

SITE DEVELOPMENT PLANS FOR QUIKTRIP STORE #0208 WOODS CHAPEL RD & NE RALPH POWELL RD LEE'S SUMMIT, MISSOURI

GENERAL NOTES:

- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE FULLY AND COMPLETELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF NEAR THE CONSTRUCTION SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RAINING AND REMOVAL OF EXISTING STRIPES, MARKINGS, AND OTHER UTILITIES, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, MARKINGS, AND OTHER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF NEAR THE CONSTRUCTION SITE.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBERHOLE AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION AND/OR RECONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE AND INJURY TO PERSONNEL DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT. RESIDENTS OF TRANSPORTATION MARCH 1, 1993, AND SPECIFICATION ITEMS LISTED AND DATED AS FOLLOWS SHALL COMPLY WITH THIS PROJECT.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE HIGHWAY DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
- CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE NOT COVERED BY THESE PLANS, BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.

WETLANDS NOTICE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. WETLANDS, NEAR AND ADJACENT WETLANDS, SHALL BE SUBJECT TO THE APPROVALS OF THE U.S. ARMY CORPS OF ENGINEERS AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY. THE CONTRACTOR SHALL HOLD ALL NECESSARY PERMITS AND APPROVALS FROM THE U.S. ARMY CORPS OF ENGINEERS AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY. THE CONTRACTOR SHALL HOLD ALL NECESSARY PERMITS AND APPROVALS FROM THE U.S. ARMY CORPS OF ENGINEERS AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.

WARRANTY/DISCLAIMER:

THE DESIGN REPRESENTED ON THESE PLANS WAS IN ACCORDANCE WITH THE ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN OF SUCH PROJECTS. THE ENGINEER DOES NOT GUARANTEE, WARRANT, OR REPRESENT, EITHER THE ENGINEER OR HIS FIRM, FOR ANY DAMAGE OR LOSS THAT MAY OCCUR TO ANY PERSONS OR PROPERTY AS A RESULT OF THE PHYSICAL CONSTRUCTION OR A CONTINGENCY BASIS AT THE SITE.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL SPECIFICATIONS FOR THIS PROJECT SHOULD BE DIRECTED TO THE GENERAL CONTRACTOR AT 113-300-2028. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ENGINEER SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE GENERAL SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE GENERAL SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR THE PREPARATION OF THE GENERAL SPECIFICATIONS.

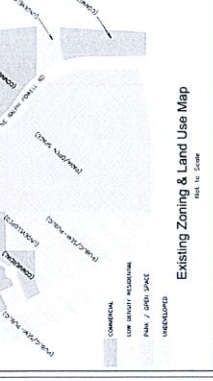
FLOOD CERTIFICATION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF NEAR THE CONSTRUCTION SITE.

BENCHMARKS:

BN-1 (BASIS FOR VERTICAL DATUM IS MANDRILL ELEVATION, CUT ON THE SOUTH EAST CORNER OF LOT #208
304.1 EAST OF THE SOUTHEAST CORNER OF LOT #208
ELEVATION=947.74'

NO.	TITLE
1	COVER
2	DEMOLITION PLAN
3	SITE PLAN
4	GRADING PLAN
5	LANDSCAPE PLAN
6	RETAINING WALL PROFILES



PROJECT CONTACT LIST:

ENGINEERING & DESIGN SHAW, HARRIS & WARREN, INC. 3071 S. GARDNER, L.S. LEE'S SUMMIT, MO 64063 TEL: (816) 667-1000 FAX: (816) 667-1000	CIVIL ENGINEER BIC RHODES 7103 COLLEGE AVENUE, SUITE 400 OVERLAND PARK, KS 66210 TEL: (913) 885-7868 FAX: (913) 885-7868
GENERAL CONTRACTOR QUIKTRIP CORPORATION ANDREW SMITH BRNKE LENSA, KS 66219 TEL: (913) 305-2025 FAX: (913) 305-2025	ELECTRIC COMPANY KANSAS POWER & LIGHT TEL: (816) 471-5275 FAX: (816) 471-5275
PLUMBING AND DEVELOPMENT CITY OF LEE'S SUMMIT 1320 S. GREEN STREET LEE'S SUMMIT, MO 64063 TEL: (816) 969-1600 FAX: (816) 969-1619	TELEPHONE COMPANY A&R TEL: (800) 454-7925

ORIGINAL ISSUE DATE: 05/20/16

REV	DATE	DESCRIPTION

QUIKTRIP No. 0208
WOODS CHAPEL RD. & NE RALPH POWELL RD.
LEES SUMMIT, MISSOURI

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REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 05/20/16

