

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
 400 S. GLENVIEW STREET
 KANSAS CITY, MISSOURI 64110
 PH: 816.277.1221

ARCHITECT (COMMERCIAL)
 HOLLIS R. LEITCH ARCHITECTS
 800 W. 10TH STREET, SUITE 200
 OVERLAND PARK, KANSAS 66151
 PH: 913.241.2888

ARCHITECT (RESIDENTIAL)
 ROSEMANN & ASSOCIATES
 330 GRAND BLVD
 OVERLAND PARK, MISSOURI 66110-4944
 PH: 913.472.1448

CIVIL ENGINEER
 OLSSON ASSOCIATES
 1001 BURKWOOD ST SUITE 100
 OVERLAND PARK, MISSOURI 66113-4416
 PH: 913.261.4200

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate
 Development
 DEVELOPER
 CREDIT EQUITY DEVELOPMENT
 922 SW QUANTICO DRIVE
 WICHITA, KS 67202-5481
 PH: 913.275.3081

DATE	DESCRIPTION
1	11.13.16 PRELIMINARY DEVELOPMENT PLAN
2	11.13.16 CITY COMMENTS
3	11.13.16 CITY COMMENTS

SCHEDULE

PRELIMINARY DEVELOPMENT PLAN
 CONFORMANCE PROJECT NO. 16033X

SP-01

SITE DATA (13.05 ACRES)

BUILDING	FLOOR AREA (SQ FT)	FLOOR AREA (AC)	PAR / DENSITY
LOT 1	70,000	1.27	20
LOT 2	90,000	1.52	21
LOT 3	24,000	0.40	6
LOT 4	8,000 (1,500 ROOF)	0.13	3
LOT 5	5,500	0.09	2
LOT 6	52,500	0.88	21
TOTAL	124,500	2.29	17.2

MULTIFAMILY:

BUILDING	UNITS	BUILDING HEIGHT	USE
BUILD 1	44	4 STORY	APARTMENTS
BUILD 2	80	4 STORY	APARTMENTS
BUILD 3	4	2 STORY	TOWNHOUSES
BUILD 4	4	2 STORY	TOWNHOUSES
TOTAL	132		

PARKING DATA

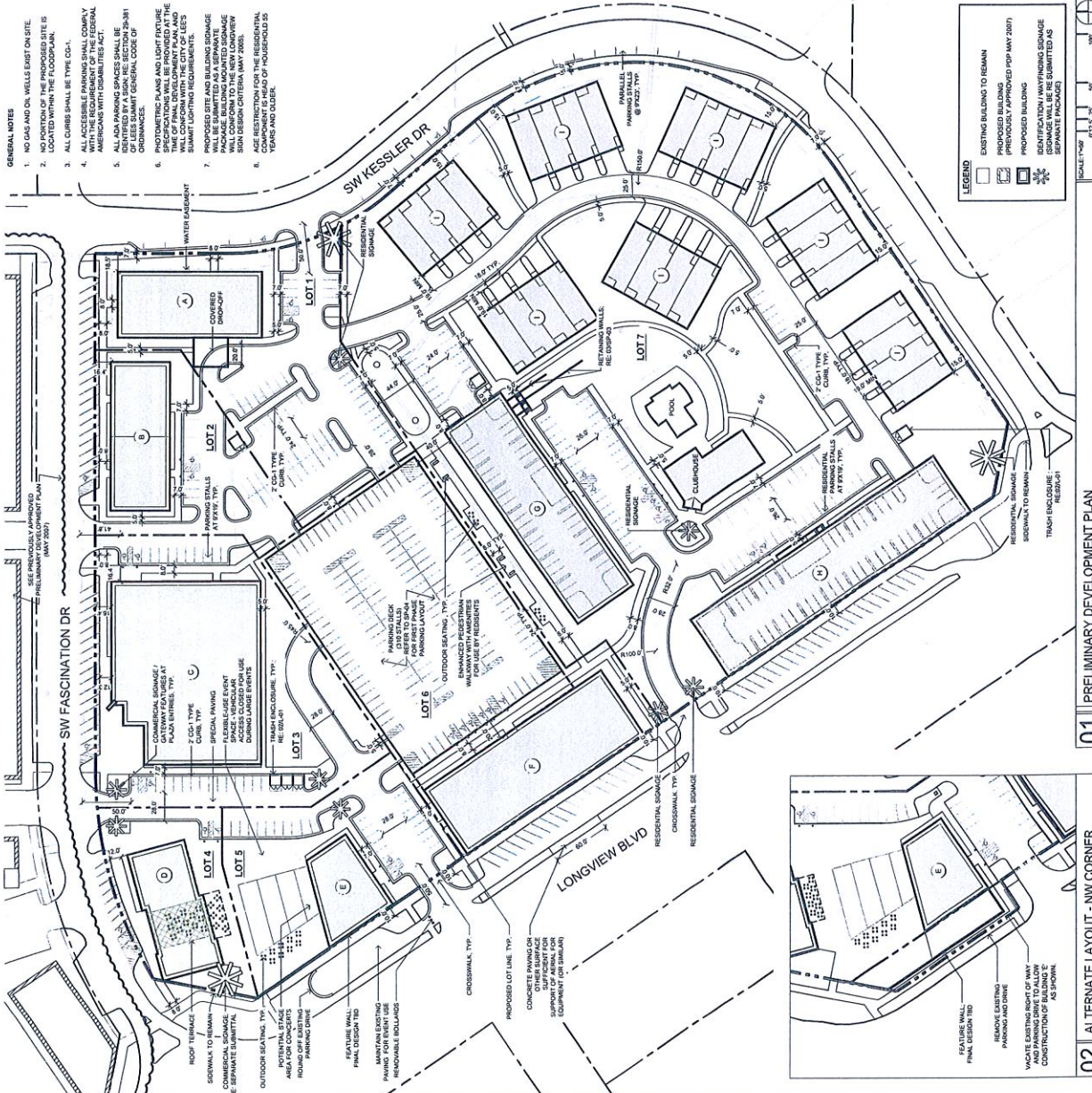
NEEDS SUMMARY (SEE SP-02 FOR SHARED MODEL)	TOTAL	ADA
COMMERCIAL PARKING REQUIREMENT (SHARED MODEL)	500	50
COMMERCIAL PARKING REQUIREMENT (WITH SHARED MODEL)	568	57
COMMERCIAL PARKING REQUIREMENT (WITH SHARED MODEL)	509	51
RESIDENTIAL PARKING REQUIREMENTS	298	29
TOTAL PARKING REQUIRED	807	80
PROVIDED	TOTAL	ADA
EXISTING ALONG FASCINATION (SOUTH SIDE)	45	3
EXISTING ALONG LONGVIEW BOULEVARD (WEST SIDE)	43	4
EXISTING ALONG KESSLER DRIVE	29	3
COMMERCIAL SURFACE PARKING	150	15
COVERED PARKING GARAGE	310	31
COVERED PARKING GARAGE	550	55
MULTIFAMILY GARAGE	164	16
MULTIFAMILY GARAGE	137	14
SUBTOTAL (MULTIFAMILY)	301	30
TOTAL PARKING PROVIDED	504	50

PROPOSED LOT ACRES

LOTS	SIZE (AC)	FLOOR AREA (AC) / DENSITY	PAR / DENSITY
LOT 1	1.16	70,000 / 20	0.189
LOT 2	0.68	90,000 / 21	0.309
LOT 3	1.50	24,000 / 6	0.427
LOT 4	0.50	8,000 / 16	0.36
LOT 5	0.25	5,500 / 11	0.171
LOT 6	1.99	52,500 / 26	0.222
MULTIFAMILY:			
LOT 7	6.76	172 U	25.41 BU / AC
TOTAL	13.05	172.0	25.41 BU / AC

OTHER SITE DATA:
 PROPOSED SITE IMPERVIOUS AREA: 167,294 SQ FT
 OPEN SPACE: 137,208 SQ FT PROVIDED (24%)

RECEIVED
 NOV 01 2016
 Planning & Codes Admin
 - 2016-167 -



FILE NUMBER: 211-210-00001 (2016-167) - Design by: H.C. CHANG & CO.

SCHEDULE	
NO.	DESCRIPTION
1	PRELIMINARY DEVELOPMENT PLAN
2	PERMITS
3	CONSTRUCTION
4	OPERATIONS

CONFLUENCE PROJECT NO: 10030303
MODEL
SHARED PARKING

SP-02

Fascination at New Longview - Shared Parking Model

Proposed Uses	SPF/ Units	Use Typ.	UDO per 1,000 SF	Peak Parking	Parking Needs - Full Build-out					
					M-F 8am-5pm	M-F 6pm-12am	M-F 12am-6am	Sat & Sun 8am-5pm	Sat & Sun 6pm-12am	Sat & Sun 12am-6am
Building A - 2-Story Med/Office	20,000	Med/Office	5	100	100%	20%	5%	5%	5%	5%
Building B - 1-Story Med/Office	9,000	Med/Office	5	45	100%	20%	5%	5%	5%	5%
Building C - Luxury Theater*	28,000	Theater	5.3	148	40%	80%	10%	70%	104	148
Building D - Restaurant(s)	8,000	Restaurant	14	112	70%	100%	10%	100%	112	112
Building E - Rooftop Deck	1,500	Restaurant	14	21	70%	100%	10%	100%	21	21
Building F - 1-Story Office	5,500	Office	4	22	100%	20%	5%	5%	5%	5%
Building F - 3-Story HQ Office	52,500	Office	4	210	100%	20%	5%	5%	5%	5%
Totals	124,500			529				327		47

Parking Needs Summary	Phase I	Full Build-Out
Parking Required (w/out Shared Model)	148	658
Parking Required (w/Shared Parking Model)	0	129
Parking Spots Saved		20%

