

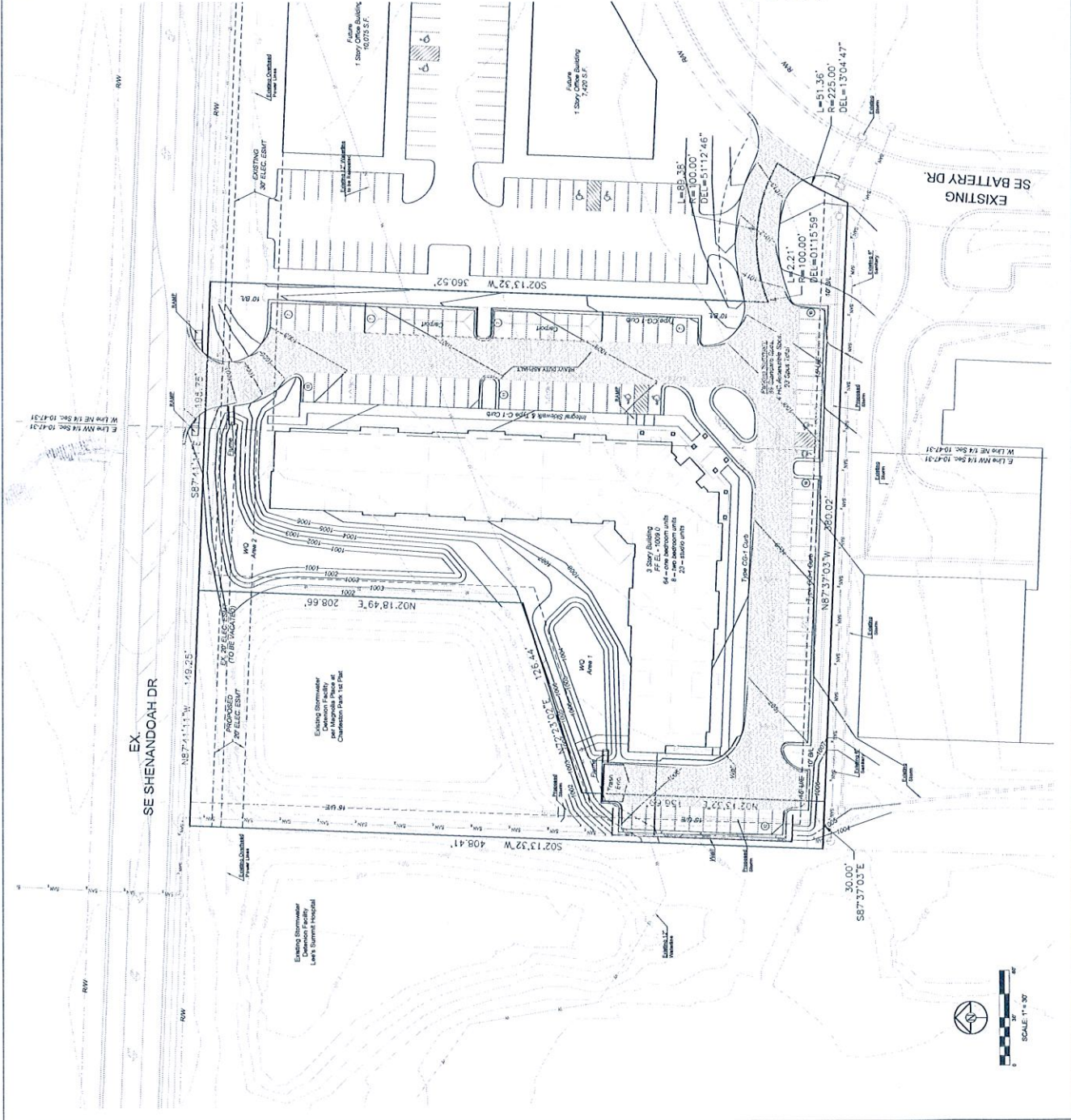
Area 1
 1.103 AC
 Runoff C = 0.73
 TC = 9 min.
 b = 5.41"
 m = 10.32"
 n = 0.015

Area 2
 1.410 AC
 Runoff C = 0.67
 TC = 9 min.
 b = 5.41"
 m = 10.32"
 n = 0.015

WATER QUALITY AREA 1
 WQV = P * Rv
 P = 1.37"
 Rv = 0.05 = 0.009(I)
 0.672 Acres Impervious
 0.431 Acres pervious
 I = (0.672) / (0.672+0.431) = 60.92%

WATER QUALITY AREA 2
 WQV = P * Rv
 P = 1.37"
 Rv = 0.05 = 0.009(I)
 0.879 Acres Impervious
 0.535 Acres pervious
 I = (0.879) / (0.879+0.535) = 62.03%

ELEV. (ft)	INC. DEPTH (ft)	SURFACE AREA (sq ft)	INC. SURFACE AREA (sq ft)	INC. VOL. (cu ft)	SUM VOL. (cu ft)
1004.0	1.00	1629	1945	1936	0
1005.0	1.00	2260	2604	2597	1936
1006.0	1.00	2949	2604	4533	4533
Required Storage 4,266 impounded at 1002.20					4533