SHEET NUMBER: **2**

SURVEY LEGEND

EXISTING FEATURES

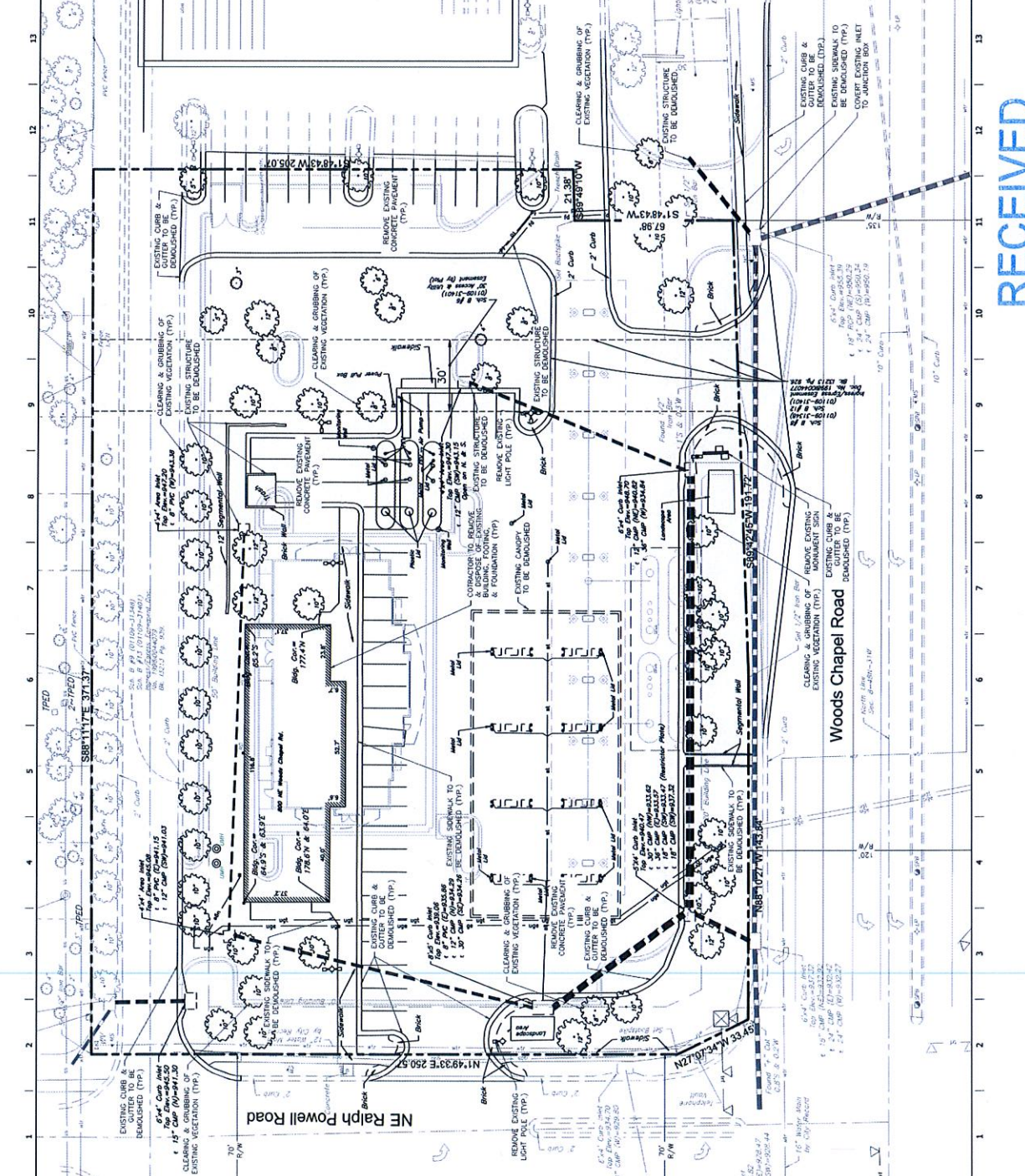
(Symbol)	CONCRETE CURB
(Symbol)	CONCRETE SIDEWALK
(Symbol)	CONCRETE DRIVE
(Symbol)	CONCRETE PAVEMENT
(Symbol)	EDGE OF ASPHALT
(Symbol)	EDGE OF CONCRETE
(Symbol)	WOOD FENCE

EXISTING UTILITIES

(Symbol)	OVERHEAD ELECTRIC
(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	UNDERGROUND CABLE
(Symbol)	UNDERGROUND FIBER OPTIC
(Symbol)	STORM SEWER LINE (12")
(Symbol)	STORM SEWER LINE (18")
(Symbol)	STORM SEWER LINE (24")
(Symbol)	STORM SEWER LINE (30")
(Symbol)	STORM SEWER LINE (36")
(Symbol)	STORM SEWER LINE (42")
(Symbol)	STORM SEWER LINE (48")
(Symbol)	STORM SEWER LINE (54")
(Symbol)	STORM SEWER LINE (60")
(Symbol)	STORM SEWER LINE (66")
(Symbol)	STORM SEWER LINE (72")
(Symbol)	STORM SEWER LINE (78")
(Symbol)	STORM SEWER LINE (84")
(Symbol)	STORM SEWER LINE (90")
(Symbol)	STORM SEWER LINE (96")
(Symbol)	STORM SEWER LINE (102")
(Symbol)	STORM SEWER LINE (108")
(Symbol)	STORM SEWER LINE (114")
(Symbol)	STORM SEWER LINE (120")
(Symbol)	STORM SEWER LINE (126")
(Symbol)	STORM SEWER LINE (132")
(Symbol)	STORM SEWER LINE (138")
(Symbol)	STORM SEWER LINE (144")
(Symbol)	STORM SEWER LINE (150")
(Symbol)	STORM SEWER LINE (156")
(Symbol)	STORM SEWER LINE (162")
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(Symbol)	STORM SEWER LINE (180")
(Symbol)	STORM SEWER LINE (186")
(Symbol)	STORM SEWER LINE (192")
(Symbol)	STORM SEWER LINE (198")
(Symbol)	STORM SEWER LINE (204")
(Symbol)	STORM SEWER LINE (210")
(Symbol)	STORM SEWER LINE (216")
(Symbol)	STORM SEWER LINE (222")
(Symbol)	STORM SEWER LINE (228")
(Symbol)	STORM SEWER LINE (234")
(Symbol)	STORM SEWER LINE (240")
(Symbol)	STORM SEWER LINE (246")
(Symbol)	STORM SEWER LINE (252")
(Symbol)	STORM SEWER LINE (258")
(Symbol)	STORM SEWER LINE (264")
(Symbol)	STORM SEWER LINE (270")
(Symbol)	STORM SEWER LINE (276")
(Symbol)	STORM SEWER LINE (282")
(Symbol)	STORM SEWER LINE (288")
(Symbol)	STORM SEWER LINE (294")
(Symbol)	STORM SEWER LINE (300")

1. CLEAR AND GRUB ALL TREES AND VEGETATION WITHIN LIMITS OF DISTURBANCE.

2. REMOVE ALL STRUCTURES INCLUDING BUILDINGS, SLAB, FOUNDATION AND FOOTINGS.



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QUILTIP

CONTRACT NO. 15072500
REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6
REVISION 7
REVISION 8
REVISION 9
REVISION 10

