

Tailormade Landing

Preliminary Development Plan Phase 2

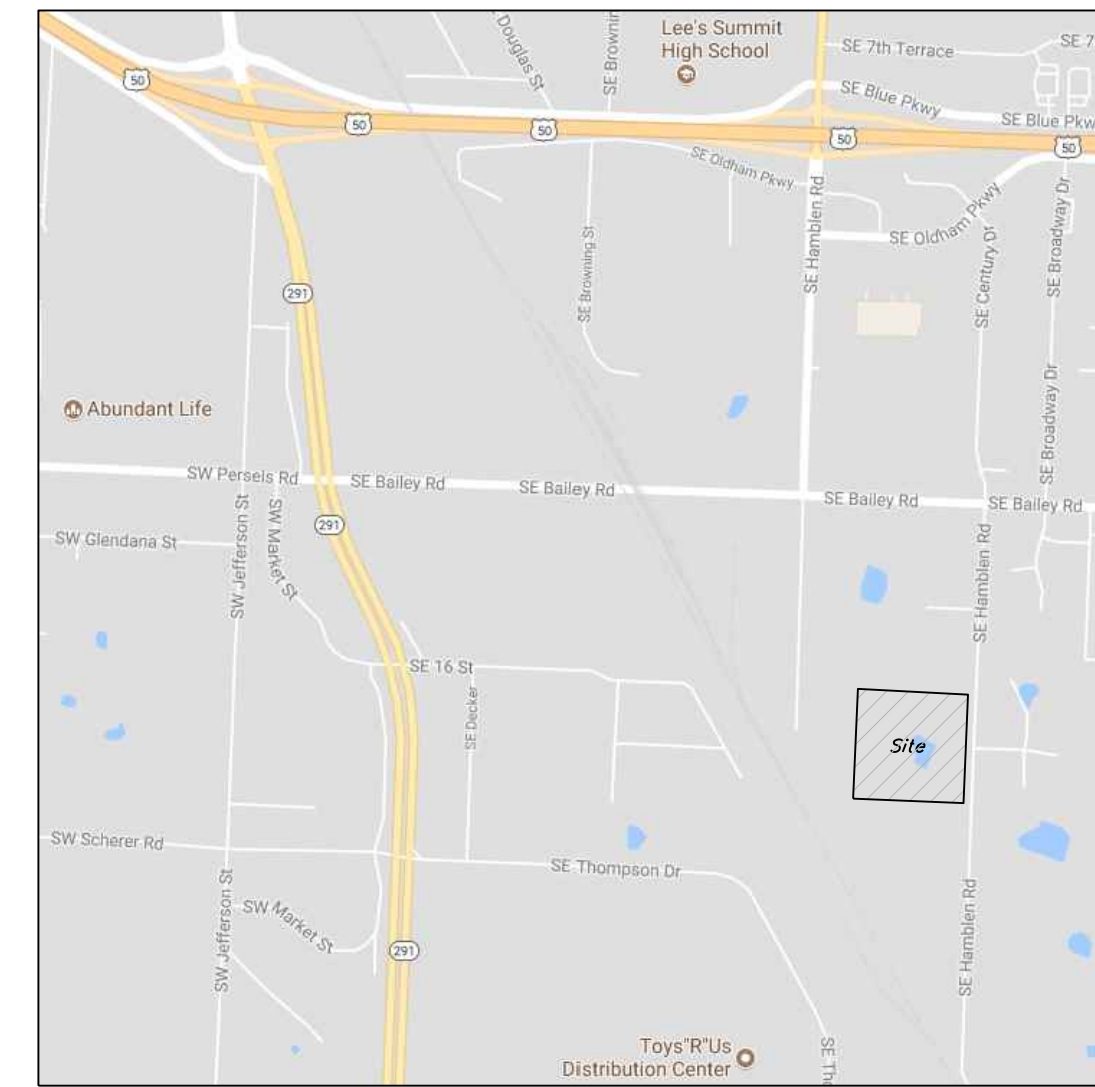
SEC-17 TWP-47 RNG-31 SE 1/4 NE 1/4
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



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 - C.100 ~ SITE PLAN
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GENERAL NOTES:

- 1 - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 - ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR ON THE FINAL PLAN.
- 3 - ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 - THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTION TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH A FIELD ENGINEERING INSPECTOR PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200.
- 5 - THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.



Vicinity Map



North

PROPERTY DESCRIPTION

Williams Crossing Lot 2

UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

- EVERGY - 298-1196
- MISSOURI GAS ENERGY - 756-6261
- SOUTHWESTERN BELL TELEPHONE - 761-5011
- COMCAST CABLE - 795-1100
- WILLIAMS PIPELINE - 422-6300
- CITY OF LEE'S SUMMIT PUBLIC WORKS - 969-1800
- CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEERING INSPECTION AT 816.969.1200
- CITY OF LEE'S SUMMIT WATER UTILITIES - 969-1900
- MISSOURI ONE CALL (DIG RITE) - 1-800-344-7483

Site Impervious Area

Total Area Lot 2	3.31 acres (144,332.01 sq. ft.)
Floor/Area Ratio	33.87%
Building	48,885 sq. ft.
Parking/Sidewalk	51,977 sq. ft.
Impervious Area	100,862 sq. ft. (70% of Site)
Parking Spaces	174 Standard / 2 Handicap

Parking Required Calculations

- The Facility has four (5) training areas (4 Basketball / Volleyball Courts & 1 Baseball Infield) and 2,000 sq ft of Office
- Assumption that 12 Coaches and Players will use each field per hour which generates 60 cars
- Peak time will be at the transition of the teams so double the cars to 120 cars
- Office will require 8 parking spaces

Total Required 128 Parking Spaces

Site Improvement Notes

Sanitary Sewer Improvements
-The site will require a sanitary service from the existing sanitary to the east.

Water Main Improvements
-The existing 8" water main locale to the east of Hamblen Road.

Storm Sewer
-Enclosed pipe systems and inlets will collect and convey the onsite storm water runoff and direct it toward the new detention facility located at the northeast corner of the site. The storm sewer shall be designed to convey the 10 year storm event and the building runoff will be collected and directed into the enclosed pipe system.

Storm Water Detention
-The site will be designed to control the storm water runoff per the current standards as set forth in APIWA Section 5002. The system will be an open airted basin and release into the existing storm of Hamblen Road.

Storm Water Quality Elements
-The detention system will incorporate an infiltration system into the bottom of the basin to provide the opportunity for infiltration back into the existing ground. The system will be designed to handle and control the 2 year storm flows and will consist of a gravel base and filter fabric located on the eastern side of the site will be converted into a infiltration system to control the storm.

Hamblen Road
-No improvements are anticipated for Hamblen Road

Detention Basin design is for entire site full build out.

All future lots and tracts to be completed with another application. Shown for reference only.

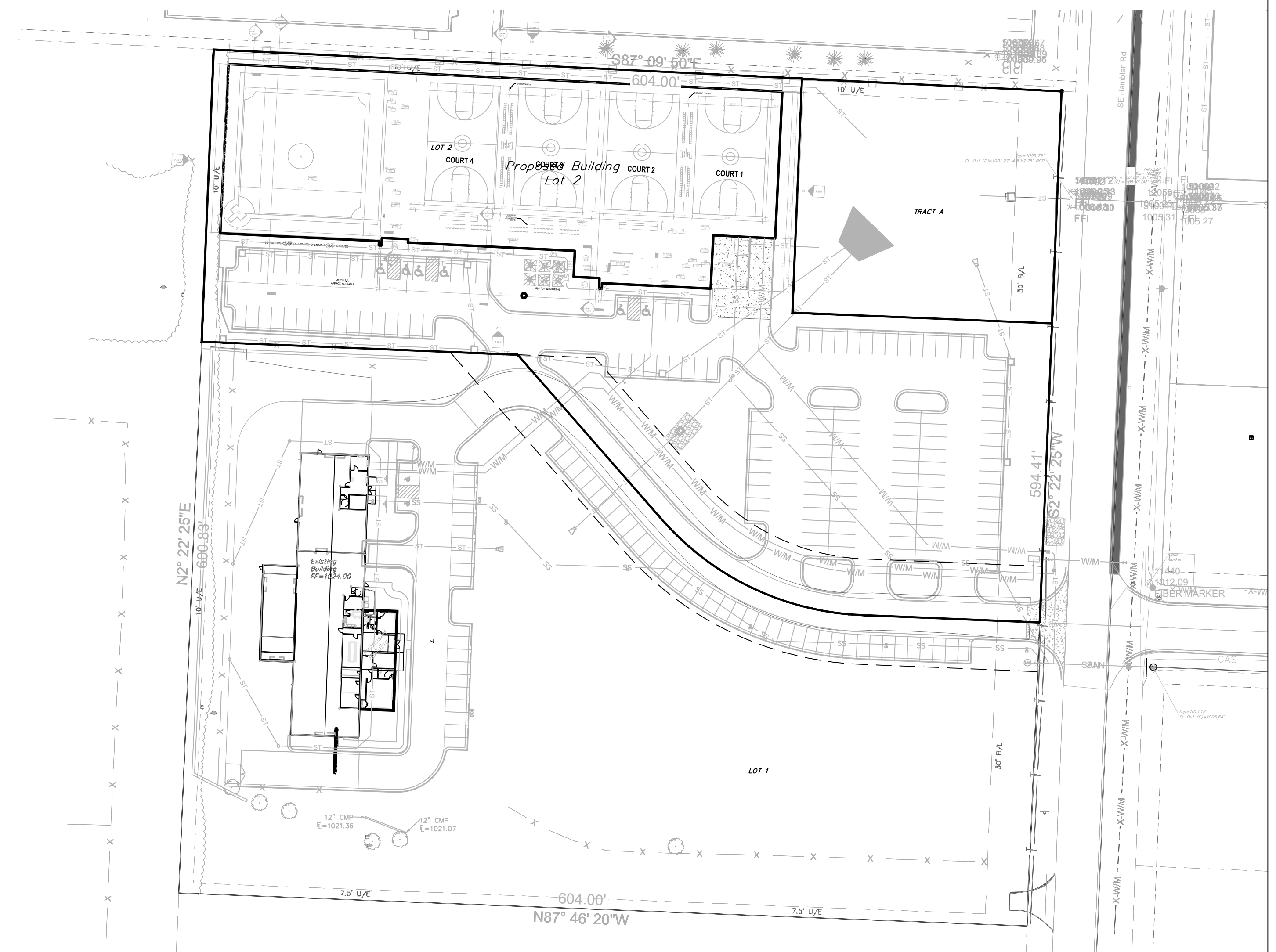
NOTE :

ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813. WHERE DISCREPANCIES EXIST BETWEEN THESE PLANS AND THE DESIGN AND CONSTRUCTION MANUAL, THE DESIGN AND CONSTRUCTION MANUAL SHALL PREVAIL.

ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

OIL - GAS WELLS
ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

FLOOD INFORMATION:
SITE IS LOCATED ON MAP NUMBER 29095C0438G, PANEL 438G, DATED JANUARY 20, 2017 AS INDICATED WITH THE THIS MAP NO PORTION OF THE SITE IS LOCATED WITHIN THE FLOOD ZONE.