RECEIVED
 MAY 23 2017
 Development Services



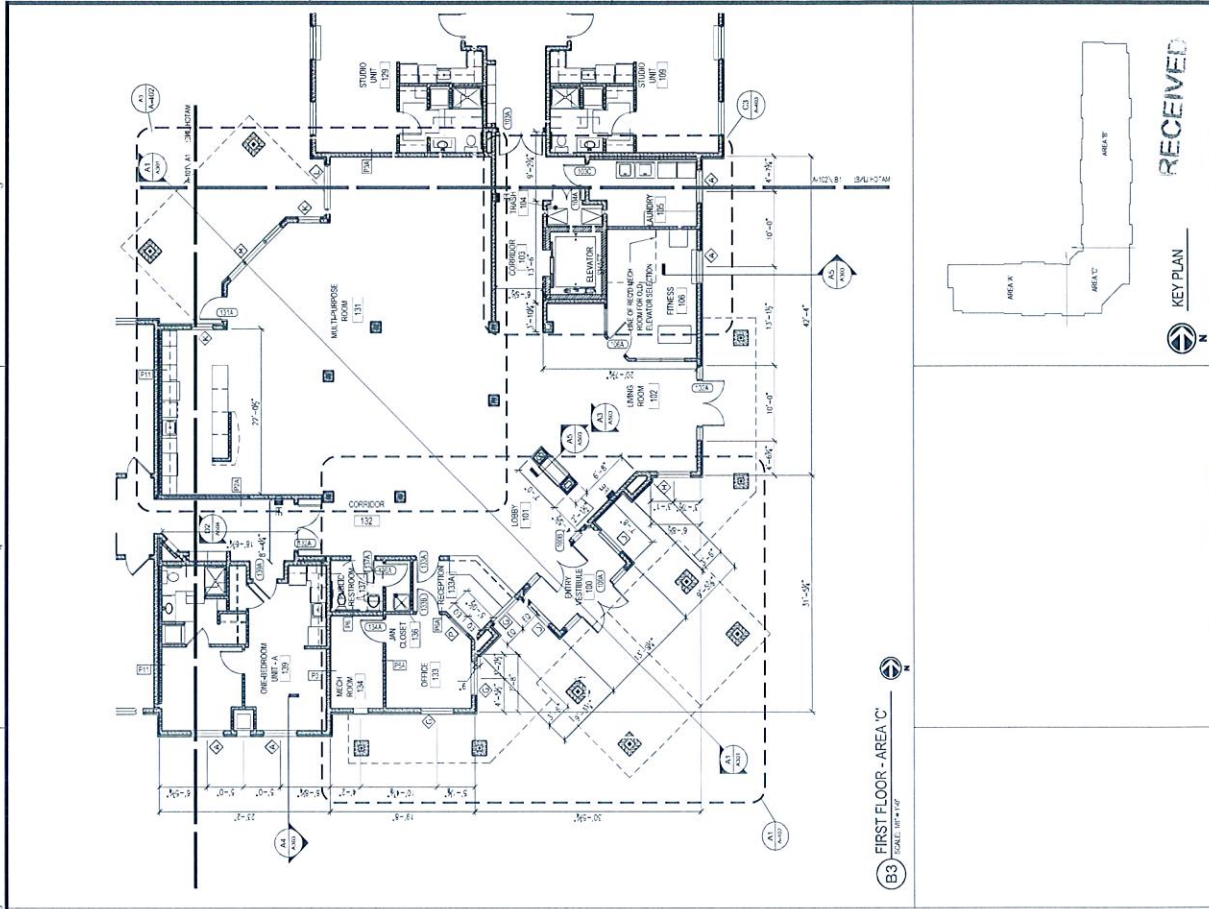


schwartz design group
 10000 Woodloch Forest Dr
 Suite 1000
 Dallas, TX 75243
 Phone: 972.333.1100
 Fax: 972.333.1101
 www.schwartzdesign.com

PROGRESS PRINT
 NOT FOR CONSTRUCTION
 DATE: ---

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

SUBMITTAL DATE:	4-21-17
PROJECT NAME:	BLOOM LIVING
FIRST FLOOR - AREA 'A' AND AREA 'C'	
PROJECT NUMBER:	171008
SHEET NUMBER:	A-101



B3 FIRST FLOOR - AREA 'C'
 SCALE: 1/8" = 1'-0"

