

Westvale Addition Preliminary Development Plan

PL2020-342

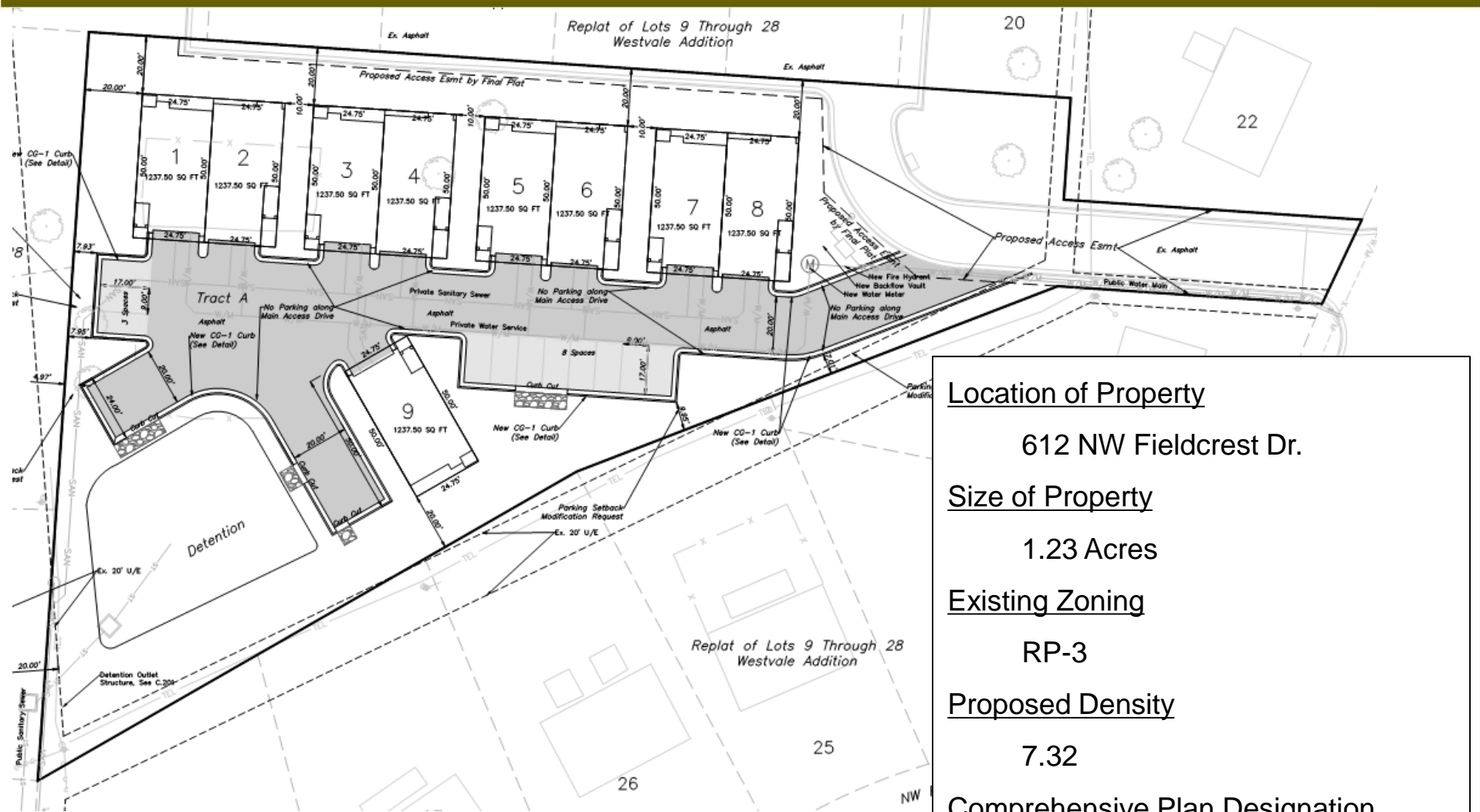
February 25, 2021



LEE'S SUMMIT
MISSOURI

Yours Truly





Location of Property
 612 NW Fieldcrest Dr.