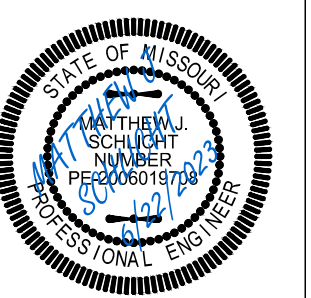


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1685
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

1600 Hamblen Road
Lee's Summit, Jackson County, Missouri

Project:
1600 SE HAMBLEN RD, LEE'S SUMMIT, MO
June 22, 2023

COVER SHEET
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS
1 Rev 7-18-23

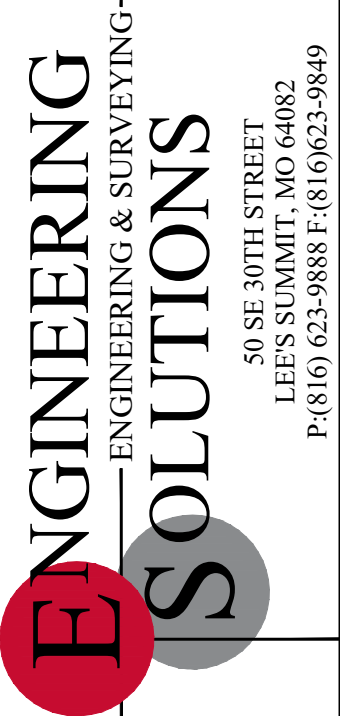
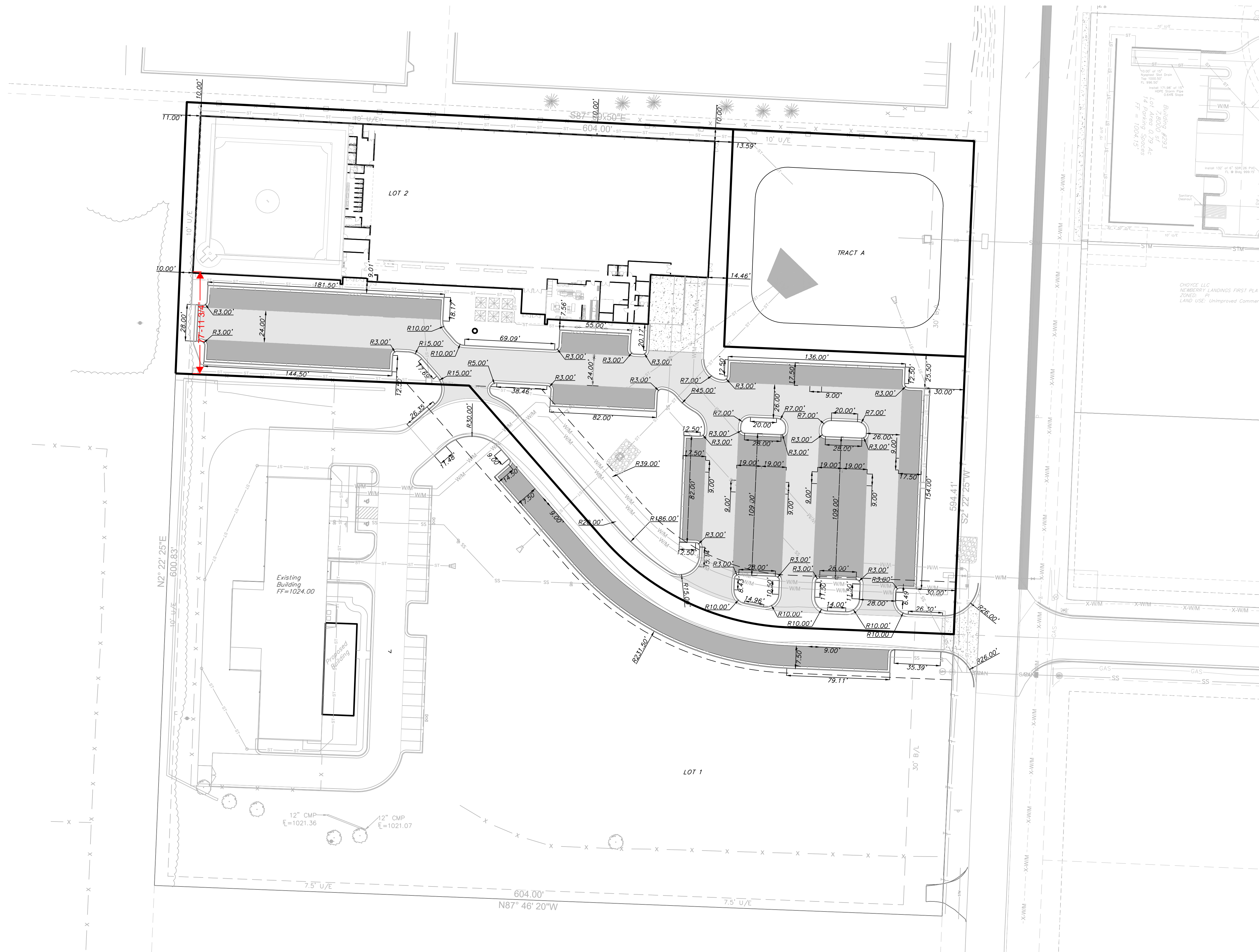
Indicates Drive Lane
Private Asphalt Pavement

Indicates Parking Stalls
Private Asphalt Pavement

Indicates New Gravel
Placement



Dimension Plan
SCALE: 1" = 40'



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Project:
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RD, LEE'S
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June 22, 2023

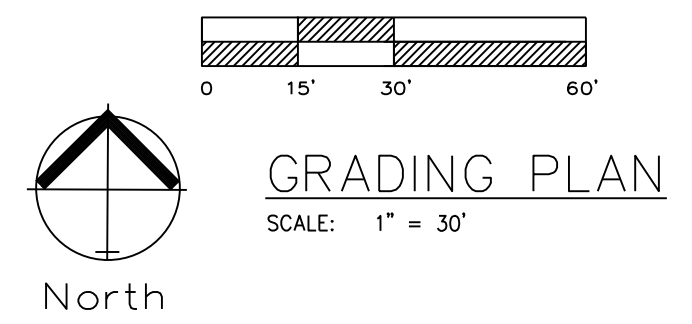
DIMENSION PLAN
Tailormade Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
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OK PE 25226
NE PE E-14335

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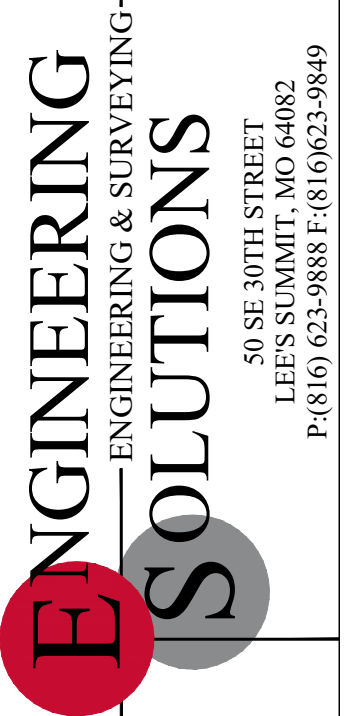
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Estimated Cut / Fill Quantities	
Site Area	8.29 Acres
Cut Volume (Unadjusted)	4,097 c.y.
Fill Volume (Unadjusted)	15,901 c.y.
Building and Sidewalk (Cut)	986 c.y.
Net Import Required	10,818 c.y. (Unadjusted)

- Notes**
1. Contractor is responsible for verifying all existing utility locations prior to excavation
 2. There are no known natural or artificial water storage detention areas, or wetlands in the area designated for construction
 3. No part of the project lies within the 100 year flood plain
 4. All erosion and sediment control measures need to be implemented prior to construction
 5. Additional erosion control may be required by the City Engineer, Design Engineer or Owner at any time problematic areas are noted in the field or existing measures are found to be ineffective
 6. Soil Stabilization of disturbed areas shall be completed within 14 days of construction inactivity
 7. Contractor responsible for all density testing of roadway subgrade and granular base.
 8. Contractor responsible to provide Engineering Solutions an Asbuilt topographic survey of the site to verify grades.

Legend
 Drainage Arrows



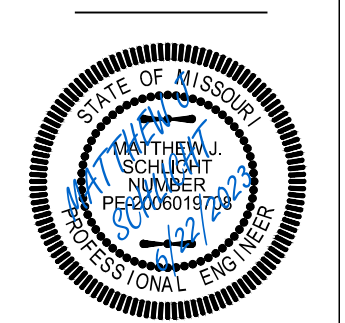
Professional Registration
 Missouri
 Engineering 2005002186-D
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Project:
 1600 SE HAMBLEN
 RD, LEE'S
 SUMMIT, MO
 June 28, 2023

1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri

GRADING PLAN
 Tailormade Landing Phase 2
 1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri

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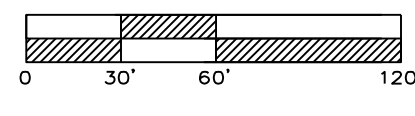
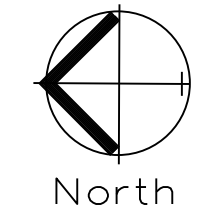
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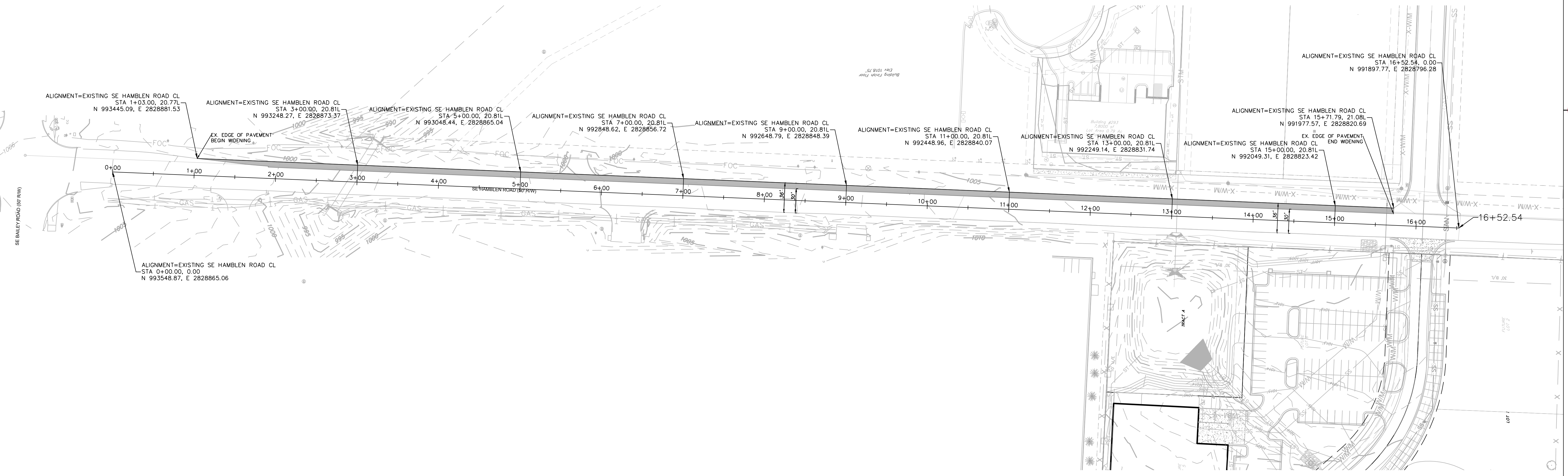
LineNo.	Line ID	FlowRate (cfs)	Line Size (in)	LineType	LineLength (ft)	Invert Elev. Down (ft)	Invert Elev. Up (ft)	LineSlope (%)	HGLDown (ft)	HGLUp (ft)	MinorLoss (ft)	HGLJunct (ft)	Dn StrLine No.
1	Line 1-2	41.85	48	Cir	160.62	1006	1008	1.25	1007.4	1009.93	0.85	1009.93	Outfall
2	Line 1-3	37.89	48	Cir	134.99	1008.5	1012	2.59	1009.93	1013.83	n/a	1013.83	1
3	Line 1-4	33.98	48	Cir	179.08	1012.5	1019	3.63	1013.83	1020.73	n/a	1020.73	2

