- Cedar shake
- Board and baton
- Stone/masonry/brick
- Stucco

## **Side/Rear**

- Smart panel siding
- Speed lap siding
- Vinyl lap siding

## **Roof**

- Composite Shingles
- Standing seam metal roof

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**Elevations**



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# Elevations



## Minimum Lot width

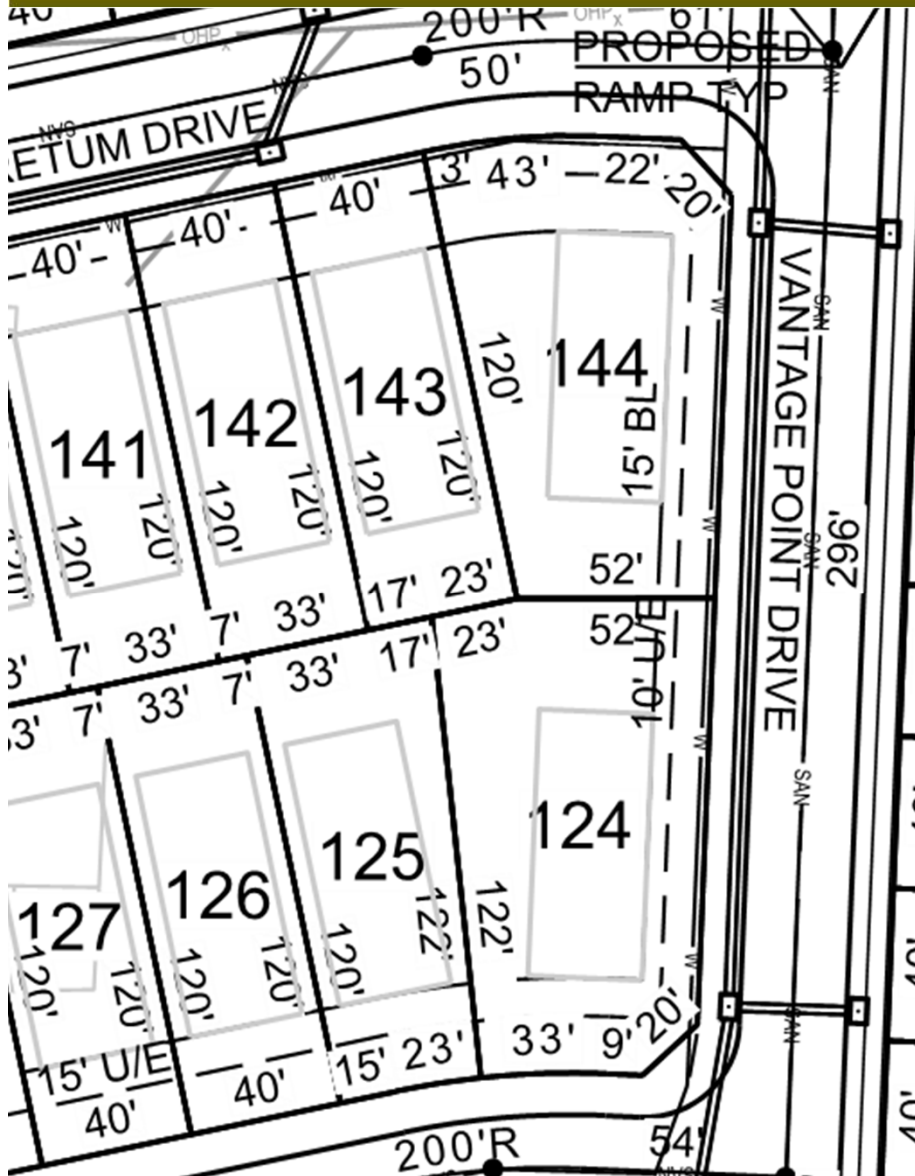
- Required – Lot width of 60' for single family homes
- Proposed – 40' lot width for lots 104-176 and 50' lot width for lots 177-219

## Minimum Lot area

- Required – lot area of 6,000 sf. for single family homes
- Proposed – 4,800 sf. lot area for lots 104-176