REV DATE DESCRIPTION

ORIGINAL ISSUE DATE: 05/20/16

SHEET NUMBER: 3

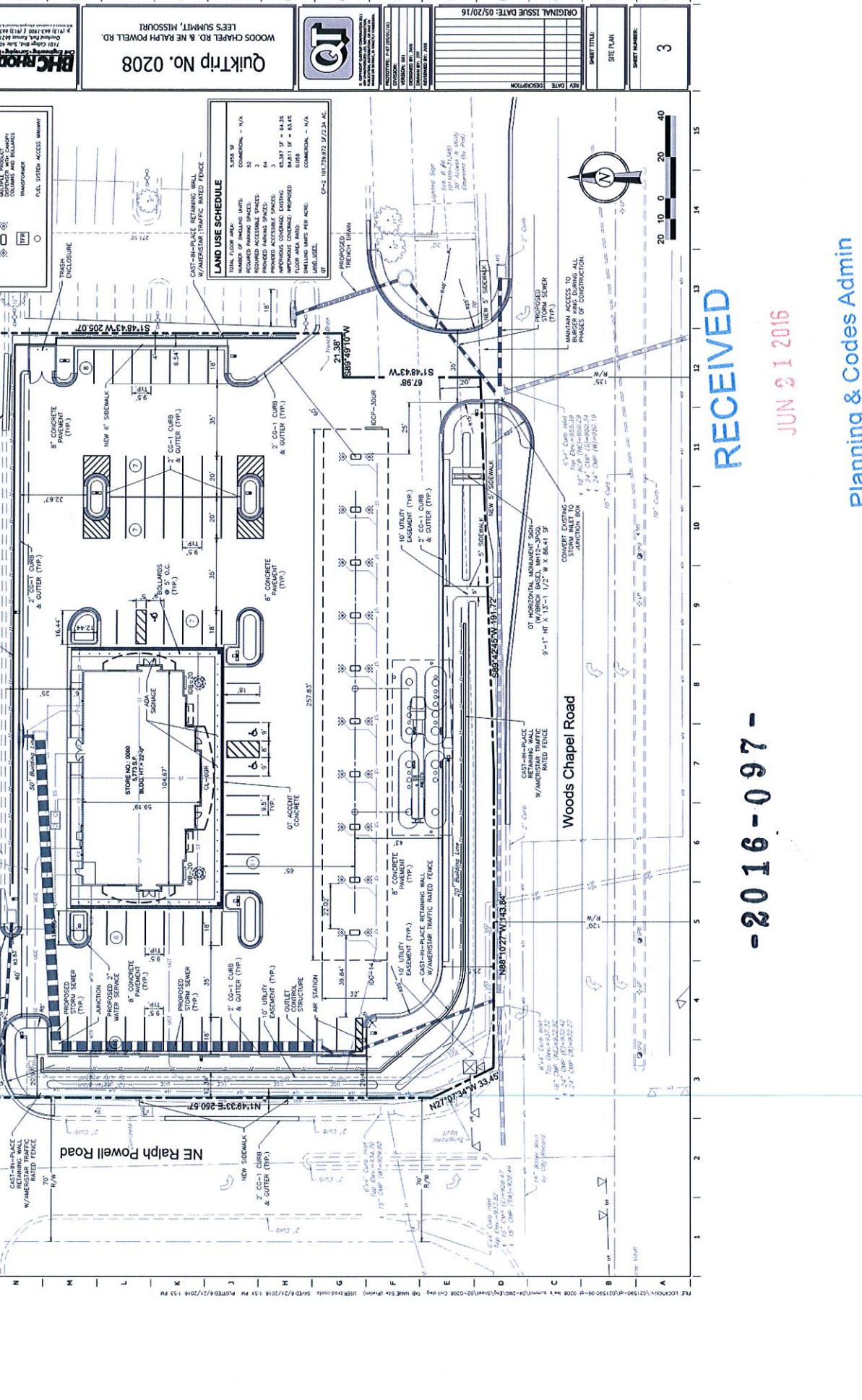
SHEET TITLE: SITE PLAN

LAND USE SCHEDULE

LAND USE SCHEDULE	AREA	PERCENTAGE
TOTAL LUMBER AREA	3.05%	N/A
REQUIRED PARKING SPACES	52	COMMERCIAL - N/A
PROVIDED PARKING SPACES	52	
PROVIDED ACCESSIBLE SPACES	3	
PROVIDED EXISTING CONCERN DISTING.	65,897 SF = 64.32	
IMPROVING CONCERN DISTING.	38,207 SF = 37.54	
FLOOR AREA RATIO	0.099	
PARKING UNITS PER ACRE:		
OFFICE	COMMERCIAL - N/A	
RETAIL	COMMERCIAL - N/A	
INDUSTRIAL	COMMERCIAL - N/A	
RESIDENTIAL	COMMERCIAL - N/A	

SITE LEGEND

CONCRETE CURB AND GUTTER	(Symbol)
OT ACCENT CONCRETE	(Symbol)
CAST-IN-PLACE RETAINING WALL	(Symbol)
W/AMERSTAR TRAFFIC RATED FENCE	(Symbol)
PROPOSED TRAFFIC SIGNAL	(Symbol)
PROPOSED TRAFFIC SIGNAL	(Symbol)
PROPOSED TRAFFIC SIGNAL	(Symbol)