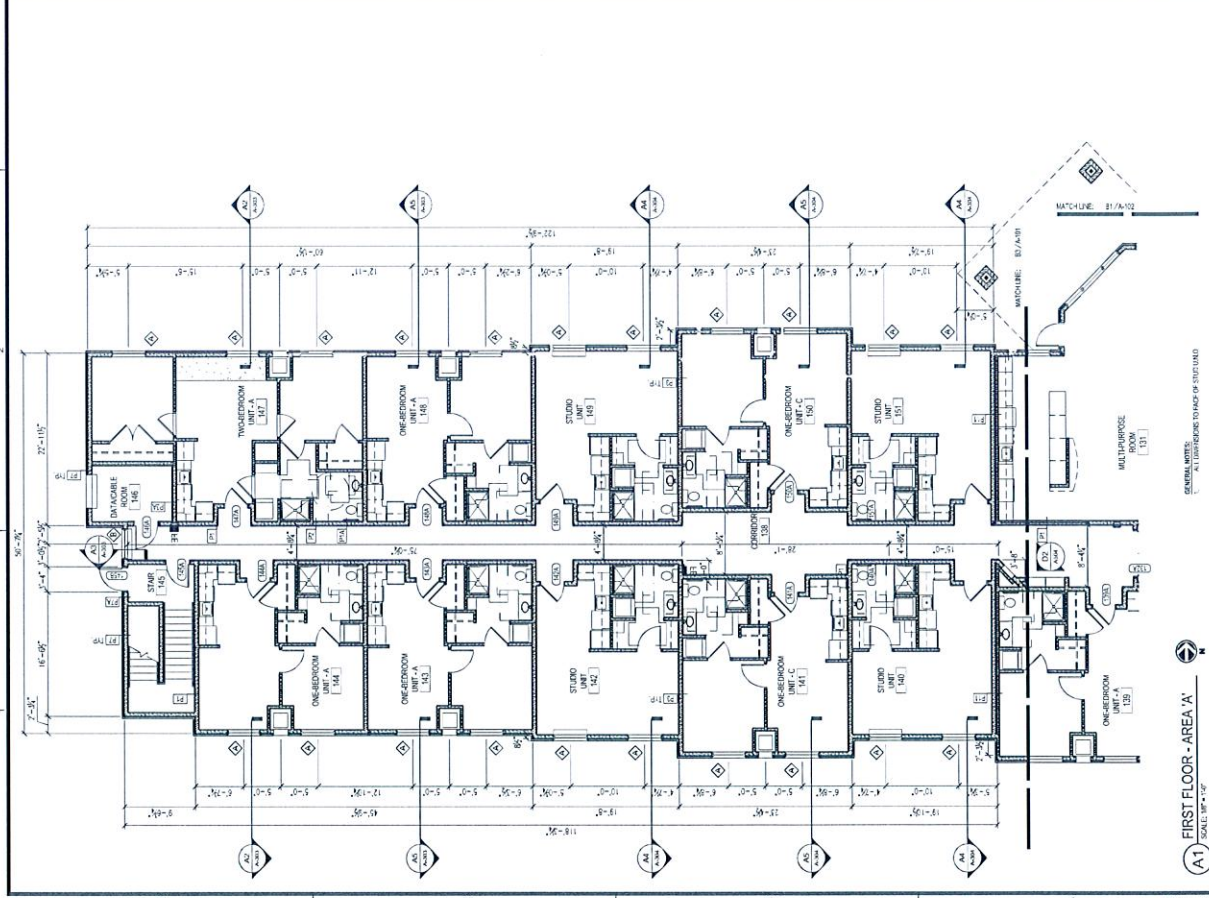
RECEIVED



KEY PLAN

APR 21 2017

-2017-095 -2017-09 Development Services



A1 FIRST FLOOR - AREA 'A'
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:
 A: TERRACE TO MATCH OF STUDIOS

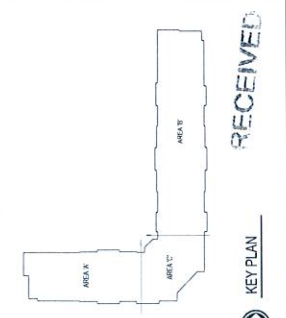
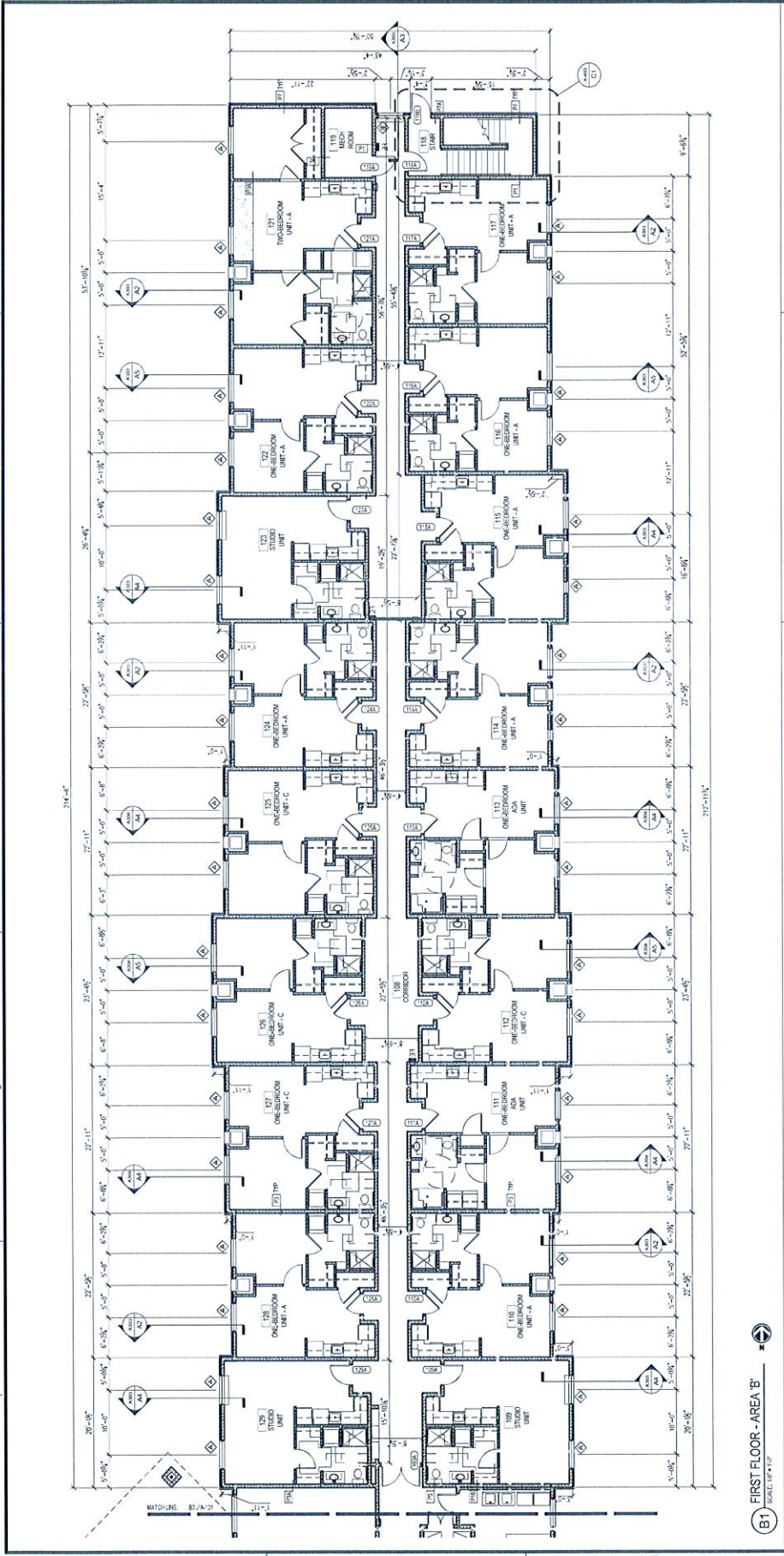


schwartz design group
 2224 W. UNIVERSITY AVENUE, SUITE 100
 INDEPENDENCE, MISSOURI 64601
 PHONE: 816.432.1234
 FAX: 816.432.1235
 WWW.SDGROUP.COM

PROCESS PRINT
 NOT FOR CONSTRUCTION
 DATE: --

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

COMMISSION DATE:	4/21/17
SHEET TITLE:	FIRST FLOOR - AREA 'B'
PROJECT NUMBER:	171008
SHEET NUMBER:	A-102



KEY PLAN

RECEIVED

APR 21 2017

Development Services

-2017-095

-2017-090

SCALE: 1/8" = 1'-0"

B1

FIRST FLOOR - AREA 'B'

DATE: APR 20 2017

PROJECT: 171008 - BLOOM LIVING

LOCATION: LEES SUMMIT, MO

SCALE: 1/8" = 1'-0"

DATE: APR 20 2017

PROJECT: 171008 - BLOOM LIVING

LOCATION: LEES SUMMIT, MO

SCALE: 1/8" = 1'-0"