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Requested Modifications

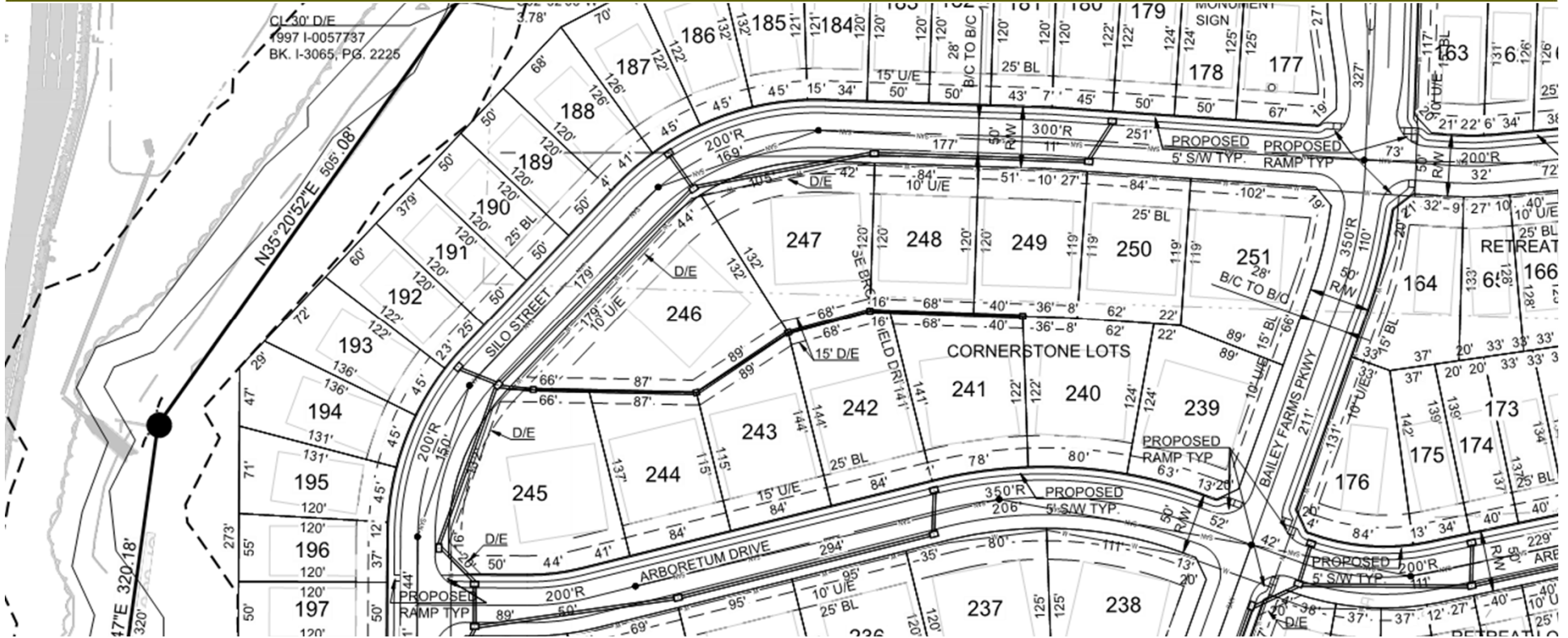


## Corner Lot Minimum Principal Building Setbacks.

- Required –20' corner lot minimum principal building setback (RP-2).
- Proposed – 15' corner lot minimum principal building setback for lots 104-251.