Total Spots Needed: 148

529

Spots Provided
Existing Along Fascination (South Side) 45
Existing Along Longview Blvd (East Side) 40
Existing Along Kessler Drive 29
Commercial Surface Parking 120
Covered Garage Parking: 0
Total Spots Provided: 227

Timing of Excess Spots - Full Build-out		
M-F 8am-5pm	M-F 6pm-12am	Sat & Sun 8am-5pm
24	226	297
Total Excess Spots: 547		



* Note: Theater assumes 594 seats, with UDO requirement of 1 spot per 4 seats

Online Transportation Demand Management Encyclopedia: <https://www.vtpi.org/tdm/tdm89.htm>
Mary Smith (2005), "Shared Parking", UL / ICSC
Geoffrey Booth, et al (2002), "Ten Principles for Reinventing Suburban Business Districts", UU

RECEIVED

NOV 01 2016

Planning & Codes Admin

2016-107-

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE ARCHITECTS
 417 BEAUMONT STREET
 SUITE 100
 ST. LOUIS, MISSOURI 63108
 PH: 314.531.7227

ARCHITECT (COMMERCIAL)
 HOLLIS-MILLER ARCHITECTS
 2005 W 103TH STREET SUITE 200
 OVERLAND PARK, MISSOURI 66204
 PH: 913.431.8888

ARCHITECT (RESIDENTIAL)
 ROSEMAN & ASSOCIATES
 10000 N. MISSOURI AVE SUITE 100
 OVERLAND PARK, MISSOURI 66204
 PH: 913.431.8888

CIVIL ENGINEER
 OLSSON ASSOCIATES
 10000 N. MISSOURI AVE SUITE 100
 OVERLAND PARK, MISSOURI 66204
 PH: 913.431.8888

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEAS SUMMIT, MISSOURI

BOX Real Estate Development

DESIGNED BY
BOX REAL ESTATE DEVELOPMENT
 10000 N. MISSOURI AVE SUITE 100
 OVERLAND PARK, MISSOURI 66204
 PH: 913.431.8888

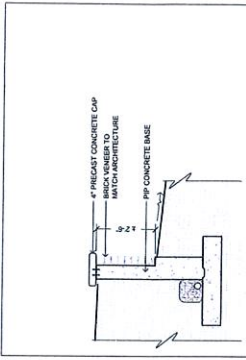
SCHEDULE	
NO.	DESCRIPTION
1	PRELIMINARY GRADING PLAN
2	PRELIMINARY GRADING PLAN
3	PRELIMINARY GRADING PLAN

THIS PLAN IS THE PROPERTY OF CONFLUENCE ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONFLUENCE ARCHITECTS.

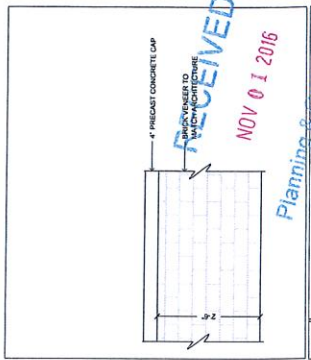
PRELIMINARY GRADING PLAN
 CONFLUENCE PROJECT #2016-167

SP-03

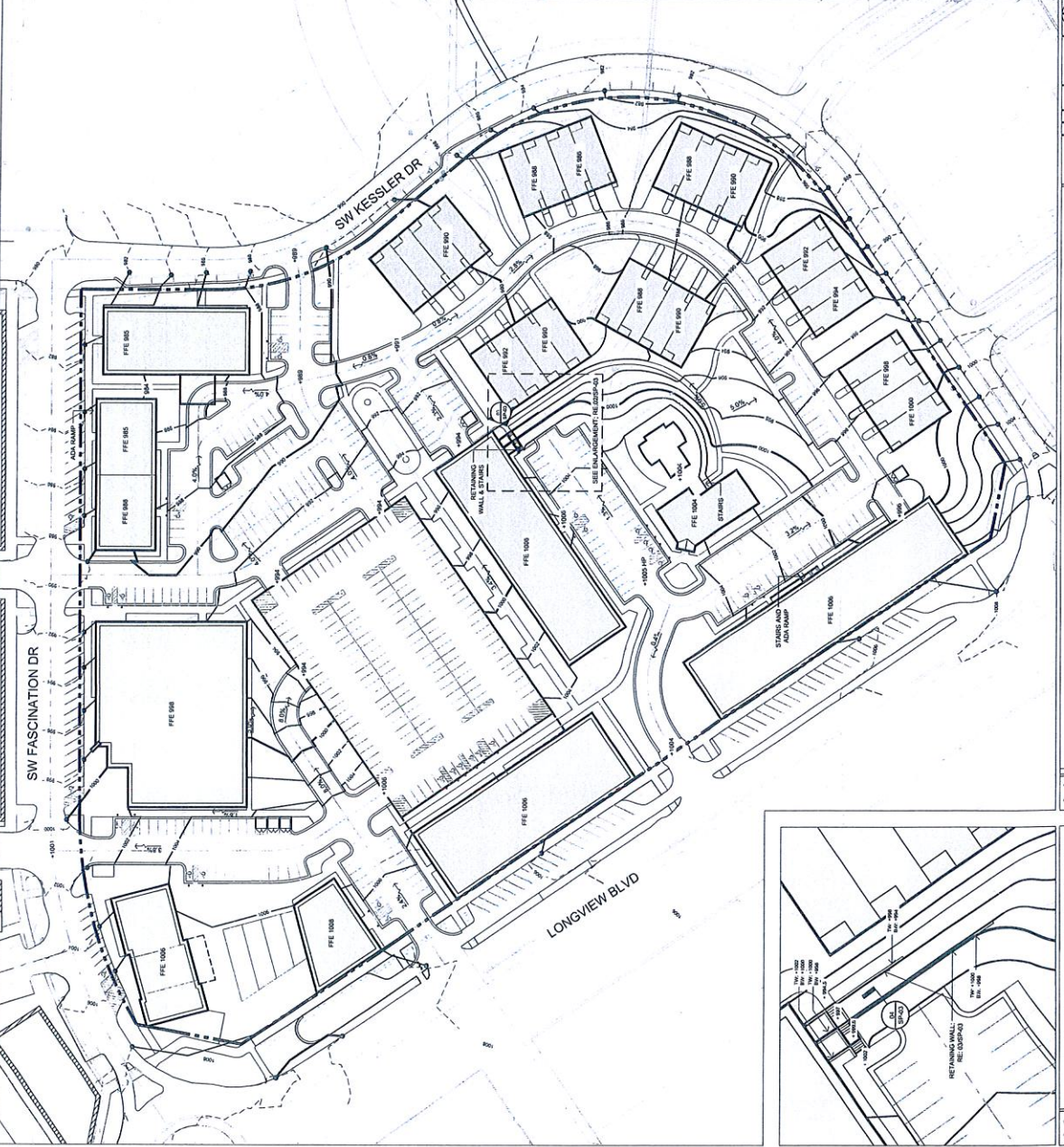
- GRADING NOTES**
- ALL SPOT ELEVATIONS ARE AT THE TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED. THE BOTTOM OF CURB AND FUTURE UTILITY LOCATIONS ARE TO BE DETERMINED BY THE CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISHED GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, SANITARY, WATER, GAS, AND LIGHT BULBS. VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND LIGHT BULBS.
 - BACK FILL TO TOP OF CURB
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE IN ALL AREAS UNLESS OTHERWISE NOTED. ALL FINELY GRADED AREAS SHALL BE SLOPED IN SUCH A MANNER TO BE FREE OF STANDING WATER. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - WHERE PROPOSED GRASSES MEET EXISTING, BEANS GRASSES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW WORK AND EXISTING AREAS. PROPOSED TRANSITIONS SHALL BE ACCEPTED AGAINST EXISTING BUILDINGS. PROPOSED TRANSITIONS SHALL BE ACCEPTED AGAINST EXISTING BUILDINGS.
 - CONTRACTOR RESPONSIBLE FOR ALL PRIVATE LOCATES NOT COVERED BY THE MISSOURI ONE CALL SYSTEM.
 - ALL EXISTING AND PROPOSED SPACES SHALL BE LOCATED ON A SURFACE WITH A SLOPE NOT EXCEEDING 1 VERTICAL FOOT IN 8 HORIZONTAL FEET.



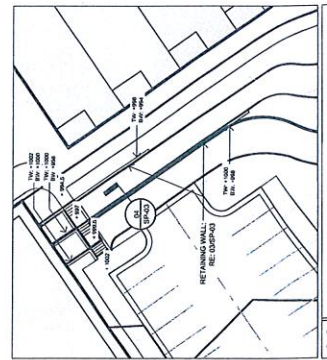
04 SECTION: RETAINING WALL



03 ELEVATION: RETAINING WALL



01 PRELIMINARY GRADING PLAN



02 STAIR AND RETAINING WALL ENLARGEMENT

NOV 01 2016
 RECEIVED
 Planning & Codes Admin

-2016-167-

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
CONFLUENCE
 417 DELAWARE STREET
 OVERLAND PARK, MISSOURI 66204
 PH: 913.531.7327

ARCHITECT (COMMERCIAL)
HOLLIS-MILLER ARCHITECTS
 1000 WEST 10TH STREET
 OVERLAND PARK, MISSOURI 66201-1601
 PH: 913.491.8888