DATE: APR 20 2017

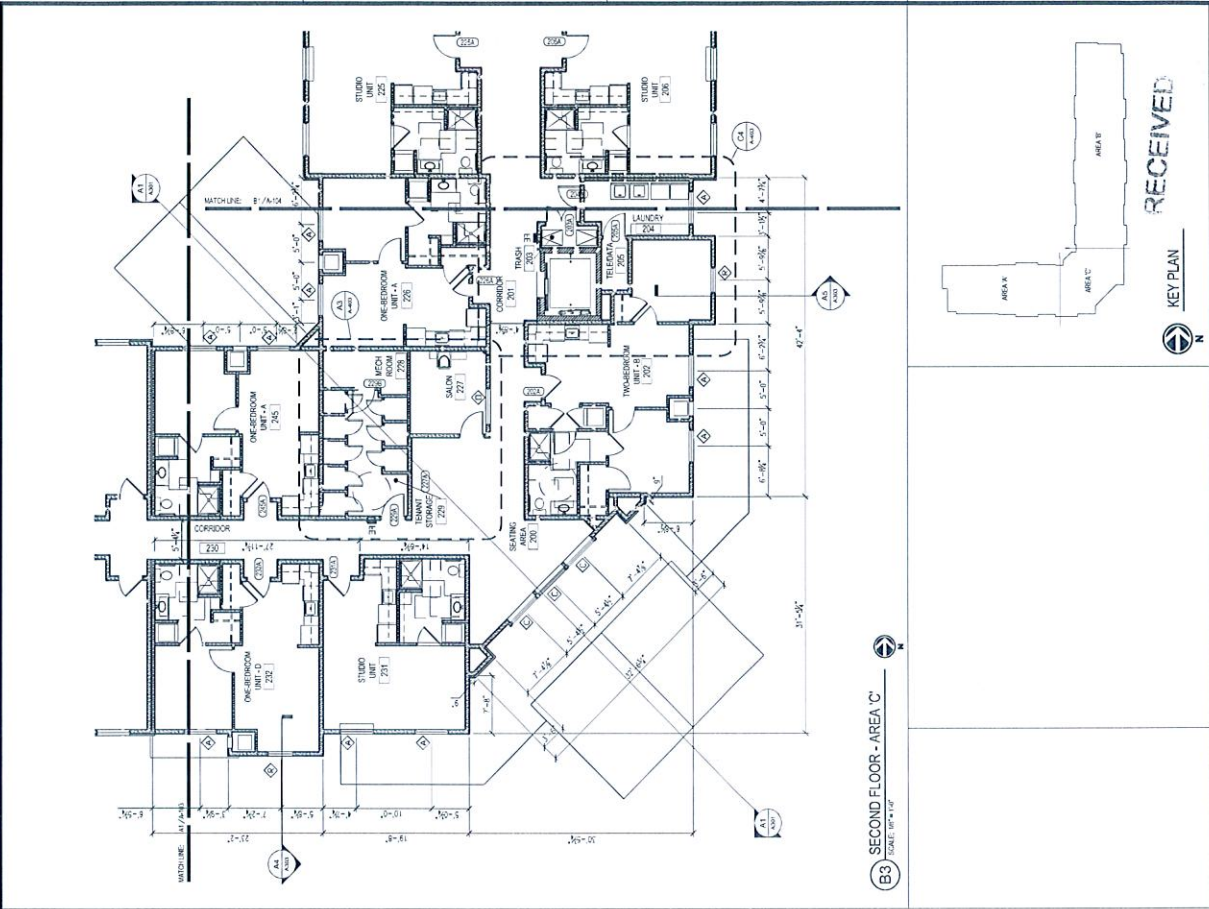


schwartz design group
 architects | interior | planners
 2231 West 10th Street, Suite 100
 Des Moines, IA 50319
 Phone: 515.281.2200
 Fax: 515.281.2201
 www.schwartzdesign.com

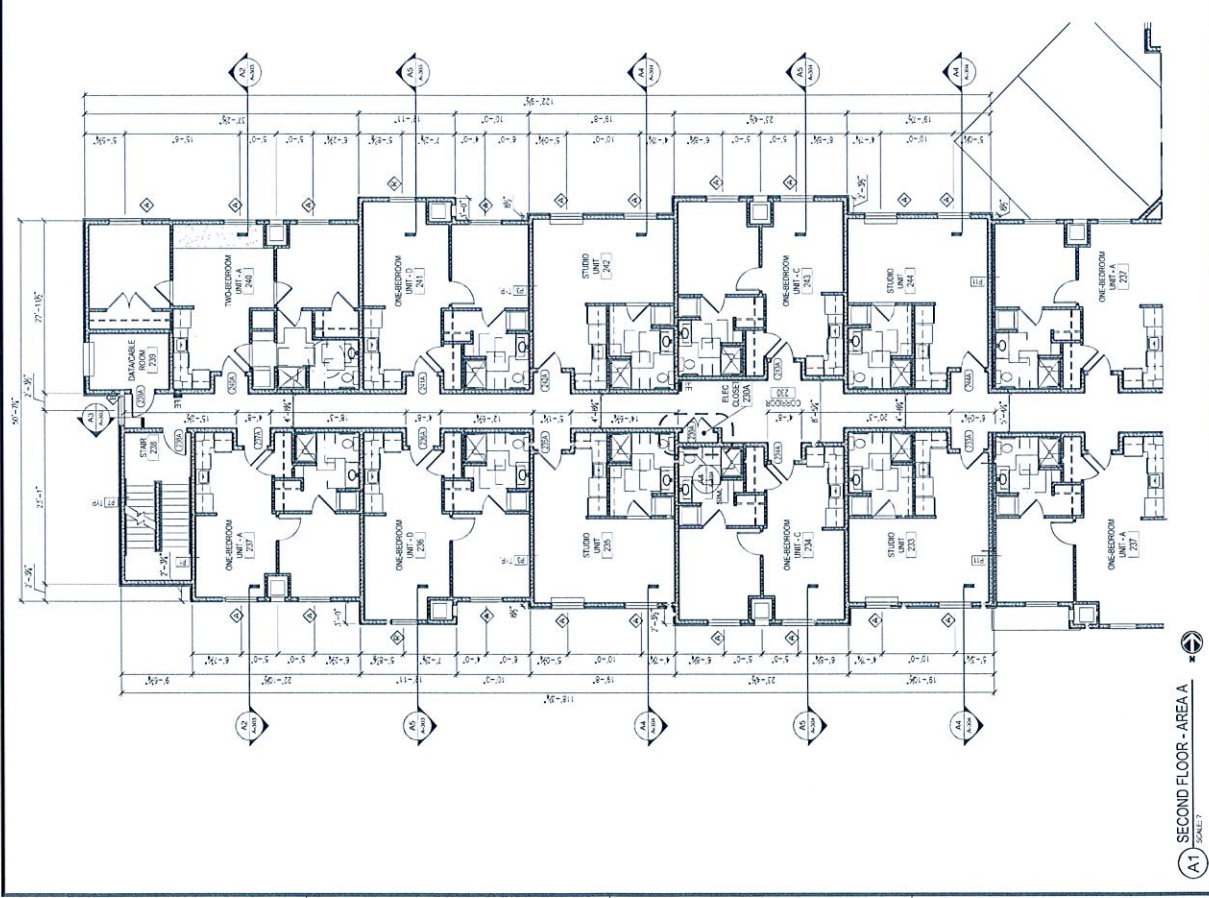
PROGRESS PRINT
 NOT FOR
 CONSTRUCTION
 DATE: —