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GRADING LEGEND

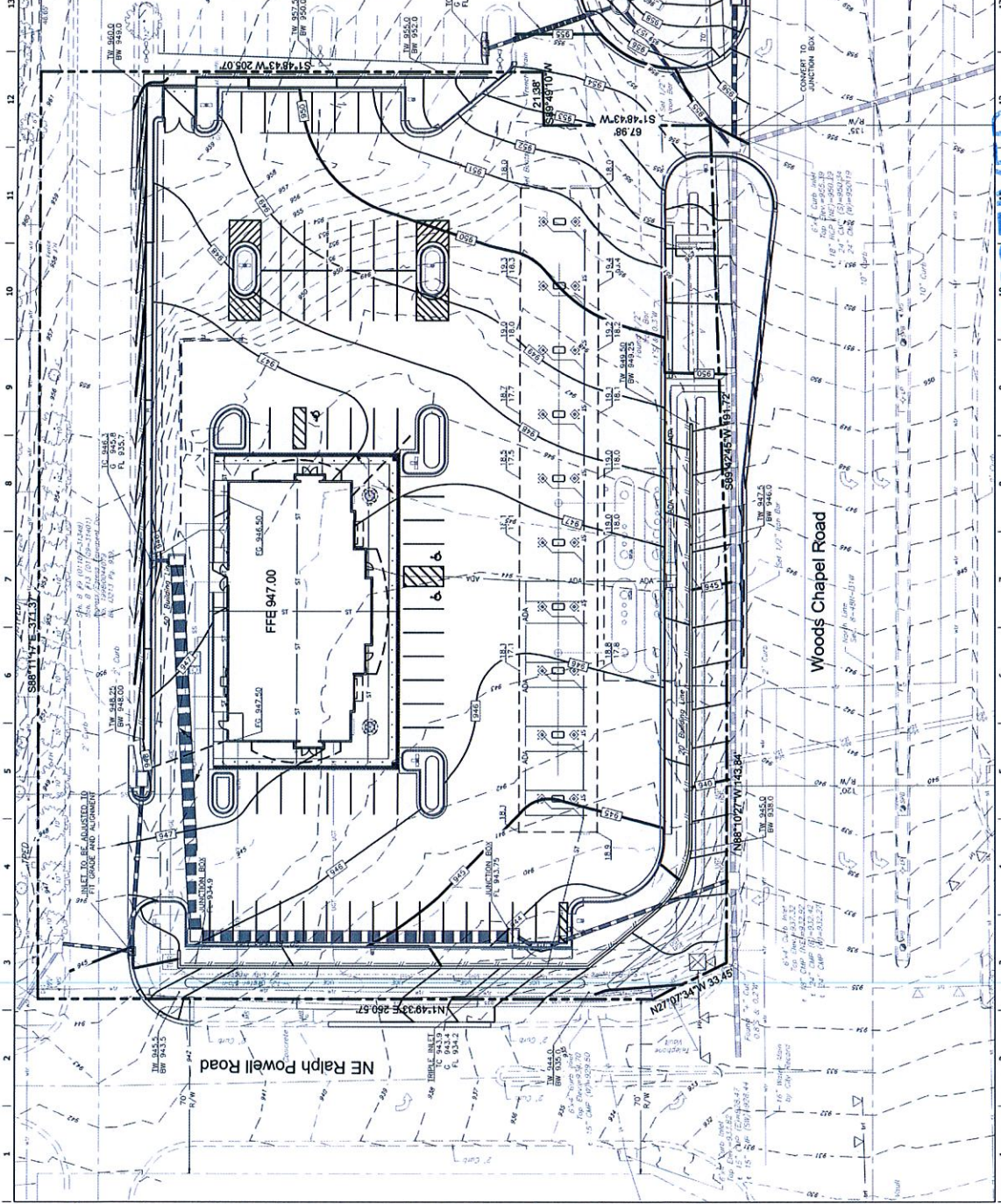
- ST - STORM PIPE (6" - 18" DIAM)
- SD - STORM DRAIN (6" - 18" DIAM)
- CD - CONDUIT (6" - 18" DIAM)
- MAJOR CONTOUR (NEW)
- MAJOR CONTOUR (EXISTING)
- MINOR CONTOUR (NEW)
- MINOR CONTOUR (EXISTING)
- TOP OF CURB ELEVATION (NEW)
- TOP OF CURB ELEVATION (EXISTING)
- FINISHED GRADE ELEVATION (NEW)
- FINISHED GRADE ELEVATION (EXISTING)
- STORM SHADE (NEW)

GRADING NOTES

1. ALL GRADES SHALL BE TO THE CENTERLINE OF THE ROAD AND SHALL BE TO THE CENTERLINE OF THE ROAD AND SHALL BE TO THE CENTERLINE OF THE ROAD.
2. ALL GRADES SHALL BE TO THE CENTERLINE OF THE ROAD AND SHALL BE TO THE CENTERLINE OF THE ROAD.
3. ALL GRADES SHALL BE TO THE CENTERLINE OF THE ROAD AND SHALL BE TO THE CENTERLINE OF THE ROAD.

CANOPY NOTE

1. SET CANOPY AT 10' CLEAR AND STEP DOWN HOLD AS HIGH AS POSSIBLE THROUGHOUT.



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B/C PROPOSED
Landscape Architecture
2101 College Springs Blvd., Suite 400
Lees Summit, MO 64116
P: 816.424.1414
F: 816.424.1413
www.bcp.com