ARCHITECT (RESIDENTIAL)
JOSEMAN & ASSOCIATES
 1200 WEST 10TH STREET
 KANSAS CITY, MISSOURI 64108-1004
 PH: 816.472.1441

CIVIL ENGINEER
OLSSON ASSOCIATES
 1000 WEST 10TH STREET
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.387.4333

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

RESOURCES
BOX REAL ESTATE DEVELOPMENT
 1000 WEST 10TH STREET
 LEES SUMMIT, MISSOURI
 PH: 913.535.8661

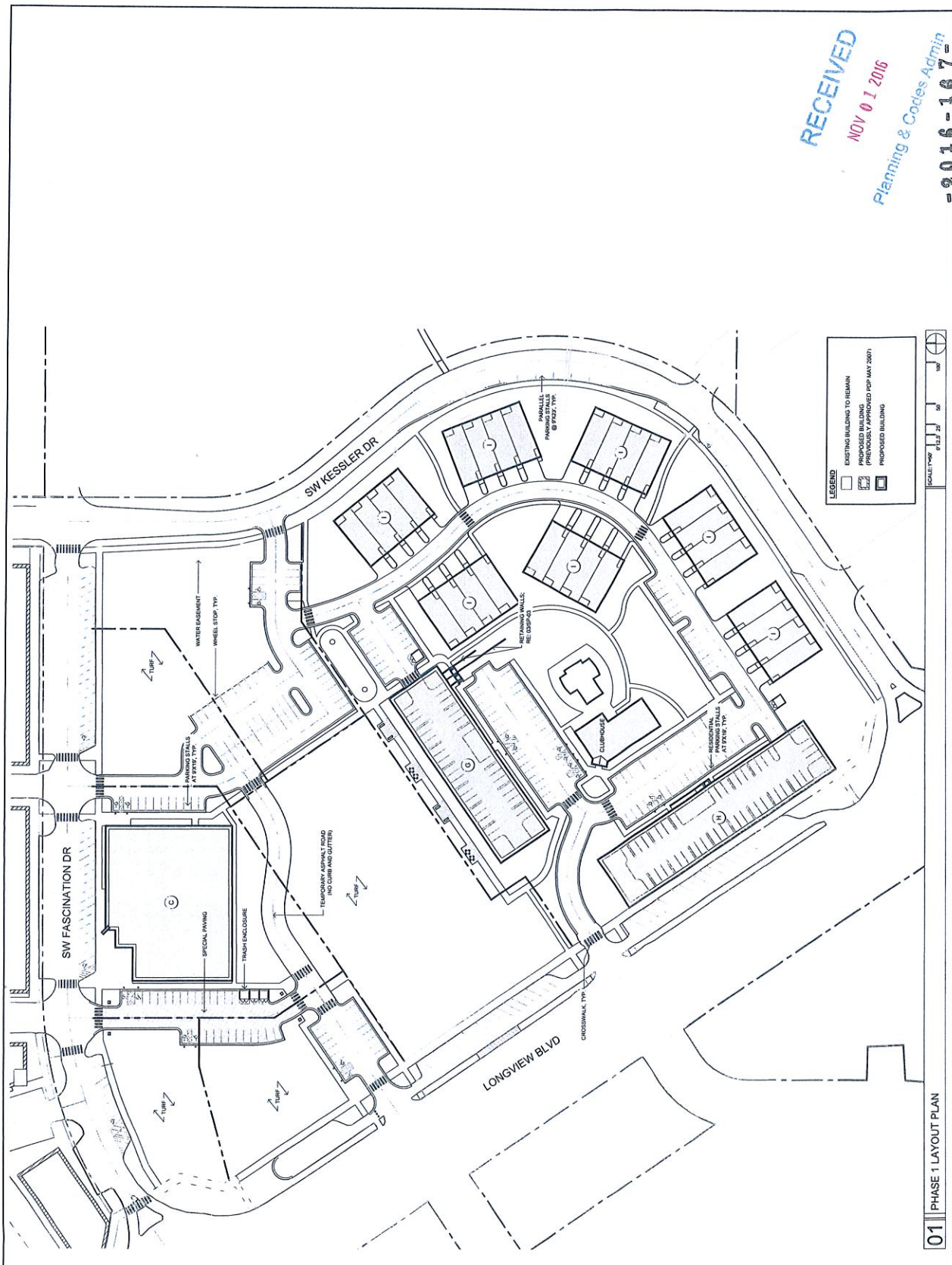
NO.	DATE	DESCRIPTION
1	08/20/16	PRELIMINARY DEVELOPMENT PLAN
2	09/20/16	PHASE 1 LAYOUT PLAN
3	10/19/16	CITY COMMENTS

PHASE 1 LAYOUT PLAN

CONFLUENCE PROJECT NO: 16033MC

SP-04

RECEIVED
 NOV 01 2016
 Planning & Codes Admin
 -2016-167-



01 PHASE 1 LAYOUT PLAN

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

BOX REAL ESTATE DEVELOPMENT
 1100 S. SUMMIT, SUITE 100
 LEES SUMMIT, MISSOURI 64116
 PH: 816.723.8861

SCHEDULE	
NO.	DESCRIPTION
1	DESIGN
2	PERMITS
3	CONSTRUCTION
4	POSTING
5	DECOMMISSION

CONFLUENCE PROJECT NO. 1003002

DETAIL SHEET

C-04

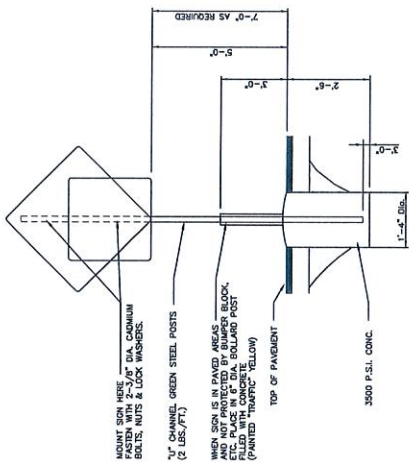
Location: L:\Projects\Permitting\Projects\1000-0000\New Longview Theater\Permits\Construction Documents\PC2\16x24\012 - dwg

RECEIVED

NOV 01 2016

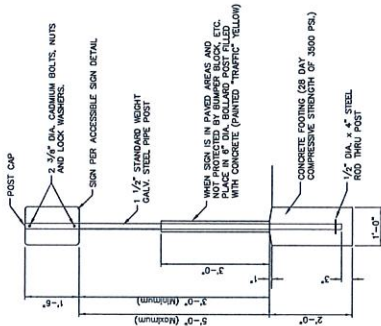
Planning & Codes Admin

- 2016-107 -



1. ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION (FHWA) STANDARD SIGN PLAN (SP-1) AND LOCAL CODES AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH THE SIGN PLAN (SP-1) AND LOCAL CODES AS SPECIFIED.
2. IF ANY SIGN PROTRUSION MORE THAN 1/2" FROM THE CENTER LINE OF THE POST IT IS REQUIRED TO BE PROTECTED BY BUMPY BLOCK, ETC. PLACE IN 6" DIA. BALLARD POST WITH CONCRETE (PAINTED TRAFFIC YELLOW).
3. ALL SIGNS MAY NOT BE AFFIXABLE TO THIS PROJECT. USE SIGNS THAT ARE AFFIXABLE TO THIS PROJECT.
4. SIGNS SHALL BE LOCATED 2'-0" BEHIND CURB WHERE THERE IS CURB & GUTTER.

4 SIGN BASE

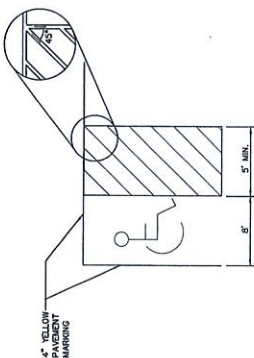


1. ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION (FHWA) STANDARD SIGN PLAN (SP-1) AND LOCAL CODES AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH THE SIGN PLAN (SP-1) AND LOCAL CODES AS SPECIFIED.
2. IF ANY SIGN PROTRUSION MORE THAN 1/2" FROM THE CENTER LINE OF THE POST IT IS REQUIRED TO BE PROTECTED BY BUMPY BLOCK, ETC. PLACE IN 6" DIA. BALLARD POST WITH CONCRETE (PAINTED TRAFFIC YELLOW).
3. ALL SIGNS MAY NOT BE AFFIXABLE TO THIS PROJECT. USE SIGNS THAT ARE AFFIXABLE TO THIS PROJECT.
4. SIGNS SHALL BE LOCATED 2'-0" BEHIND CURB WHERE THERE IS CURB & GUTTER.

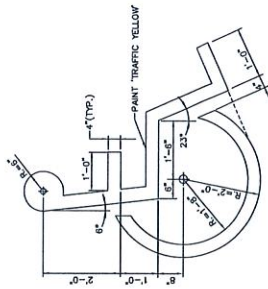
5 ACCESSIBLE SIGNAGE DETAIL



1 ACCESSIBLE SIGN DETAIL



2 ACCESSIBLE STRIPING DETAIL



NOTE: SYMBOL TO BE CENTERED IN PARKING SPACE AND ORIENTED AS ILLUSTRATED ON PLAN.