LineNo.	Inlet ID	Area (ac)	InletTime (min)	Int. (in/hr)	RunoffCoeff. (C)	Q=CIA (cfs)	Q Carry-over (cfs)	QCaptured (cfs)	QBypassed (cfs)	JunctType	CurbHeight (in)	CurbLength (ft)	GutterSlope (ft/ft)	CrossSlope, Sw (ft/ft)	CrossSlope, Sx (ft/ft)	InletDepth (ft)	BypassDepth (ft)	BypassSpread (ft)	GutterDepth (ft)	GutterSpread (ft)	BypassLine No.
1	Line 1-2	0.5	5	9.83	0.9	4.42	0	4.42	0	Dp-Curb	10	20	Sag	0.2	0.2	0.18	n/a	n/a	0.18	0.88	Sag
2	Line 1-3	0.5	5	9.83	0.9	4.42	0	4.42	0	Dp-Curb	10	20	Sag	0.2	0.2	0.18	n/a	n/a	0.18	0.88	Sag
3	Line 1-4	3.84	5	9.83	0.9	33.98	0	33.98	0	Dp-Curb	10	20	Sag	0.2	0.2	0.68	n/a	n/a	0.68	3.42	Sag



STREET WIDENING AND PAVEMENT MARKING PLAN

SCALE: 1" = 60'

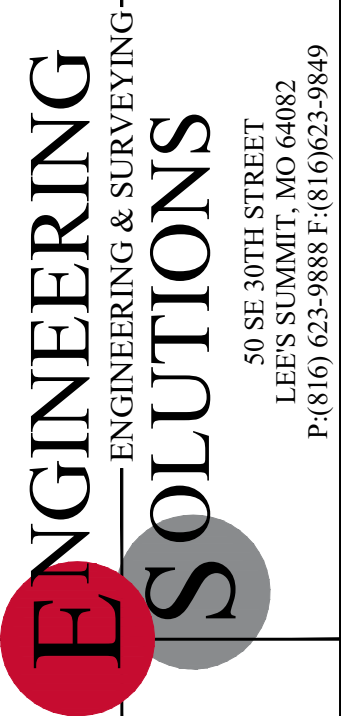
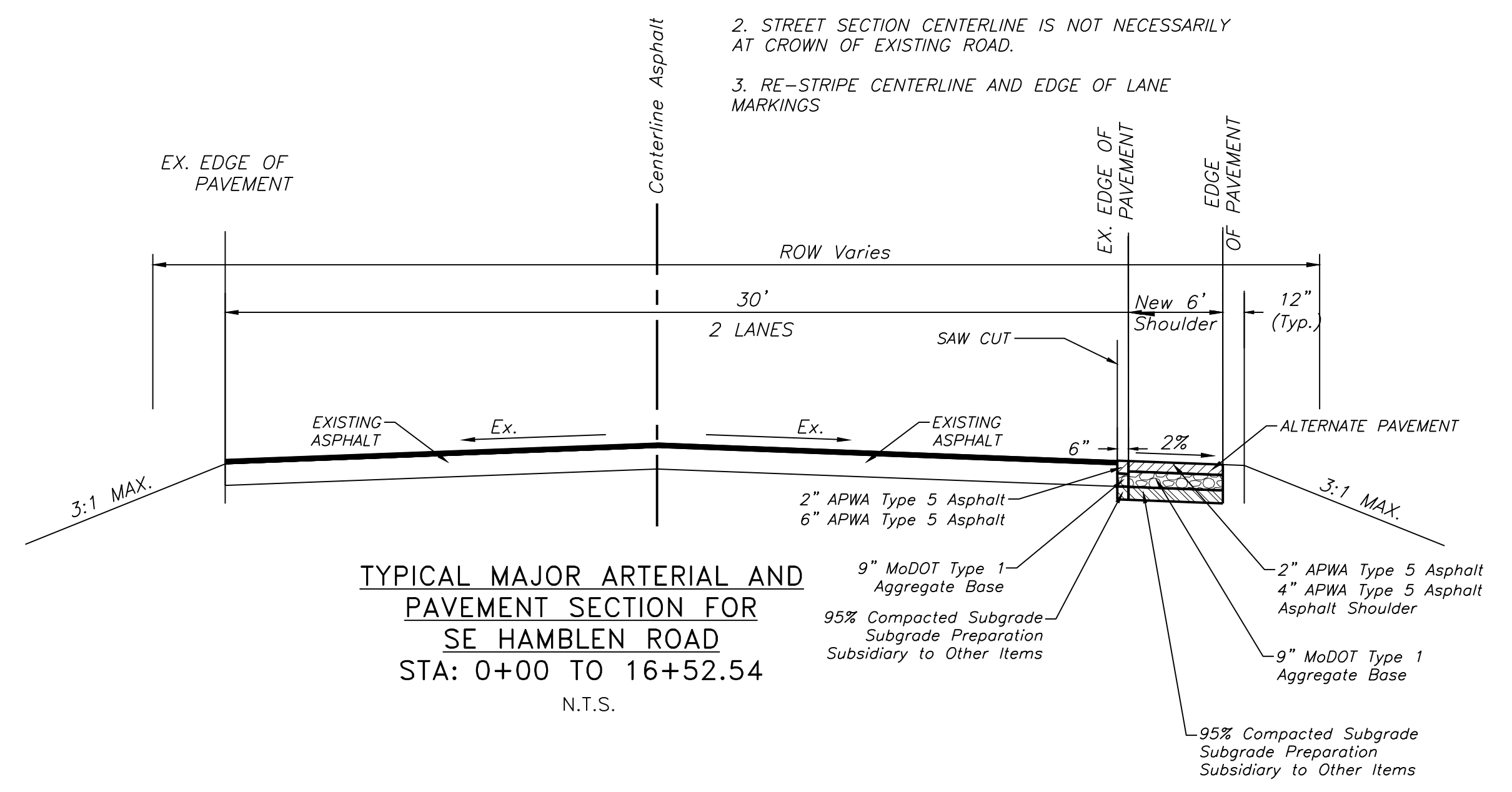


LEGEND:

- SHOULDER
- LANE WIDENING

- Notes:**
1. New Arrows Shall Be Performed Thermoplastic.
 2. New Point Stripes Shall Be High Build Point In Accordance With City Standards and Specifications.

- NOTE:**
1. CENTERLINE OF STREET SECTION IS CREATED FROM THE WEST EDGE OF EXISTING PAVEMENT AND MEASURED 15' EAST.
 2. STREET SECTION CENTERLINE IS NOT NECESSARILY AT CROWN OF EXISTING ROAD.
 3. RE-STRIPE CENTERLINE AND EDGE OF LANE MARKINGS



Professional Registration
 Missouri
 Engineering 2005002186-D
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 Kansas
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Project:
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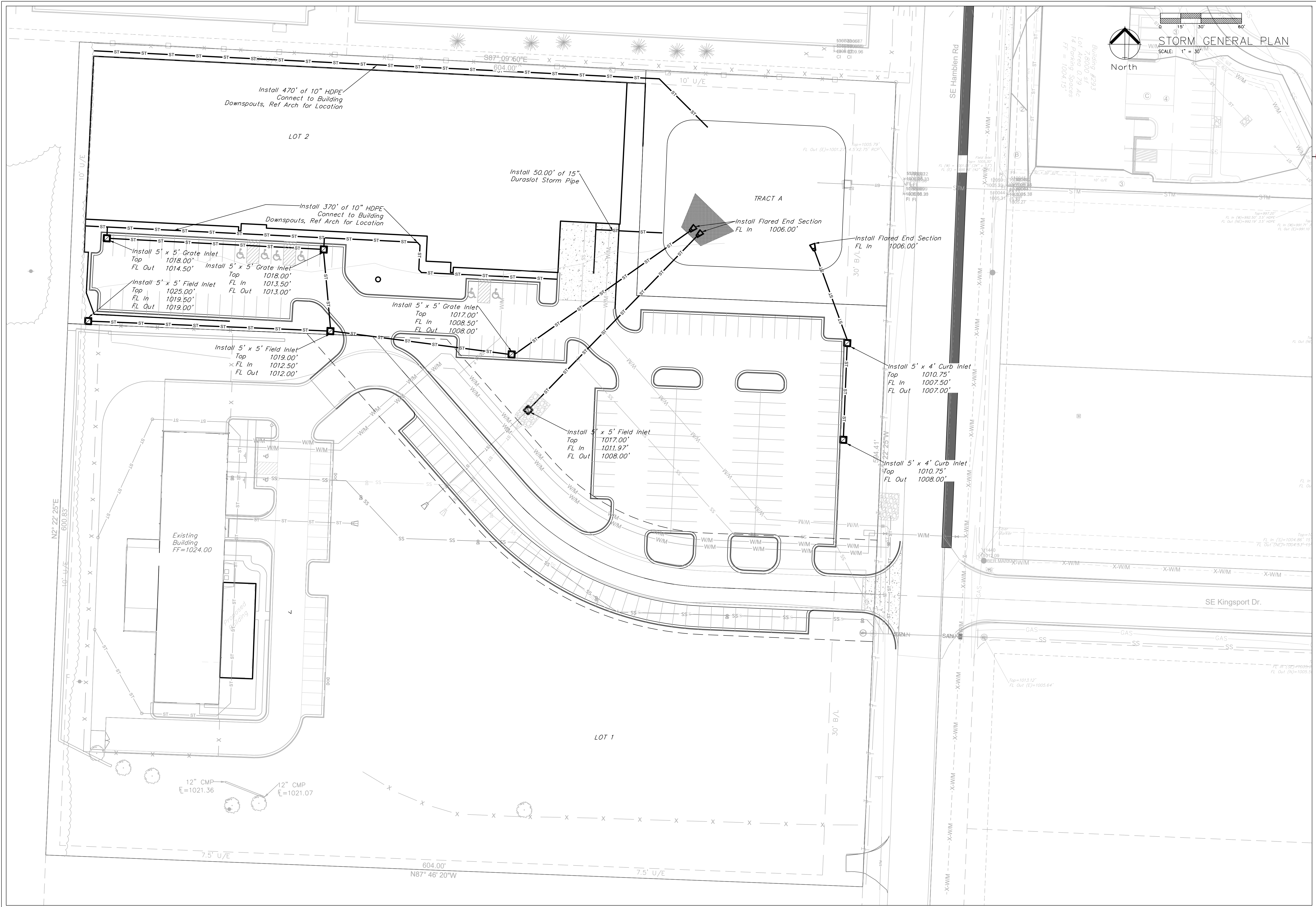
1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri

Street Widening Plan and Pavement Marking Plan
 Tailormade Landing Phase 2
 1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri



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 KS PE 19071
 OK PE 25226
 NE PE E-14335

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STORM GENERAL PLAN
 SCALE: 1" = 30'
 North