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

SUBMITTAL DATE:	12/1/17
SHEET TITLE:	SECOND FLOOR - AREA A AND AREA C
PROJECT NUMBER:	171008
SHEET NUMBER:	A-103



69 SECOND FLOOR - AREA C
 SCALE: 1/8" = 1'-0"



A1 SECOND FLOOR - AREA A
 SCALE: 1/8" = 1'-0"



KEY PLAN

APR 21 2017

-2017-095-2017-09C

Development Services

LOCATION: F:\2\Projects\46151017 Bloom Senior Living - Lees Summit, MO\DWG\171008\171008-09C-103 SECOND FLOOR - AREA A AND AREA C.dwg
 PLOT DATE: 04/20/2017
 PLOTED BY: GMB

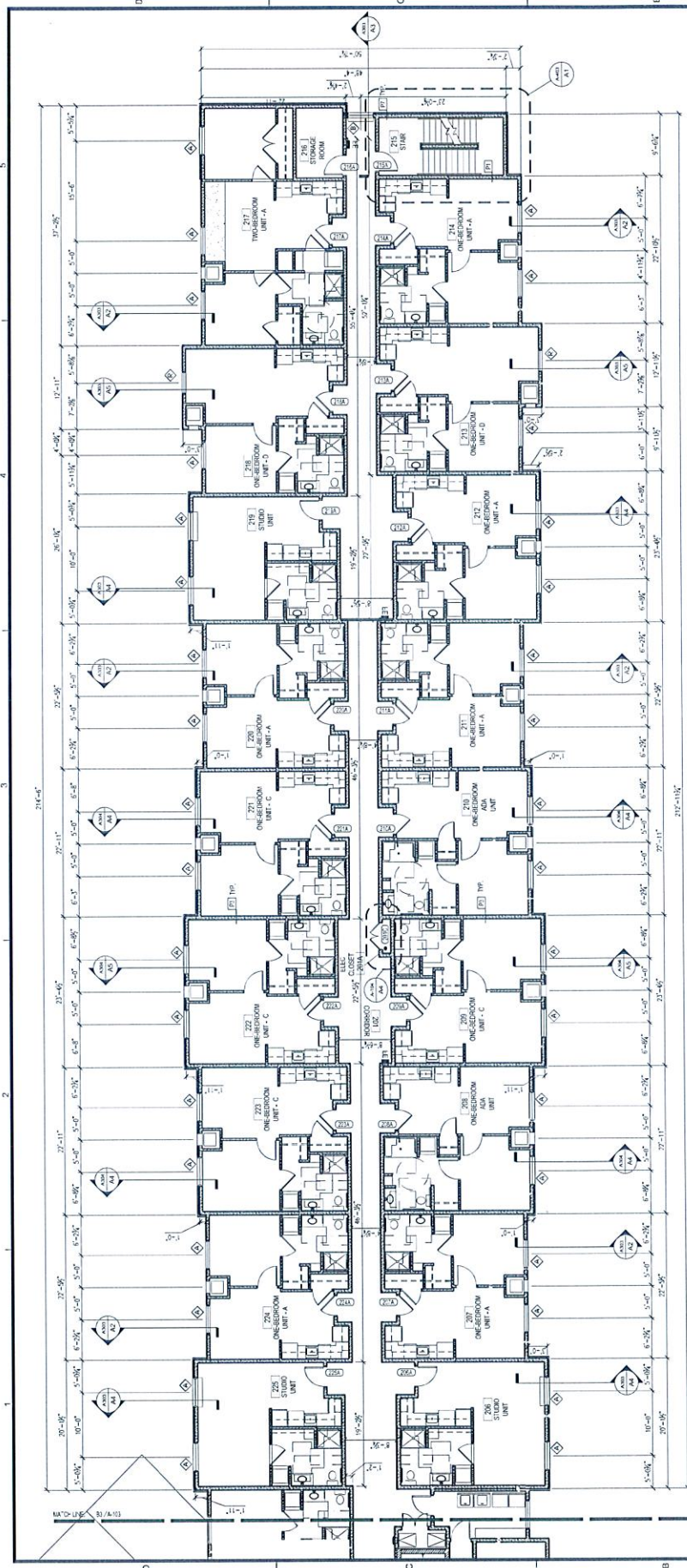


Schwardt design group
 architectural services | planning
 2224 W. UNIVERSITY AVENUE, SUITE 100
 LEES SUMMIT, MO 64081
 TEL: 816.221.2200
 FAX: 816.221.2201
 WWW.SCHWARDTDG.COM

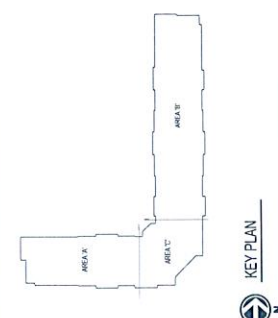
PROGRESS PRINT
 NOT FOR CONSTRUCTION
 DATE: —

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

SUBMITTED DATE	5/21/17
SHEET TITLE	SECOND FLOOR - AREA 'B'
PROJECT NUMBER	171008
SHEET NUMBER	A-104



B1 SECOND FLOOR - AREA 'B'
 SCALE: 1/8" = 1'-0"