3 ACCESSIBLE PARKING SYMBOL

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

OWNER
 BOXER REAL ESTATE
 DEVELOPMENT
 825 S. ALAMOUNT RD
 LEES SUMMIT, MISSOURI
 PH: 913.753.8881

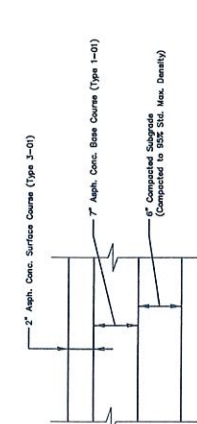
SCHEDULE	
NO.	DESCRIPTION
1	PRELIMINARY CONSTRUCTION
2	CONSTRUCTION
3	OPERATION
4	MAINTENANCE

CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION AND THE MISSOURI DEPARTMENT OF REVENUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

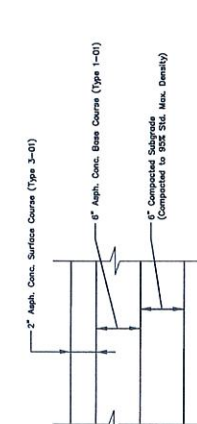
DETAIL SHEET

CONFLUENCE PROJECT NO: 160320C

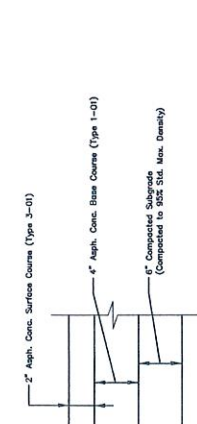
C-05



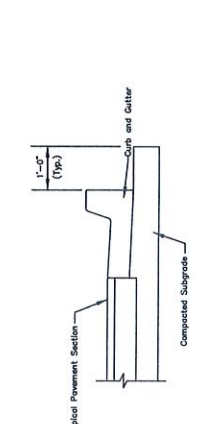
1 LIGHT DUTY ASPHALT PAVEMENT SECTION



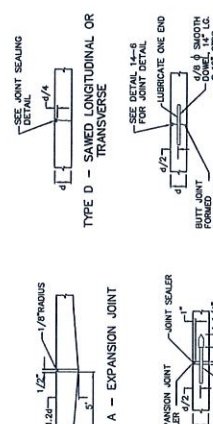
3 STANDARD DUTY ASPHALT PAVEMENT SECTION



5 HEAVY DUTY ASPHALT PAVEMENT SECTION



6 PAVING DETAIL



4 CONCRETE PAVEMENT JOINTING DETAILS



2 CURB & GUTTER

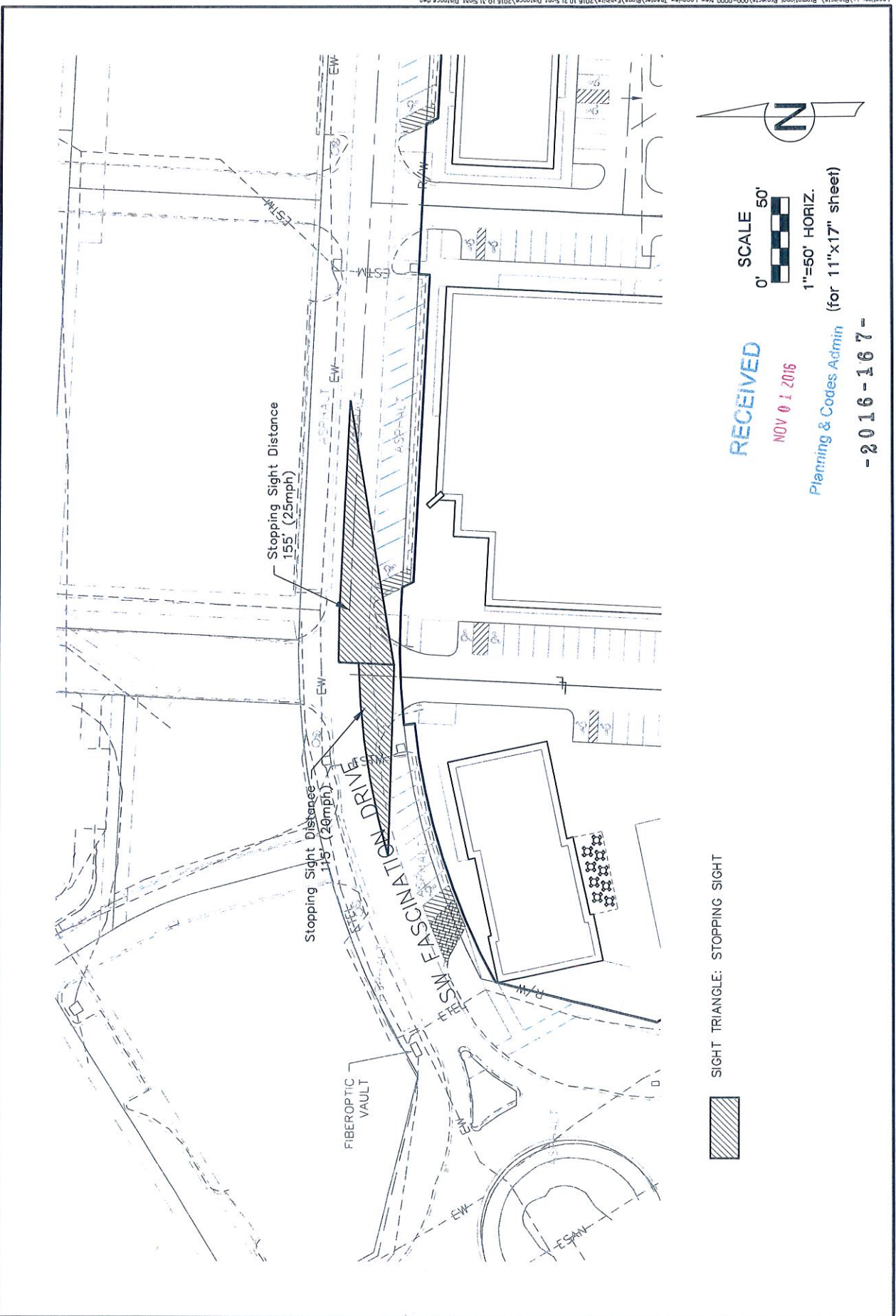
STRAIGHT BACK CURB & GUTTER (TYPE CG-1) N.T.S.

MODIFIED STRAIGHT BACK CURB & GUTTER (TYPE MODIFIED CG-1) N.T.S.

RECEIVED
 NOV 01 2016
 Planning & Codes Admin

- 2016-167 -

- CURB & GUTTER NOTES:**
1. CURBS WITH 2\"/>
 2. DEED CONSTRUCTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB.
 3. FIX DOMELS WITH BAR CHAIRS OR EQUAL.
 4. OPERSEES SPECIFIED IN PLANS AND PROJECT MANUAL FOR C&G ACCESS RAMP.
 5. DEPTH OF CURB SHALL BE MINIMUM OF 8\"/>



SCALE 50'
 0' 50'
 1"=50' HORIZ.

RECEIVED

NOV 01 2016

Planning & Codes Admin (for 11"x17" sheet)

-2016-167-

SIGHT TRIANGLE: STOPPING SIGHT



Location: L:\Projects_Promotional\Projects\000-0000 New Longview Theater\Plans\Exhibits\2016 10 21 Sight Distance\2016 10 21 Sight Distance.dwg



SCALE 50'
0'

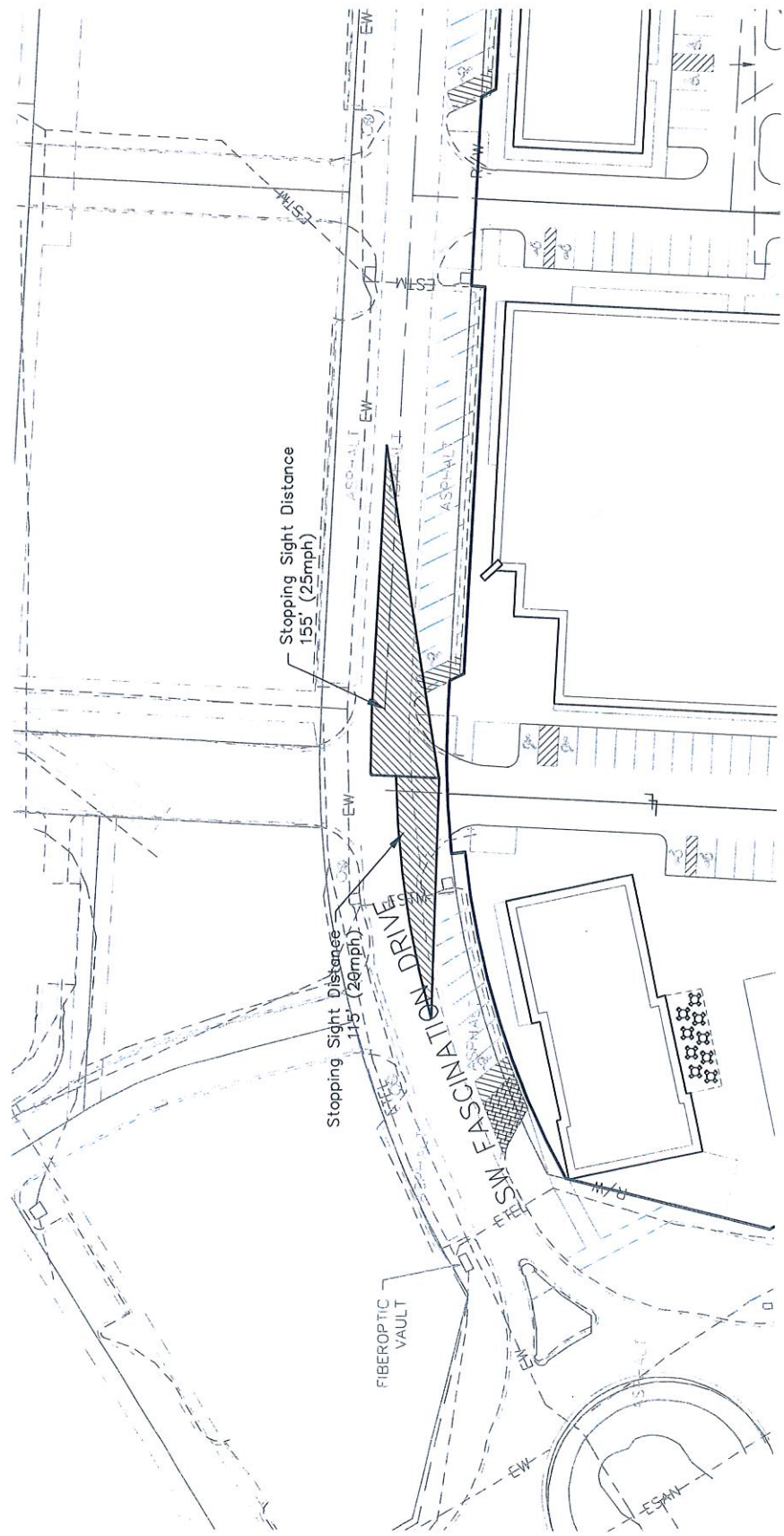
1"=50' HORIZ.