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Requested Modifications



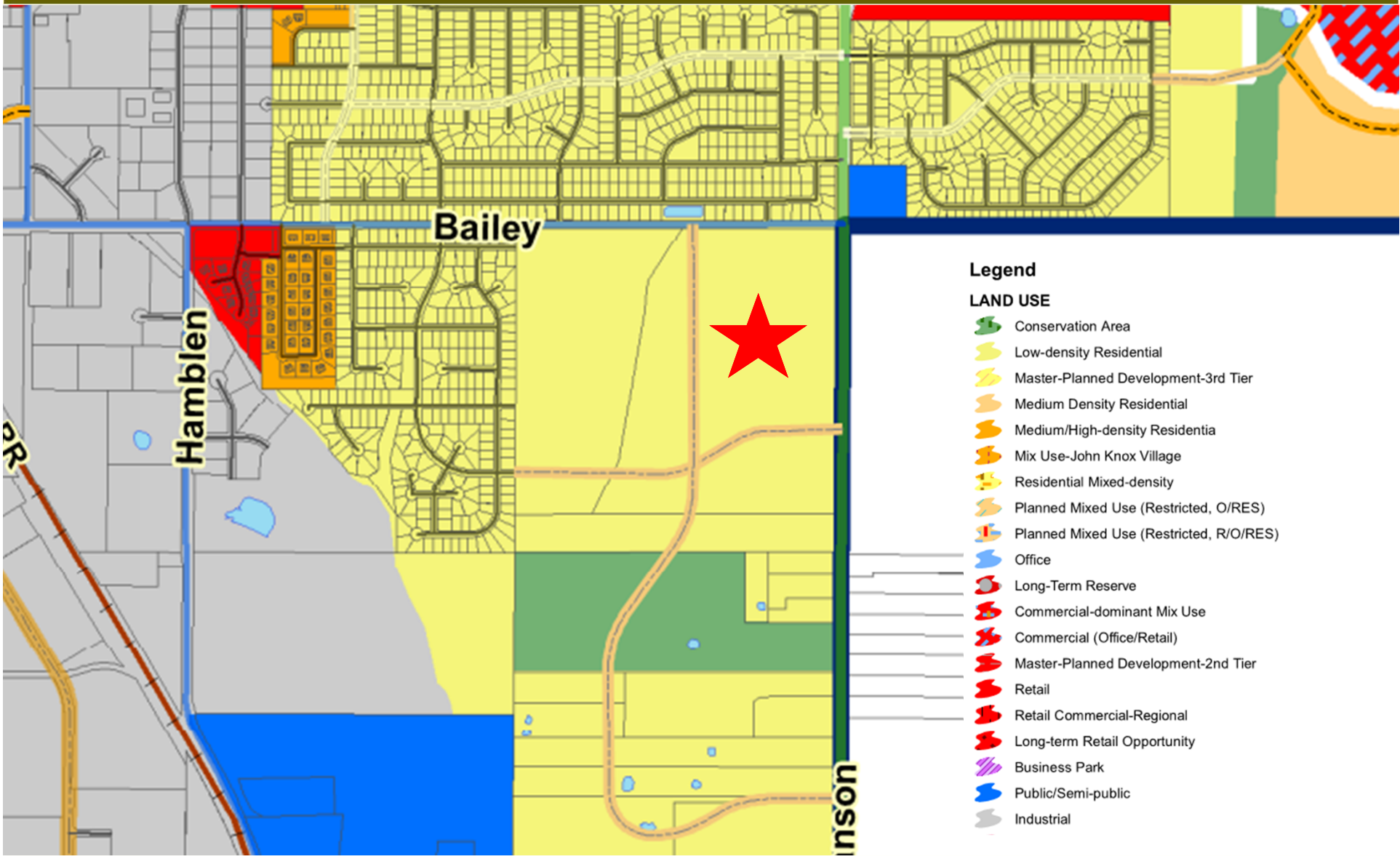
## Maximum Block Length.

- Required – Max 640' (RP-2).
- Proposed – 740' for Silo Street.