APR 21 2017
 Development Services

-2017-095-2017-090

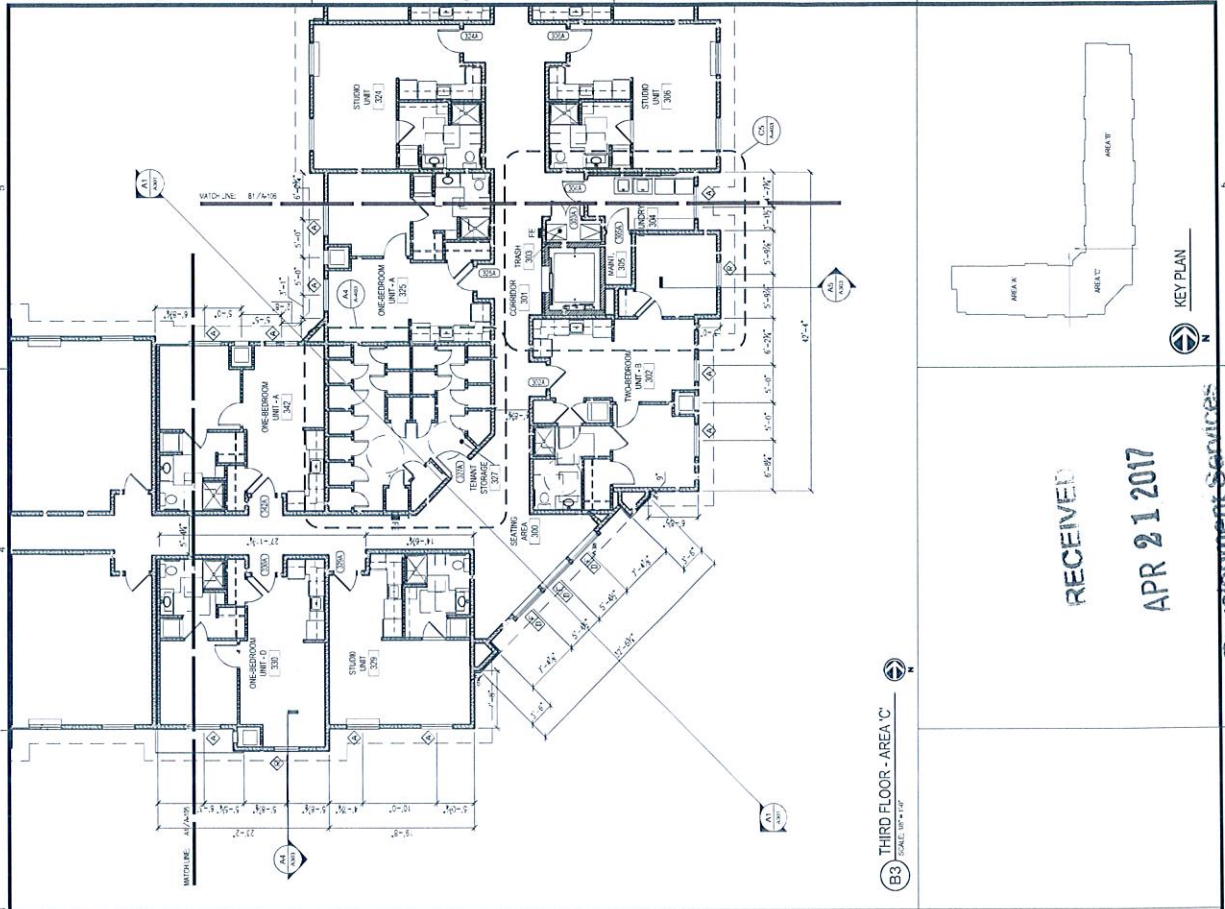


schwartz design group
 ARCHITECTURE | INTERIORS | PLANNING
 1101 W. WASHINGTON AVE., SUITE 200
 LEES SUMMIT, MO 64081
 PHONE: (816) 221-1100
 FAX: (816) 221-1101
 WWW.SDGROUP.COM

PROGRESS PRINT
 NOT FOR CONSTRUCTION
 DATE: —

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

PROJECT NUMBER	171008
SHEET NUMBER	A-105
PRODUCT MANUAL	THIRD FLOOR - AREA 'A' AND AREA 'C'
DATE	4-21-17



B3 THIRD FLOOR - AREA 'C'
 SCALE: 1/8" = 1'-0"

RECEIVED
 APR 21 2017

Development Solutions

A1 THIRD FLOOR - AREA 'A'
 SCALE: 1/8" = 1'-0"

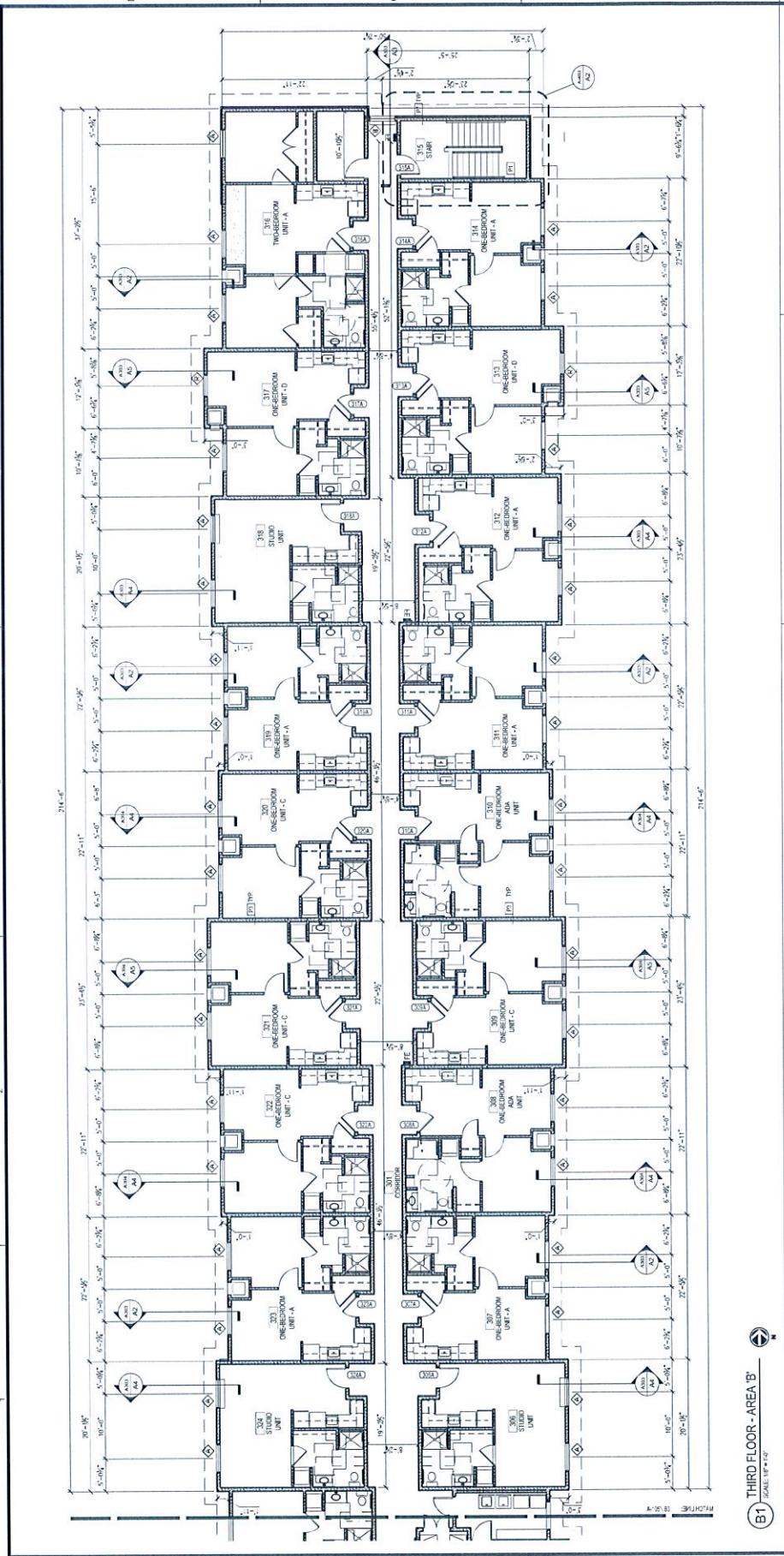
-2017-095 -2017-09C



PROGRESS PRINT
NOT FOR
CONSTRUCTION
DATE: ---

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
LEES SUMMIT, MO

COMMITTEE/DATE	4/21/17
PROJECT NUMBER	171008
SHEET NUMBER	A-106



RECEIVED
APR 21 2017
Development Services

B1 THIRD FLOOR - AREA 'B'
SCALE: 1/8" = 1'-0"