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 Oklahoma
 Engineering S254
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Project:
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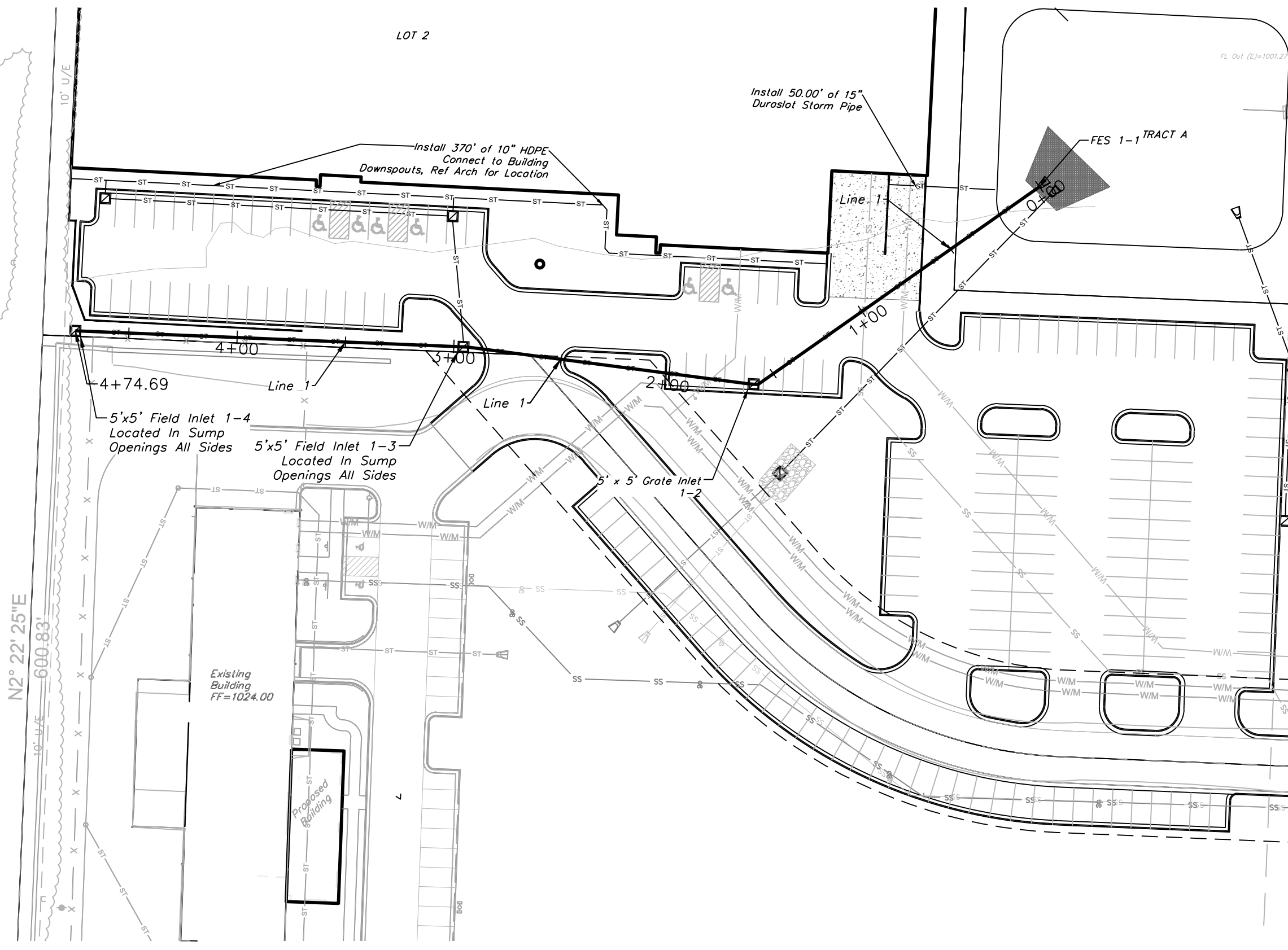
STORM SEWER PLAN
 Tailormade Landing Phase 2
 1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri



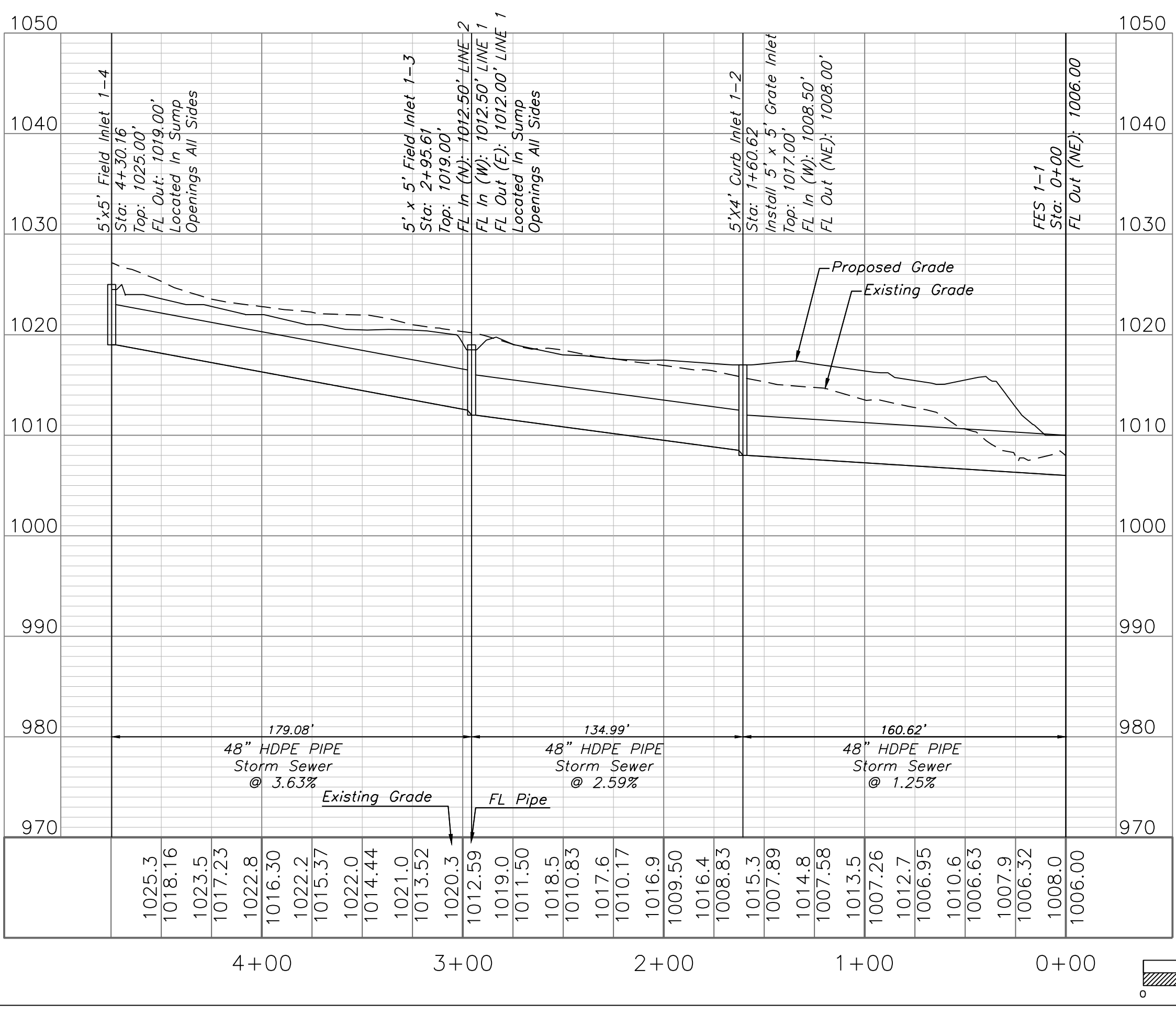
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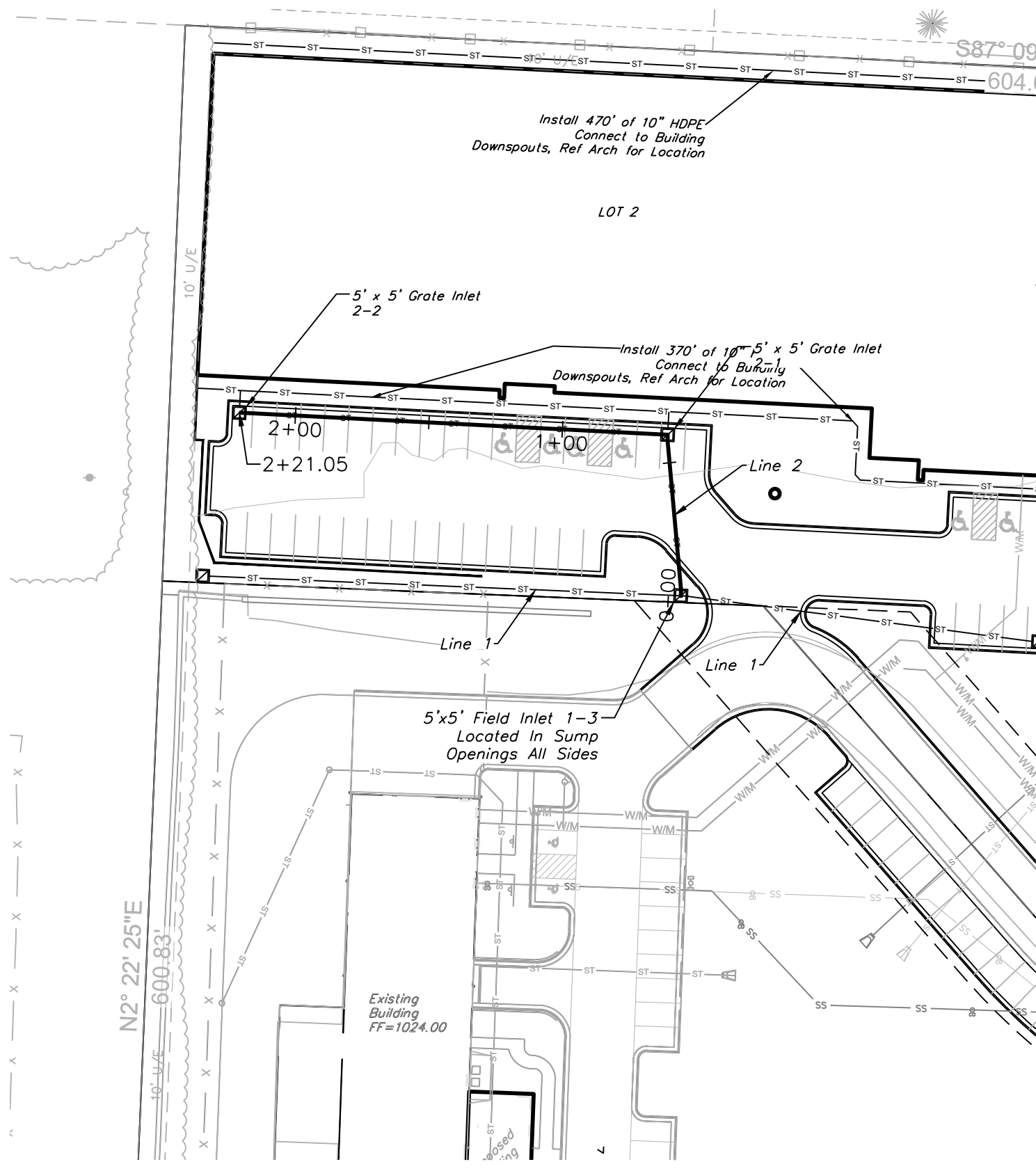
STORM PLAN AND PROFILE
SCALE: 1" = 50'