RECEIVED

NOV 01 2016

Planning & Codes Admin (for 11"x17" sheet)

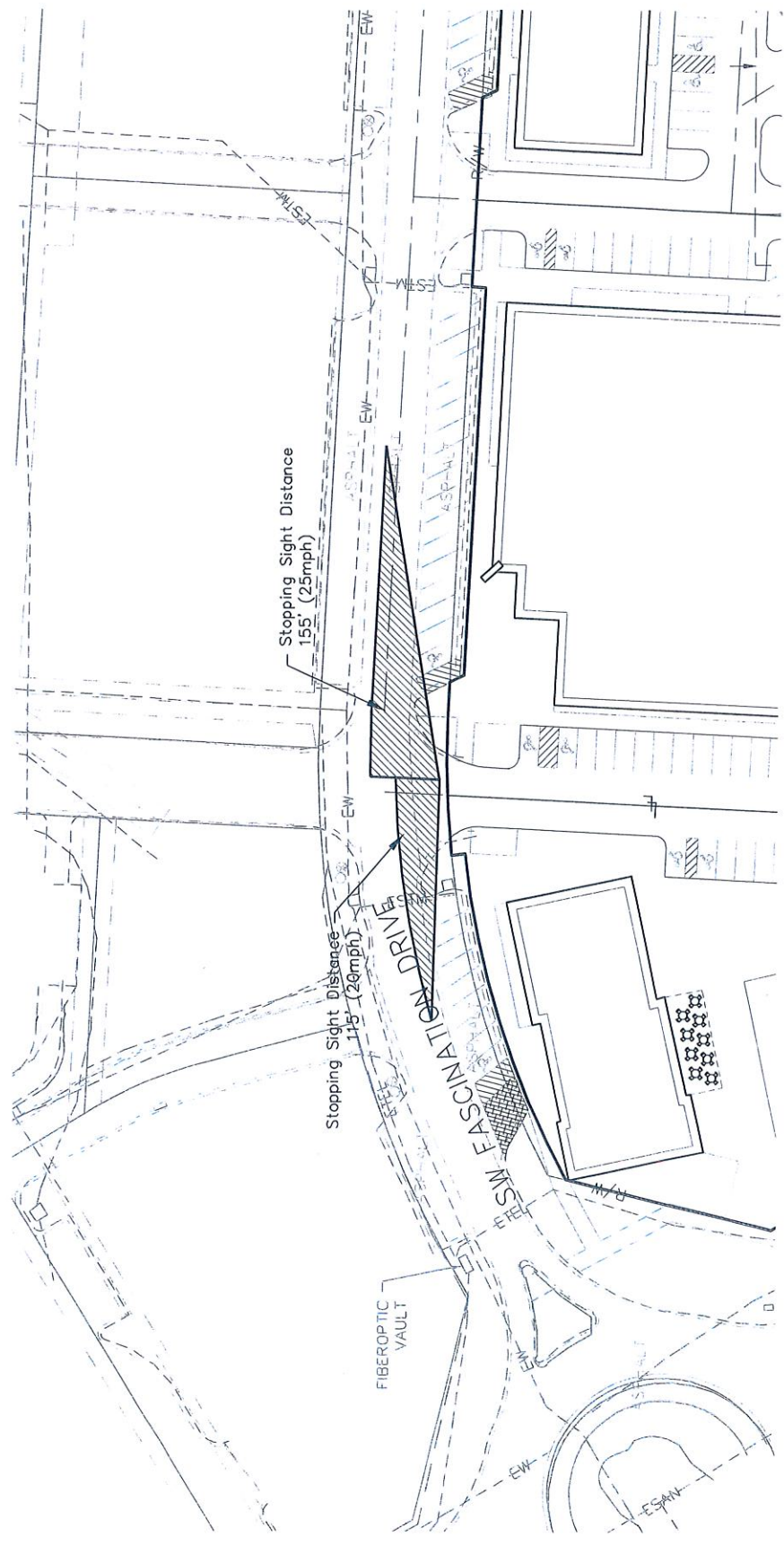
-2016-107-



SIGHT TRIANGLE: STOPPING SIGHT



Location: L:\Projects\Promotional Projects\00-0000 New Longview Theater\Projects\Exhibits\2016.10.21 Sight Distance\2016.10.21 Sight Distance.dwg



SCALE 50'
0'

1"=50' HORIZ.

(for 11"x17" sheet)

RECEIVED

NOV 01 2016

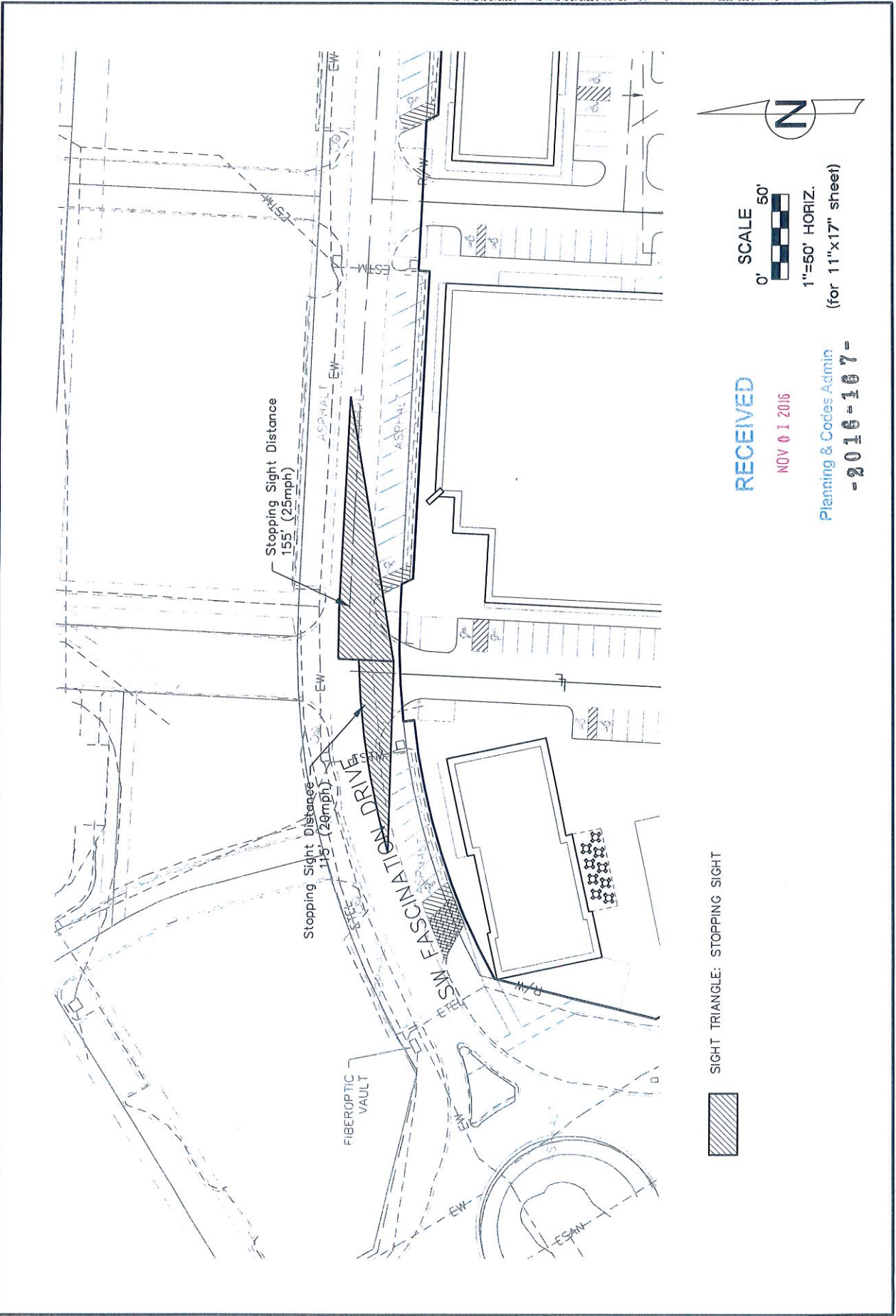
Planning & Codes Admin

-2016-167-

SIGHT TRIANGLE: STOPPING SIGHT



L:\Projects\Promotional Projects\000-0000 New Longview Teacher\Plans\Exhibits\2016.10.21 Sight Distance\2016.10.21 Sight Distance.dwg



SCALE 50'
0'
1"=50' HORIZ.
(for 11"x17" sheet)

RECEIVED

NOV 01 2016

Planning & Codes Admin

- 2016-167 -

SIGHT TRIANGLE: STOPPING SIGHT

CONFLUENCE

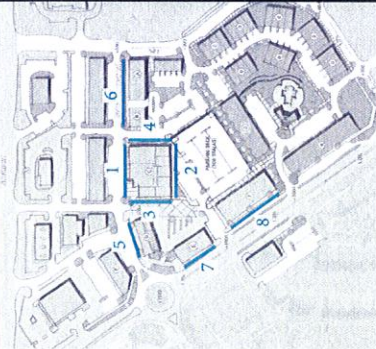
LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE
 417 DELAWARE STREET
 WASHINGTON, MISSOURI 64785
 PH: 816.331.7227

ARCHITECT (COMMERCIAL)
 HOLLIS-MILLER ARCHITECTS
 8000 W 138TH TERR, SUITE 200
 OVERLAND PARK, MISSOURI 66209
 PH: 913.451.8886