-2017-095 -2017-09C

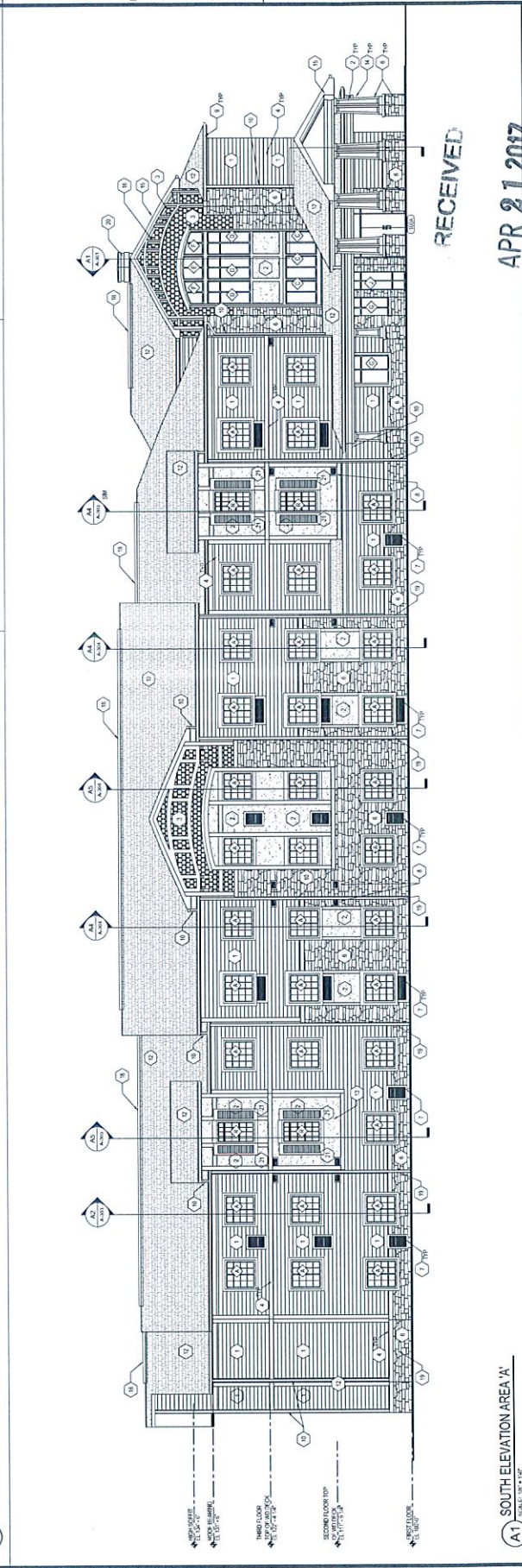
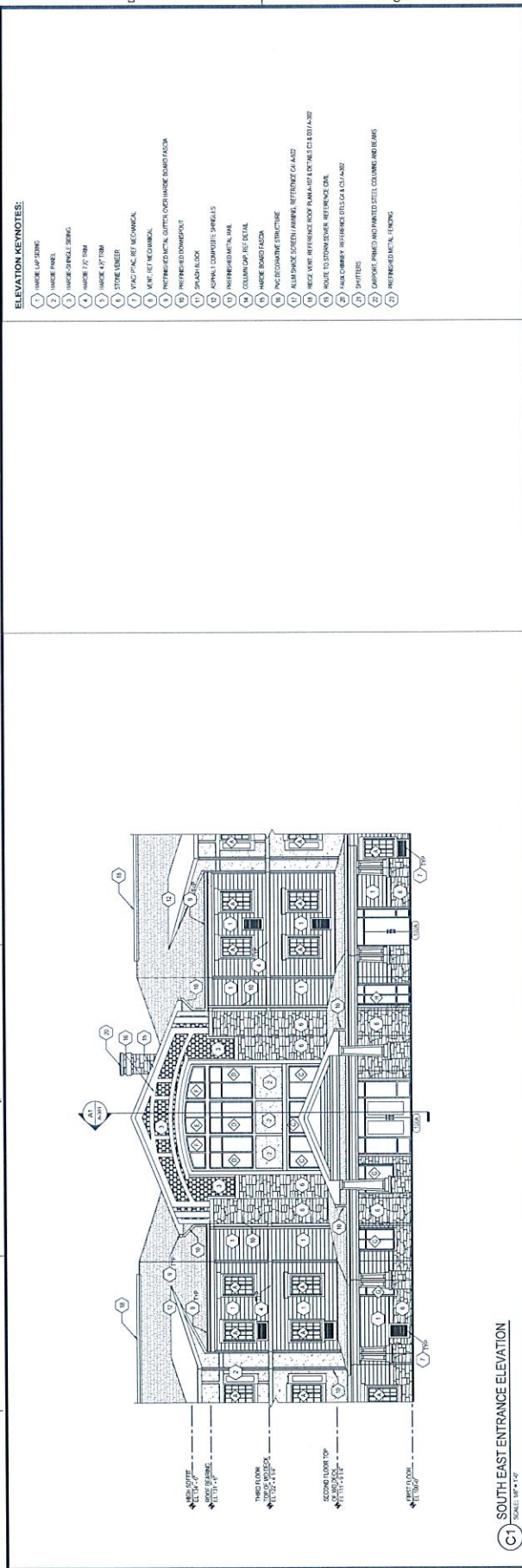


schwerdt design group
 ARCHITECTURE | DESIGN | INTERIOR
 1000 W. BROADWAY, SUITE 1000
 ST. LOUIS, MO 63102
 TEL: 314.433.1000
 WWW.SCHWERTDESIGN.COM