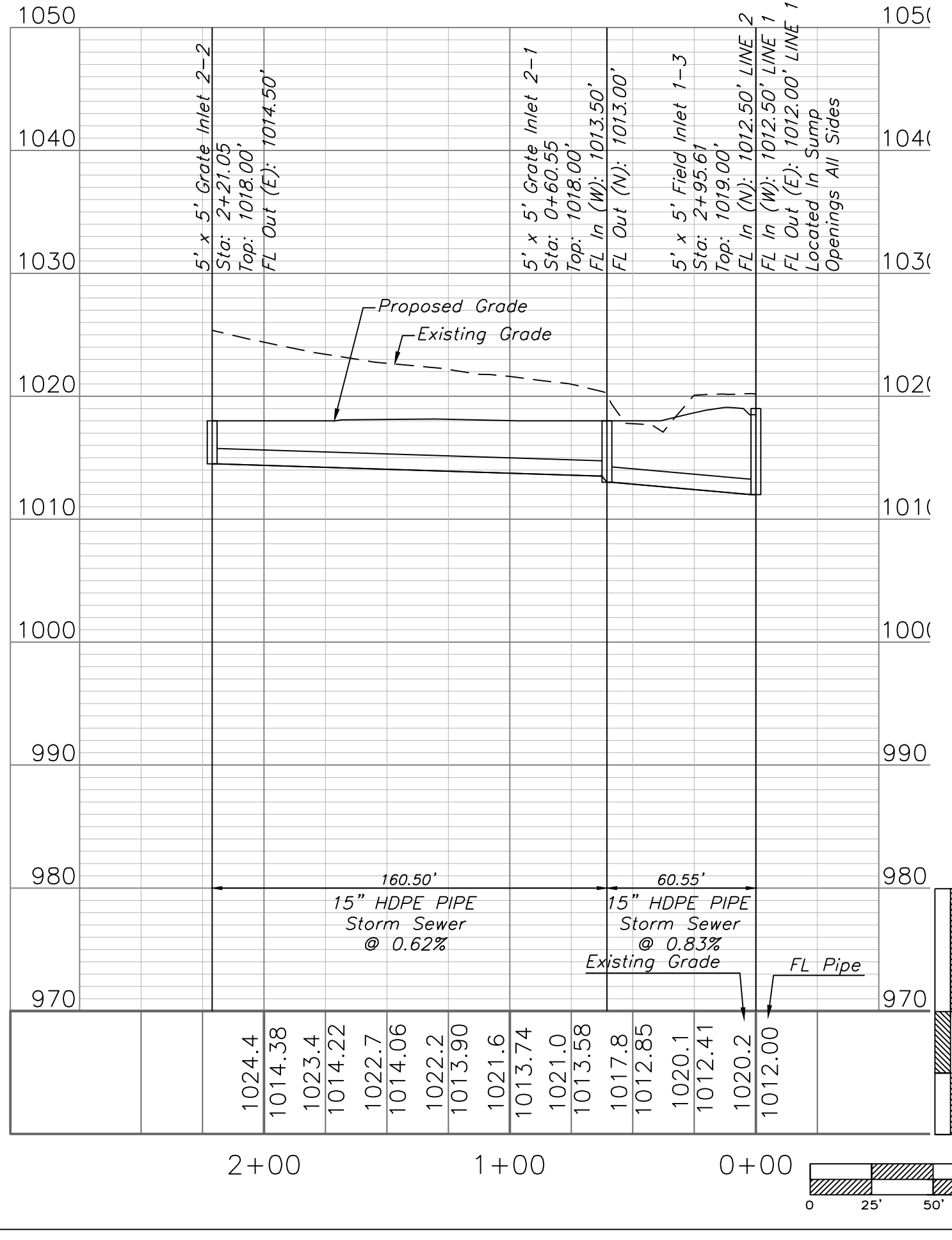
STORM LINE 1



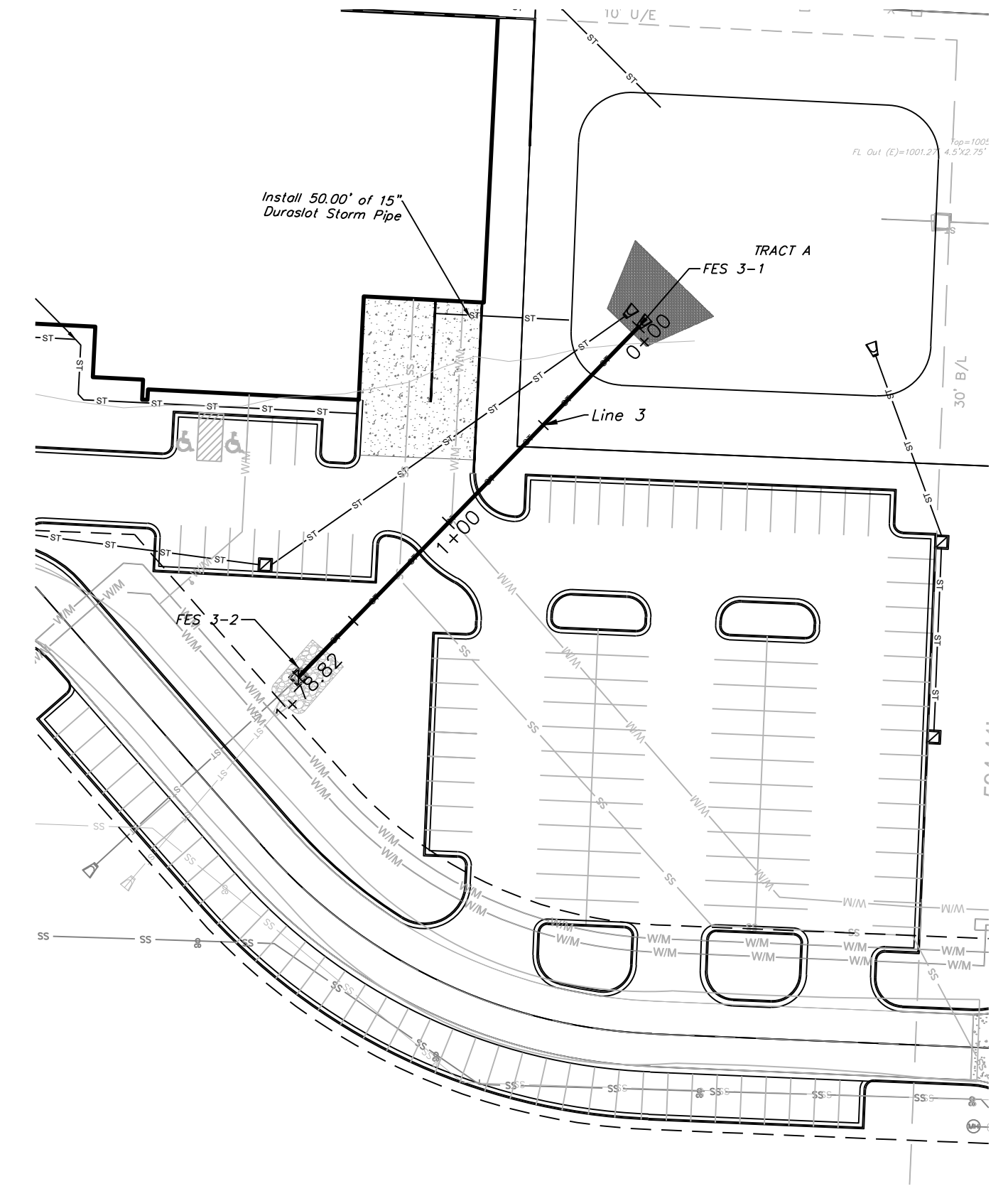
STORM PLAN AND PROFILE
SCALE: 1" = 50'



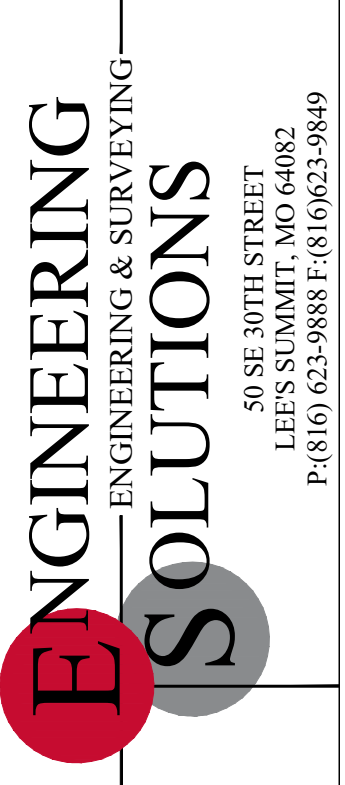
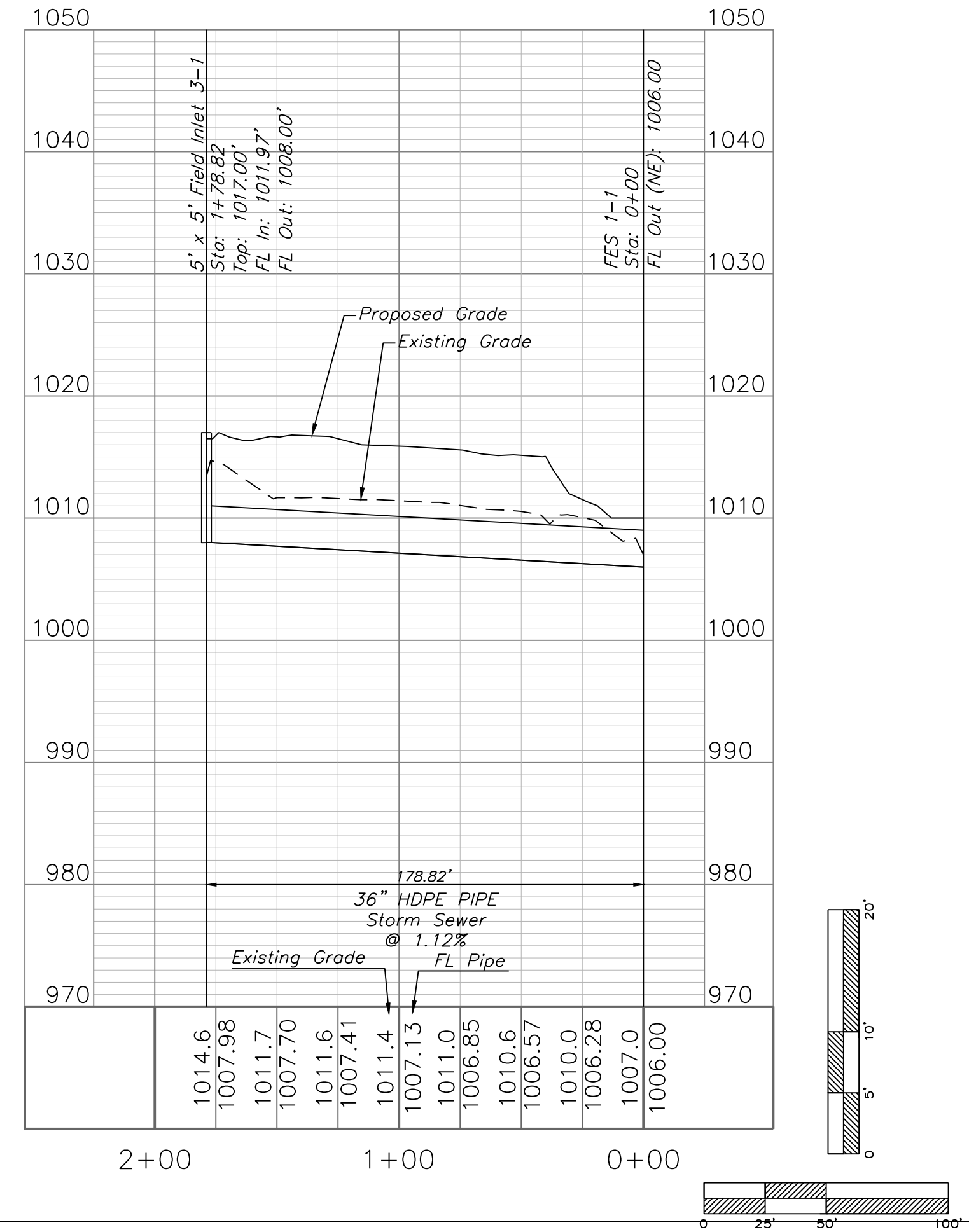
STORM LINE 2



STORM PLAN AND PROFILE
SCALE: 1" = 50'