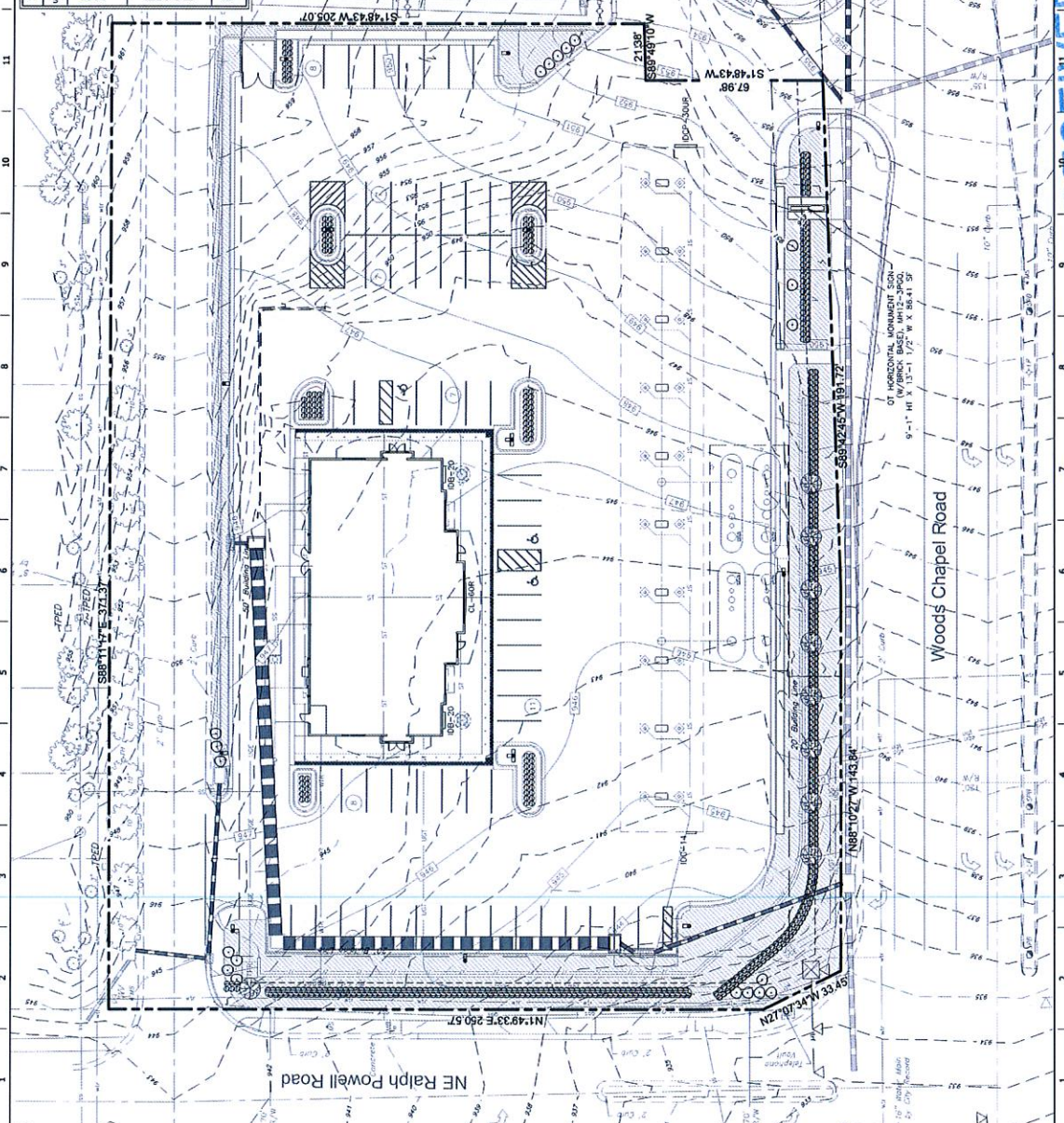
QT
Landscape Architecture
10000 E. 120th Street, Suite 100
Overland Park, KS 66204
P: 913.646.1200
F: 913.646.1201
www.qtks.com

REV DATE DESCRIPTION
1 05/20/16 ORIGINAL ISSUE DATE: 05/20/16

SHEET TITLE: LANDSCAPE PLAN
SHEET NUMBER: 5

SIZE	SYMBOL	COMMON NAME	MINIMUM SIZE / HEIGHT / SPACING	QUANTITIES	COMMENTS
Ø		INTERMEDIATE BROADLEAF OR NURSERY PLANTING	24" x 12" - 18" min. height	545 EA.	SEE LANDSCAPE PLAN AND SCHEDULE FOR SPECIFICATIONS AND SIZES. PLANTING TO BE INSTALLED IN ACCORDANCE WITH LOCAL ORDINANCES AND SWEBB SPECIFICATIONS.
○		EDGE OF SHADERS	2" SHAPE (TOTAL) 4" H. min.	20 EA.	SEE LANDSCAPE PLAN AND SCHEDULE FOR SPECIFICATIONS AND SIZES. PLANTING TO BE INSTALLED IN ACCORDANCE WITH LOCAL ORDINANCES AND SWEBB SPECIFICATIONS.
○		SHADE HOUSE LIGHTS	2" SHAPE 12" H. min.	9 EA.	CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE AND CONDITION. PLANTING TO BE INSTALLED IN ACCORDANCE WITH LOCAL ORDINANCES AND SWEBB SPECIFICATIONS.
○		EDGE OF SEED	12" DIA. 3 FT. H. min.	12 EA. 3 FT. S.F.	SEE LANDSCAPE PLAN AND SCHEDULE FOR SPECIFICATIONS AND SIZES. PLANTING TO BE INSTALLED IN ACCORDANCE WITH LOCAL ORDINANCES AND SWEBB SPECIFICATIONS.

REQUIRED CLEARANCE	WOODS CHAPEL ROAD	PROVIDED
1. TREE FOR EVERY 20' OF STREET FRONTAGE	11 TREES PROVIDED	
2. TREES FOR EVERY 20' OF STREET FRONTAGE	EXCEEDS REQUIREMENT	
3. TREES FOR EVERY 20' OF STREET FRONTAGE	EXCEEDS REQUIREMENT	
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100. TREES FOR EVERY 20' OF STREET FRONTAGE	EXCEEDS REQUIREMENT	