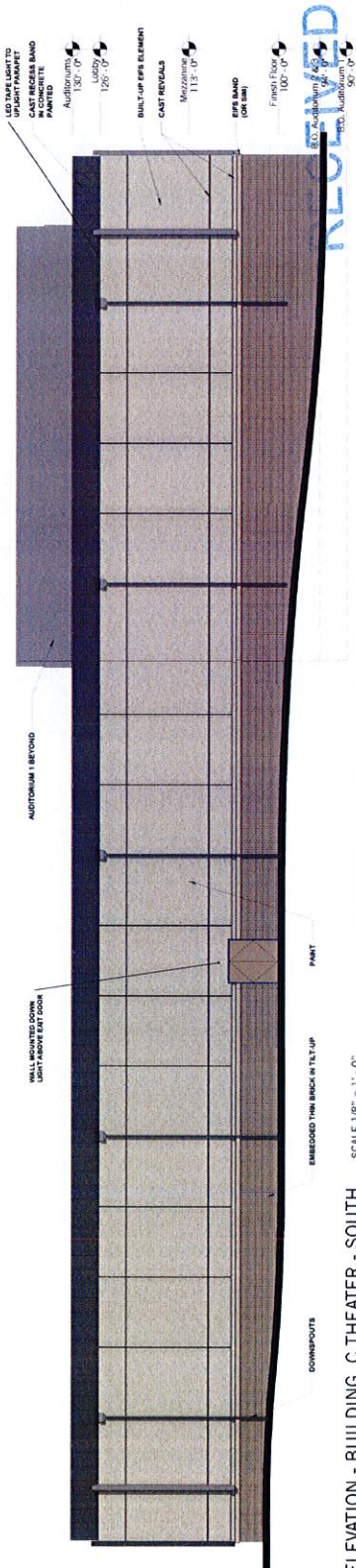
ARCHITECT (RESIDENTIAL)
 ROSEMAN & ASSOCIATES
 1506 GRAND BLVD
 OVERLAND PARK, MISSOURI 66209-1404
 PH: 913.677.1448

CIVIL ENGINEER
 OLSSON ASSOCIATES
 1303 BURLINGTON ST, SUITE 100
 WASHINGTON, MISSOURI 64785
 PH: 816.307.4332

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI



1. EXTERIOR ELEVATION - BUILDING C THEATER - NORTH SCALE 1/8" = 1'-0"



2. EXTERIOR ELEVATION - BUILDING C THEATER - SOUTH SCALE 1/8" = 1'-0"

OCT 4 2016

ELEVATIONS

CONFLUENCE PROJECT NO: 000032C
 A-01

DEVELOPER
 REAL ESTATE DEVELOPMENT
 10030 W. WASHINGTON DRIVE
 OVERLAND PARK, MISSOURI 66209
 PH: 913.735.8866

SCHEDULE

NO.	DATE	DESCRIPTION
1	10/13/16	ISSUED FOR PERMITTING
2	10/13/16	ISSUED FOR PERMITTING
3	10/13/16	ISSUED FOR PERMITTING

NOTES:
 1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
 3. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 4. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE
 1400 SOUTH MAIN STREET
 KANSAS CITY, MISSOURI 64105
 PH: 816.537.7227

ARCHITECT (COMMERCIAL)
 HOLLIS-MILLER ARCHITECTS
 1000 WEST 10TH AVENUE
 OVERLAND PARK, KANSAS 66202-1801
 PH: 913.451.8086

ARCHITECT (RESIDENTIAL)
 ROSEMANN & ASSOCIATES
 1000 WEST 10TH AVENUE
 KANSAS CITY, MISSOURI 64108-1404
 PH: 816.472.1446

CIVIL ENGINEER
 OLSSON ASSOCIATES
 1000 WEST 10TH AVENUE
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.587.6200

NLV - PHASE II
 LONGVIEW BLD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

1000 WEST 10TH AVENUE, NORTH KANSAS CITY, MISSOURI 64116

DEVELOPER
 BOX REAL ESTATE
 1000 WEST 10TH AVENUE
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 913.759.9611

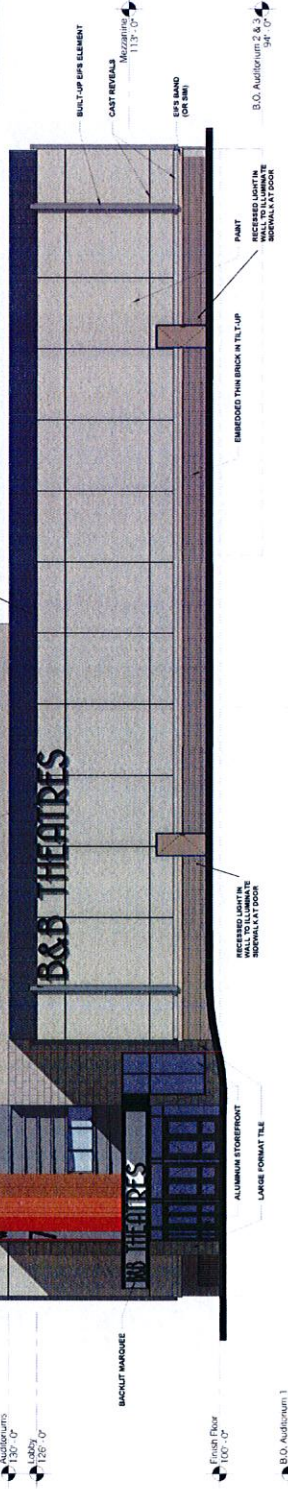
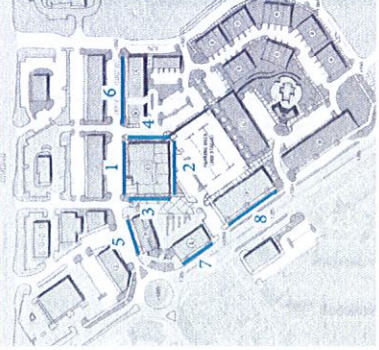
NO.	DATE	DESCRIPTION
1	10/15/15	PRELIMINARY
2	10/20/15	REVISED

CONFLUENCE ARCHITECTURE, INC.
 1400 SOUTH MAIN STREET
 KANSAS CITY, MISSOURI 64105
 PH: 816.537.7227

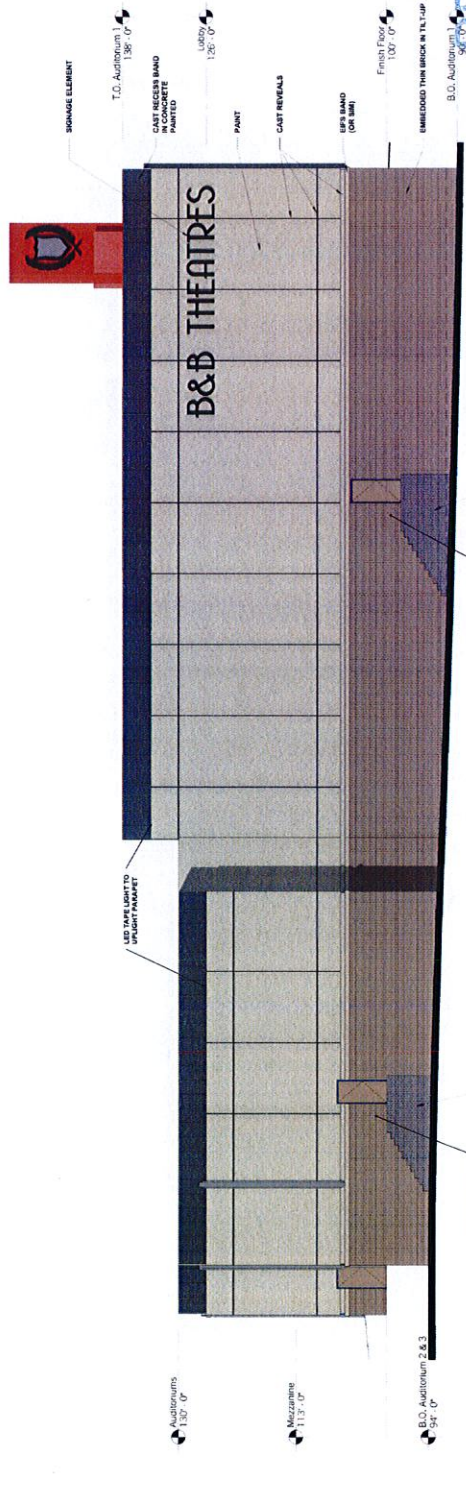
ELEVATIONS

CONFLUENCE PROJECT NO. 150320C

A-02



3. EXTERIOR ELEVATION - BUILDING C THEATER - WEST SCALE 1/8" = 1'-0"



4. EXTERIOR ELEVATION - BUILDING C THEATER - EAST SCALE 1/8" = 1'-0"

RECEIVED

OCT 4 2016

Planning - 2016-167

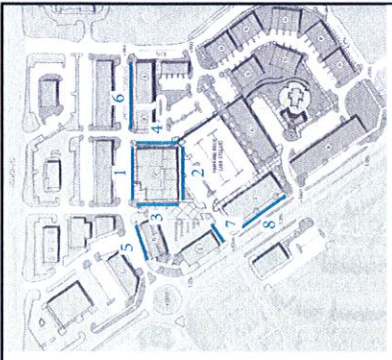
CONFLUENCE
 LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE
 100 GRAND BLVD.
 KANSAS CITY, MISSOURI 64105
 PH: 816.531.7227

ARCHITECT (COMMERCIAL)
 HOLLIS-MILLER ARCHITECTS
 100 GRAND BLVD.
 OVERLAND PARK, KANSAS 66111-1661
 PH: 913.451.8886

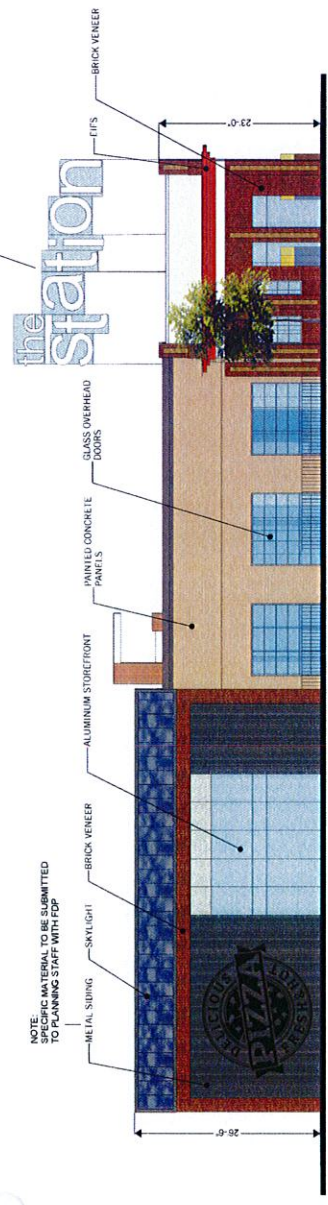
ARCHITECT (RESIDENTIAL)
 FOSTER HUNTER & ASSOCIATES
 100 GRAND BLVD.
 KANSAS CITY, MISSOURI 64105-1661
 PH: 816.472.1442