STORM LINE 3



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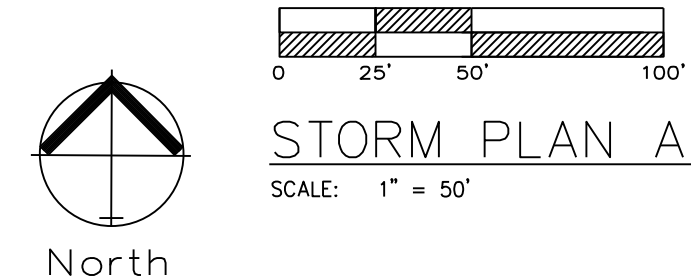
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STORM PLAN AND PROFILE
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1600 Hamblen Road
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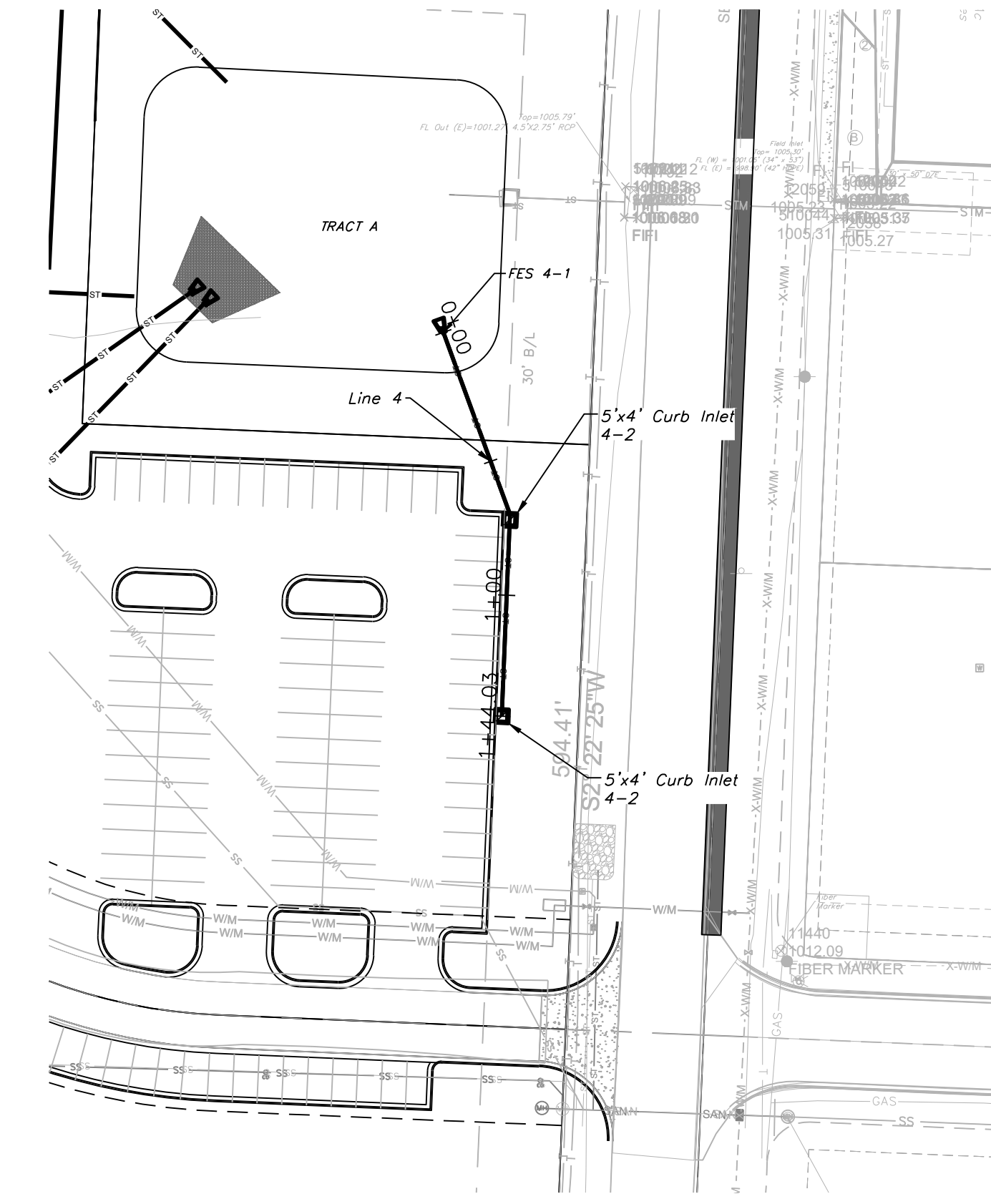
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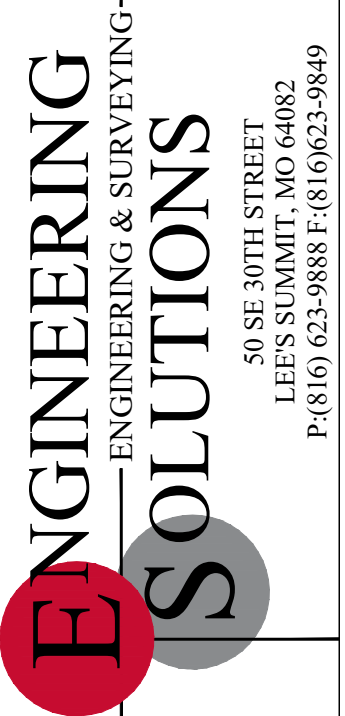
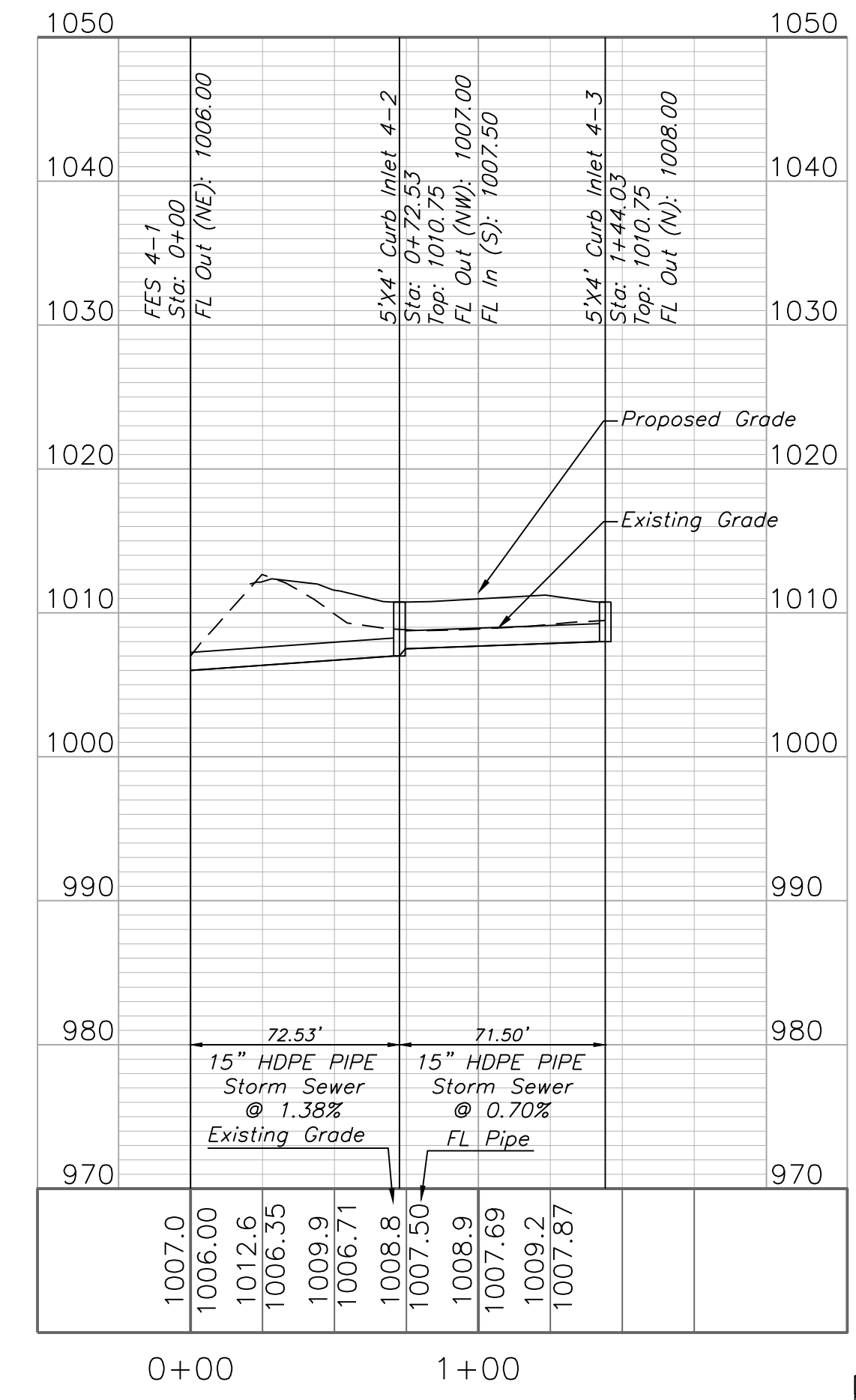
STORM PLAN AND PROFILE
SCALE: 1" = 50'

North
NOTE

ALL INTERIOR STORM LINES ARE PRIVATE.