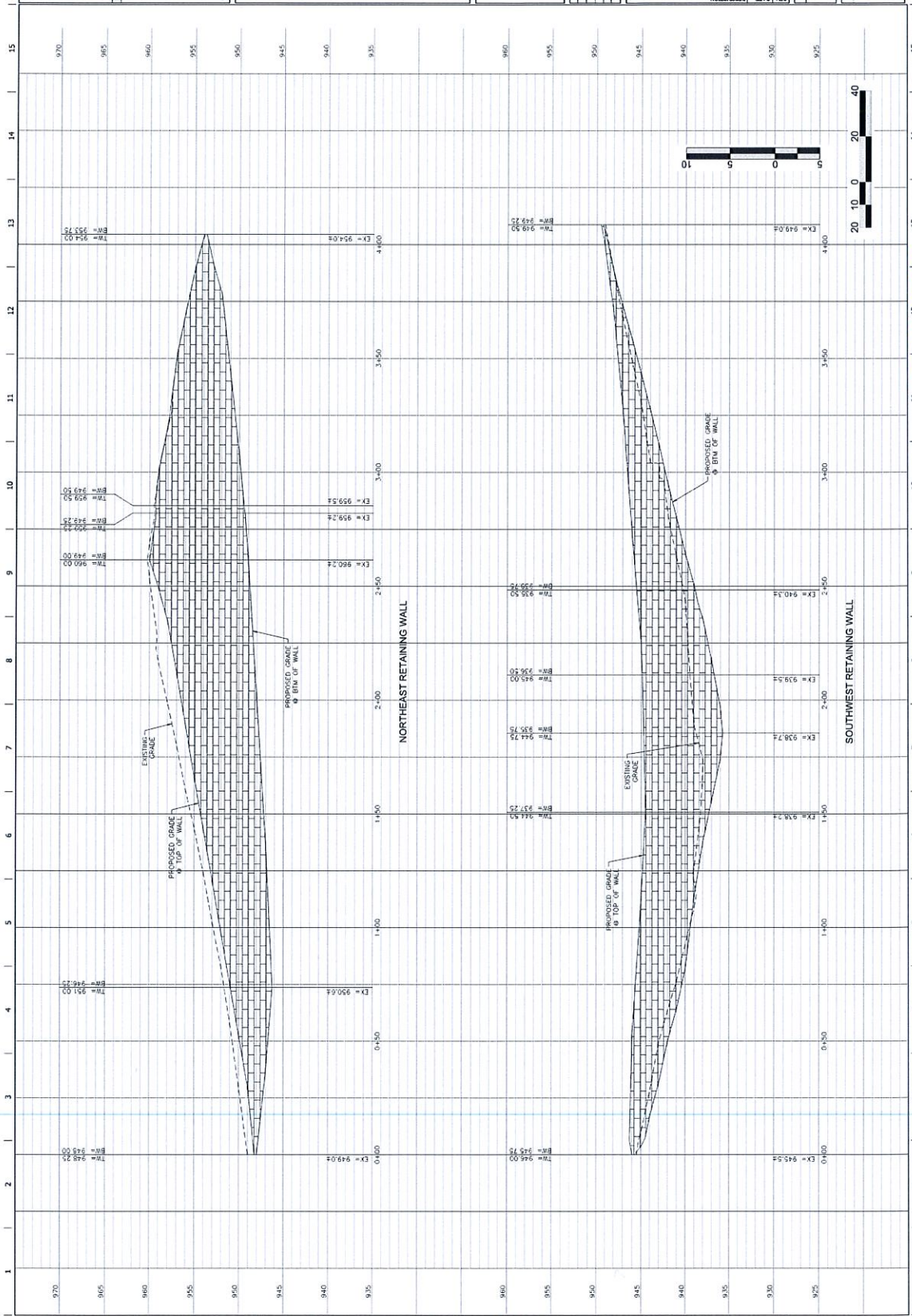
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-2016-097-

PROJECT NO. 1021500 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TITLE: RETAINING WALL PROFILES	ORIGINAL ISSUE DATE: 05/20/16
DESIGNED BY: JMS CHECKED BY: JMS DATE: 05/20/16		DATE: 05/20/16	
CONTRACT NO.: PROJECT NO.: 1021500		DATE: 05/20/16	
PROJECT NO. 1021500 PROJECT TITLE:		DATE: 05/20/16	