CIVIL ENGINEER
 OLSSON ASSOCIATES
 100 GRAND BLVD.
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.587.4320

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

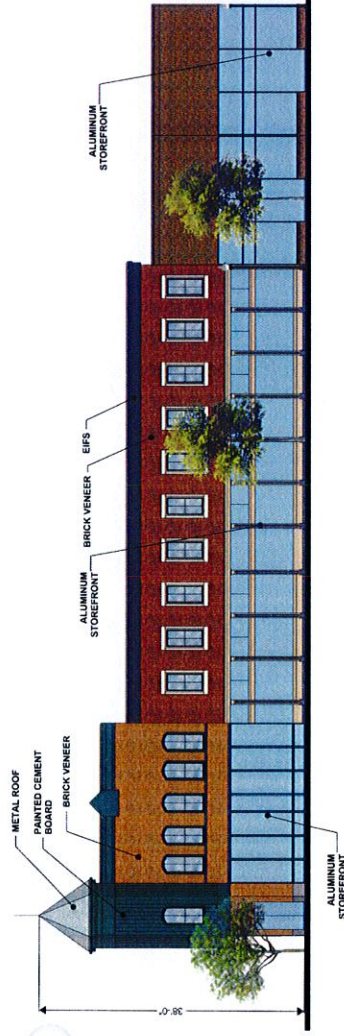


NOTE:
 LARGE ROOFTOP SIGNAGE SHOWN AS A PLACEHOLDER FOR
 FINAL SIGNAGE. FINAL SIGNAGE PLANS WILL BE SUBMITTED WITH FDP FOR ANY
 SIGNAGE THAT DOES NOT ADHERE TO THE PREVIOUSLY APPROVED
 2005 SIGNAGE CRITERIA BOOKLET.

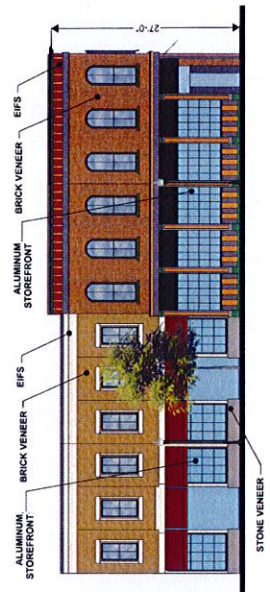


5. EXTERIOR ELEVATION - BUILDING D RESTAURANTS - NORTH SCALE 1/8" = 1' - 0"

NOTE:
 THIS DRAWING IS FOR THE GENERAL CONCEPT AND VEILS OF THE STREETSCAPE ONLY.
 SPECIFIC BUILDING DESIGN WILL BE SUBMITTED WITH FDP. SIDE AND REAR ELEVATIONS TO USE
 SIMILAR MATERIALS AS EXISTING COMMERCIAL BUILDINGS.



6. EXTERIOR ELEVATION - BUILDING A & B RETAIL AND OFFICE - NORTH SCALE 1/8" = 1' - 0"



RECEIVED

OCT 4 2016

2016-167
 Planning & Codes Admin

ELEVATIONS

CONFLUENCE PROJECT NO. 160303C

A-03

DEVELOPER
 BOX REAL ESTATE
 100 GRAND BLVD.
 KANSAS CITY, MISSOURI 64105
 PH: 816.235.8800

SCHEDULE

NO.	DATE	DESCRIPTION
1	REVISION	FOR LEASING REVIEW COMMENTS
2	REVISION	FOR LEASING REVIEW COMMENTS
3	REVISION	FOR LEASING REVIEW COMMENTS

THIS DRAWING IS THE PROPERTY OF CONFLUENCE AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONFLUENCE. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED.

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE
 4100 SOUTH WILSON AVENUE
 KANSAS CITY, MISSOURI 64105
 PH: 816.537.7277

ARCHITECT (COMMERCIAL)
 HOLLIS-MILLER ARCHITECTS
 1000 WEST 12TH AVENUE
 OVERLAND PARK, KANSAS 66210-1861
 PH: 913.451.8886

ARCHITECT (RESIDENTIAL)
 ROSEMANN & ASSOCIATES
 1000 WEST 12TH AVENUE
 KANSAS CITY, MISSOURI 64108-1404
 PH: 816.472.1448

CIVIL ENGINEER
 OLSSON ASSOCIATES
 1000 WEST 12TH AVENUE
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.587.4200

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

10/15/2016 - New Elevations Presentation - Photos

DEVELOPER
 BOX REAL ESTATE
 1000 WEST 12TH AVENUE
 SUITE 200, NORTH KANSAS CITY
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 913.759.5814

NO.	DATE	DESCRIPTION
1	10/15/16	PRELIMINARY ELEVATIONS
2	10/15/16	REVISED ELEVATIONS

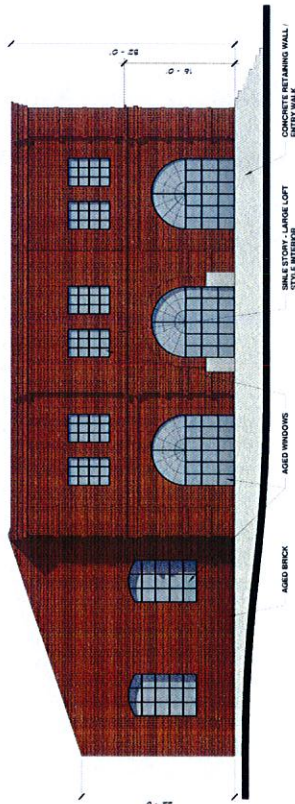
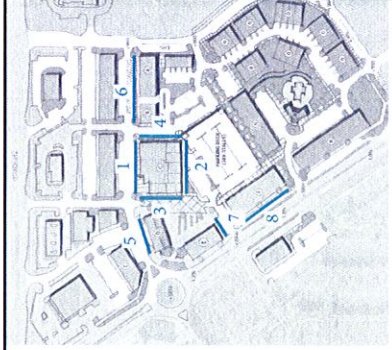
CONFLUENCE PROJECT NO: 160200C

ELEVATIONS

A-04

Planning & Codes Admin

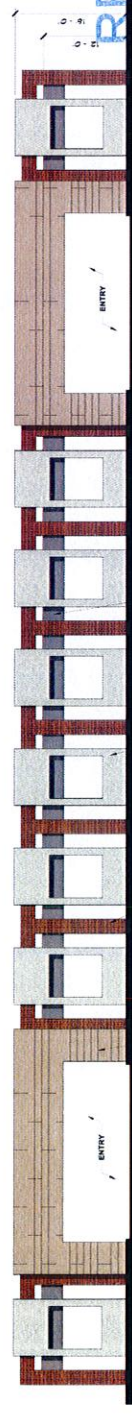
- 2016-167 -



7. EXTERIOR ELEVATION - BUILDING E - SOUTH SCALE 1/8" = 1' - 0"



8. EXTERIOR ELEVATION - BUILDING F - WEST SCALE 1/8" = 1' - 0"



EXTERIOR ELEVATION - SCALE 1/8" = 1' - 0"

RECEIVED

OCT 4 2016

CONFLUENCE

LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE
 1101 BURNING TREE BLVD
 KANSAS CITY, MISSOURI 64116
 PH: 816.531.7277

ARCHITECT (COMMERCIAL)
 HOLLIS HILLER ARCHITECTS
 1101 BURNING TREE BLVD
 OVERLAND PARK, KANSAS 66210-1961
 PH: 913.651.1886

ARCHITECT (RESIDENTIAL)
 ROSEMANN & ASSOCIATES
 1238 GRAND BLVD
 1301 BURNING TREE BLVD, SUITE 100
 KANSAS CITY, MISSOURI 64116-1404
 PH: 816.472.4489

CIVIL ENGINEER
 CIVIL ASSOCIATES
 1301 BURNING TREE BLVD, SUITE 100
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.587.0252

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

DEVELOPER
 BOX REAL ESTATE
 10000 W. 140TH STREET
 SUITE 200
 OVERLAND PARK, MISSOURI 66204
 PH: 913.752.5600

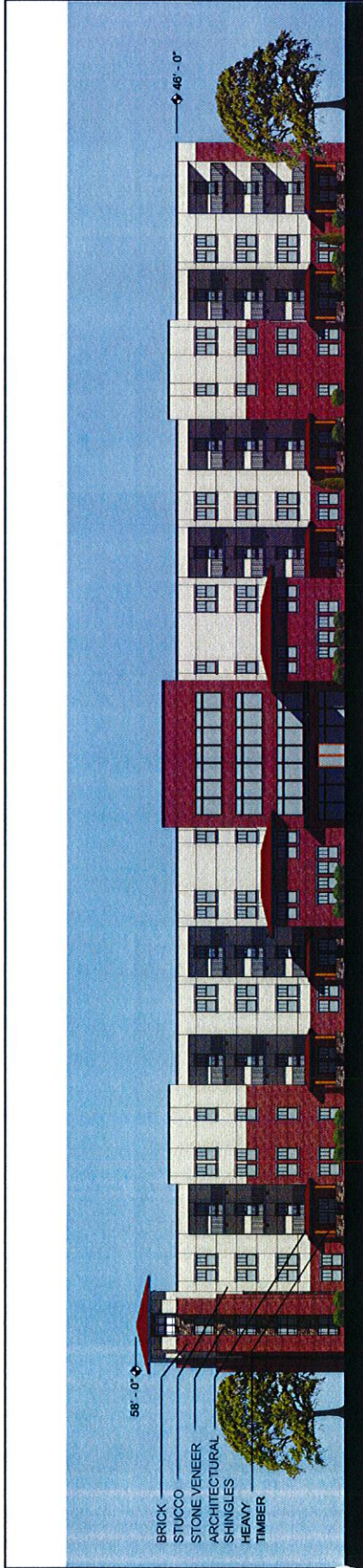
SCHEDULE	
DATE	DESCRIPTION
1	PRELIMINARY
2	FINAL
3	AS-BUILT

RESIDENTIAL ELEVATIONS

THIS DOCUMENT IS THE PROPERTY OF CONFLUENCE ARCHITECTS AND PLANNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF CONFLUENCE ARCHITECTS AND PLANNERS IS STRICTLY PROHIBITED.