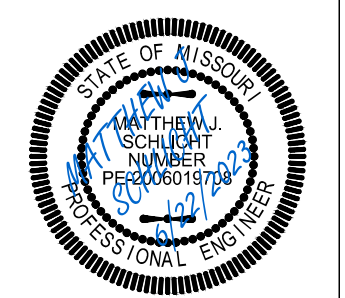
STORM LINE 4



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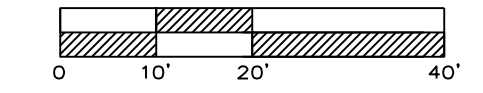
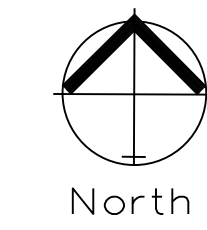
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STORM PLAN AND PROFILE
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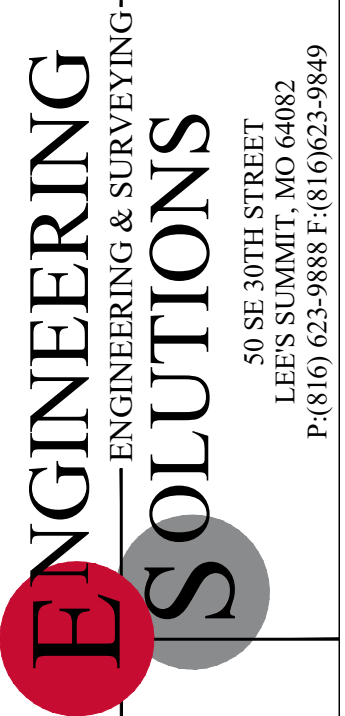
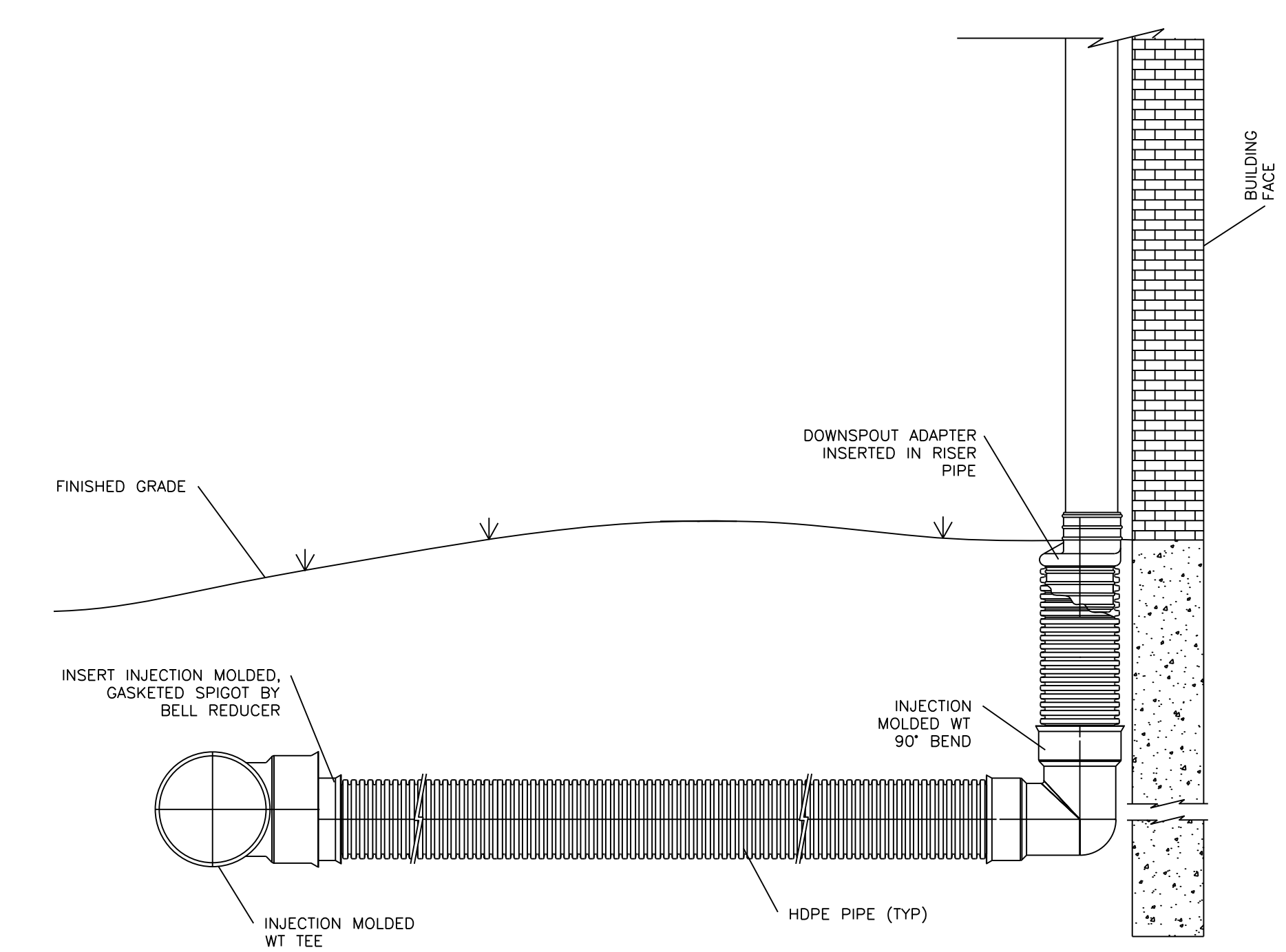
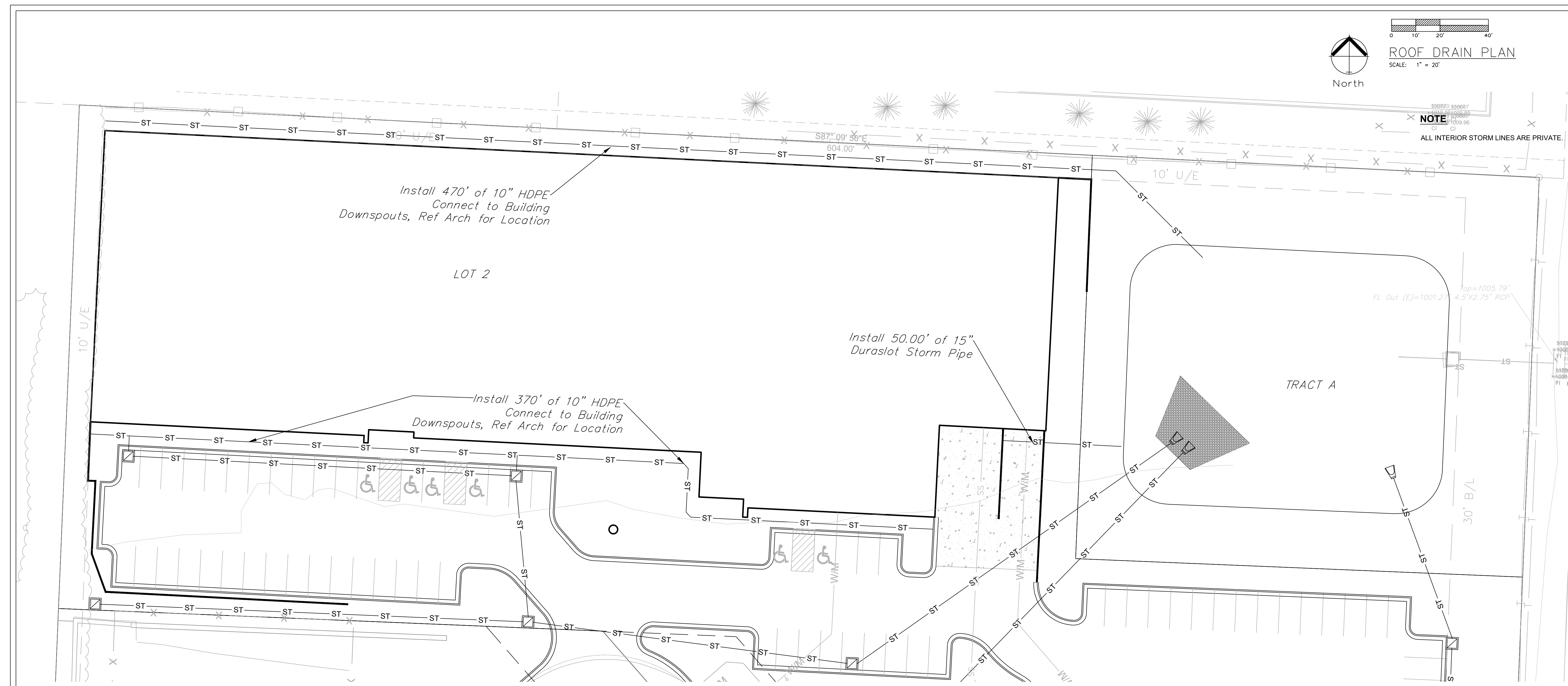
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ROOF DRAIN PLAN
SCALE: 1" = 20'

NOTE
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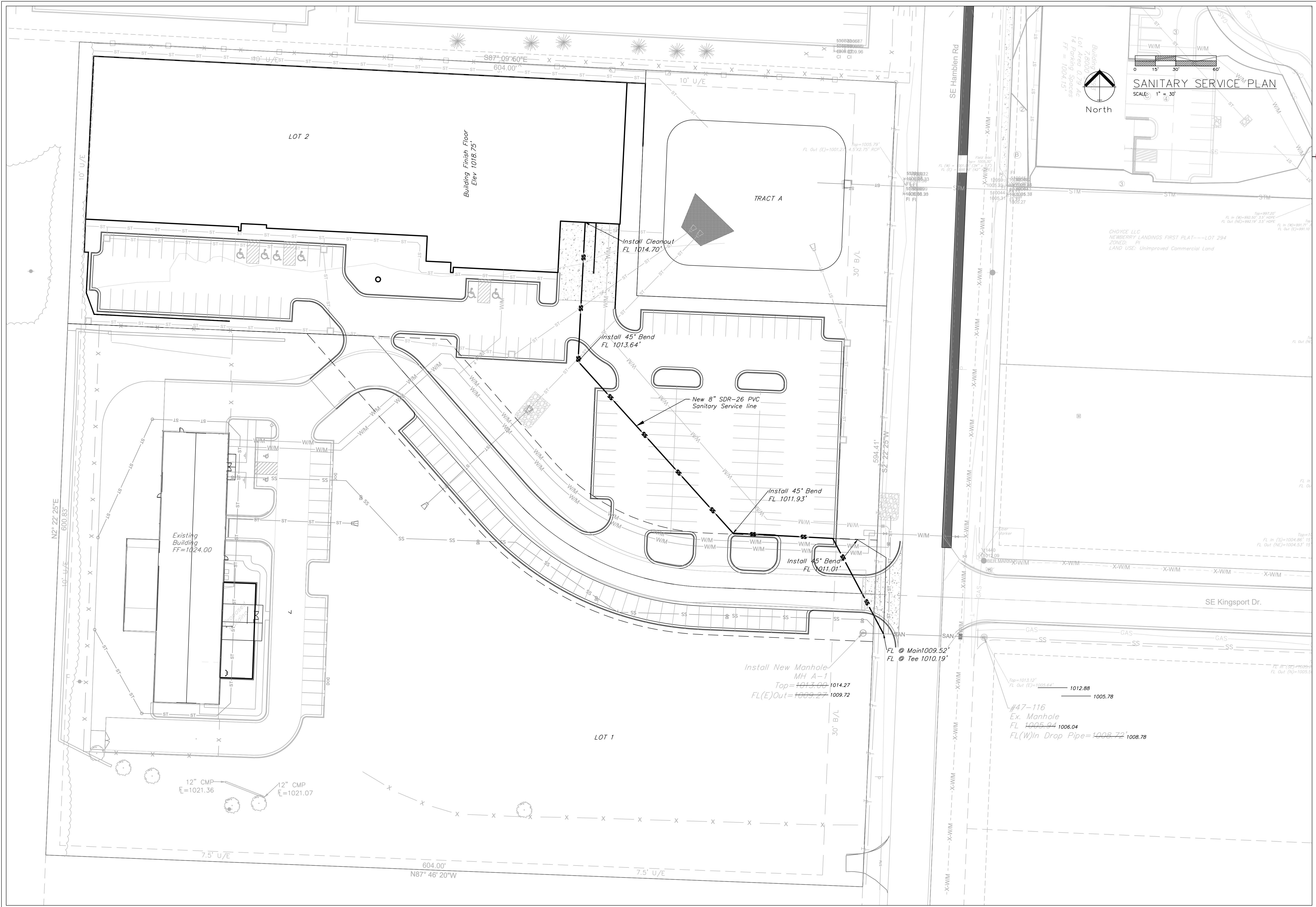
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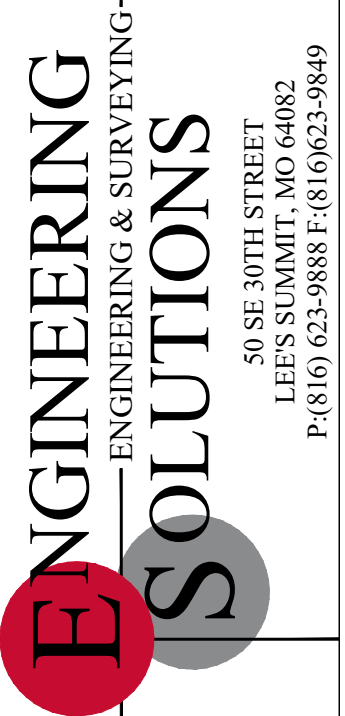
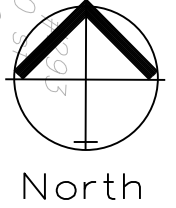
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SANITARY SERVICE PLAN

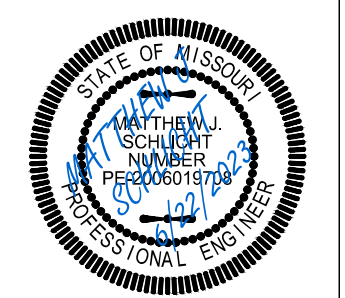
SCALE: 1" = 30'