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# Requested Modifications

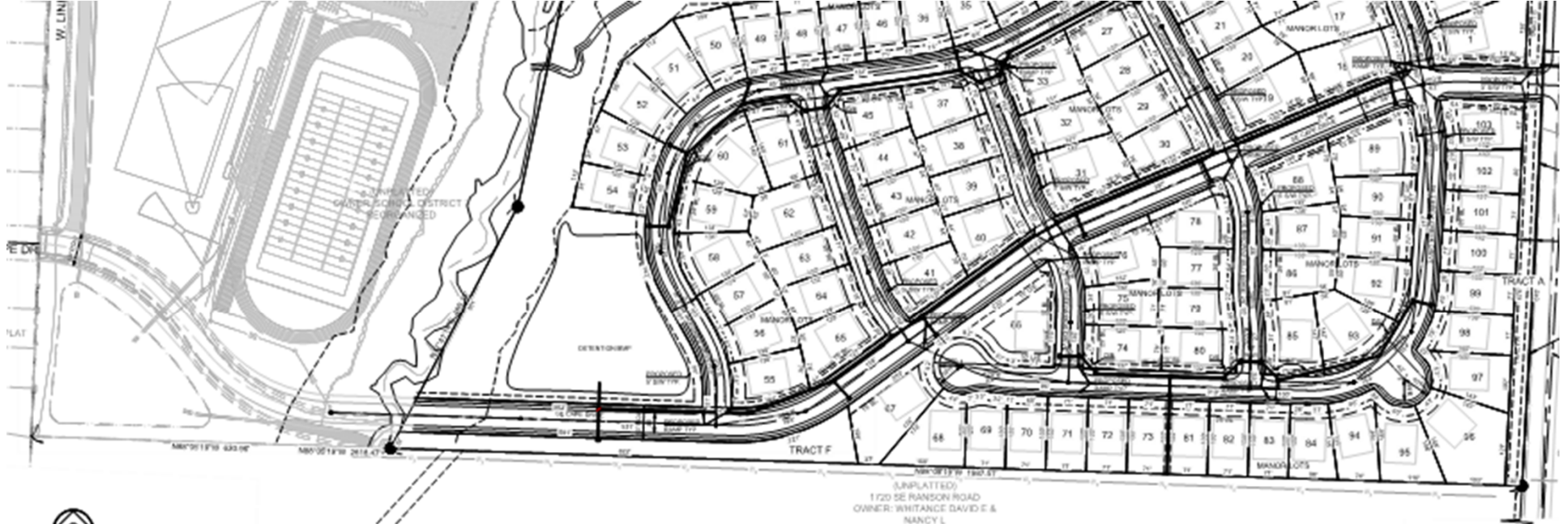




- Legend**
- LAND USE**
- Conservation Area
  - Low-density Residential
  - Master-Planned Development-3rd Tier
  - Medium Density Residential
  - Medium/High-density Residential
  - Mix Use-John Knox Village
  - Residential Mixed-density
  - Planned Mixed Use (Restricted, O/RES)
  - Planned Mixed Use (Restricted, R/O/RES)
  - Office
  - Long-Term Reserve
  - Commercial-dominant Mix Use
  - Commercial (Office/Retail)
  - Master-Planned Development-2nd Tier
  - Retail
  - Retail Commercial-Regional
  - Long-term Retail Opportunity
  - Business Park
  - Public/Semi-public
  - Industrial

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# Staff Analysis



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# Public Comment

## Site Specific

- A modification shall be granted to the minimum lot width of 60' for single family homes to allow a 40' lot width for lots 104-176 and 50' lot width for lots 177-219.
- A modification shall be granted to the minimum lot area of 6,000 sf. for single family homes to allow a 4,800 sf. lot area for lots 104-176.
- A modification shall be granted to the 20' corner lot minimum principal building setback in the RP-2 zoning district to allow a 15' corner lot minimum principal building setback for lots 104-251.
- A modification shall be granted to the 640' maximum block length in the RP-2 district to allow a block length of 740' for SE Silo Street.
- Development shall be in accordance with the preliminary development plan dated May 27, 2021.
- Site development and architectural elevations shall be in accordance with plans and specifications submitted May 25, 2021 and May 28, 2021 and on file in the Development Services Department.
- The Developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum, the traffic-related improvements included in the Transportation Impact Analysis (TIA). No building permits shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Records' Office. All public improvements shall be substantially complete prior to any building permits being issued.
- A 10' wide shared use path shall be constructed along the west side of SE Ranson Road/Route RA from Bailey Road to the south property line in compliance with the Comprehensive Plan (Greenway Master Plan and Bicycle Transportation Plan amendments thereto) and Livable Streets Resolution.



# Conditions of Approval