Size of Property
 1.23 Acres

Existing Zoning
 RP-3

Proposed Density
 7.32

Comprehensive Plan Designation
 Medium/High-density Residential

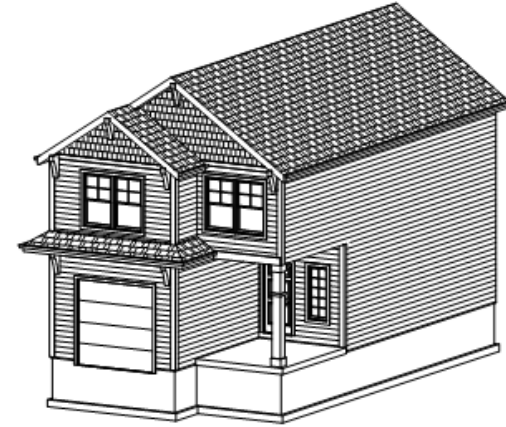


Project Information



LS

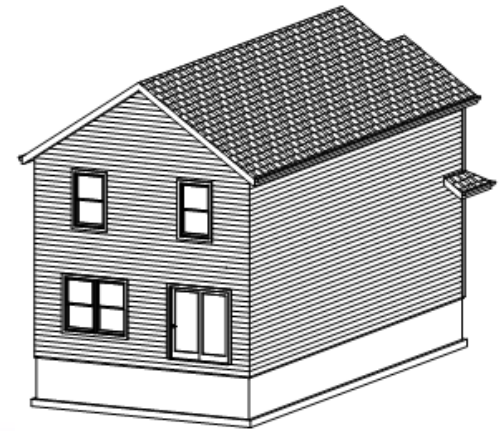
Aerial/Zoning Map

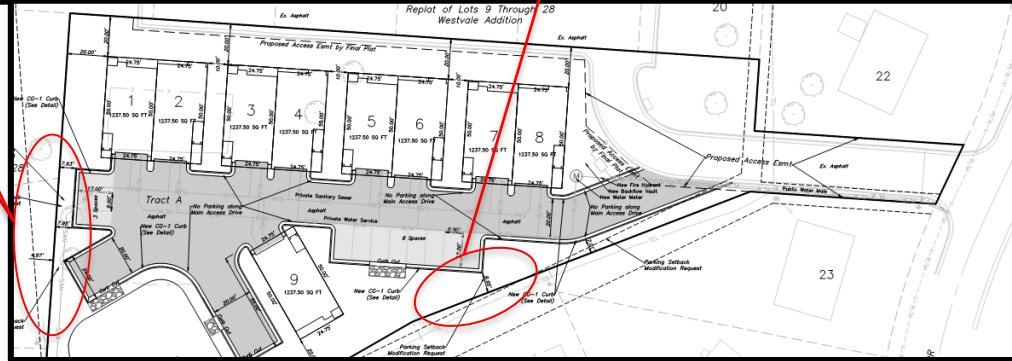
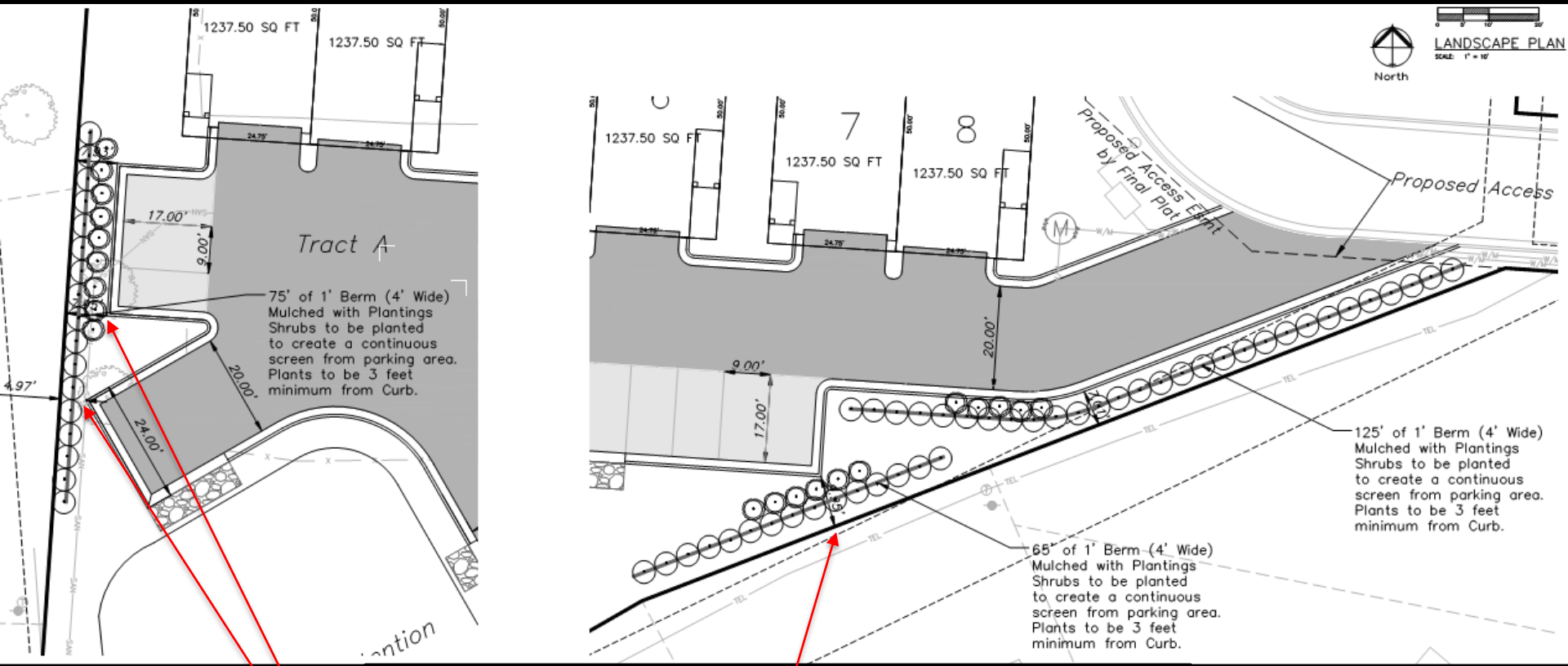