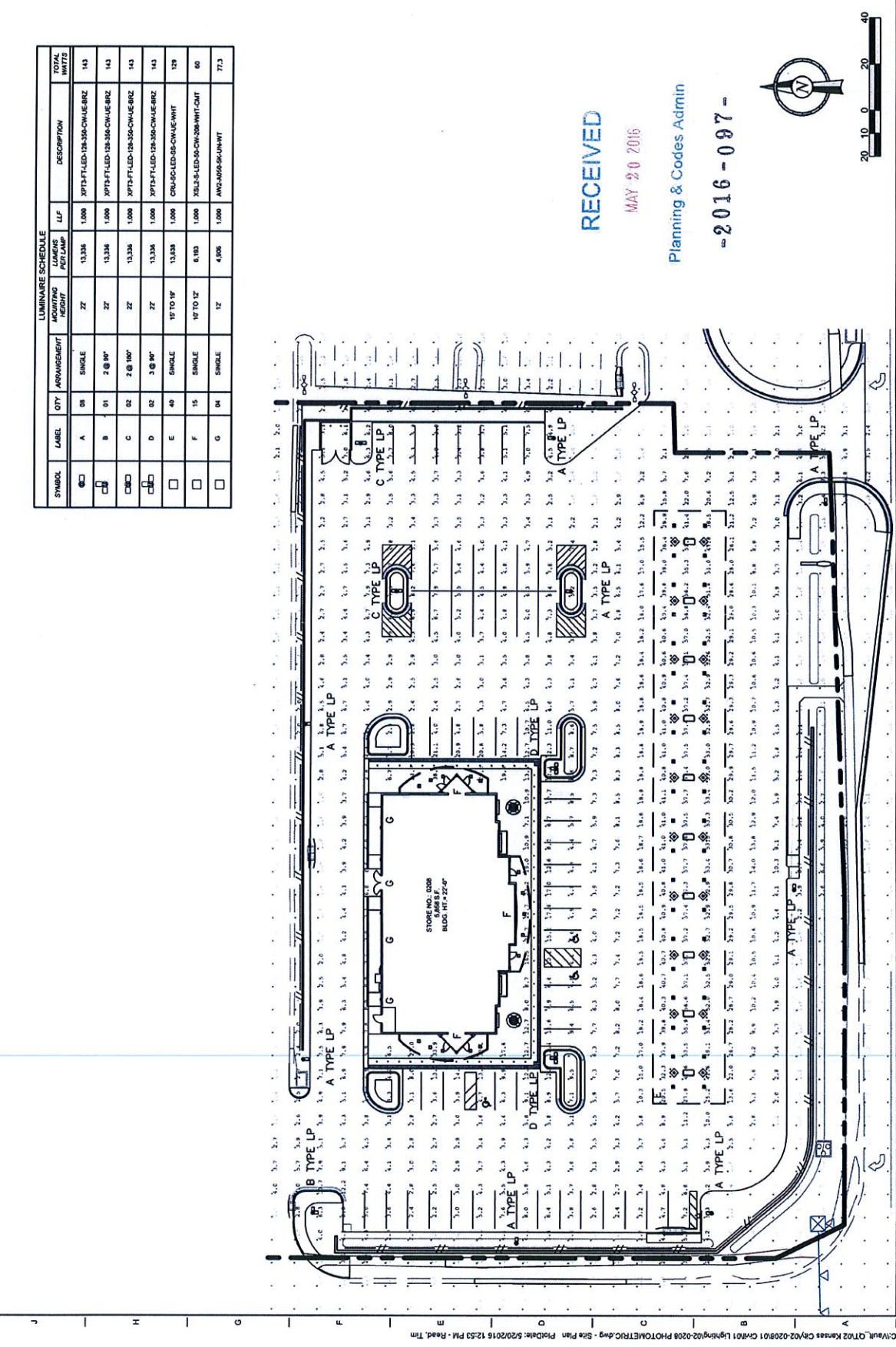
RECEIVED

2016-097

JUN 21 2016

Planning & Codes Admin

1 2 3 4 5 6 7 8 9 10 11 12



SYMBOL	LABEL	QTY	ARRANGEMENT	LUMINAIRE SCHEDULE			TOTAL WATTS
				MANUFACTURER MODEL	LUMENS PER FOOT	LLF	
	A	08	SINGLE	ZZ	13,336	1,000	143
	B	01	2 @ 90°	ZZ	13,336	1,000	143
	C	02	2 @ 180°	ZZ	13,336	1,000	143
	D	02	2 @ 90°	ZZ	13,336	1,000	143
	E	40	SINGLE	10 TO 18"	13,638	1,000	108
	F	15	SINGLE	10 TO 12"	6,193	1,000	60
	G	04	SINGLE	12"	4,908	1,000	77.3