COMPLIANCE PROJECT NO. 160320C

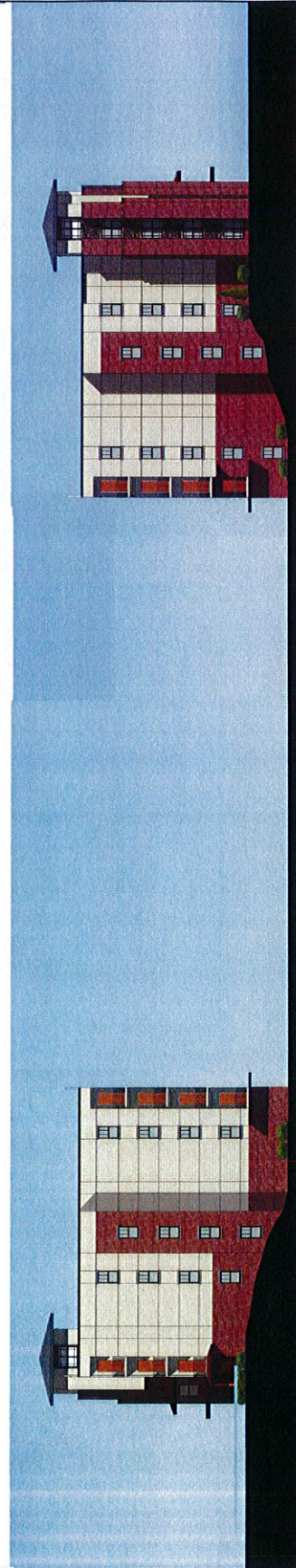
A-05



LONGVIEW BLVD. ELEVATION



BACK ELEVATION



SIDE ELEVATION

OCT 4 2016

-2016-167-
 Planning & Codes Admin

LANDSCAPE ARCHITECT / PLANNER
 CONFLUENCE ARCHITECTS
 KANSAS CITY, MISSOURI 64105
 PH: 816.331.7277

ARCHITECT (COMMERCIAL)
 CONFLUENCE ARCHITECTS
 400 W. 10TH ST. SUITE 200
 OVERLAND PARK, KANSAS 66210-1861
 PH: 913.451.5886

ARCHITECT (RESIDENTIAL)
 ROSEMAN & ASSOCIATES
 1208 GRAND BLVD
 KANSAS CITY, MISSOURI 64108-1404
 PH: 816.472.7482

CIVIL ENGINEER
 HUSON ASSOCIATES
 1201 LINDEN ST. SUITE 100
 NORTH KANSAS CITY, MISSOURI 64116
 PH: 816.297.6282

NLV - PHASE II
 LONGVIEW BLVD AND FASCINATION DR
 LEES SUMMIT, MISSOURI

BOX Real Estate Development

DEVELOPER
 BOX REAL ESTATE
 2020 W. 10TH ST. SUITE 100
 LEES SUMMIT, MISSOURI 64081
 PH: 816.732.9841

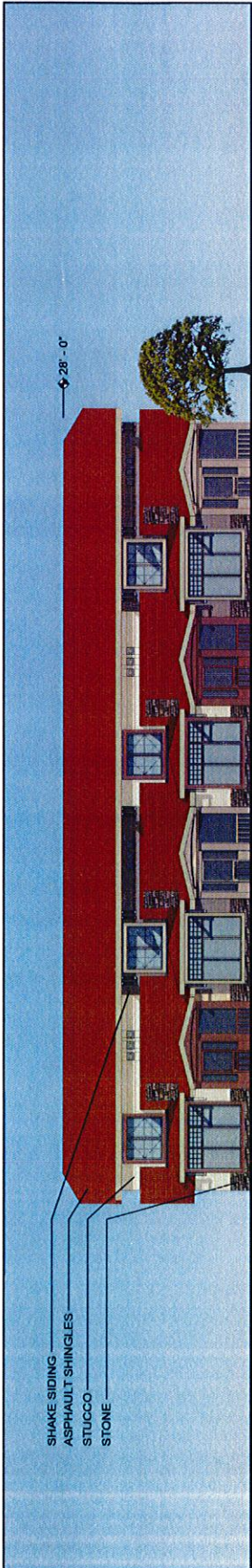
SCHEDULE	
DATE	DESCRIPTION
1	PRELIMINARY
2	FINAL
3	AS-BUILT

RESIDENTIAL ELEVATIONS

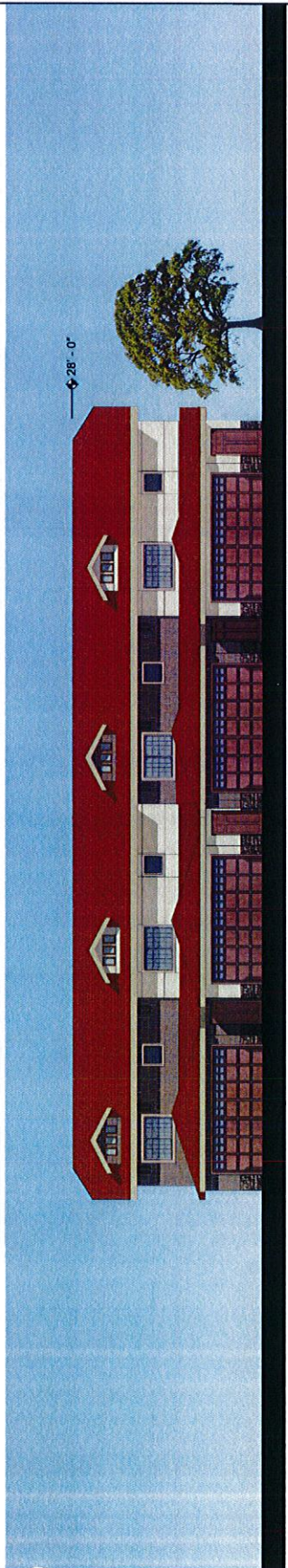
CONFLUENCE ARCHITECTS
 400 W. 10TH ST. SUITE 200
 OVERLAND PARK, KANSAS 66210-1861
 PH: 913.451.5886

CONFLUENCE PROJECT ID: 100330C

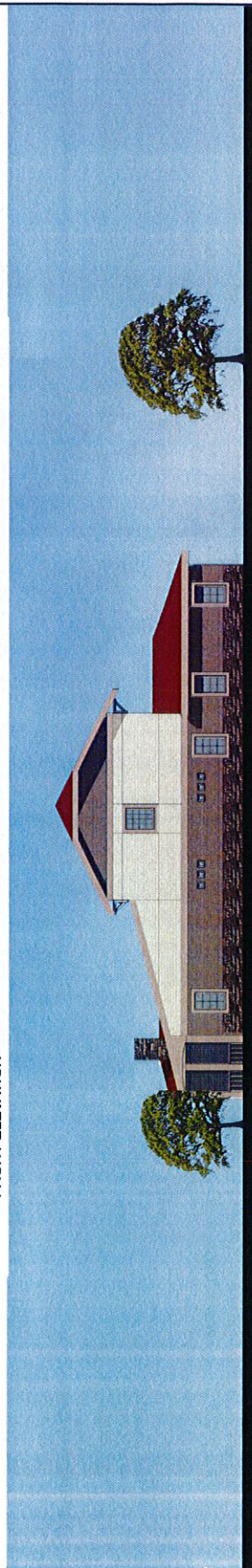
A-06



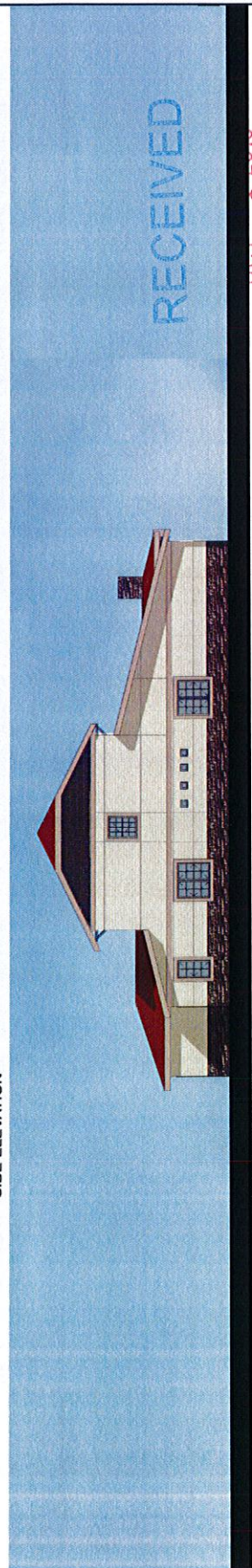
SW KESSLER DRIVE ELEVATION



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION

Planning & Codes Admin

2016-167