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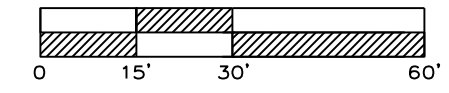
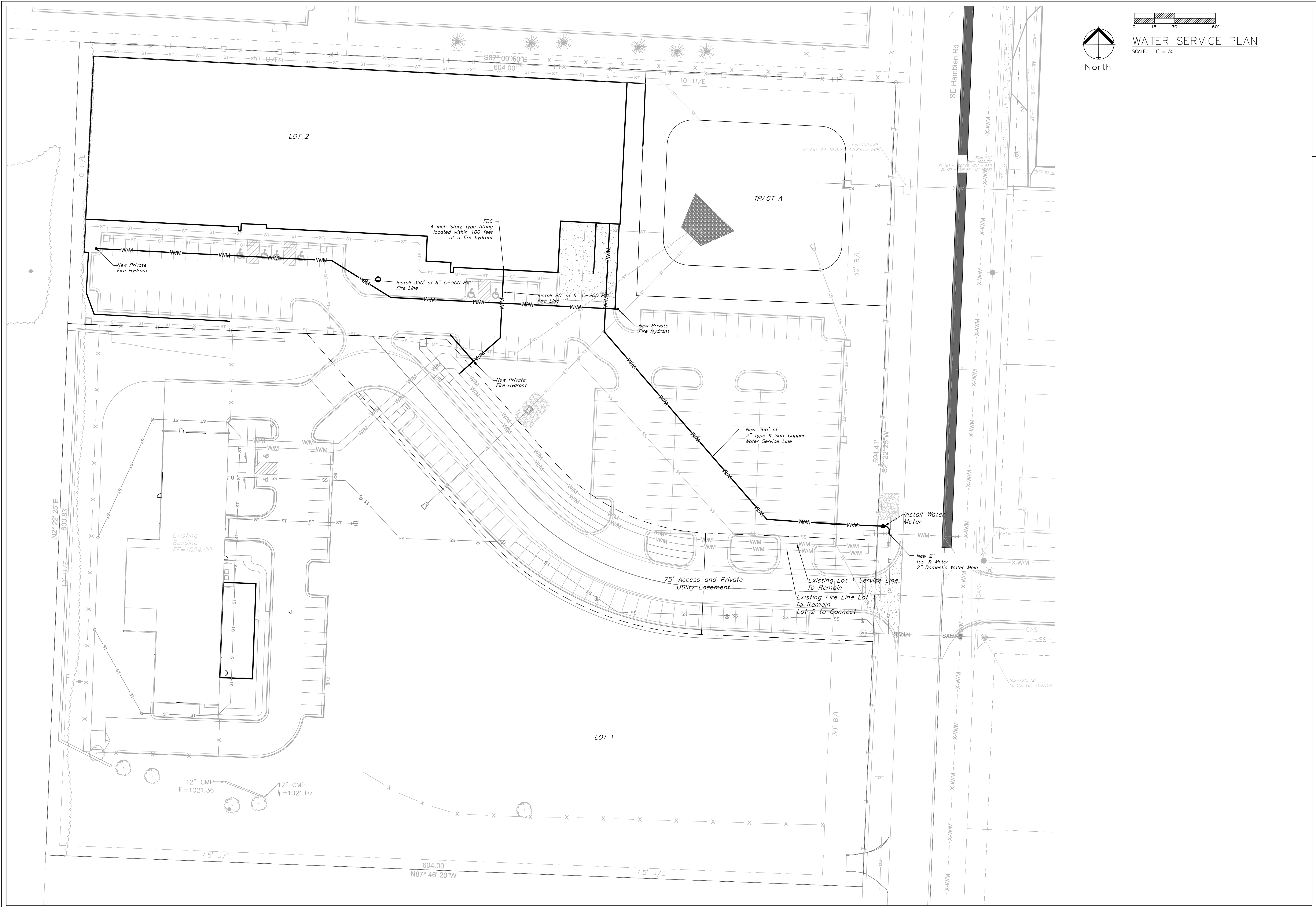
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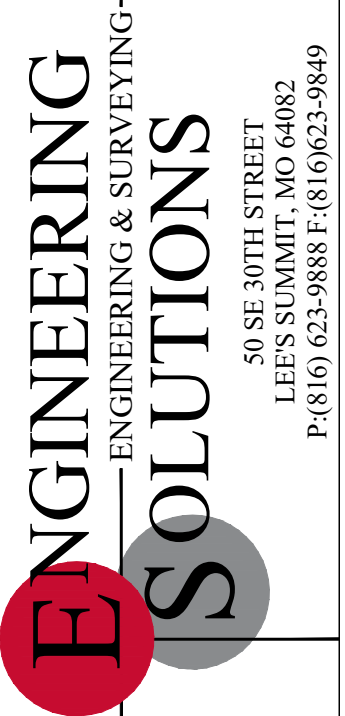


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WATER SERVICE PLAN
SCALE: 1" = 30'



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Engineering CA2821

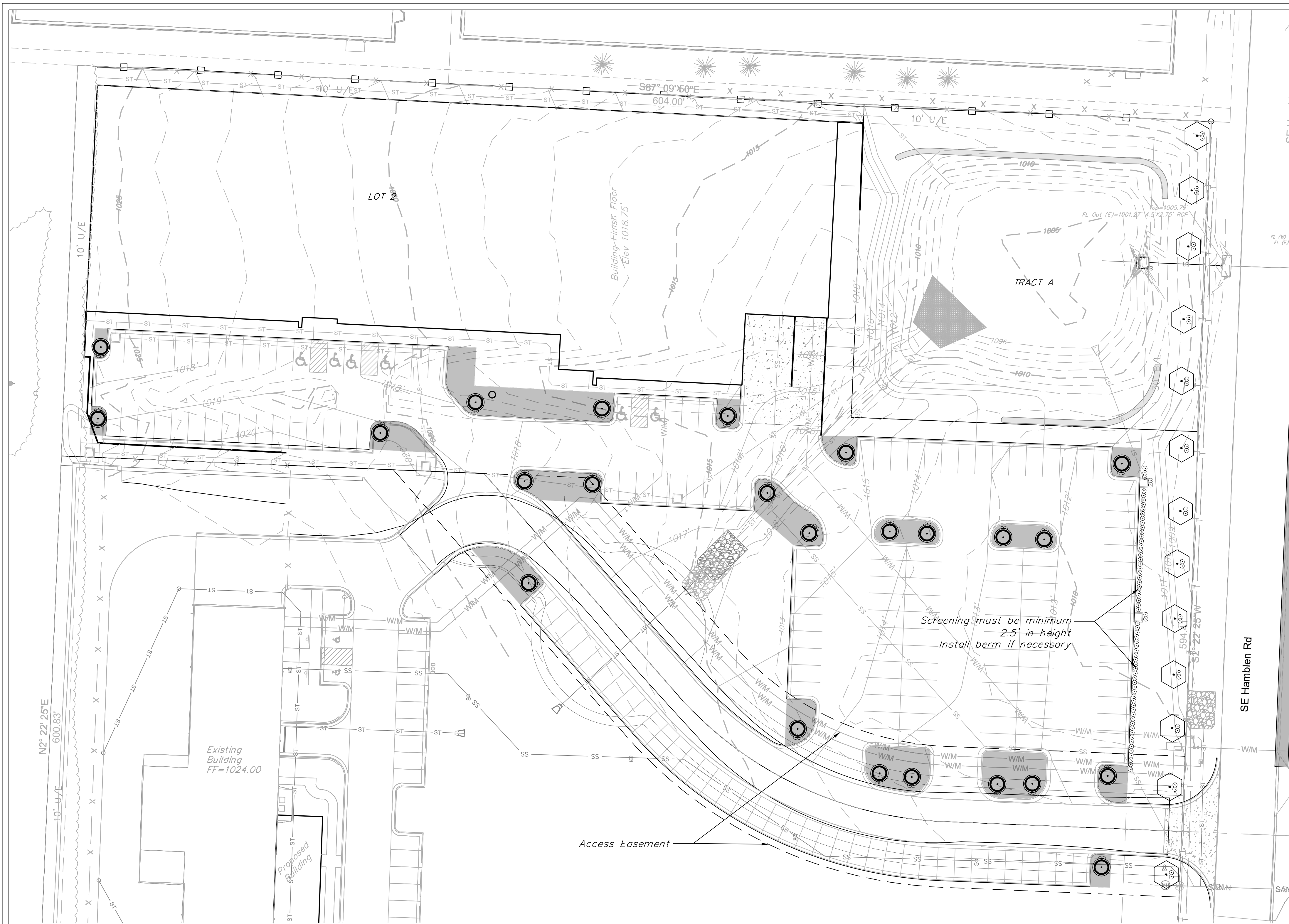
Project:
1600 SE HAMBLEN
RD, LEE'S
SUMMIT, MO
June 22, 2023

WATER SERVICE PLAN
Tailor-made Landing Phase 2
1600 Hamblen Road
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS
① Rev 7-18-23



NOTE:
 BUFFER/SCREEN REQUIRED BETWEEN LAND USES
 Proposed use PMIX
 Adjoining use P1
 Medium impact screening: A 70 percent semi-opaque screen between land uses which are dissimilar in character. Semi-opaque screening should partially block views from adjoining land uses and create a separation between the adjoining land uses. For medium impact screening either a landscape screen or fencing is required.

LANDSCAPE PLAN
 SCALE: 1" = 60'

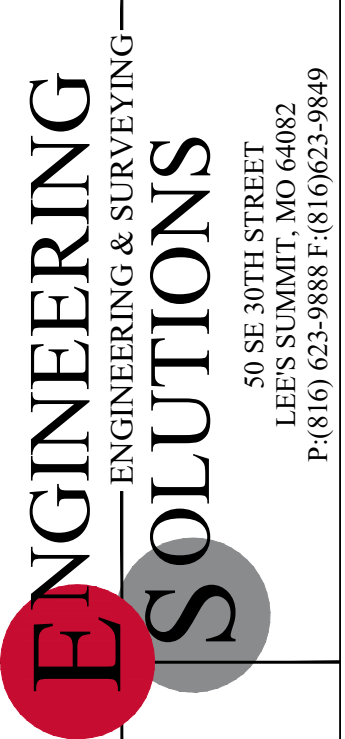
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED LANDSCAPE
14.090.A.1 Street Frontage Trees (SE Hamblen Rd)	1 tree per 30 feet of street frontage	386 ft. of street frontage /30= 13 trees required	13 Trees Provided
14.090.A.3 Street Frontage Shrubs (SE Hamblen Rd)	1 shrub per 20 feet of street frontage	386 ft. of street frontage /20= 19 shrubs required	26 shrubs provided
14.090.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding buildings.	144,332 sq. ft. of total lot area minus 48,885 sq. ft. of bldg. = 95,447 sq. ft. /5,000 x 2 = 38 shrubs	48 shrubs
14.090.B.3 Open Yard Trees	1 tree per 5000 sq. ft. of total lot area excluding buildings.	144,332 sq. ft. of total lot area minus 48,885 sq. ft. of bldg. = 95,447 sq. ft. /5,000 = 19 trees	24 Provided
14.110. Parking Lot Landscape	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	51,977 sq. ft. of parking area x .05 = 2,599 sq. ft. of landscape parking lot islands required	7,904 sq. ft.
14.120 Screening of Parking Lot, Road	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	224 linear feet/40 x 12 67 shrubs required.	67 shrubs provided

*STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS.

Open areas not covered with planting material shall be covered with sod

PLANTING SCHEDULE:
 IS FOR PHASE 1 ONLY. AT FULL BUILD THE UNIFIED DEVELOPMENT ORDINANCE REQUIREMENTS SHALL BE MET.

SYMBOL	QUANT.	KEY	NAME	SIZE
tree (hexagon)	48	TA	AMERICAN BASSWOOD LINDEN TILIA AMERICANA	3.0" CAL
evergreen (circle)	39	SR	SKYROCKET JUNIPER JUNIPERUS SCOPULORUM "SKYROCKET"	8' HL
tree (circle with dot)	48	RB	OKLAHOMA REDBUD CERCIS RENIFORMIS "OKLAHOMA"	3.0" CAL
shrub (circle)	162	BB	BURNING BUSH EUONYMUS ALATA "COMPACTUS"	2 Gallon Pot



Professional Registration
 Missouri
 Engineering 2005002186-D
 Surveying 2005008319-D
 Kansas
 Engineering E-1685
 Surveying LS-218
 Oklahoma
 Engineering S254
 Nebraska
 Engineering CA2821

Project:
 1600 SE HAMBLEN RD, LEE'S SUMMIT, MISSOURI
 June 28, 2023

1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri

LANDSCAPE PLAN
 Tailormade Landing Phase 2
 1600 Hamblen Road
 Lee's Summit, Jackson County, Missouri



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