Exterior Materials

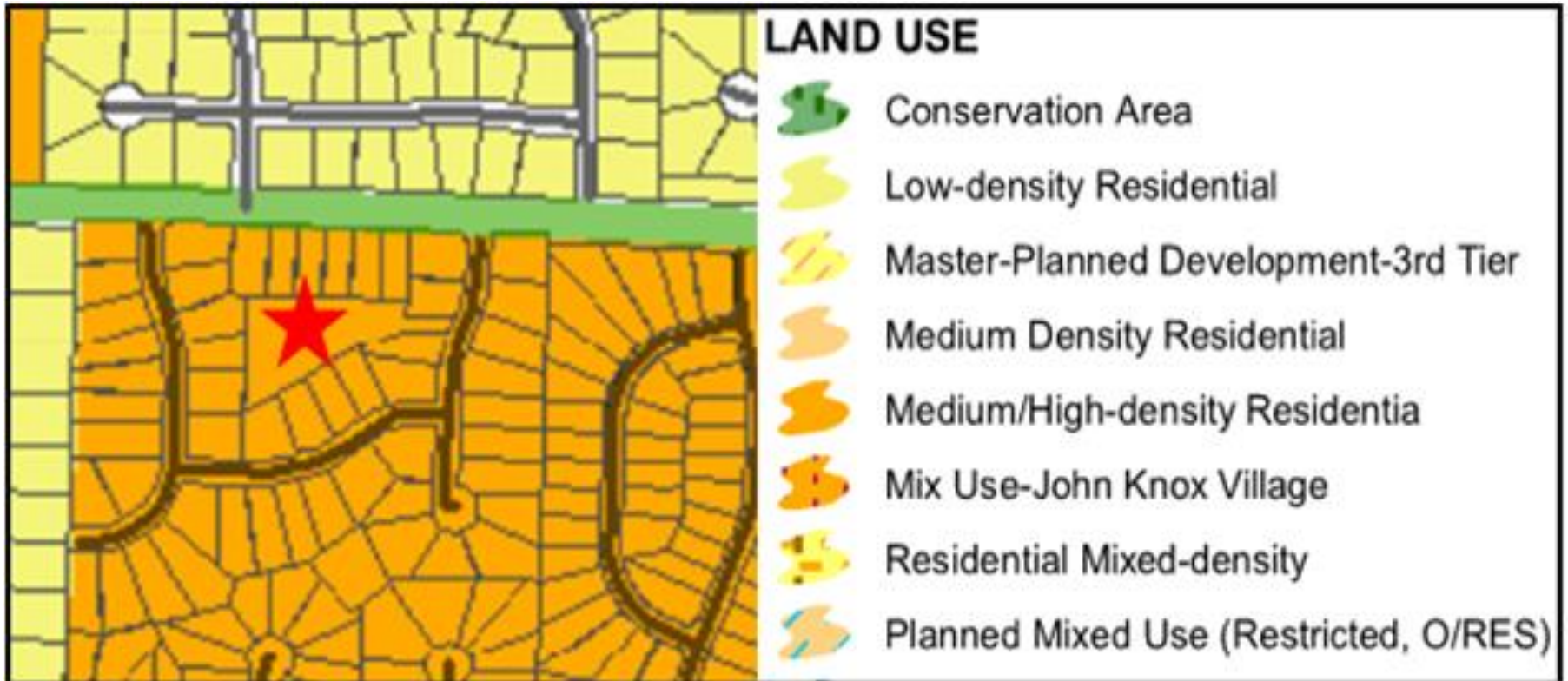
- Cedar Shake
- Vinyl Lap Siding
- 30 Year

Architectural
Shingles





LS Requested Modifications



1. A modification shall be granted to the required 20' parking lot setback from a residential use or zoning district, to allow for a 7.93' along the west property line adjacent to the parking stall; 4.97' along the west property line adjacent to the firetruck turnaround; and 9.95' along the south property line.
2. No parking shall be allowed in the fire apparatus access roads adjacent to the detention pond. The developer shall be required to install "No Parking" signs, per City standards/specifications prior to occupancy of the structures.