STORE NO.: 0208
 WOODCHAPEL RD. & NE RALPH POWELL RD.
 LEES SUMMIT, MO

 ORIGINAL ISSUE DATE: 05/19/16
 SHEET TITLE: PHOTOMETRIC SITE PLAN
 SHEET NUMBER: C160

RECEIVED

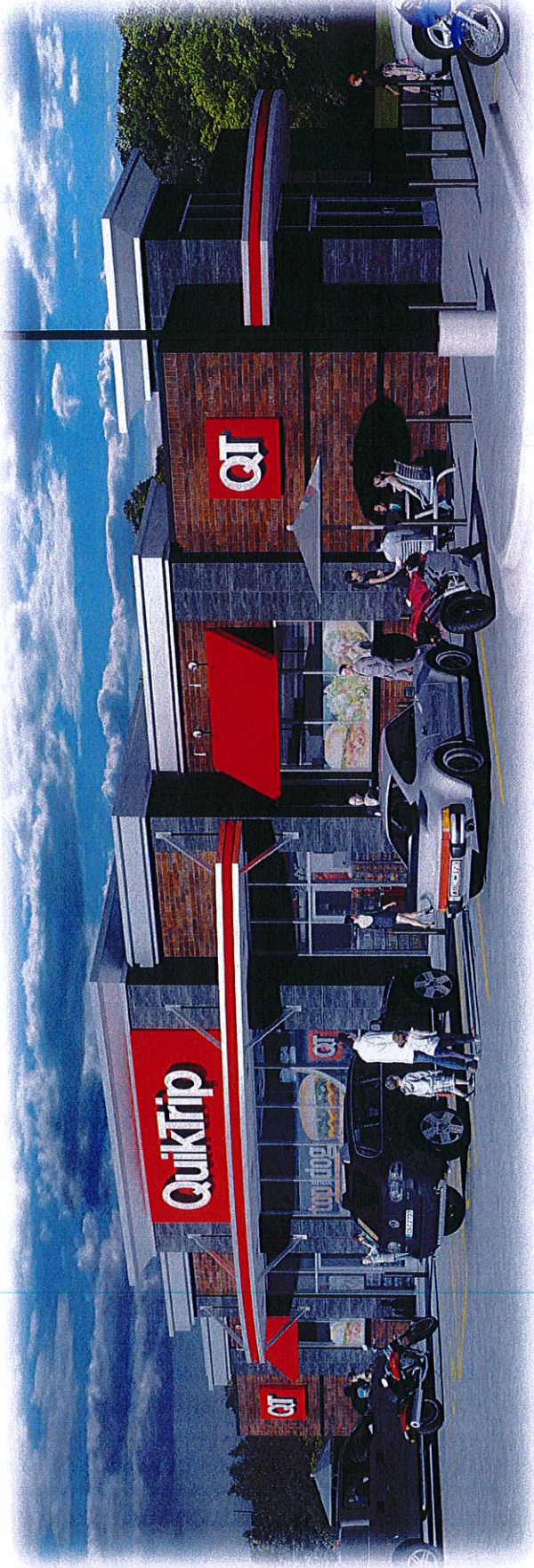
MAY 20 2016

Planning & Codes Admin

2016-097



-2016-097-



22'-0" AFF Top of Cornice

16'-0" AFF Top of Masonry

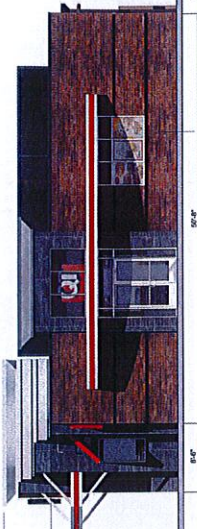
12'-0" AFF Bottom of Cornice

10'-0" AFF Bottom of Cornice

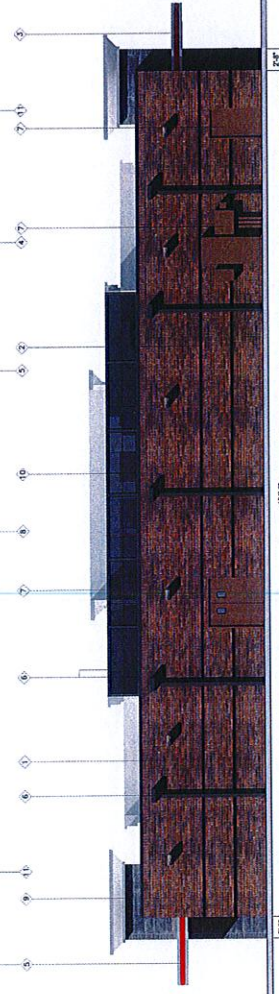
Finish Floor



Front Elevation



Right Elevation




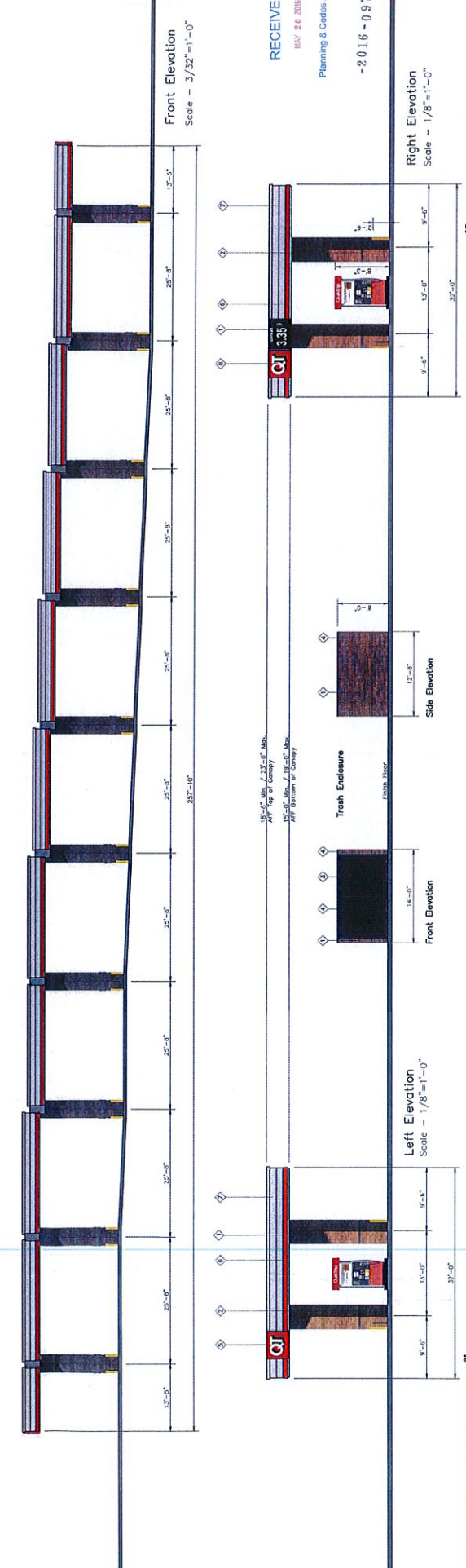
Left Elevation

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JUN 21 2016

Plan Elevations & Codes Admin

	QuikTrip. <small>4750 S. 130th St., Suite 100 Omaha, NE 68144 (402) 426-7700</small>	Store # 0208 Flat Entry Building Elevations	Address: 800 NE Woods Chapel Rd.	City, State: Lee's Summit, MO	REVISION 1. REVISIONS 2. REVISIONS 3. REVISIONS 4. REVISIONS 5. REVISIONS 6. REVISIONS 7. REVISIONS 8. REVISIONS 9. REVISIONS 10. REVISIONS
	Serial # 02-0208-BST1 Scale: 1/8" = 1'-0" Issue Date: 06.14.16	Drawn By: JK	Rev./Address:	DESIGN PATENTS DESIGN PATENTS ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION AND QUIKTRIP INTERNATIONAL. ANY UNAUTHORIZED USE, REPRODUCTION, PUBLICATION, DISTRIBUTION OR SALE IS STRICTLY PROHIBITED.	Planning & -2016



15'-0" Min. / 315" Min.
At Top of Canopy
15'-0" Min. / 315" Min.
At Bottom of Downy

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MAY 28 2016
Planning & Codes Admin
-2016-097-

QT
QuikTrip.
4724 South 137th East Ave.
Tulsa, OK 74134-7208
Phone, OK 741-2775
Tulsa, OK 74117-2475
(918) 615-7700

Store #	0208	Step Canopy Elevations	Address:	800 NE Woods Chapel Rd.	City, State:	Lee's Summit, MO	
Serial #	02-0208-GV10	Scale:	AS NOTED	Issue Date:	05/03/16	Drawn By:	TR
<p>CONTRACTOR SHALL OBTAIN PERMITS FROM THE CITY OF LEE'S SUMMIT, MISSOURI. CONTRACTOR SHALL OBTAIN PERMITS FROM THE CITY OF LEE'S SUMMIT, MISSOURI. CONTRACTOR SHALL OBTAIN PERMITS FROM THE CITY OF LEE'S SUMMIT, MISSOURI. CONTRACTOR SHALL OBTAIN PERMITS FROM THE CITY OF LEE'S SUMMIT, MISSOURI.</p>							

FINISH	MANUFACTURER	SPECIFICATION
1. EXTERIOR WALLS	QUICKTRIP	QUICKTRIP
2. EXTERIOR ROOF	QUICKTRIP	QUICKTRIP
3. INTERIOR WALLS	QUICKTRIP	QUICKTRIP
4. INTERIOR ROOF	QUICKTRIP	QUICKTRIP
5. FLOORING	QUICKTRIP	QUICKTRIP
6. PAINT	QUICKTRIP	QUICKTRIP
7. GLASS	QUICKTRIP	QUICKTRIP
8. SIGNAGE	QUICKTRIP	QUICKTRIP
9. LIGHTING	QUICKTRIP	QUICKTRIP
10. MECHANICAL	QUICKTRIP	QUICKTRIP
11. ELECTRICAL	QUICKTRIP	QUICKTRIP
12. PLUMBING	QUICKTRIP	QUICKTRIP
13. HVAC	QUICKTRIP	QUICKTRIP
14. FIRE PROTECTION	QUICKTRIP	QUICKTRIP
15. SECURITY	QUICKTRIP	QUICKTRIP
16. ACCESSIBILITY	QUICKTRIP	QUICKTRIP
17. SUSTAINABILITY	QUICKTRIP	QUICKTRIP
18. OTHER	QUICKTRIP	QUICKTRIP