PROGRESS PRINT
 NOT FOR
 CONSTRUCTION
 DATE: ---

PRELIMINARY DEVELOPMENT SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

SUBMITTAL DATE:	4/21/17
SHEET TITLE:	EXTERIOR ELEVATIONS
PROJECT NUMBER:	171008
SHEET NUMBER:	A-201



RECEIVED
 APR 21 2017

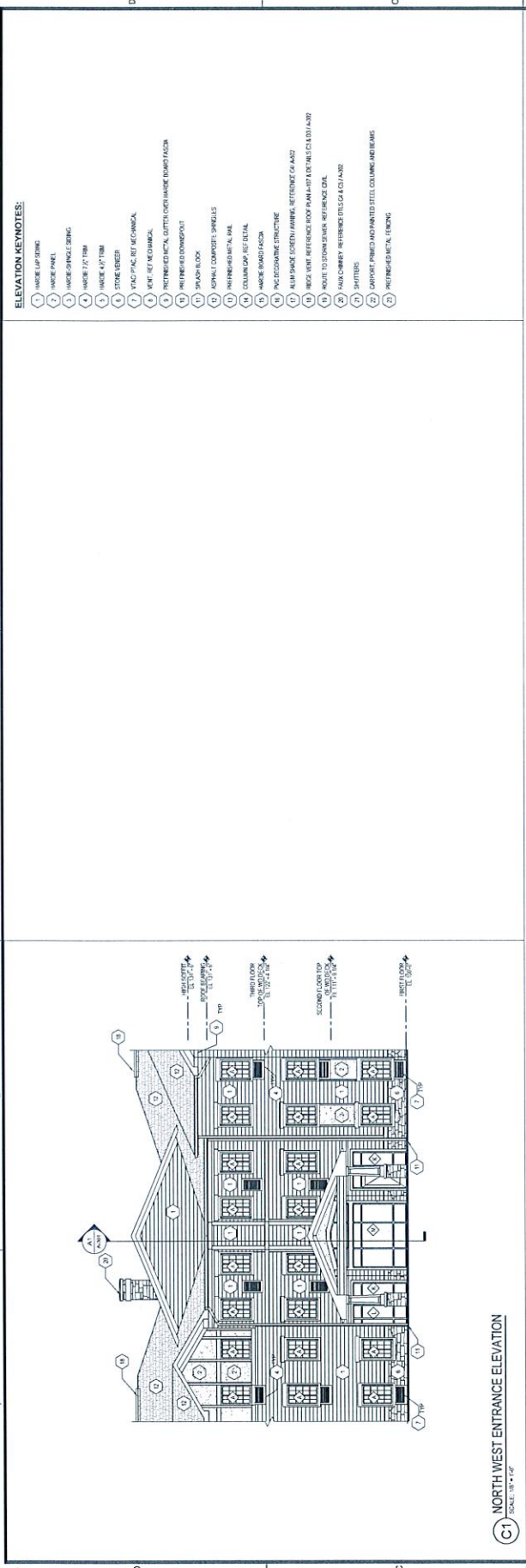
-2017-095
 -2017-09C
 Development Services



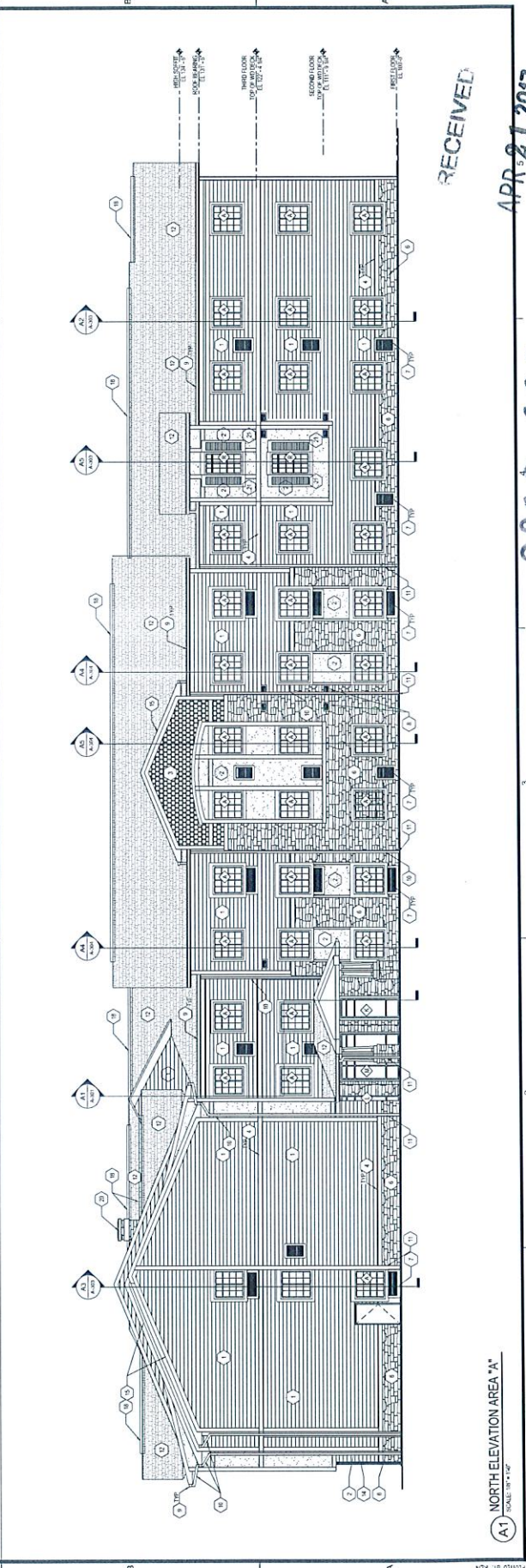
PROGRESS PRINT
 NOT FOR CONSTRUCTION
 DATE: _____

PRELIMINARY DEVELOPMENTAL SUBMITTAL FOR:
BLOOM LIVING
 LEES SUMMIT, MO

SUBMITTAL DATES	4/21/17
SHEET TITLE	EXTERIOR ELEVATIONS
PROJECT NUMBER	171008
SHEET NUMBER	A-203



C1
 NORTH WEST ENTRANCE ELEVATION
 SCALE: 1/8" = 1'-0"



A1
 NORTH ELEVATION AREA "A"
 SCALE: 1/8" = 1'-0"

RECEIVED

APR 21 2017

-2017-095
 -2017-09C

Development Services



RECEIVED

MAY 25 2017

Development Services

RECEIVED

MAY 25 2017

Development Services

